

Naomi Field Archaeological Consultancy

**Former Council Depot
Boultham Park, Lincoln
Archaeological Desk-Based Assessment
NGR: SK 962210 690770
Planning Application No.: 2007/0533F
Site code: BPDFL10
LCNCC Accn No. :2010.60**

Report

for

Lindum Group Ltd

**NFAC Report No. 0915
May 2010**

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Boultham Park Depot, Rookery Lane, Lincoln LN6 1AA
Archaeological Desk-Based Assessment
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Summary

It is proposed to develop the former City of Lincoln Council depot off Rookery Lane, for residential and educational facilities. The area formerly lay within the grounds of Boultham Hall, part of which is now a public park. The boundary of the Registered Park and Garden runs through the site. The site, contains farm outbuildings belonging to Home Farm, which was attached to Boultham Hall, and was used as a council depot with greenhouses covering much of the ground. It is currently mainly derelict land. While Roman pottery kilns have been found in the vicinity no artefacts of Roman, or indeed any, date were retrieved during geotechnical work undertaken as part of the current assessment.

It has been concluded that the archaeological potential of the site is low and that the site may never have been occupied, although a programme of archaeological observation and recording might usefully be carried out at least during the first phase of development, with a review subject to results from Phase 1, for Phase 2. The farms buildings were inaccessible and should be the subject of photographic recording prior to refurbishment.

Introduction

Naomi Field Archaeological Consultancy (NFAC) was commissioned in April 2010 by Thornton Firkin (on behalf the Lindum Group Ltd) to prepare an archaeological desk-based assessment of land at the former Boultham Park Dairy, Lincoln. This was undertaken in accordance with general requirements set out in the *Lincolnshire Archaeological Handbook* published by the Archaeology Section, Lincolnshire County Council (revised April 2009) and IfA *'Standard and Guidance for an Archaeological Desk Based Assessment'* (Institute for Archaeologists 2008 and October 1999 .rev).

Site Location and Description

The development site is located in the Boultham area of Lincoln, which lies south-west of the historic core of the city (Fig. 1). The former council depot is located at the end of Rookery Lane and has recently been used for horticultural purposes, with greenhouses covering part of the site, but they were cleared some years ago. The land was previously part of Home Farm and there is a brick outbuilding (stable?) on the west side of the site; the remainder of the plot is currently derelict and overgrown.

Planning Background

Planning permission has been granted for the change of use of a stable block to form a vocational training block. This will include erection of two-storey extension to the stable block to form 6 self-contained flats, erection of single storey building to form 10 supported bungalows, erection of two-storey shop and a glasshouse and layout and construction of 12 car parking spaces (Fig. 2). The development programme of work will be carried out in two stages

1. Make safe the 'stable' (farm building) block and construction of the adjacent flats and bungalows
2. Refurbishment of the 'stable' block and construction of the glasshouse and shop

The following condition was placed on the development

“No development groundwork geotechnical investigation, site clearance or other enabling work shall take place on the site until details of the measures to be taken to evaluate, preserve and/or

record the archaeological content of the site, which shall include a timescale for the investigation, have been submitted to and approved by the Local Planning Authority. All archaeological work shall thereafter proceed in accordance with the approved programme.

This desk-based assessment of the archaeological potential of the site was requested by the City of Lincoln Council Planning Archaeologist as the first stage in the approved programme of work, with a provision for additional stages of archaeological investigations dependent on the results.

Planning Policies

General planning principles are set out in the current Regional Spatial Strategy for the East Midlands as the East Midlands Regional Plan (March 2009) which supersedes the Lincolnshire Structure Plan (2005). It provides a broad development strategy for the East Midlands up to 2026 (See Appendix 4A).

Lincoln falls within the Central Lincoln Housing Market Area (HMA) and section 3.1.6 of the EMRP states that the role of Lincoln will be significantly strengthened as a Principal Urban Area (PUA) through urban intensification and planned sustainable urban extensions.

Planning permission was granted in 2008 and is subject to the terms of PPG 16 the Planning and Policy Guidance documents 15 and 16 (Appendix 4B) issued in 1990 by the DoE even though these guidance documents were superseded by the new Planning Policy Statement 5 (PPS5) which came into operation on March 23rd 2010. PPG16 sets out the principle for preservation *in situ* of archaeological remains wherever possible, with preservation by record as the alternative option. It also places on developers the responsibility for funding any archaeological work necessary to mitigate the effects of development.

Aims and Objectives

The purpose of a desk-based assessment is to identify the archaeological potential of an application site by

- collating available existing information,
- identifying any archaeological constraints
- indicating the anticipated archaeological impact of the proposals.

It also enables an informed decision to be made regarding the future treatment of any archaeological remains and presents options for investigation and future treatment of remains or mitigation of the predicted impact either in advance of and/or during permitted development .

METHOD

A desk-based assessment of the application site and a 0.5km surrounding area was undertaken in order to identify and assess all possible archaeological constraints. It comprised a collation and assessment of existing written and cartographic information, including information available at:

- Lincoln Heritage Database (LHD)
- Lincolnshire Archives Office- other documentary sources, as appropriate
- Lincoln Central Library Local Studies Collection

Site visit to verify ground conditions, assess the extent of any modern disturbance to the site

Monitoring of geotechnical works on site and consideration of the results for the mitigation Strategy

Air photographic coverage held at the Lincolnshire HER was not examined, as the application site has been in industrial use for at nearly 50 years.

Research for the assessment was conducted by N. Field between April 12th and May 4th 2010. A site visit was made to verify site conditions and assess any modern disturbance to the site

Archaeological and Historical Background

Previously recorded sites and findspots, are listed in the Lincoln Heritage Database (LHD). These have been allocated unique monument numbers and these are referred to, in bold, in the text (e.g. **MON2590**). A summary list of entries in the vicinity is provided in Appendix 1. The recorded archaeological sites and findspots are shown on Fig. 3.

Prehistoric

The area now known as Boultham is located in the hinterland to the south west of the formerly waterlogged basin in the area of the Brayford Pool that extended south-west to Swanpool and south along the Witham valley. There is no record of any prehistoric activity in the vicinity but it is thought, however, that the dryer soils of the area lying between the Witham and the Priol Brook would have been an important area of woodland, perhaps managed and exploited since prehistoric times.

Roman

The site is situated south-west of the Roman city and its suburbs. As in the prehistoric era it is thought that this area was woodland and was an important industrial resource for the city. By the late 3rd and 4th centuries there was a flourishing pottery industry in the Rookery Lane area and numerous discoveries have been made since 1935 (and most recently 2008) to indicate the presence a kiln or kilns in the cemetery of St Helen's church to the east of the development site (**MON 466**).

Medieval

The Domesday Survey of 1086 the small manor of Boultham was held by Robert of Stafford, showing that it was a settlement of at least Saxon origin. It is presumed that the focus of the medieval settlement would have been the church of St Helen (**MON 494**) to the east of the development site. The poor soils of the parish may have contributed to the small size of the settlement. It is thought that the settlement (**MON 2030**) lies beneath the 19th century landscaped gardens of Boultham Hall (**MON.** and was largely removed by its creation.

Modern

The whole of the development site lies within the former grounds of Boultham Hall which lay to the north-east of the development site. The hall was the seat of the Ellison family, from at least 1830. The precise date of the layout of the park and the first house is not known. The latest Hall was built in 1874, soon after Home Farm (**MON 1426**) which was built in 1870, incorporating two earlier cottages.

On the death of Lt Col R G Ellison in 1909 the hall fell empty and the contents were sold in 1913. The Hall was used as a convalescent home during WW1 and was bought by Lincoln Corporation in 1929 along with the estate, some of which became Boultham Park which is now a Grade II Registered Park and Garden (**MON2511**). The hall was eventually demolished in 1959. The remainder of the estate was earmarked for housing, built over the following 40 years. The growth of Boultham as a suburb of Lincoln is recorded on the maps of the area (eg. Figs 5 and 6 from 1930 and 1966). Boultham was incorporated into the city of Lincoln in 1912 and groups of houses were built between the world wars on Boultham Park Road, Skellingthorpe Road and Rookery Lane (eg Fig. 3).

The outbuildings that are situated within the development site are probably contemporary with the construction of Home Farm. Originally they comprised the large barn and stables that still survive

with three attached ranges to the south. The main part of the building is shown on the 1886 OS first edition 1:2500 map (Fig. 4) and was probably built at the same time as Home Farm in 1870. Three wings on the south side of the building are shown on the 1886 and subsequent maps up to 1956. They are also visible on the 1957 air photo. They were demolished to make space for the residential care home which was built in 1960. The present development area, including the surviving farm outbuildings, was retained by the corporation as a depot with greenhouses where plants for council parks and open spaces were cultivated in a series of greenhouses. The greenhouses are clearly visible on a vertical aerial photograph taken in 1957 (Pl. 1), although they are not shown on the OS 1:10560 map, published in 1956.

Topography and Geology

The site lies at a height of c.8.6m O.D. on the west bank of the Upper Witham valley and the underlying drift geology comprises river sands and gravels.

Geotechnical Data and Borehole Records

There was no known geotechnical information for the site prior to the present investigations. Test pits were excavated to establish ground conditions for the purposes of designing appropriate foundations on April 24th 2010. The work was carried out under the supervision of Ward Cole and is described below.

Site Visit

A site visit was made on April 24th 2010. Access to the site is via Rookery Lane to the west via a shared drive that also leads to the registered care home to the south of the site (Pl. 2). A nineteenth-century two-storey brick outbuilding, originally part of Home Farm is situated on the south side of the entrance to the site (Pl. 3). It is aligned approximately east-west and has a 20th century lean-to extension along its north elevation (Pls 4 and 5). The extension is not present on the 1957 air photo (Pl.1) and was probably built at the same time as the care home in 1960.

Beyond the outbuilding the site opens out to north and south into a sub-rectangular space. The northern part of the site is bounded to the west by a brick wall that is part of the boundary to the grounds of Boutham Hall and separates it from Home Farm (Pl. 6). This area is to be retained for horticultural purposes and will have no buildings on it. It is bounded on its south side by dense brambles in the centre of the site with areas of asphalt and concrete slabs immediately to the south, which are remnants of the greenhouse bases (Pl. 7). There is also at least one very large tree stump, evidence of the former parkland use for the site. The eastern boundary is modern metal railings and hedge with the park to the east. It is bounded to the south by a dense patch of brambles. The railings and hedge continue around the eastern and southern sides of the site, with thick vegetation, comprising brambles, briars and hawthorn, especially to the south where it is impenetrable (Pl. 8).

Just visible in the undergrowth on the southern half of the site is a series of oblong depressions in the ground, further evidence for the greenhouses that occupied the site.

The site visit was combined with observing the excavation of six geotechnical test pits in attendance with representatives from Ward Cole and Lindum Group Ltd. A seventh pit intended for inside the stable could not be dug as the building was locked. All trial pits were 0.70m wide and 2.5-3m in length. Their depth varied from 1.8-2.10m.

Test Pit 1 (Pls 9 and 10)

This was excavated against the east wall of the stable. The foundation 102 comprised five courses of brick, 0.32m in depth offset from the wall by 0.05m. The topsoil, 100, of mid-brown sandy soil

abutting the wall was 0.30m thick and overlay a layer of orange brown sandy soil with mortar and brick fleck, 101, clearly derived from construction of the building.

Test Pit 2 (Pl. 11)

Test Pit 2 was situated north-east of Test Pit 1 in the centre of the site . It cut through an asphalt surface 200, with a hardcore base 201 consisting of brick rubble and small stones, extending to a depth of 0.45m below existing ground surface. The hardcore sat on an orange-brown sandy soil 202 to a depth of 1m which overlay orange and and gravels 203 to the base of the trench (1.80m).

Test Pit 3 (Pl. 12)

Test Pit 3 was dug in the south-west part of the site on the west side of the proposed bungalows. Topsoil of dark brown sandy soil (300) was 0.30m deep and overlay a mid-brown sandy subsoil 301 0.40m thick. This sealed the natural mixed orange gravelly sand with beige clay patches 302 to the base of the trench (2m).

Test Pit 4 (Pl.13)

Test Pit 4 was located towards the southern boundary of the site on the south side of the proposed bungalows. A mixed layer of brick rubble and soil 400, probably derived from demolition of the greenhouses, overlay a thin layer of orange sand, 0.10m thick, 401. This sealed the topsoil 402 and subsoil 403, both 0.35m thick, with natural sands and gravels 404, as before, at a depth of 1m below existing ground surface to the base of the trench at 1.80m.

Test Pit 5 (Pl. 14)

Test Pit 5 was located in the south-east part of the site. On the east side of the proposed bungalows. The topsoil 500 was 0.40m thick and overlay a mid-brown subsoil 501 to a depth of 1.10m over the natural sands and gravels with clay patches 502, to the base of the trench at 2.10m.

Test Pit 6 (Pl.15)

Test Pit 6 was situated in the centre of the site close to the eastern boundary on the proposed site of the shop. The topsoil 600 was 0.60m thick with no distinguishable subsoil present. It overlay a heavily panned clayey sand 601 0.40m thick which graduated into the sands and gravels 602 observed elsewhere on the site to the base of the trench at 2.40m.

Nowhere were any archaeological features observed nor any artefacts retrieved.

Archaeological Potential of the Proposed Development Site

There have been no recorded archaeological finds from the proposed development site itself. Elsewhere in the Witham Valley lithics have been recovered beneath alluvial deposits (eg at St Catherine's on the east side of the valley). Lithics have also been found in at the University of Lincoln and at Burton Waters. There was no evidence of any alluvial activity which might have sealed prehistoric remains at Boultham Park, nor of any lithic artefacts.

Despite the presence of Roman pottery kilns in the vicinity of the site there was no indication of any Roman activity. The complete absence of pottery of medieval and post-medieval date is even more surprising as this might reasonably have been expected, given the proximity of the medieval settlement to the east of the site. Manuring practices on cultivated land adjacent to settlements usually result in the incorporation of pottery into the soil. Prior to its incorporation into the grounds of Boultham Hall in the 19th century it is possible that the development site was never occupied and that it may have been woodland, or pasture, accounting for the dearth of artefacts.

Potential Impact of the Proposed Development on Archaeological Remains

The focus of the proposed development is in the southern half of the site with the northern part being designated for horticultural purposes. The impact in this area will be minimal. At the time of writing there is no detailed information available concerning foundation design but it is assumed that standard strip foundations will be used for the new buildings. These would cut through any archaeological deposits if they are present. Service trenches, especially those for sewers would run at a deeper level and again would impact on any remains present. The potential for undisturbed remains is diminished by the presence of below ground-level bases for some of the greenhouse platforms in the southern part of the site, in the area of the proposed bungalows. The roots from the large trees that were felled will also have caused localised disturbance.

Constraints

Historic Parks and Gardens

Boultham Park is a Grade II Registered Historic Park and Garden and the boundary of the designated garden runs through the development site (see Fig 2).

Scheduled Ancient Monuments

There are no Scheduled Ancient Monuments within the vicinity of the development site.

Listed Buildings

Home Farm is a Grade II listed building.

Historic Battlefields

There are no registered Historic Battlefields within the vicinity of the development site.

Conservation Areas

The development site does not lie within a Conservation Area.

Mitigation

In general terms if archaeological remains were to be present on the site, there would be a presumption in favour of their preservation *in situ*. (PPG16:12) Should development on the site be permitted, any affected archaeological remains would require 'adequate preservation by record' in advance of, and during, groundworks.

The main impact of development is currently focused on southern part of the site. Preservation by record might comprise evaluation trenching to establish identify the presence or absence of archaeological remains on the site followed by further investigation or a programme of observation and recording during the groundworks stages of construction. In the present instance although there was considerable potential for prehistoric, Roman and medieval activity, none was evident during the, albeit limited, geotechnical ground investigations.

The complete absence of any artefacts suggests that no further evaluation of the site prior to development is justified. However, a programme of archaeological observation and recording could be carried out during the construction of Phase 1 (bungalows) with provision for a similar recording during Phase 2 only if anything of archaeological interest is revealed during Phase 1.

It is recommended that a photographic record should be made of the interior of the farm outbuilding prior to redevelopment as there was no access at the time of the present assessment.

Acknowledgements

NFAC would like to thank John Herridge, City of Lincoln Council, for his assistance and providing the data from the Lincoln Heritage Database and the aerial photograph of the site, Stephen Lumley

of Thornton Firkin for supplying the site plan Andy Barradell of Lindum Group Ltd for co-ordinating the geotechnical survey.

Naomi Field MIFA
May 2010

References

Jones, M.J., Stocker, D. and Vince, A. 2003. *The City by the Pool*

Field, N and Rylatt, J. 2008 *The Pond, University of Lincoln Brayford Campus, Lincoln: Archaeological Excavation and Recording*. LAS Report 1084 for University of Lincoln.

Selected Maps

OS 1886 Ordnance Survey 1:2,500 map

OS 1930 Ordnance Survey 1:2,500 map

OS 1956 Ordnance Survey 1:10,560 map

OS 1966 Ordnance Survey 1:1250 map

OS 2008 Ordnance Survey digital map

Websites

<http://www.emra.gov.uk>

<http://www.communities.gov.uk/publications/planningandbuilding/ppg16>

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APPENDIX 1

**Boultham Park Depot, Rookery Lane, Lincoln Summary List of Archaeological Sites,
Listed Buildings and Artefacts
(Source City of Lincoln Historic Environment Database)**

APPENDIX 1

MONNO	Name	NGR	Easting	Northing	DESCRIPTION
466	Roman kiln, Boultham	SK	496469	369081	Possible Roman kiln in the vicinity of St Helens churchyard, Boultham, suggested by pottery wasters and finds.
494	St Helens Church, Hall Drive	SK	496458	369092	There was a medieval church on the site about which little is known, but there some elements in the present building, which was used by the Ellison family of Boultham Hall. The chancel was rebuilt in 1864, architect Michael Drury, and the nave extended and restored 1880s by C Hodgson Fowler. Once Boultham Hall estate became a public park, Boultham Park, the church was used publicly, but its functions were mostly taken over by Holy Cross Church in 1940. There are occasional services, such as weddings, funerals, Christmas Carol Service. The churchyard contains a granite memorial, from the fortifications of Sebastopol during the Crimean War.
644	St Helens Church, Hall Drive 1	SK	496461	369089	Mostly 19th C building but with 13th C blocked arcade containing stiff leaf capitals and octagonal pier with detached shafts, double chamfered arches under hoodmoulds with sculpted terminals.
1426	Home Farm, Boultham Park	SK	496224	369133	Former cottage incorporated into farmhouse of c1870 used as such until the 1930s, when became purely residential.. Directories 1895-1948 (at least) call it Holme Farm. It appears to have been the farm serving Boultham Hall and the Ellison family. Internal alterations applied for in 1948.
1713	Crimean War Memorial, Hall Drive	SK	496450	369094	Granite rectangular block from Sebastopol with moulded top edge. Erected by Major R G Ellison.
2030	Boultham	SK	496266	369095	Small pre-Conquest village south-west of Lincoln, centred around the church of St Helen. It was absorbed into the city by 1912. Expansion into the area of Beevor Street and Firth Rd in the late 19th century led to the name "New Boultham"
2511	Boultham Park	SK	496345	369010	Formerly part of the estate of Boultham Hall, purchased by the City in 1931 and laid out as a public park. All the buildings have been demolished except the lodges and gate piers of 1872, by William Watkins. Area of 19-986 hectares; Registered Park and Garden 1968 Grade II 24/6/1985
2590	Boultham Hall	SK	496303	369104	Large hall built for the Ellison family; the estate had been given by Richard Ellison of Sudbrooke to his son Col. Richard Ellison as a wedding present in 1830. It passed in 1881 to son Lt Col R G Ellison; upon his death in 1909 the hall fell empty. The contents were sold in 1913 and the Hall was used as a convalescent home during WW1. It was bought by Lincoln City Council in 1929 along with some of the estate, which became Boultham Park (MON2511). Demolished in 1959. A vista closer in the form of a large urn now stands in Simons Green, off Lake View Rd (MON7729)
3545	Boultham Park House, Rookery Lane	SK	496211	369029	Situated within grounds of Boultham Hall. Two-storey building in approximate "L" shape

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5471	Lodge, Hall Drive	SK	496444	369110	Lodge to Boultham Hall, situated at the southern end of Hall Drive. It was divided into two dwelling houses (L Elvin)
5477	Rookery Lane	SK	496132	368990	Rd from Boultham Park Rd to Newark Rd, formerly part of the Boultham Hall estate, and once called Boultham Lane. Early maps indicate that it was part of the Rd from Newark Rd to Skellingthorpe
5529	Parklands Hotel, Boultham Park Rd	SK	496150	369135	Public House built for Warwick and Richardson Ltd, architects Watkins and Coombes. Named after the adjoining Boultham Park. Closed May 2008.
5532	Bell Grove	SK	496087	368934	Residential street (cul-de-sac) on the west side of Rookery Lane. The layout was proposed in 1924 by Naylor, Sale and Woore of Derby, along with Moorland Avenue and Roydon Grove. It seems not to have a name in 1928 when houses were being built
5759	18-32 Skellingthorpe Rd	SK	496014	369151	Four pairs of semi detached houses built by Mrs E Blank
5790	181-199 Rookery Lane	SK	496126	368891	Five pairs of semi detached houses built 1924-1926 by Mrs Elizabeth Blank
5796	209-223 Rookery Lane	SK	496105	368999	Four pairs of semi detached houses built by the Lincoln Cooperative Society.
5818	5-23 Skellingthorpe Rd	SK	496003	369110	Five pairs of semi detached houses built by the Lincoln Cooperative Society for F Crowther (5), W E Harrison (7), A Doncaster (9), J D Brown (11), J W Jepson (13), J W Clifton (15), C A Norton (17), Miss E A Tayles (19), G E Smalley (21) and B Gylee (23)
5952	Lincoln Cooperative Society Branch Shop, 1-3 Skellingthorpe Rd	SK	496055	369086	Lincoln Cooperative Society Branch shop, built by the Society. Pharmacy added in 1929.
5957	225 Boultham Park Rd	SK	496241	369307	Detached house built by W Q Leebetter
5958	221-223 Boultham Park Rd	SK	496246	369320	A pair of semi detached houses built by W Q Leebetter
5966	240 Boultham Park Rd	SK	496115	369166	Detached house built for Mrs E Blank, builder J Blank
6003	279-281 Boultham Park Rd	SK	496129	369104	A pair of semi detached shops with accommodation to the rear and on the first floor. Built by Mrs E Blank.
6005	217-219 Boultham Park Rd	SK	496253	369334	A pair of semi detached houses built by G H Pringle
6010	208 Boultham Park Rd	SK	496197	369327	Detached bungalow built for Miss M Russell, builder A Priestley
6034	205-207 Rookery Lane	SK	496120	368954	A pair of semi detached houses built by the Lincoln Cooperative Society
6059	277 Boultham Park Rd	SK	496133	369118	House and fish and chip shop built for Mrs Foster and Mrs Blank. Additions in 1945.
6090	238 Boultham Park Rd	SK	496121	369176	Detached house, built for Miss C J Ward, architect J R Halkes, builder A Priestley
6103	Western Avenue	SK	496135	369305	Residential street off Boultham Park Rd. Proposal to build by H Hallam in 1935. Extended in 1939 (or proposed)
6144	Fountain, Boultham Park	SK	496296	369057	Ornamental fountain.
6145	Lodges, Boultham Hall/Boultham Park	SK	496185	369169	A pair of semi detached lodges near the Boultham Park Rd entrance to Boultham Hall. Numbered 4 and 5.
6146	Foot bridge, Boultham Hall/Boultham Park	SK	496452	368978	Foot bridge over the pre-1950s course of the Pike Drain at the north end of Boultham Park Lake.

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6150	Sundial, Boultham Hall/Boultham Park	SK	496345	369053	Sundial - on pillar(?)
6151	Bandstand, Boultham Park	SK	496275	368930	Circular bandstand.
6831	Boultham Library, Boultham Park Rd	SK	496213	369212	Branch library of Lincolnshire C C. Replaced by a new building 25m to the west in 2005?
6836	Boultham Library, Boultham Park Rd	SK	496186	369212	Branch library of Lincolnshire C C. Replaced previous library 25m to the east in 2005?
6837	Church of St Peter and St Paul, Skellingthorpe Rd	SK	496085	369141	Roman Catholic church, whose foundation stone was laid 2 May 1966. The church opened in 1967 and was consecrated 12 September 1968. Architects Reynolds and Scott
6838	St Peters Roman Catholic Church, Skellingthorpe Rd	SK	496070	369136	Roman Catholic Church known as The Hut, as it was a converted storage building. Mass was transferred to the hall of St Peter and St Pauls School in 1958. The site is now that of the church of St Peter and St Paul (MON6837)
6839	St Peter and St Pauls RC High School, Skellingthorpe Rd	SK	496053	369228	Secondary school.
6846	Houses, Boultham Park Rd	SK	496114	369198	A pair of houses on the west side of Boultham Park Rd, probably associated with Boultham Hall directly opposite. Removed at some time between 1938 and 1946 (OS maps). Now the site of 234-238 Boultham Park Rd.
6944	201-203 Rookery Lane	SK	496125	368927	A pair of semi detached houses built by Dowse and Quincey.
7023	174-176 Rookery Lane	SK	496168	368849	A pair of semi detached houses built by Lincoln Cooperative Society
7031	178-180 Rookery Lane	SK	496168	368866	Two pairs of semi detached houses built by Lincoln Cooperative Society.
7036	212-214 Boultham Park Rd	SK	496189	369305	A pair of semi detached houses built by/for Mrs Eccleshare by H Norman.
7040	186-188 Rookery Lane	SK	496168	368901	A pair of semi detached houses built by Lincoln Cooperative Society.
7042	194-196 Rookery Lane	SK	496162	368936	A pair of semi detached houses built by Lincoln Cooperative Society.
7043	182-184 Rookery Lane	SK	496167	368885	A pair of semi detached houses and a garage built by Lincoln Cooperative Society.
7044	202-204 Rookery Lane	SK	496155	368969	A pair of semi detached houses built by Lincoln Cooperative Society.
7048	198-200 Rookery Lane	SK	496159	368954	A pair of semi detached houses built by Lincoln Cooperative Society.
7049	190-192 Rookery Lane	SK	496165	368919	A pair of semi detached houses built by Lincoln Cooperative Society.
7050	210-212 Rookery Lane	SK	496147	369000	A pair of semi detached houses built by Lincoln Cooperative Society.
7051	206-208 Rookery Lane	SK	496152	368985	A pair of semi detached houses built by Lincoln Cooperative Society.
7056	214-216 Rookery Lane	SK	496144	369019	A pair of semi detached houses built by Lincoln Cooperative Society.
7076	218-220 Rookery Lane	SK	496140	369034	A pair of semi detached houses built by Lincoln Cooperative Society Ltd
7162	232-234 Boultham Park Rd	SK	496135	369204	A pair of semi detached houses built by A Priestley for F Worth & Miss Mather
7187	222 Rookery Lane	SK	496138	369045	Detached house built by T Walter by Lincoln Cooperative Society Ltd
7190	222 Boultham Park Rd	SK	496159	369249	Detached house built by A B Sindell for G Hotchin

**Boultham Park Depot, Rookery Lane, Lincoln Summary List of Archaeological Sites,
Listed Buildings and Artefacts
(Source City of Lincoln Historic Environment Database)**

APPENDIX 1

7191	29-43 Western Avenue	SK	496350	369254	Four pairs of semi detached houses built by Clifford of Nottingham for H Hallam, (along with 42-48 MON7192)
7192	42-48 Western Avenue	SK	496300	369289	Two pairs of semi detached houses built by Clifford of Nottingham for H Hallam (along with 29-43 MON7191)
7199	25-27 Western Avenue	SK	496401	369260	A pair of semi detached houses built by Clifford of Nottingham for H Hallam (along with 45-51 MON7200)
7200	45-51 Western Avenue	SK	496309	369249	Two pairs of semi detached houses built by Clifford of Nottingham for H Hallam (along with 25-27 MON7199)
7219	53-55 Western Avenue	SK	496282	369248	A pair of semi detached houses built by Bowins & Spafford Ltd
7221	236 and 236A Boultham Park Rd	SK	496128	369188	A pair of semi detached houses built by/for A Garnett, architect J R Halkes
7222	Boultham Park Medical Practice, Boultham Park Rd	SK	496232	369196	Lincolnshire Teaching Primary Care Trust GPs centre. (pre 2006 West Lincolnshire PCT)
7243	50- 52 Western Avenue	SK	496270	369283	A pair of semi detached houses built by H Hallam, along with 57-69 Western Avenue, contractor L Clifford (Notts)
7244	57-69 Western Avenue	SK	496239	369244	Three pairs of semi detached houses and a detached house built by H Hallam, along with 50-52 Western Avenue, contractor L Clifford (Notts)
7258	34-36 Western Avenue	SK	496354	369294	A pair of semi detached houses built by Clifford of Nottingham for H Hallam, together with 38-40
7259	38-40 Western Avenue	SK	496325	369291	A pair of semi detached houses built by Clifford of Nottingham for H Hallam, together with 34-36
7263	229 Boultham Park Rd	SK	496226	369290	Detached house built by Lill Brothers
7336	228-232 Rookery Lane	SK	496130	369079	Two shops with accommodation and one lock-up shop built by F Curtis, builder/architect A B Sindell

APPENDIX 2

Boultham Park , Lincoln (BPLD10)
Context Summary

APPENDIX 2

No.	Test Pit	Type	Description
100	1	Topsoil	Brown sandy soil
101	1	subsoil	orange brown sandy soil with mortar and brick flecks
102	1	wall	brick foundations of farm building
200	1	Layer	asphalt surface
201	2	Layer	hardcore, brick and small stones
202	2	subsoil	orange brown sandy soil
203	2	Natural	Orange sand and gravel
300	3	Topsoil	Brown sandy soil
301	3	subsoil	Mixed brown sandy soil
302	3	Natural	Mixed orange gravelly sand
400	4	Layer	Brick rubble and soil
401	4	Layer	Orange sand
402	4	Topsoil	Mixed brown sandy soil
403	4	subsoil	Light brown sandy gravel
404	4	Natural	Orange sand and gravel with clay patches
500	5	Topsoil	Brown sandy soil
501	5	subsoil	Mixed brown sandy soil
502	5	Natural	Orange sand and gravel with clay patches
600	6	Topsoil	Dark brown sandy soil
601	6	Natural	Orange sand and gravel, iron panned
602	6	Natural	Beige sand and gravel

APPENDIX 3

Film No	Site code	Jpeg	Description
09/13	BPDL10	1	General view looking north-west with Home Farm in background
10/15	BPDL10	2	General view looking north-east
10/15	BPDL10	3	General view of south-east part of the site
10/15	BPDL10	4	General view looking south-east
10/15	BPDL10	5	General view looking south
10/15	BPDL10	6	General view looking south-west
10/15	BPDL10	7	General view looking south-west
10/15	BPDL10	8	General view looking west showing farm building and entrance to site
10/15	BPDL10	9	Farm building and lean-to extension, looking south-east
10/15	BPDL10	10	Rear of farm building
10/15	BPDL10	11	Rear of farm building
10/15	BPDL10	12	Entrance to the site and west elevation of farm building
10/15	BPDL10	13	East elevation of farm building and lean-to extension
10/15	BPDL10	14	Depression in ground showing former site of greenhouse
10/15	BPDL10	15	Concrete bases
10/15	BPDL10	16	General view looking north
10/15	BPDL10	17	Concrete bases looking north, with brambles to the rear. Scale 1m
10/15	BPDL10	18	Concrete bases looking north. Scale 1m
10/15	BPDL10	19	Tarmac surface and east end of lean-to. Scale 1m
10/15	BPDL10	20	Concrete base. Scale 1m
10/15	BPDL10	21	Test Pit 1. Foundations of farm building. Scale 0.50m
10/15	BPDL10	22	Test Pit 1. Foundations of farm building. Scale 0.50m
10/15	BPDL10	23	Test Pit 2. Scale 1m
10/15	BPDL10	24	Test Pit 2. Scale 1m
10/15	BPDL10	25	Test Pit 2. Scale 1m
10/15	BPDL10	26	Test Pit 3. Scale 1m
10/15	BPDL10	27	Test Pit 3. Scale 1m
10/15	BPDL10	28	South-east boundary of the site.
10/15	BPDL10	29	Test Pit 4 general view.
10/15	BPDL10	30	Test Pit 4. Scale 1m
10/15	BPDL10	31	Test Pit 4. Scale 1m
10/15	BPDL10	32	Test Pit 5. Scale 1m
10/15	BPDL10	33	Test Pit 5. Scale 1m
10/15	BPDL10	34	Test Pit 5. Scale 1m
10/15	BPDL10	35	General view looking west
10/15	BPDL10	36	General view looking south
10/15	BPDL10	37	General view looking south
10/15	BPDL10	38	Test Pit 6. Scale 1m
10/15	BPDL10	39	Test Pit 6. Scale 1m

APPENDIX 4

Extracts from Planning Policies
Extract from East Midlands Regional Plan March 2009

Regional Priorities for the Historic Environment

3.3.7 The legislation that protects the historic environment is under review. Current national advice for the identification and protection of historic buildings, conservation areas, archaeological remains and other elements of the historic environment are set out in PPG15 and PPG16. At the regional level policies on the historic environment are influenced by:

- The Regional Environment Strategy: This emphasises the importance of ensuring change does not destroy the Region's irreplaceable historic assets and distinctive character and

the need for change to be informed by understanding, careful management and the involvement of local communities. It also stresses the significant contribution that the historic environment can make to economic development, regeneration and tourism.

- *Viewpoints on the Historic Environment of the East Midlands* (July 2002) produced by the Regional Heritage Forum.
- The annual *Heritage Counts: The State of the East Midlands Historic Environment Report*, published by English Heritage.

3.3.8 All three documents confirm that the East Midlands has a rich and diverse historic environment which is undervalued and increasingly under threat. However, the historic environment can bring many benefits and opportunities. As a result, English Heritage recommends that development plans and other strategies should adopt an approach based upon:

- adequate identification and assessment of natural and cultural assets;
- consideration of the contribution that these make to local character and diversity; and
- an assessment of the capacity of these assets to absorb change and the impact of the proposals on the quality and character of the historic environment.

3.3.9 In areas identified for growth and regeneration, it is particularly important that the impact of new development on the historic environment is properly understood and considered at an early stage in the preparation of planning documents. In many areas, opportunities exist for conservation led regeneration, which will benefit both the historic environment and the local economy. The regeneration of the former Lace Market in Nottingham and parts of the historic market town of Homcastle in Lincolnshire are two very different examples of what can be achieved. The designation of the Derwent Valley Mills World Heritage Site also offers significant benefits to the Region.

Policy 26

Protecting and Enhancing the Region's Natural and Cultural Heritage

Sustainable development should ensure the protection, appropriate management and enhancement of the Region's natural and cultural heritage. As a result the following principles should be applied:

- *the Region's internationally and nationally designated natural and historic assets should receive the highest level of protection;*
- *neither direct nor indirect damage to EU designated Natura 2000 sites will be permitted;*
- *damage to natural and historic assets or their settings should be avoided wherever and as far as possible, recognising that such assets are usually irreplaceable;*
- *unavoidable damage must be minimised and clearly justified by a need for development in that location which outweighs the damage that would result;*
- *unavoidable damage which cannot be mitigated should be compensated for, preferably in a relevant local context, and where possible in ways which also contribute to social and economic objectives;*
- *there should be a net increase in the quality and active management of natural and historic assets across the Region in ways that promote adaptation to climate change, and an increase in the quantity of environmental assets generally; and*
- *the Region's best and most versatile agricultural land should be protected from permanent loss or damage.*

Policy 27

Regional Priorities for the Historic Environment

The historic environment should be understood, conserved and enhanced, in recognition of its own intrinsic value, and its contribution to the Region's quality of life.

Across the Region and particularly in areas where growth or regeneration is a priority, development should promote sensitive change of the historic environment. To achieve this, Local Planning Authorities should:

- *identify and assess the significance of specific historic assets and their settings;*
- *use characterisation to understand their contribution to the landscape or townscape in areas of change;*
- *encourage the refurbishment and re-use of disused or under-used buildings of some historic or architectural merit and incorporating them sensitively into regeneration schemes;*
- *promote the use of local building materials; and*
- *recognise the opportunities for enhancing existing tourism attractions and for developing the potential of other areas and sites of historic interest as part of Green Infrastructure, having regard to potential impacts on biodiversity.*

Extracts from Planning Policy Guidance Note 16: Archaeology and Planning (DoE 1990)

6. Archaeological remains should be seen as a finite and non-renewable resource, in many cases highly fragile and vulnerable to damage and destruction. Appropriate management is therefore essential to ensure that they survive in good condition. In particular, care must be taken to ensure that archaeological remains are not needlessly or thoughtlessly destroyed.

12. The key to informed and reasonable planning decisions...is for consideration to be given early, before formal planning applications are made, to the question whether archaeological remains exist on a site where development is planned and the implications for the development proposal.

13. If physical preservation *in situ* is not feasible, an archaeological excavation for the purposes of 'preservation by record', may be an acceptable alternative.

30. In cases when planning authorities have decided that planning permission may be granted but wish to secure the provision of archaeological excavation and the subsequent recording of the remains, it is open to them to do so by the use of a negative condition i.e. a condition prohibiting the carrying out of development until such time as works or other action, e.g. an excavation, have been carried out by a third party.

"No development shall take place within the area of archaeological interest until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the Planning Authority."

THE FIGURES

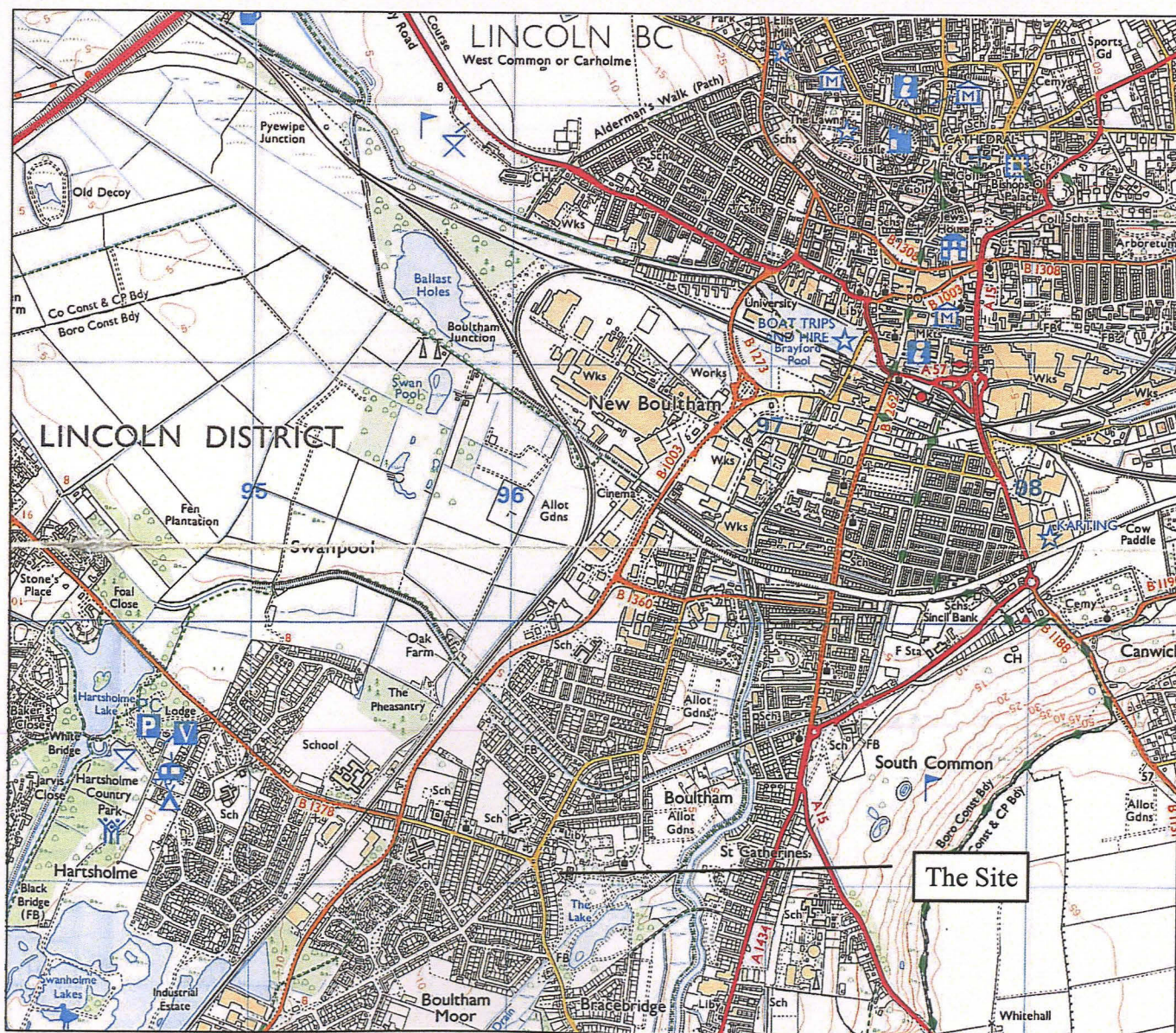


Fig. 1 Location of Boutham Park Depot, Lincoln (C based on the 2000 1:25000 Ordnance Survey Explorer map Sheet 272. Crown Copyright, reproduced with the permission of the Controller of HMSO. NFAC Licence No.100049154).

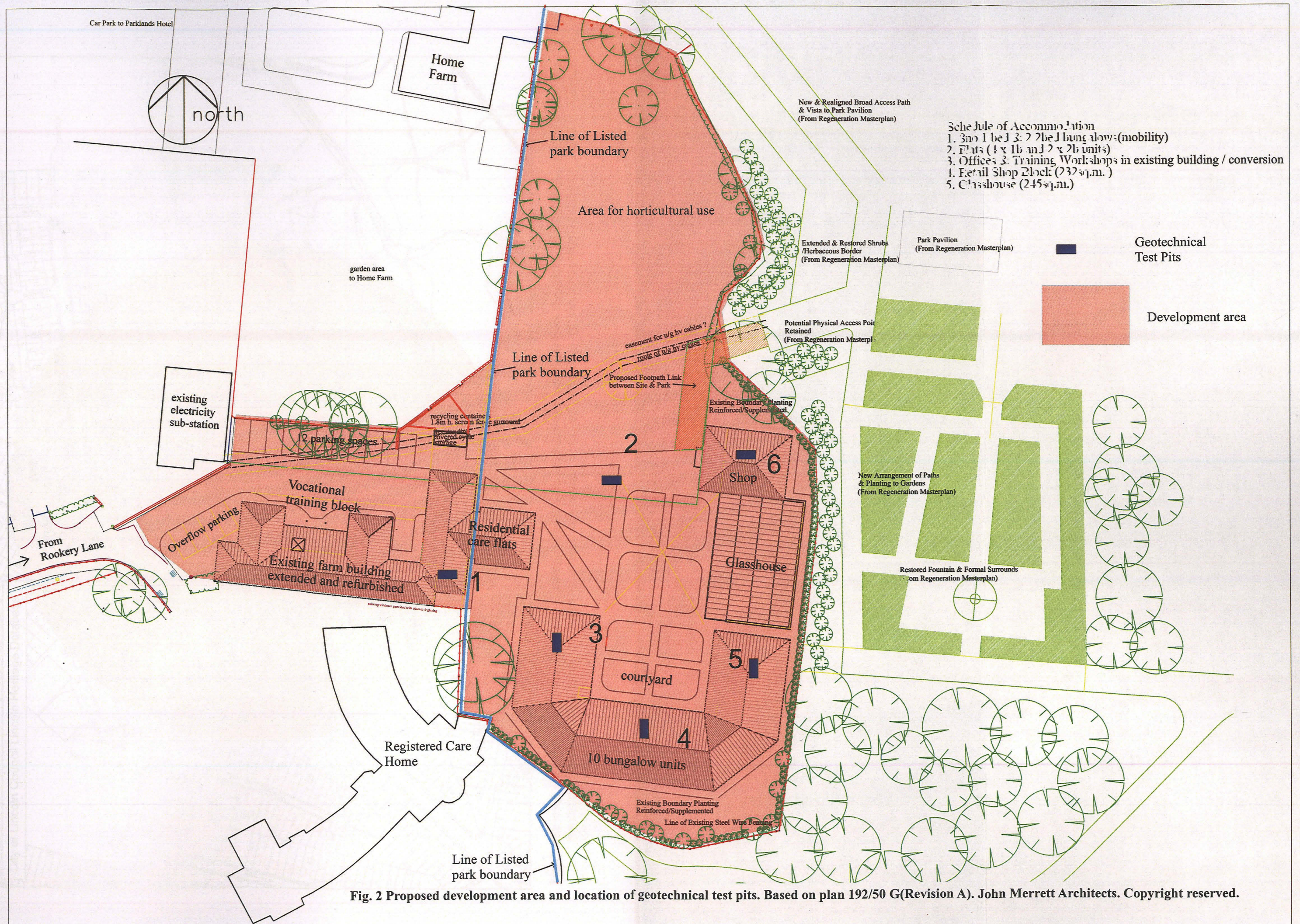


Fig. 2 Proposed development area and location of geotechnical test pits. Based on plan 192/50 G(Revision A). John Merrett Architects. Copyright reserved.

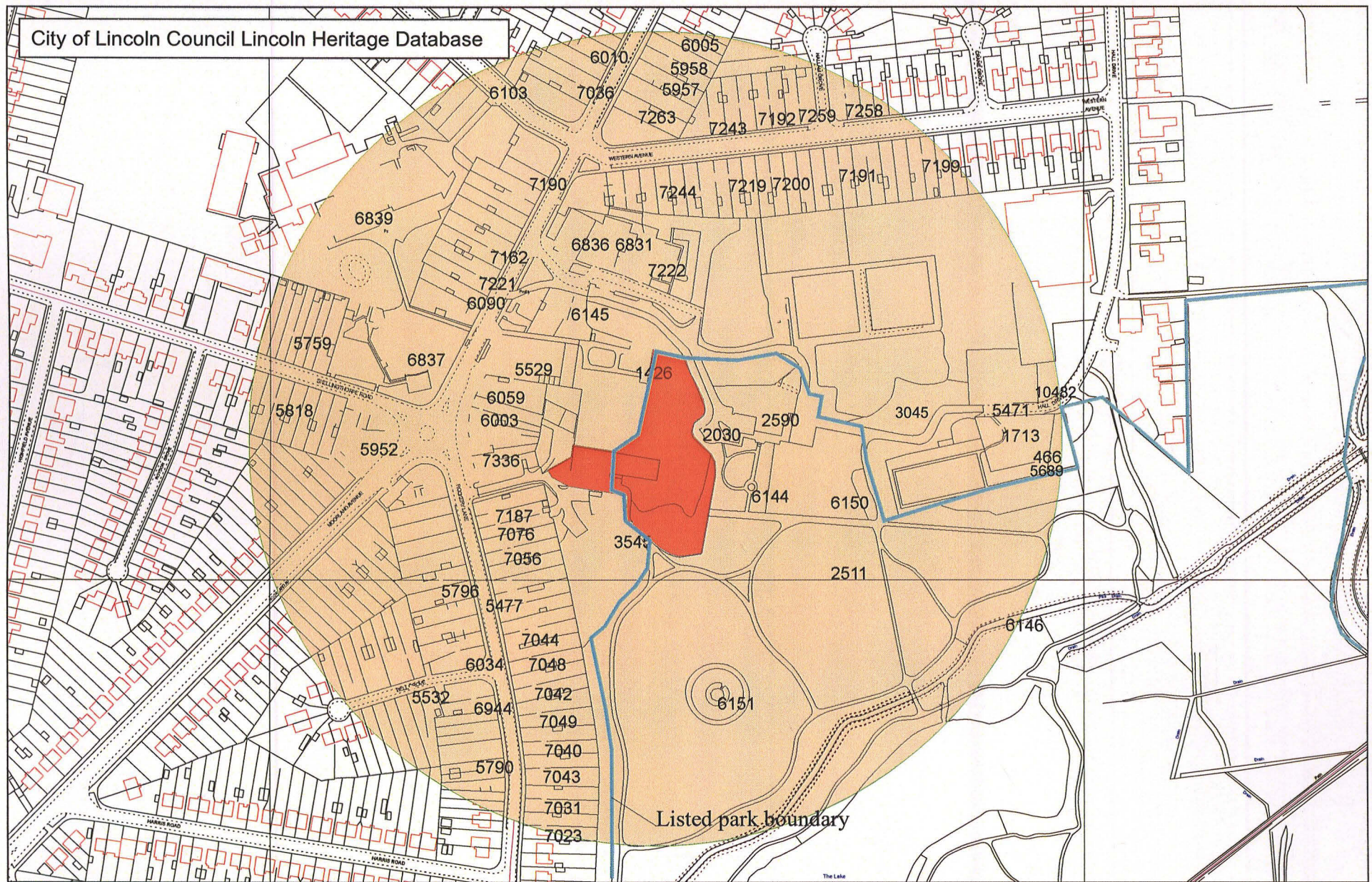


Fig. 3 The study area, and development site (red) showing recorded archaeological sites and finds from the vicinity (information supplied by Lincoln Heritage Database). (© Crown copyright map base reproduced with the permission of the Controller of HMSO. NFAC Licence No.1000049154).

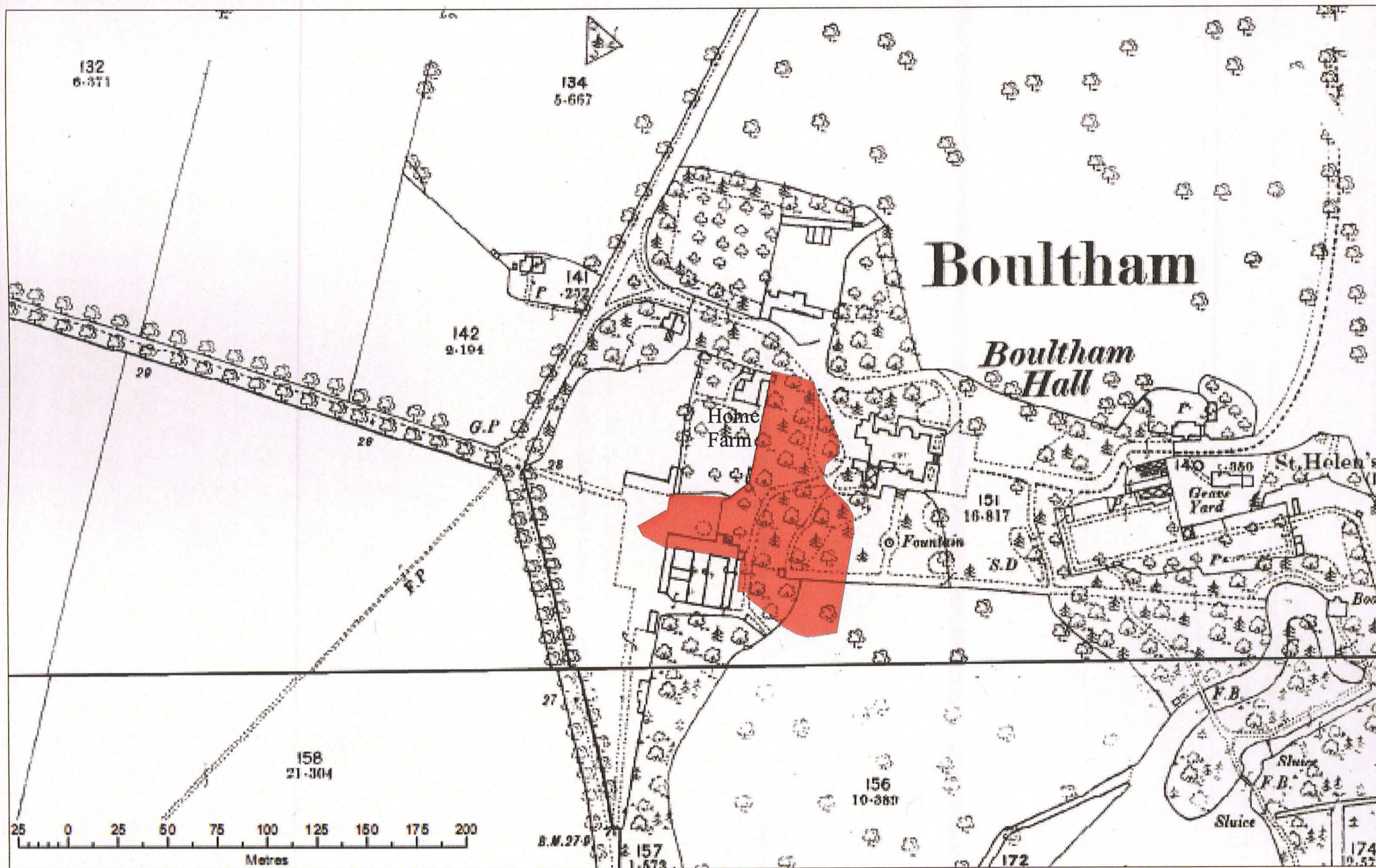


Fig. 4 Part of the 1:2500 1886 OS survey of Lincoln showing Home Farm, the outbuildings and Boutham Hall.

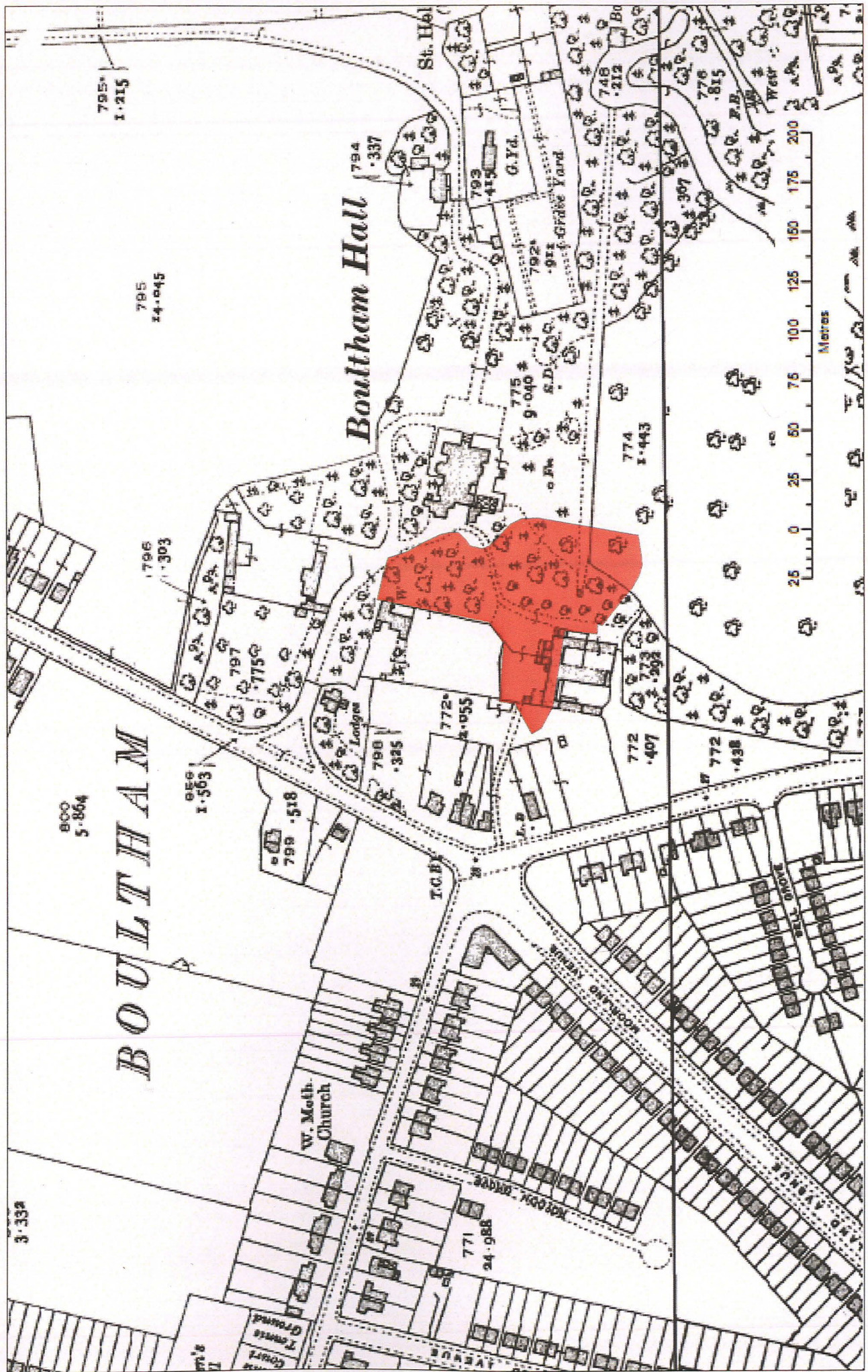


Fig. 5 Part of the 1:2500 1930 OS survey of Lincoln showing the housing development along Rookery Lane.

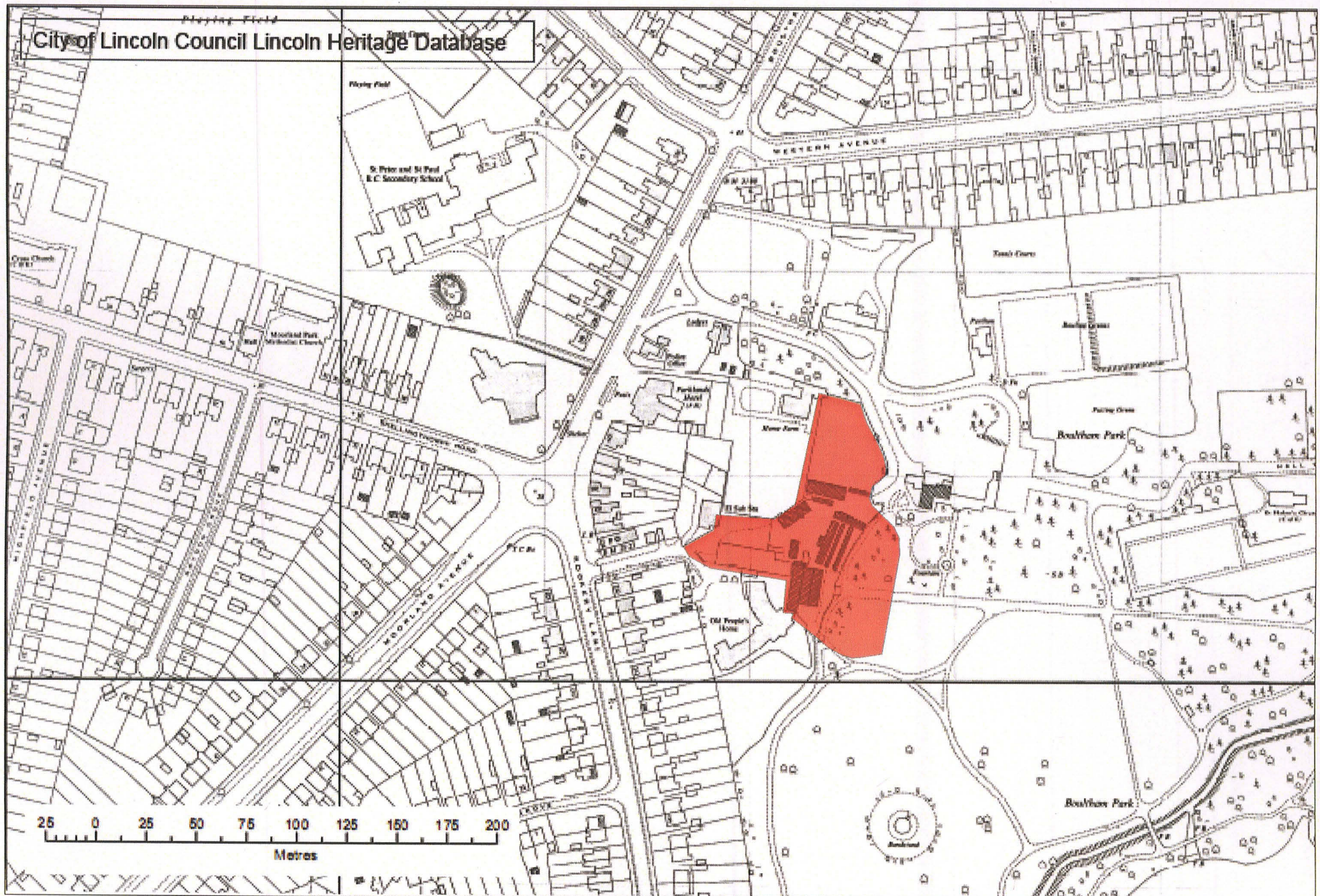


Fig. 6 Part of the 1:1250 1966 OS survey of Lincoln showing the residential care home to the south of the farm buildings (partially removed), and greenhouses on the development site. Note the new park and the new buildings on the site of the Hall.

THE PLATES



Pl. 1 Aerial photograph taken in 1957 showing extent of development site.
(BKS Air Survey Ltd Photo no 511830)



Pl. 2 Entrance to the site and west elevation of farm building



Pl. 3 Rear of farm building, looking north-east



Pl. 4 General view looking west showing farm building and entrance to site



Pl. 5 Farm building and lean-to extension, looking south-east



Pl. 6 General view looking north-west with Home Farm in background



Pl. 7 Concrete bases looking north, with brambles to the rear. Scale 1m



Pl. 8 Panoramic view of the southern half of the site



Pl. 9 East elevation of farm building and lean-to extension



Pl. 10 Test Pit 1. Foundations of farm building. Scale 0.50m



Pl. 11 Test Pit 2. Scale 1m



Pl. 12 Test Pit 3. Scale 1m



Pl. 13 Test Pit 4.



Pl. 14 Test Pit 5. Scale 1m



Pl. 15 Test Pit 6. Scale 1m