

M8/13

Historic Building Report

Proposed conversion of granary to provide living accommodation and extension to dwelling.

Site Location :-

South View Farm
South View Lane
South Cockerington
Louth
Lincolnshire
LN11 7ED

Grid Ref :-

537910, 388880

Planning Application No :-

N / 158 / 03351 / 07

Report Compiled By :-

Tom Cannon BSc(Hons)
For and on behalf of CDC Architecture Limited

Date :-

20th October 2008.

1 Introduction

During June 2007 the current owners of South View Farm, Mr & Mrs Miller, commissioned Tom Cannon of CDC Architecture Limited to carry out design work to convert the detached Granary building at South View Farm into extended domestic accommodation for the adjacent Farm House. As well as re-planning the interior of the Granary, the design includes the construction of a new single storey 'link' that will connect the Granary to the Farmhouse.

A Planning Permission application was submitted to East Lindsey District Council in January 2008. Full Planning Permission was granted 10th March 2008. One of the conditions of the Planning Permission states that a Historic Building Record should be submitted to the Local Planning Authority and approved in writing before any building work commences.

2 Building Background

Age of the Building

By inspection of historic map records, we have been able to establish that the granary building at South View Farm was constructed between the years of 1889 and 1907. Furthermore, Mr & Mrs Miller have provided a photograph of the South elevation of South View Farm Farmhouse (see Appendix A). This was taken around 1900 but the granary does not appear. We therefore conclude that the granary was built between 1900 and 1907.

Style of the Building

A brick-built 2-storey barn of rectangular plan form, with apex roof. Very typical of farm buildings of this era to be found throughout Lincolnshire and the East Midlands, the granary is robust, functional, and unembellished.

Known History of the Building

The granary is subordinate and sited directly adjacent and to the South East of South View Farm House, known to be circa 250 years old. Our investigations have consulted various on-line / internet sources as well as the Lincolnshire Archive, and these have shed no light on the early history of the granary. However it is known that from the 1950's the farm was owned by the well known Lincolnshire farming family / company J.W. Needham Ltd. Our clients, Mr & Mrs Miller, became owners of the property in December 1996.

Architect

If this building had an architect, their identity is unknown.

Proposed future of the building

To provide extended living accommodation to the domestic dwelling that is South View Farm House.

3 Landscape Context

The granary is situated directly adjacent and to the South East of South View Farmhouse. The formal gardens of South View Farmhouse, situated between the farmhouse and South View Lane, boundary the granary directly to the West. To the East of the granary is a concrete driveway giving access to the side of the farmhouse. The South (gable) end of the granary is separated from the road side by a raised planted area bound by a low brick wall.

4 Construction

Building type

2 storey brick built barn with apex roof. Building built as barn, and remains intact as this although with a number of domestic adaptations (see Section 5 – 'Phasing'). Originally the building would have had open 'Cartshed' bays on its East facing side for storage of farm vehicles, machinery, and equipment. The first floor would have been used for storage of grain.

Layout

The building follows a simple rectangular plan form, orientated on a North-South axis, measuring 15.200 metres long by 6.485 metres wide. The ground floor is subdivided into 3 distinct areas – the staircase against the north gable, the garage, and the games room. The first floor is left as one large open space. It should be noted that the ground floor layout has been altered in fairly recent years (see Section 5 – 'Phasing').

Building materials

The dominant building material is red clay brickwork – the external walls are entirely of this material. The bricks would have been locally produced and are quite massive by modern standards measuring approximately 230mm long and coursing at approximately 90mm. These are laid stretcher bond with every fourth course being headers. The brickwork is bedded in a pale almost white lime mortar, the joints being typically 5-6mm wide. The walls themselves are typically 330mm (13") thick for the lower storey, and 225mm (9") thick above the level of the first floor structure. Brickwork is generally unembellished, with simple brickwork arches provided over openings. The eaves are devoid of traditional dog-tooth or corbelling, with a simple single raking brick corbel provided at the gable verges to provide support for the overhanging roof slates.

The roof is clad in Welsh slate, being based around a simple raised collar truss timber structure. It should be noted that there is no sign of a more traditional king post truss type roof structure that may be considered as more typical of barns of this type and age.

Windows and doors are all original, or restored/repaired versions of the original items, being generally of painted softwood. Ground floor openings consist of a single 3 foot wide door at the North end of the East and West Elevations, and a small window to the North elevation. The East facing door gives access to the staircase and first floor, and has an attractive semicircular brickwork arch, 'bullnosed' brickwork to the jambs, and a substantial arched door frame with a semicircular glazed fanlight. The West door opening is less notable, with a simple brick arch above it. The East elevation now features a metal domestic type garage door, while the West elevation has had a pair of French doors added giving access to the garden. (see Section 5 – 'Phasing').

The windows to the first floor, first and foremost, are to provide ventilation and air movement – an important requirement for when the building functioned as a granary. These are tall rectangular windows, with only the top most section glazed, the remainder being a top-hung timber shutter to allow variable amounts of ventilation. The first floor also has a wide single leaf loading door ('stable' type, with top and bottom sections hinged separately) on the East Elevation. It should also be noted that there were 2 first floor windows on the south elevation but these have at some point been neatly bricked up.

It appears that in recent times the rainwater goods have been replaced, with black uPVC half round gutters now evident supported on modern galvanised 'rise-and-fall' brackets.

Other distinctive features

The first floor is accessed by a straight flight of solid stone stairs. These appear solid and unembellished, with the tooling marks being visible. A simple solid timber handrail is provided to one side, fixed directly to the brickwork. This is continued at the first floor 'landing' area to provide a simple ballustered guardrail.

5 Phasing and alterations.

We have no evidence to suggest that the building was built in stages or phases. It is certain that the original granary was built as one complete building over a short period of time, rather than as a collection of structures linked together over a longer period.

However, we do know that internal and structural alterations have been carried out. In 1987, the then owner J.W. Needham Ltd had planning permission granted to convert the building, previously described as a 'store', into a domestic (private) snooker room (see Appendix B). This work was carried out during 1987, and involved the blocking up of the East facing ground floor 'Cartshed' bays with brickwork, but leaving a single opening that is now used as the garage door (see 'before and after' photos in Appendix C). The West facing French doors, we suspect, were added at this point also. We also assume at this point the internal partition wall of concrete blockwork was added. We also suspect that internal columns (probably of iron) arranged centrally along the ground floor were removed to open up the space for use as a snooker room. Such columns were typical, and essential, to granaries of this type, to help prop the first floor structure, enabling considerable weights of grain to be supported. It should be noted that at this point, as today, the first floor is used as something of an 'attic' to store miscellaneous domestic items.

6 Building Condition

Generally good with no signs of subsidence or serious deterioration. Some minor movement cracking was noted over ground floor door openings. The roof, although substantially intact shows signs of leakage, due to missing or slipped slates in several places. External joinery items, although tatty, appear solid and to not show signs of serious rot or deterioration.

It should however be noted that there appears to be an outward 'lean' at the top of the middle section of the East facing wall. There is a gradual outward 'bow' to the brickwork that is most severe to either side of the first floor loading door. It is possible that this has been caused by gradual settlement caused by the weight of the roof structure, and could be the reason why 'remedial' timber ties have been added at the middle section of the roof.

7 Location.

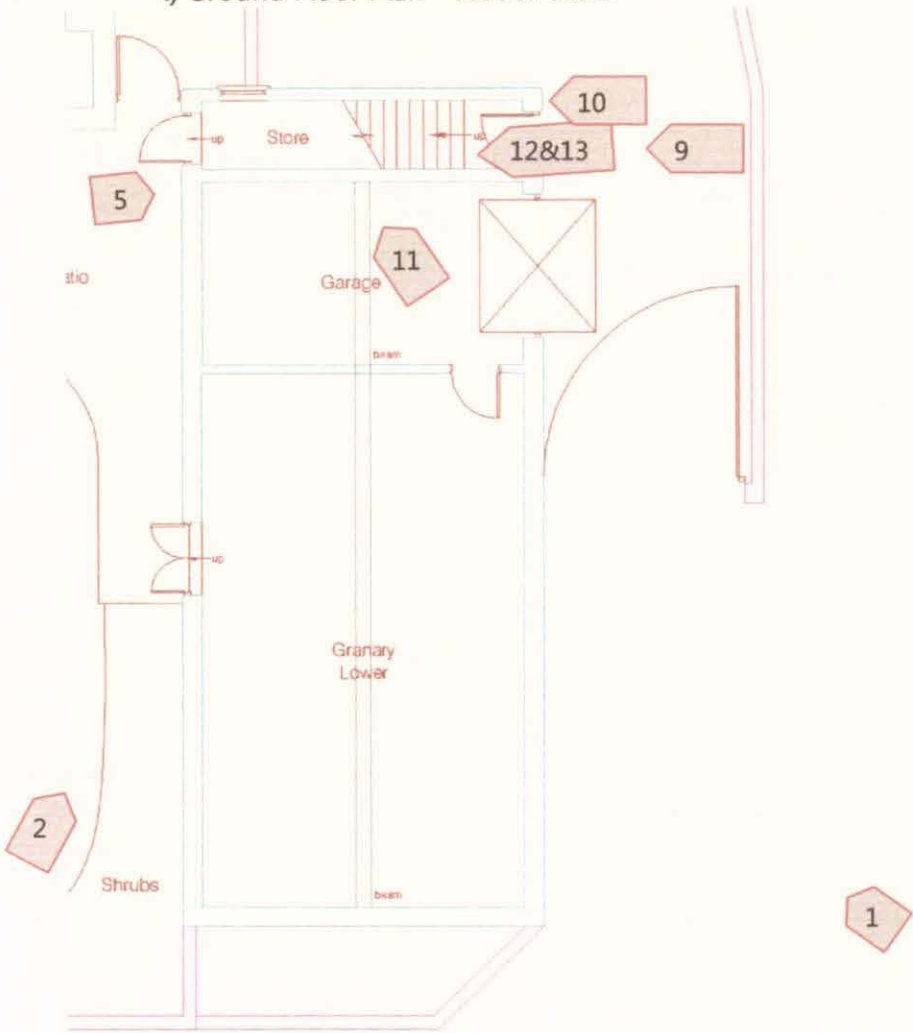
Plan based on Ordnance Survey Data. Not to scale.



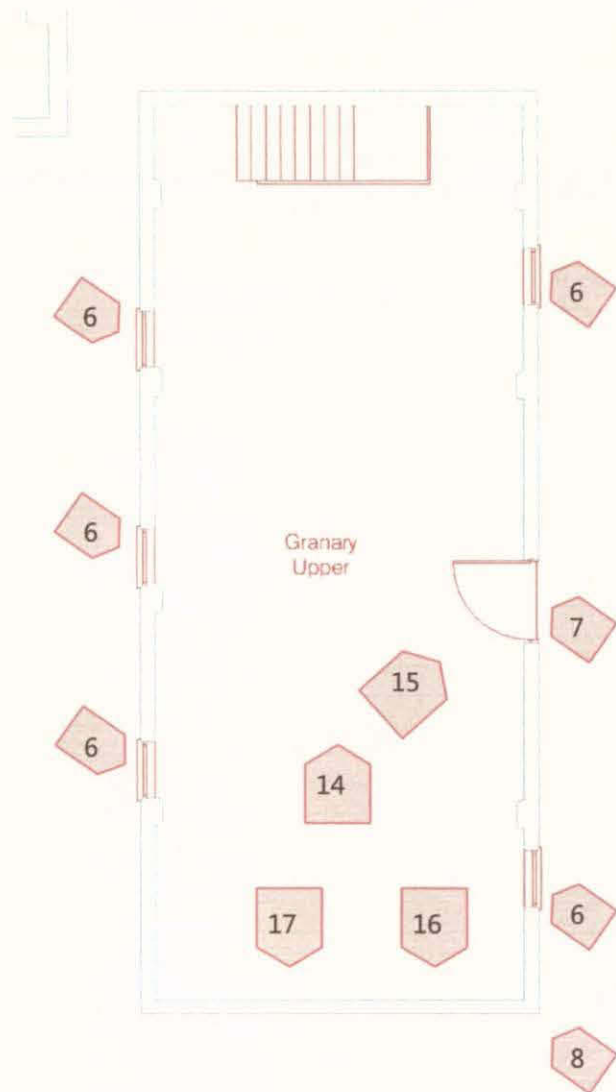
8 Floor Plans

3

i) Ground Floor Plan – Not to scale



ii) First Floor Plan – Not to scale



9 Photographs

i) East elevation as viewed from South View Lane



ii) East elevation as viewed from South View Lane



iii) North elevation



iv) Front (South Elevation) of the farmhouse



v) Detail – brick arch above West facing door



- vi) First floor shuttered ventilation window.



- vii) First floor loading door.



viii) Detail - Eaves and Verge



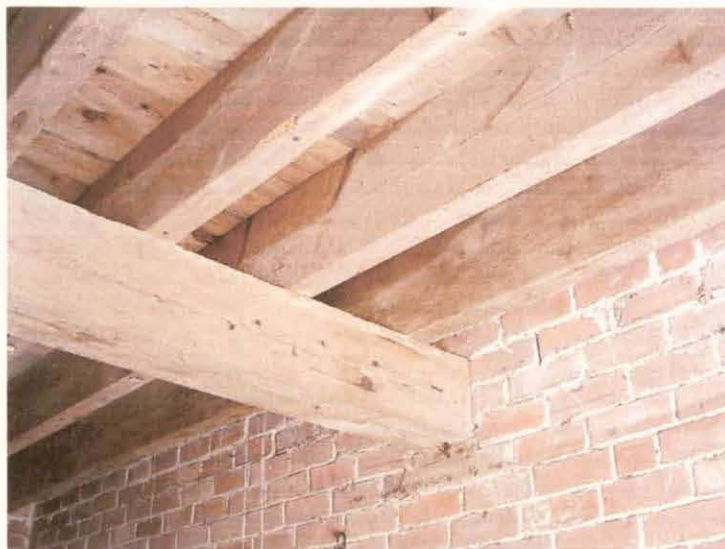
ix) East facing door giving access to granary stairs



- x) Detail – East facing door showing bullnosed bricks and stop-chamfered door frames.



- xi) Floor joists above garage



- xii) Detail – solid stone stairs showing tooling marks



- xiii) Detail – stair handrail



xiv) First Floor interior looking towards North Gable



xv) Loading door viewed from inside.



- xvi) Window (1 of 2) in South gable bricked up, timber internal lintel left in place.



- xvii) Retaining rail for grain boards.



Appendix A.

Copy of Photograph provided by Mr & Mrs Miller, showing South (front) elevation of South View Farm farmhouse. Note that the granary does not appear. Circa 1900.



Appendix B.

Copy of Planning Permission Decision Notice for converting the granary to a private snooker room.

Part I - Particulars of Application

COPY 2

DATE RECEIVED:- 13/5/87	PLANNING PERMISSION	APPLICATION NO:- N158/1009/87
APPLICANT J.W. Needham Ltd., South View Farm, South View Lane, South Cockerington, Louth, Lincs.		PARTICULARS AND LOCATION Planning Permission - Change of use of existing store to private snooker room - SOUTHVIEW FARM SOUTH COCKERINGTON
AGENT/APPLICANT J.W. Needham Ltd., South View Farm, South View Lane, South Cockerington, Louth, Lincs.		
O.S. SHEET 48.12	GRID REF:- 537910 388880	FIELD NO:- 128 pt

Part II - Particulars of Decision

The East Lindsey District Council hereby give notice in pursuance of the provisions of the Town and Country Planning Act 1971 that permission has been granted for the carrying out of the development referred to in Part I hereof in accordance with the application and plans submitted subject to the following conditions:-

1. The development must be begun not later than the expiration of five years beginning with the date of this permission.

Reason: Required to be imposed pursuant to section 41 of the Town and Country Planning Act 1971.

9th July 1987

S.P. Williams

Dated
Tel. Louth 601111

Signed
Director of Development and Planning
EAST LINDSEY DISTRICT COUNCIL, TEDDER HALL, MANBY PARK, LOUTH, Lincs. LN11 8UP

Note: This permission refers only to that required under the Town and Country Planning Acts and does not include any other conditions, restrictions or obligations.

Appendix C.

Photographs of the granary before (above) and during (below) the conversion works, in 1987.

1987

