

EA 8765

SL 12142

PRN 55553

CL 13454

J&J Hadwick

Building Contractors

M7/16

Ashleigh, Hobhole Bank, Old Leake, Boston, Lincs. PE22 9RX

Tel: 01205 750901 Fax: 01205 751403
Mobile: 07810 887 444 / 07810 887 445

W LINDSEY DC
mob/P11018
19 NOV 2007
RECEIVED

Historic Building Photographic Record for Property at 30 Oxford Street, Market Rasen, Lincolnshire.

Lincolnshire
County Council
22 NOV 2007
Planning &
Conservation

This record has been produced in accordance with Planning Condition No 2 of Approval
Notice referenced M06/P/1018 dated 10th January 2007

Photographs were taken during July of 2007, prior to commencement of the works to convert
the existing warehouse and retail unit into 11 No self-contained apartments.

Postbook Ref:	258-394
Officer Dealing:	Karen
Date Reply Required:	—
Delivered Via:	
Collection No.:	

Elevation and Street Scene Photographs



Adjoining Properties on Oxford Street



Street Scene Looking North on Oxford Street



Front Elevation of Two Storey section.
Former 'Farmers' retail unit.



Front Elevation of Three Storey section.



Street Scene Looking South on Oxford Street.

Internal Photographs Showing Existing Structure



Photograph Number 1
Ground floor of retail unit showing steel support to existing floor joists
Steelwork stamped Caledonian Steelwork Company
Brickwork pillars hide further steel stanchions



Photograph Number 2
Joint in steel beams at stanchions
Note joints in timber above line of steelwork. The staining on the timber suggests that the original support structure was not on the same line.
Also note slight difference in depth of steel and the inconsistency of jointing, which could suggest that these beams were replacing originally installed timber beams. Note also that the

steel beam in the background does not sit directly onto the padstone, which does suggest that the beams are later replacements.



Photograph Number 3
Openings formed in existing structure during previous occupancies
Note use of concrete lintels and that windows do not accord with brick coursing
Steel beams and stanchions with brick cladding.



Photograph Number 4
Ground floor of 3 storey warehouse with steelwork and timber floor joists exposed



Photograph Number 5
Timber stanchion at ground floor
To be retained within new development.
Stanchion appears to be original structure.



Photograph Number 6
As above.
Note amendments to floor joists and the addition of steelwork to provide opening for roller shutter during former occupancies.



Photograph Number 7

Shows original arched brick openings and bull-nosed bricks
Left Hand opening to be retained in development, Right hand opening to be infilled.



Photograph Number 8

First Floor showing the bottom chord of the timber truss which provides the second floor storage area. The oak support posts and floor spreaders appear to be later additions to the structure. These will be replaced with steel stanchions in the same positions as the structural engineers cannot prove their ability to support the existing and proposed loadings.



Photograph Number 9
Shows the connection between the oak stanchions to the bottom chord of the truss.
Also shows the steel strapping connecting bottom chord to the truss posts.



Photograph Number 10

Shows existing openings along rear elevation, which are to be retained in this development.



Photograph Number 11

Shows timber trusses and purlins that form the roof structure to the two storey section.
Note the bull-nosed brickwork pillars on the end bearing of the trusses.
The trusses are to be retained in this development and left semi-exposed in kitchen/living areas.



Photograph Number 12
Showing the high level window
New Aluminium windows to be installed in all openings and window to be retained in this development. Window will provide light to living/kitchen areas.



Photograph Number 13
Shows existing truss and rafters to second floor.



Photograph Number 14
Shows trusses at second floor and the exiting dormer and stair well.
Trusses to be retained and dormer modified in height only to provide additional headroom.



Photograph Number 15
Shows junction between truss and purlins at second floor level.

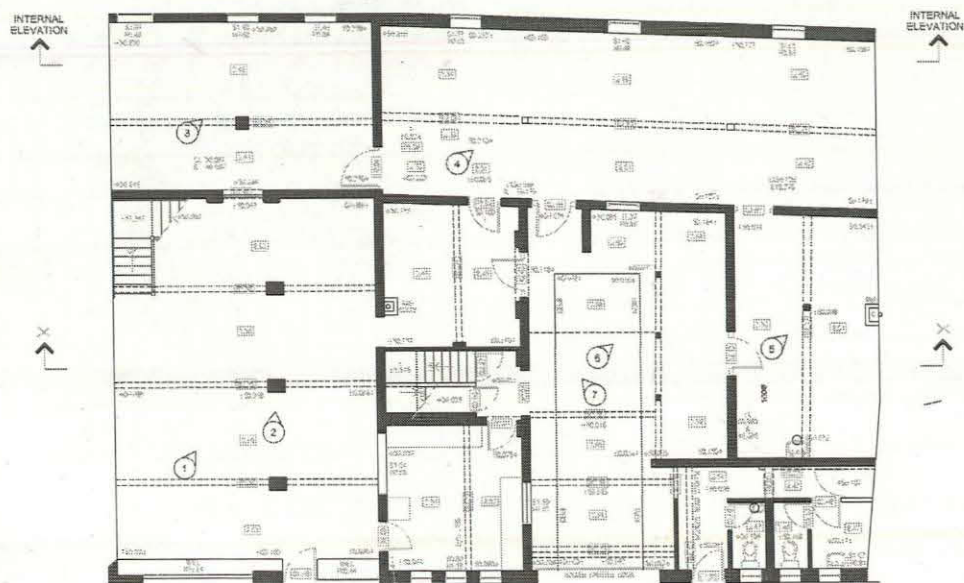


Photograph Number 16
Shows existing openings on rear elevation.
Window openings to be reformed to existing sill level in this development.

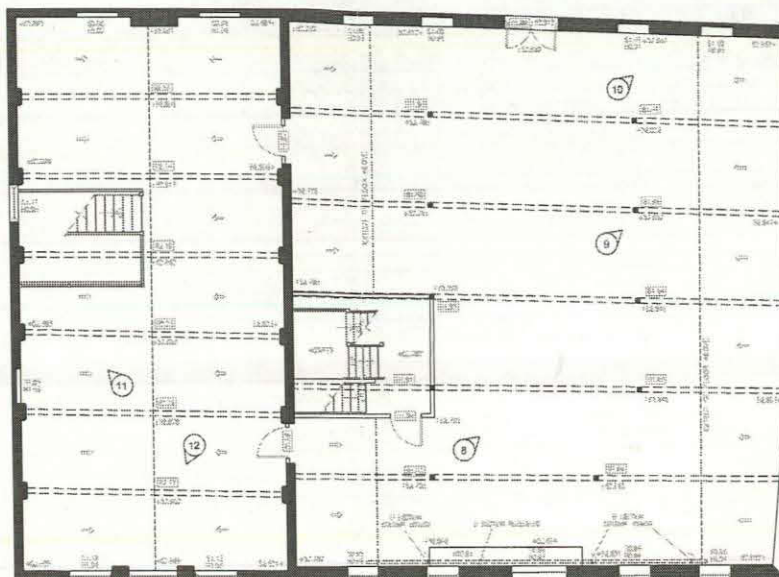


Photograph Number 17
Shows existing dormer above stair well.

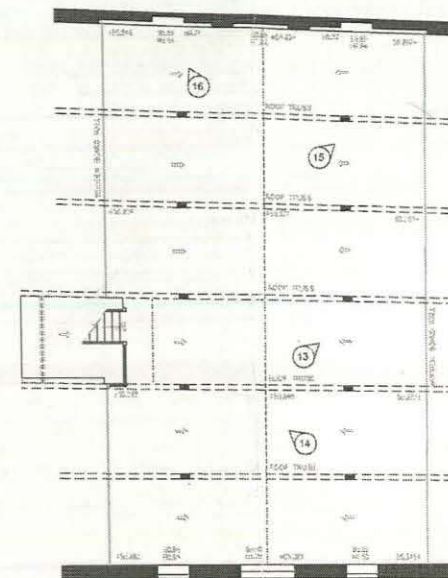
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR



Legend:

- Bank Top/Bottom
- Boundary
- Conopy Line
- Trunk Line
- Hedge
- Wall
- Fence
- Foul Water Sewer
- Surface Water Sewer
- Kerb / Drop Kerb / Kerb
- Building / Building Overhang
- Changes to Surface Finish
- Well Defined/Poorly Defined/Undefined eg. Conc Edge/Tarmac Edge/Track Edge
- Overhead Electric / Telephone Cable

Symbols:

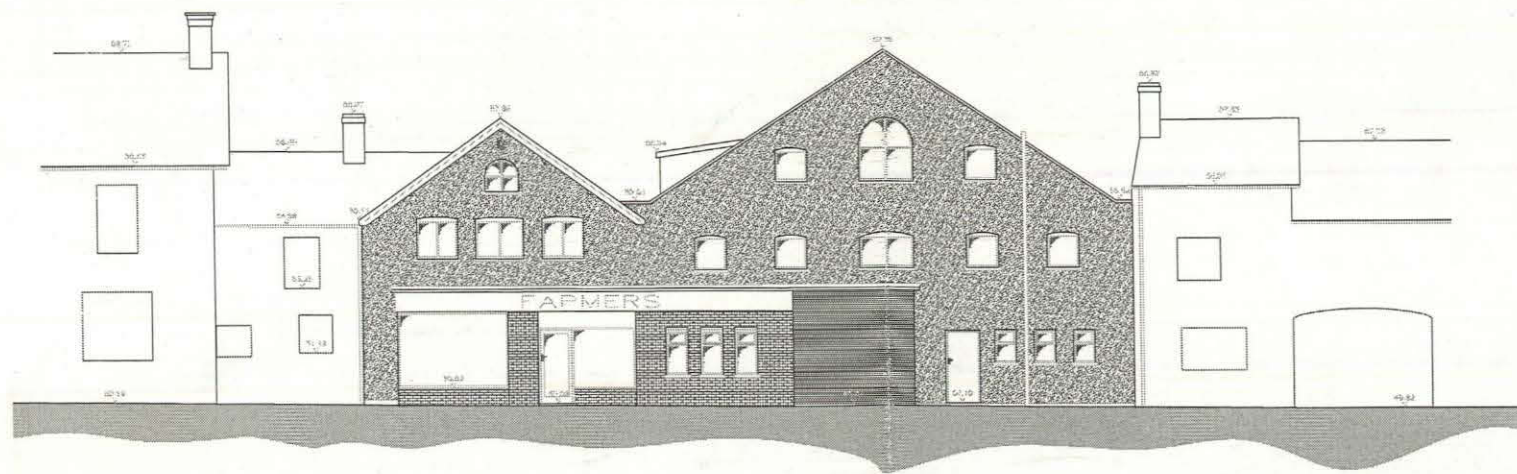
- Borehole
- Tree (Deciduous)
- Bush
- Tree (Coniferous)
- Survey Station

Abbreviations:

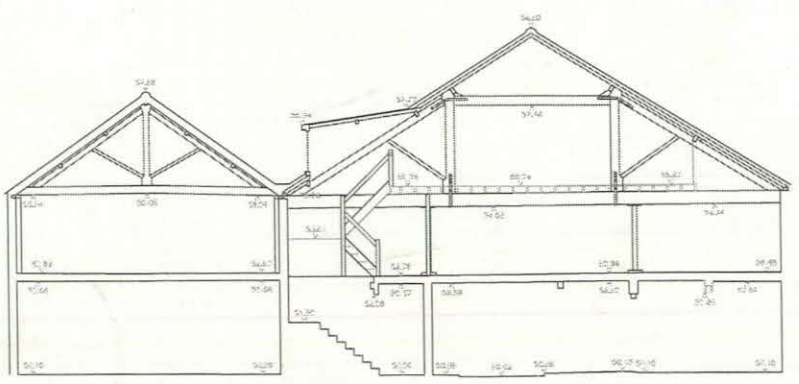
- TC Telecom Cover
- EL Electric Cover
- FP Fire Hydrant
- G Gully
- LP Lamp Post
- RE Rodding Eye
- SV Stop Valve
- WM Water Meter
- BO Bollard
- EP Electric Post
- FP Flag Pole
- IC Inspection Cover
- MH Manhole
- RWP Rain Water Pipe
- TL Traffic Light
- CL Cover Level
- ER Earth Point
- GA Gas Cover
- I Invert Level
- MB Manhole
- RW Rain Water
- RS Road Sign
- TP Telephone Pole
- FTL Floor Lvl
- GP Gate Post
- KO K's Offset
- PO Post
- SP Sign Post
- VP Vent Pipe
- WO Wash Out

- Notes:**
- Survey undertaken June 2006.
 - Survey plotted to assumed local metric grid.
 - All levels related to assumed datum, station A, value 50.000m.
 - All manhole / chamber pipe sizes and inverts are estimations made from surface level only. Pipe inverts shown are outgoing pipe unless otherwise stated.
 - Whilst every effort has been made to locate all visible features it should be noted that at the time of survey some items may have been obscured and therefore not located.
 - Physical boundary features shown on this survey do not necessarily represent the legal boundaries.

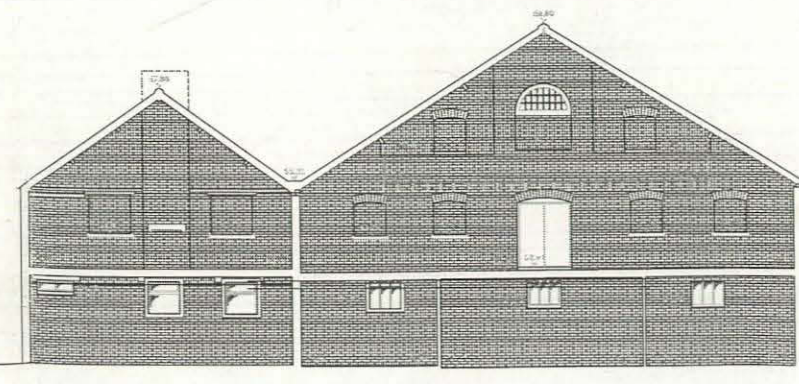
OXFORD STREET



ELEVATION A



SECTION X-X



INTERNAL ELEVATION
(NO EXTERNAL ACCESS TO REAR ELEVATION)

Level Legend:

- +11.020 Finished Floor Level (incl. carpet etc.)
- 2.22 Finished Floor Level to finished ceiling height
- 12.22 Finished Floor Level to beam soffit height
- 12.55 F Floor Level to approx door structural opening
- 12.85 Finished Floor Level to wall height
- 12.55 Finished Floor Level to roof truss soffit height
- 51.02 Finished floor Level to window sill height
- 41.90 Window sill to window head height

Other Symbols:

- Ceiling Slope. Arrow denotes direction of rise
- Overhead beam detail
- Overhead ceiling detail

GRAPHIC SCALE 1:100

0m 2m 4m 6m 8m

Rev.	Description	Date

Title:

MEASURED BUILDING SURVEY
36 OXFORD STREET
MARKET RASEN

Client: Richard Burt Design	
Approved:	Drawn: S.Garton
Date: 22.04.06	Scale: 1:100
Digital file: Survey.dwg	Original Size: A1
Drawing No.: 629/001	Rev:

SHIRE SURVEYS

Westfield Cottages, 7 Crowle Bank Road
Althorpe, Scunthorpe, North Lincs, DN17 3HZ
Tel: 01724 783078 Fax: 01724 783224
Email: shiresurveys@btccall.co.uk

SHIRE

Building Recording	
Name of building & Address	30 Oxford Street Market Rasen
Parish	Market Rasen
Grid Reference	TF 1883 8896
Age (period)	victorian? (shown on 1905 OS)
Style	
Date and source	
Architect or known history	-
Building type	
Storeys	3
Main walling material	brick
Other walling material(s)	.
Roofing materials	pan tile
Other distinctive materials	
Phases (i.e. how many major phases of building since the building was first erected)	
Layout: detached/semi/terrace	terrace
Interior layout (classic plan/multiphase)	
Photographs exterior elevations exterior features interior features	
Plan(s)	
Landscape context	
Associated buildings	
Current use	delict
Condition	undertaking renovation
Recorded by	J + J Hadwick
Date of record	July 2007