

Nos. 59-60 Tower Street, Dudley, West Midlands

**Archaeological Desk Based Assessment and Historic Building Survey
Residential Conversion**



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1.0 INTRODUCTION

SLR Consulting was commissioned by Temeside Properties Ltd. (Neen Sollars House, Cleobury Mortimer, Kidderminster) to undertake a desk-based assessment and standing building recording at Nos. 59-60 Tower Street Dudley (Contact: C.R.H. Houston). The brief for this work was prepared by Dudley MBC Historic Environment Section and issued in November 2006.

59/60 Tower Street, Dudley has been designated a Grade II Listed Building and is located within Dudley Town Centre Conservation Area. It is recorded on Dudley MBC's SMR as HBSMR 1023 and is within the medieval and post-medieval form of the town.

This report forms part of a planning application for the conversion of the properties to residential use, with a new build extension to the rear. Due to its historic and architectural importance and its setting within the medieval and post-medieval core of the town, in accordance with PPG 15, the LPA have requested that a building recording strategy be implemented which includes detailed photographic and drawn records as well as an audit of all visible historic fixtures and fittings. The specific aims of the present study were to provide sufficient information for the planning authority to understand the archaeological potential of the site, and to identify significant historic, architectural features that will need to be retained or recorded as part of the conservation scheme.

2.0 ACKNOWLEDGEMENTS

SLR Consulting would like to thank John Hemingway and Jayne Pilkington of the Historic Environment Team at Dudley Metropolitan Borough Council for assistance with supplying historic data for this report. SLR Consulting would also like to thank the Public Records Office at Coseley for the supply of additional historic and archaeological material.

3.0 METHODOLOGY

3.1 Desk-based Assessment

The desk-based assessment included all readily available cartographic, pictorial, photographic, archaeological and secondary documentary sources and complied with standards and guidance described in the Institute of Field Archaeologists document *Standard and Guidance for Archaeological Desk-based Assessments* (1999). The aim of this study is to provide an historical framework for the building assessment.

Sources consulted included:

- Sites and Monuments Record, Dudley MBC Historic Environment Section;
- Dudley Local Studies Library
- Public Records Office, Coseley, Dudley

The desktop study included the following elements:

- A visual inspection of the site
- Technical plans of the site
- Geological Maps
- Historic plans and maps of the site and its immediate environs
- Historical documents
- Appropriate archaeological and historical journals, reports and books
- Trade and Business Directories

3.2 Building Assessment

The monitoring authority – Dudley MBC Historic Environment Team – has requested that a building assessment in the form of a Level 3 survey of the building stock be undertaken (English Heritage 2006). This phase of work includes a photographic record of the building stock and an audit of all [visible] fixtures and fittings.

A written element provides an analysis of the building's plan, form, fabric, age and development.

The level of recording assessed the form, function, age, setting and development sequence of the buildings. All building elements, building sections, fixtures and fittings and the setting were photographed using wet film and digital photography.

4.0 DESIGNATIONS AND POLICY

Much information concerning the status of the area has been collated and is included within the *Conservation Area Character Appraisal* for Dudley Town Centre [CACA] (2004). This document sets out the archaeological and historical character of Dudley, tracing its development over the past 1,500 years. This document also re-evaluated the boundaries of the *Castle Hill Conservation Area* and *Priory Street Conservation Area* (designated in February 1975). It was clear from the re-evaluation that the former conservation areas required extensive reconsideration. Tower Street was included within the *Priory Street Conservation Area*; both Tower Street and the *Priory Street Conservation Area* are now incorporated into the *Dudley Town Centre Conservation Area*.

The southern extent of Tower Street marks the northern limit of the medieval town. Prior to the recent re-evaluation, the historic aspects of Dudley town centre were appraised within the *Dudley Unitary Development Plan* (UDP), adopted in 1993. A hybrid from this document was the *Area of Special Townscape Value* (ASTV) which incorporated both the medieval and post-medieval cores of the town, extending north to St James's Road and The Broadway. This document was not only concerned with the historic value of the designated area but also included its administrative, commercial, cultural, financial and retail attributes. Further revision of the UDP included in February 2003 the publication of *The Dudley Borough Landscape and Townscape Character Study*. This document assessed and presented an overview of all historic data across the borough, establishing eight broad character areas. Here, Dudley town centre was defined as a *principal settlement of medieval origin* (CACA 2004, 5). As a result of this study, the area within which Tower Street is located has been period-assessed.

It is clear from this recent policy documentation that the archaeological and historic value of Dudley Town Centre is consistent with the social and economic prosperity of the town and this has ebb and flowed over the past 1,000 years or so.

5.0 GEOLOGY

The underlying geology in and around Tower Street comprises the Wenlock Limestone series dating to the Silurian period. This rock type also forms nearby Castle Hill to the north. Surrounding and underlying the limestone are a series of [Westphalian] coal formations that date to the Carboniferous period. Also present are a series of ironstone strata. Overlying the limestone series in places are remnants of sandstone outcropping. Deposited over the limestone and forming the quaternary geology area a series of fine clays (referred to as fireclays). According to the soil survey of England & Wales (1983), this area could not be assessed due to the depth of deep urban deposits. However, the surrounding regolith is described as a 551a BRIDGENORTH. This soil comprises well drained sandy and coarse

loamy soils overlying soft sandstone. This soil would have probably extended across this part of Dudley town.

The topography of the immediate area comprises an undulating landscape. The limestone outcrop that forms Castle Hill rises to approximately 230m AOD and forms part of a 200m ridge that runs between Wolverhampton in the north to Rowley Regis in the south. Another outcrop - Wrens nest – lies 0.50km to the NW. Tower Hill and the rest of the medieval form of the town are located on the 200m contour, SW of Castle Hill. The land rises slightly to 210m AOD at the southern end of Tower Street.

6.0 DEVELOPMENT OF TOWER STREET AND THE IMMEDIATE AREA

6.1 Later Prehistoric Era (4,000 BC – 55 BC)

The later prehistory of the West Midlands, in particular around Birmingham has been summarised by Beateux (2004) and Hodder (2005). Within the Borough are fragmentary traces of prehistoric remains that date to the Mesolithic period. According to Hodder (2005) the West Midlands (including Dudley) were also frequented by Neolithic, Bronze Age and Iron Age communities. Based on information supplied by the Historic Environment Record, there are a number of lithic scatters and several metal finds that date to this era. Furthermore, it has been suggested by the RCHM that an Iron Age hill enclosure may have once occupied the Castle Hill site. Concerning Tower Street, there is no evidence of finds or structures that date to these periods.

6.2 Roman Period (55 BC-AD 415)

Based on information supplied by the Historic Environment Record there is no evidence of Roman activity in or around the vicinity of Tower Street.

6.3 Anglo-Saxon Period (415-1066)

Based on place-name evidence, Dudley has at least one element that can be considered as being of Anglo-Saxon origin. The *ley* element refers to Old English *leah* meaning wood clearing. At this time most of the West Midlands was covered by broad-leaf woodland which was partly incorporated into the northern areas of the sub-Kingdom of the *Hwicce*. The first element *Dud* may refer to a personal name *Dudda*; hence *Dudda's leah*; the clearing belonging to *Dudda*. Later derivations of Dudley also include *Duddleye* (1275), *Doddeleye* (1279) and *Duddelegh* (1360) (Mawer & Stenton 1929). Further place-name evidence is recorded from the dedication of the Church to St Edmund, the East Anglican martyr king, who was executed by the Danes in AD 870.

6.4 Medieval Period (1066-1500)

Dudley Castle lies immediately east of Tower Street and is considered to be one of the earliest buildings within the Borough (Hemingway 2006). Tower Street is located within the ward of St James which includes the central and northern sections of the town.

The development and demise of the castle is also reflected in the varying degrees of prosperity of the town. A defended enclosure is believed to date from the early to middle Anglo-Saxon period (c. 8th century). This date is based on charcoal and a brooch that were found during excavations at the castle in the 1980s (*ibid.*). The castle is also mentioned in the Domesday Book of 1086. At this time the castle, of classic motte and bailey design was held by William Fitz Ansculf, Baron of Dudley (and installed there by William I). However, the Domesday reference suggests that a Saxon by the name of Earl Edwin held the nearby manor. Edwin was at this time one of Saxon England's most prominent people; a *de facto*

ruler of Mercia. At the time the Domesday account was made, Dudley had a relatively small population and the settlement probably comprised a single street or thoroughfare (possible present day Market Place and High Street). Similar early medieval town plans are repeated elsewhere within the West Midlands (see Nash & Redwood 2006).

The early medieval plan of the settlement, and similar to other settlements with strategically important castles, begins to expand rapidly from the 12th century onwards (see Malim & Nash, *forthcoming*). By the 1180s the Lord of the Manor – Gervase Paganel – had granted rights for two churches to be erected, one at either end of the main street of the settlement (between Castle Street and High Street). It was between these two churches that the present medieval form of the town developed. A series of burgage plots were laid either side of Market Place and High Street and associated with these plots were a number of back lanes (and passages and thoroughfares between the Market Street/High Street and the back lanes). One of these back lanes, located north-west of Market Place was Tower Street (formally Pease Lane). According to Hemmingway (2006), to the north of Tower Street was open ground and lands belonging to the manor.

Remnants of the burgage plot arrangement (along with the medieval town form), that once ran between Market Place and, in particular High Street is currently in place. However, as the town's population began to rise and the demand for building plots increased, the plots that backed onto Tower Street were shortened and buildings were constructed. The area of the former burgage plots were, after c. 1700 reduced by around 50%.

Due to the lack of documentary evidence for the early medieval period, little is known of the early development of the town. However, over the past twenty years there have been a small number of archaeological investigations, undertaken immediately outside the 12th century town core, especially either side of Stafford Street (see SMR 7048, 12097 & 12273) and within plots north and south-west of Tower Street (e.g. 829, 1013, 1014, 1016, 7103 & 7631). Much of this archaeology has been undertaken in advance of residential development (CACA 2004, 19). Despite the lack of archaeological deposits, features, finds and structures that date to the original 12th century layout of the town, 13th and 14th century remains were in abundance. From limited excavation within this area archaeologists have been able to surmise that during the 14th century some buildings within the vicinity of Tower Street were abandoned, demolished or fell into decay. Overlying the urban stratigraphy was a fine loamy cultivation soil that extended across a wide area (*ibid.* 20). This deposit may be associated with garden, orchard and pasture activity and possibly indicates economic decline and/or the ravages of the Black Death which spread across many Midland towns after AD 1346. It is more than probable that the buildings that stood within the vicinity of Tower Street were timber-framed and based on the Conservation Area Character Appraisal document (2004, 21), remnants of this early medieval timber-framed tradition can still exist elsewhere within the borough.

6.5 Post-medieval Period (1500-1850)

The post-medieval development of the town occurs from the 16th century onwards and is based on industrialisation coupled with a rise in population. These two factors had overwhelming effects of the town, especially the area north of Market Place (including Tower Street). Based on a limited number of archaeological projects undertaken within or immediately north and west of Tower Street the development appears to be mainly residential. However, evidence of metalworking was uncovered in sites within nearby New Street, Priory Street and Stone Street. Further small-scale industrial evidence was uncovered at 19-21 Stone Street in 2002 when a hearth area was excavated (SMR 1014). This 16th century hearth probably represented a furnace base and was used for smithying. There is further evidence at this time that the area around Tower Street was becoming an industrial suburb, specialising in the manufacture of nails. Associated with this development

was the expansion of the inner plot areas (between Tower Street and Market Place/High Street). At this time, small dwellings and workshops were accessed via narrow alleys that opened out into 'court' areas. Several of these buildings within neighbouring New Street have been excavated to reveal both domestic and industrial activity (e.g. SMR 7631). The focus of the industrial activity was metalwork.

Evidence for the survival building fabric from post-medieval and the medieval periods in Tower Street is as yet unsubstantiated. However, one cannot dismiss the possibility that it does not survive. The façades along the southern side of Tower Street clearly delineate the boundaries of earlier plots and it is more than probable that remains of medieval and post-medieval buildings survive in form of [stone and early brick] cellarage, foundations and roofing [timbers]. Suggesting this though, one needs to consider the impact of the English Civil War (1642-46). At this time much of the building stock within Castle Street was destroyed by the incumbent Royalist forces. One can only assume that the close proximity of the NE part of Tower Street suffered a similar fate. It is considered that this act of extreme vandalism was the result of a scorched-earth policy. The Royalist forces constructed a defensive ditch that ran between St Edmund's Church and Dudley Priory. It is more than probable though that the clearance of buildings within Castle Street was to establish a clear sight for the Royalist canon.¹

Following the end of the English Civil War and a return to social and economic stability, much of the town was rebuilt. However, this construction programme acknowledged the medieval town form. The Civil War ditch was backfilled and buildings were constructed over it (CACA 2004, 27). Much of the reconstruction used stone rather timber, and quarries were opened on Castle Hill and Wrens Nest. The castle was also used as a quarry and stone was robbed in order to construct buildings within the town (e.g. in buildings in New Street). Limestone foundations have also been uncovered in Tower Street, during road surfacing near the Courthouse public house (on the corner of Tower Street and New Street).

From the 18th century onwards, the preferred building material was brick rather than stone and much of the building stock within Tower Street dates from this period, including Nos 59/60.² These buildings, along with other double fronted [bay] properties were in the ownership of Dudley's *nouveau riche*. This elite based its wealth on the new industries that had come to Dudley, such as glass making, anvil and vice manufacture, nail making, basalt quarrying and limestone working and much of the smaller workshop industries such as nail making continued within the courts and yards within the vicinity of Tower Street during the 19th and 20th centuries.

The present building stock of Tower Street is varied with a mix of both late 18th, 19th and 20th buildings occupying both sides of the street. The façades of Nos. 59/60 Tower Street are clearly late 18th or early 19th century in date, whilst Nos. 61/62 Tower Street dates to the late 19th century. It is more than probable that earlier elements exist within fabric of these buildings. Further early- and mid-19th century buildings occupy the southern side of the street, towards New Street (Plate 1). Opposite these buildings, on the northern side of the street, much of the 18th and 19th century building stock has been replaced with recently constructed two and three storey apartments. To the west of 59-62 Tower Street is the rear façade of Dudley Fountain Arcade, constructed in 1925 (Plate 2). This two story building with its ornate rear Dutch gable, extends to Market Place and is constructed within the lines of several former burgage plots.

¹ A similar tactic was employed by Royalist forces at Ludlow Castle

² One should be cautious in that earlier building activity may survive

The Dudley MBC Monument Record recognises five sites (including 59/60 Tower Street) within the vicinity of Tower Street that is of archaeological and historical value (see Table 1). In 1998, the Birmingham University Field Archaeology Unit (BUFAU) undertook an evaluation at 49 New Street (SMR No. 7153). A section of the trenching encroached on land immediately north of Tower Street. The results of the evaluation established that the ground plan of the town had, by the 13th century become formalised and that Tower Street served as a 'back lane' for burgages fronting Market Place and High Street. Earlier reports found that early post-medieval deposits around the Saracen's Head public house (NGR SO 9439 9039) were encountered at c. 2m below the present ground level. Furthermore, evidence of 16th century metal working was also found (Boland 1990).

Table 1
List of archaeological sites within the vicinity of 59/60 Tower Street.

Site	Grid Ref.	SMR No.	Description
Brooks Brother's Warehouse (59/60 Tower Street)	SO 94464 90363	1023 – MDD191	Late 18 th century red brick three storey warehouse. Grade II Listed Building.
Archaeological evaluation	SO 90725 86691	7153 – MDD1194	Evaluation in New Street but extending to the northern frontage of Tower Street, undertaken by BUFAU in 1996. Excavated medieval and post-medieval surfaces
Nos. 1-3 Tower Street	SO 94452 90400	4923 – MDD761	Early 20 th century two-storey shop and accommodation constructed of red brick.
Watching brief	SO 944 903	12377/12378/12379	Pipe line work along the entire length of Tower Street with spot finds.

The recent historical documentary evidence for 59/60 Tower Street is poor and very little reference to the building's use and occupancy could be made. However, according to the trade directory of 1879-80, Tower Street was occupied by a number trades including a tailor (No. 3), a baker (No. 9), a coach builder (No. 14) and a wines and spirits merchant (No. 64). According to information from the same directory there are very few private dwellings listed. Not surprisingly, some references are made on later maps (see above) and one reference within Kelly's Directory of 1921. This directory entry refers to No. 60 Tower Street as St Agnes' Shelter for Girls. Mrs Waring was honourable secretary whilst a Miss M. Dodsworth was sister-in-charge. It is not clear when this shelter was established or when it closed. However, it is worth noting that the Dudley workhouse was next door at Nos. 61/62 Tower Street and there may have been an organisational connection between both establishments, dating back to the 19th century. Maps dating to post-1945 refer to 59/60 Tower Street (which incidentally had by then become one unit) as 'The Depot'. This unit was probably owned by Brooks Brothers and was then registered as a warehouse (see Table 2). Among the most recent occupants of the property included a dentist, who occupied No. 59 Tower Street. The present occupant is Ferret World who utilised rooms with No. 60 Tower Street.

Over the past 60 years a number of planning applications have been received by the LPA in particular alterations made to the frontage (Table 2). Applications made since 1948 requesting changes to the façade can be considered minor in relation to the structural and aesthetic appearance of the frontage made prior to 1948 that probably included the removal of the two bays and entrance (the scarring for both can be clearly seen). However, the application made in 1983 to alter the appearance of the western ground floor frontage of No. 60 Tower Street, removing a roller shutter system and installing a 19th century style shop window (similar to that on the eastern side of the frontage) appears to have been unsympathetically done (and approved!). Much of the scarring from this work and the

incorporation of new brick was not in keeping with the surrounding late 18th century brickwork that covers the rest of the façade (Plate 3).

Table 2
List of Planning Applications made to the LPA since 1948

Planning Application No.	Description	Date	Decision
DY/48/198	Erection of a store shed	18 th October 1948	Approved
C/C/83/51066	Conversion of unused entrance to offices	5 th September 1983	Approved
C/C/83/51185	Listed Building Consent to alter front elevation of existing building.	5 th September 1983	Approved
C/C/84/50102	Use of first floor office as a hair removal clinic	16 th February 1984	Approved
C/C/91/51279	Listed Building Consent for non - illuminated sign and canopy	12 th September 1991	Refused
C/C/95/51370	Listed Building Consent for the display of a non-illuminated name sign	16 th November 1995	Approved

6.6 Map regression

Tower Street is located north-west of Market Place and High Street and delineates the northern limit of the medieval town form (Map 1).



Map 1. Location Plan (Nos. 59/60 are still referred to a 'Depot')

The map regression included eight maps, the earliest dating to c. 1750-80 as well as the detailed sections of the 1st, 2nd, 3rd and 4th Editions Ordnance Survey sheets. The earliest maps show little detail of the development around Tower Street suggesting that the street plan was already formalised and well-developed. This is partly supported in Roper (1962) who provides a schematic plan of Dudley town during the medieval period. This plan shows Tower Street to run from the base of Castle Hill to the junction between High Street and 'Workspool'. At this time Tower Street was known as Pease Lane. The meaning of 'Pease' is unclear but it probably meant a [archaic] term for peas (or pea's pudding) or rights to graze.

Certainly, during the medieval period the northern parts of Pease Lane were open fields and grazing rights may have been granted to the occupants living in dwellings that fronted Market Place and High Street. The buildings that fronted onto Market Place and High Street would have elongated plots, known as burgages or burgage plots to the rear. These plots developed from the 13th century onwards and would have been utilised for the manufacture of goods and were usually rented out by the Lord of the Manor. As the population grew, plots were split into smaller units

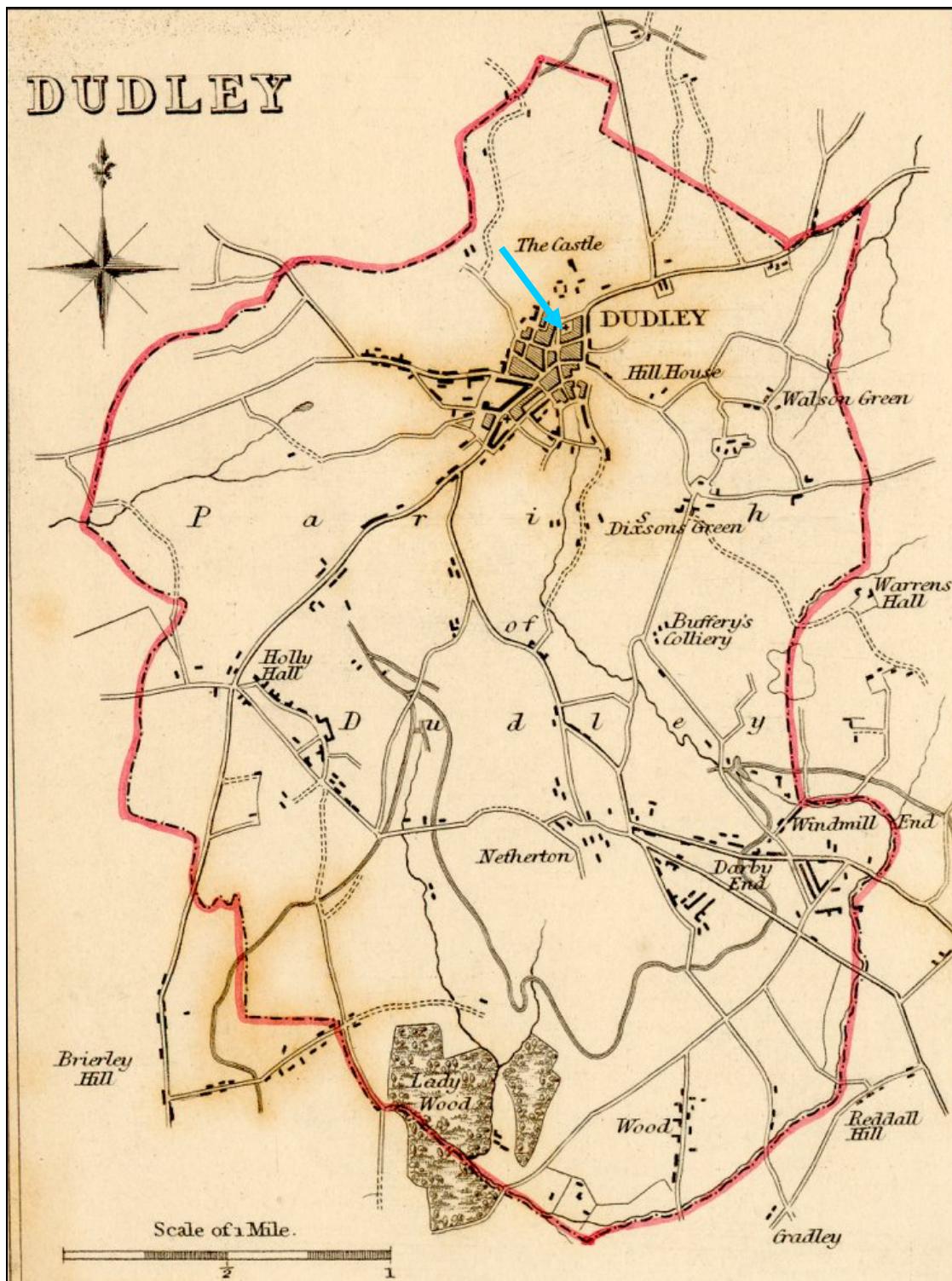
It is not clear when Pease Land becomes Tower Street. However, the rapid expansion of the town centre, especially to the north of the south of Market Place occurs during the late 17th century and it is probable that at this time Pease Lane is upgraded and was incorporated into the town plan.

The earliest map, the Court's map of c.1750-85 appears to be a composite map with additions made in c. 1783 (Map 2). This map clearly shows Tower Street and the recently formed New Street. Also present on this map and on the southern side of [Upper] Tower Street is a plot belonging to O. Shaw. This plot extends towards Market place and suggests that when this map was made the plots between Market Place and Tower Street had ceased to be continuous. The map also shows that the entire northern side of [Upper] Tower Street appears to have been owned by Gilbert Houghton (with a rateable value of £2.0s.2d). It is probable that at this time the name Tower Street was in use. The street name probably derives from a once visible Tower which was located at the SW corner of Dudley Castle and would have been visible from the street.



Map 2. Detail of Court's map of c.1750-85 (Plot marked in red)

The Creighton Map of 1835 (Map 3) and the slightly more detailed Bullingsley and Morris plan of Dudley town (Map 4), published in 1836 show little detail of the area around Tower Street. However, ascertained from both maps were that Tower Street and neighbouring thoroughfares had become integrated into a much large town plan. The Bullingsley and Morris plan does show the buildings that occupy Tower Street (and other streets within Dudley) as continuous blocks. The yard immediately SE of the rear garden belonging to Nos. 59/60 Tower Street is clearly visible.



Map 3. Detail of the Creighton Map of 1835
(Blue arrow indicates the location of Location of Tower Street)



Map 4. Detail of the Bullingsley and Morris plan of Dudley town of 1836
(The plot, marked with the white arrow is located east of the workhouse)

Prior to the publication of the 1st Edition Ordnance Survey map series in 1883, a detailed plan of Dudley was made entitled 'Dudley Union Plans – Parish of Dudley'. This hand-drawn plan was published in 1883 and included the detailed layout of Tower Street (Map 5). Unlike the Ordnance Survey counterpart, this map shows house/building numbers and the location of certain civic and religious buildings including the Baptist Chapel and public houses such as the Green Man (un-numbered building SW of Nos. 59/60 Tower Street).

On this plan, numbers 59/60 [lower] Tower Street and their respective rear plots are clearly shown. Although both buildings are now physically connected, the 1883 Dudley Union Plan shows a narrow alley dividing the two buildings. This alley led to a rectangular courtyard which would have housed a series of dwellings or small workshops (sometimes referred to as *stallage*). It is known from limited documentary evidence that this area of Dudley was noted for its nail and chain manufacturing and these courtyards would have probably been used for this activity.

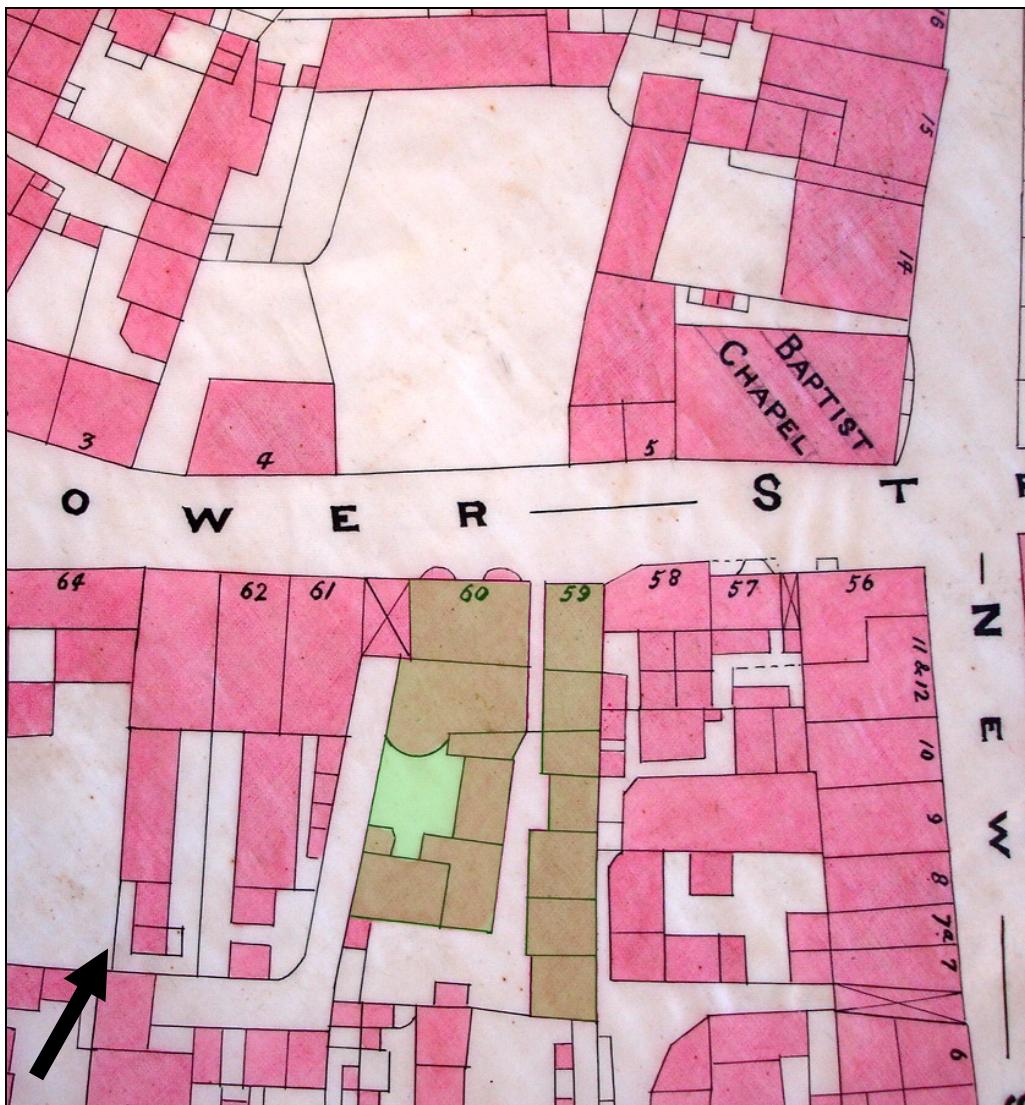
No. 60 Tower Street, located opposite an open space, possibly a small park or even a graveyard associated with the Baptist Chapel, is incorporated into a rectangular plot. No. 60 Tower Street is within a row of buildings that are set back, and where Tower Street is at its widest. It is probable that the width may relate to a weekly or monthly fair or market, possibly an extension of the market area in Market Place.

This plot has a slight kink (to the SW) and may delineate the original orientation of the burgage plots within this part of the town (originally representing the line of the plough furrow).³ An enclosed alley located between numbers 60 and 61 Tower Street originally led to an L-shaped courtyard for buildings that fronted Market Place. The rear eastern building section that covers the alley appears to overlap the western line of the plot belonging to No. 60 Tower Street. It is probable that one of the alignments from either plot was altered in order to accommodate this change. The entrance to this narrow alley still stands and is

³ Slightly kinked burgage plots are also found to towns such as Shrewsbury.

incorporated into a late 19th century frontage. It is not known, however, if the plan of the alley or the courtyard to the rear survives.

Based on the Dudley Union Plan, No. 60 Tower Street is rectangular in plan and has two bays that would have been symmetrical with the rest of the frontage. Access would have been via a centrally-placed doorway. To the rear of the main dwelling is a further rectangular building which may represent a meeting hall or functions room. There are within sections of this extension surviving decorative elements that indicate the former extent of this room. On the western side of the south-facing elevation of this extension is a single bay window.⁴ The building is one of six outbuildings that occupy the north, east and southern sections of the plot. Within the western section of the site was a small courtyard.



Map 5. Detail of the Dudley Union Plans – Parish of Dudley (1883)

The Ordnance Survey map of 1883 shows little change to the 1883 Dudley Union Plan. However, the 1903 Ordnance Survey plan (scale 1:2,500) shows the narrow alley between numbers 59 and 60 Tower Street has been enclosed (Map 6). At this date the alley still provided access to *stallage*. Within the plot of No. 60 Tower Street the six outbuildings appear to have been replaced by one large building. Based on the lack of scaring on the rear

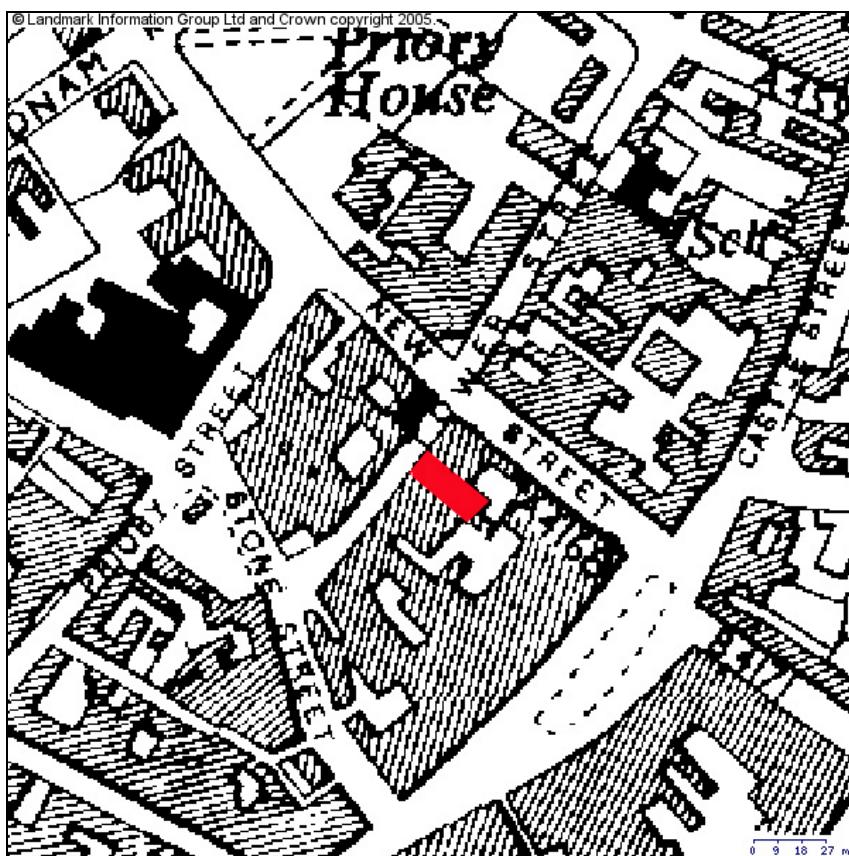
⁴ The bay has now been removed.

elevation of the main building (examined during the building survey), the rear plot was infilled by a single storey building, remnants of which still survive. The function and appearance of this building (or buildings) is not clear.

The Ordnance Survey map of 1919 again shows no change to the buildings (Map 7). However, the 1938 Ordnance Survey map, 3rd revision (scale 1:2,500) shows No. 59 Tower Street and the rear building (or buildings) to be a single unit (Map 8). Attached to the rear of this unit are several small outbuildings including a possible privy (still standing). These outbuildings are not enclosed by a rear wall and access to this area is via a passage way between Nos. 23-25 New Street. This access is still utilised, however, the plot is now enclosed. The 1964 Ordnance Survey map (scale 1:1,250) shows the rear of the plot to be enclosed and that Nos. 59 and 60 Tower Street have become a single unit, referred to as a 'Depot' (Map 8). Since the publication of this map there has been little or no change to the layout of the building stock. However, a visit to the site shows that the layout of the rear buildings to be chronologically phased and complex.



Map 6. Detail of the 1st Edition Ordnance Survey map of 1883
(No. 59 Tower Street marked in green, No. 60 Tower Street in red)



Map 7. Detail of the 2nd Revised Edition Ordnance Survey map of 1919
(59/60 Tower Street marked in red)



Map 8. Detail of the National Grid Map of 1964
(Nos. 59/60 Tower Street marked in red)

7.0 STANDING BUILDING RECORD FOR 59/60 TOWER STREET

The Standing building survey which included an English Heritage Level 3 record was undertaken in March 2007 of those parts of the building that were readily visible. Recent plasterwork and modern false ceilings were not removed and so further hidden features may also exist. As part of the recording process, high resolution digital images were taken of all external and internal features, fixtures and fittings. Images were also taken of the building stock that surrounds Nos. 59/60 Tower Street in order to place the site into its urban context.

7.1 No 59 Tower Street

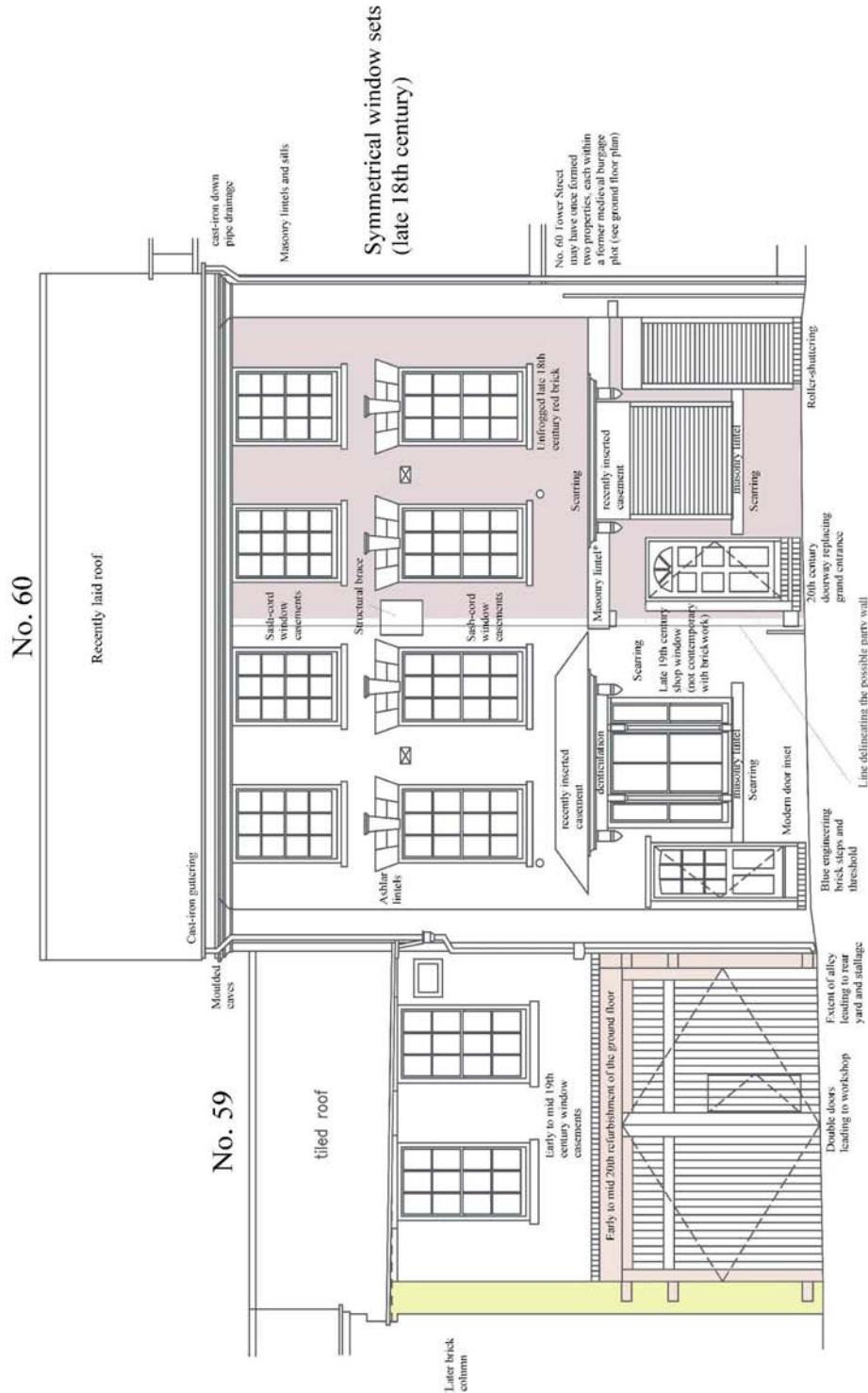
Number 59 Tower Street is located immediately east of No. 60 Tower Street. Based on the historic map data, the location of this building and its respective plot has remained unchanged since the mid to late 19th century (i.e. not earlier). However, the present outbuilding, a Belfast-roofed workshop was constructed in the 1930s and replaced a series of lean-to outbuildings on its eastern flank. Also present during the 19th century was a narrow alley which was partially covered by the western section of the building. There are no traces of any outbuildings or the narrow alley within the vicinity of the building (see Map 5). However, a narrow N-S alley does exist at the rear, between Nos. 58 and 59 Tower Street. The red brick elevations of this building support a slate tiled roof (Plate 4). The present building dates to the late 18th century. However, there has been much alteration made to the ground floor which, based on the architectural style appears to date from early to mid 20th century, probably when both buildings served as a depot for the Brook Brothers business.

The north-west elevation, fronting onto Tower Street comprises two stories (Plate 4, Figure 1). The ground floor (Figure 1 [marked in lilac]), representing later refurbishment consists of a double door entrance leading to the Belfast-roof garage. The doors are of plank and baton type and are supported by large cast-iron hinges that are attached to a wooden surround. The brick wall that supports the western section of the building probably represents the western line of the alley. This wall has been painted white. However, several brick types are recognised suggesting alterations since initial construction. The first floor comprises two 12-pane sash-cord windows. Each of the upper and lower sections of the window frames are encased by a masonry lintel and sill. The brickwork flanking the windows and covering the elevation is laid within the English Garden bond style. On the eastern edge of the building is a brick column that may be a later addition to the 18th century superstructure, probably adding additional support when the ground floor was removed (Figure 1 [column marked in yellow]).

Access to this building (i.e. the first floor) is via the eastern rooms located on the first floor on No. 60 Tower Street (two doorways lead from the eastern front and rear bedrooms of No. 60 Tower Street). The first floor of No. 59 Tower Street comprises four rooms. There are few surviving fixtures and fittings within this section of the building complex. Indeed, several walls appeared to have been lined with plasterboard, suggesting recent refurbishment. However, within the eastern front bedroom and centrally located along the eastern wall is a Regency style marble fire surround (Plate 5). The fireplace in which the surround stands is set some 0.30m away from the surrounding wall. There appears no evidence of a chimney stack externally. It is more than probable that this has been removed or modified. The remains of a chimney stack, though, are present on the ground floor, located along the eastern wall of the entrance to the depot/workshop. The rear elevation of both this building and No. 60 Tower Street is visually restricted and the ground floor can not be seen (Figure 2). The rear of both properties, constructed from unfrogged red brick with symmetrically placed windows forms three gables. The gable belonging to No. 59 Tower Street has one window, located on the western side. Due to security reasons, this window has a metal grill covering it. However, its style is indicative of the early 19th century urban vernacular (Plate

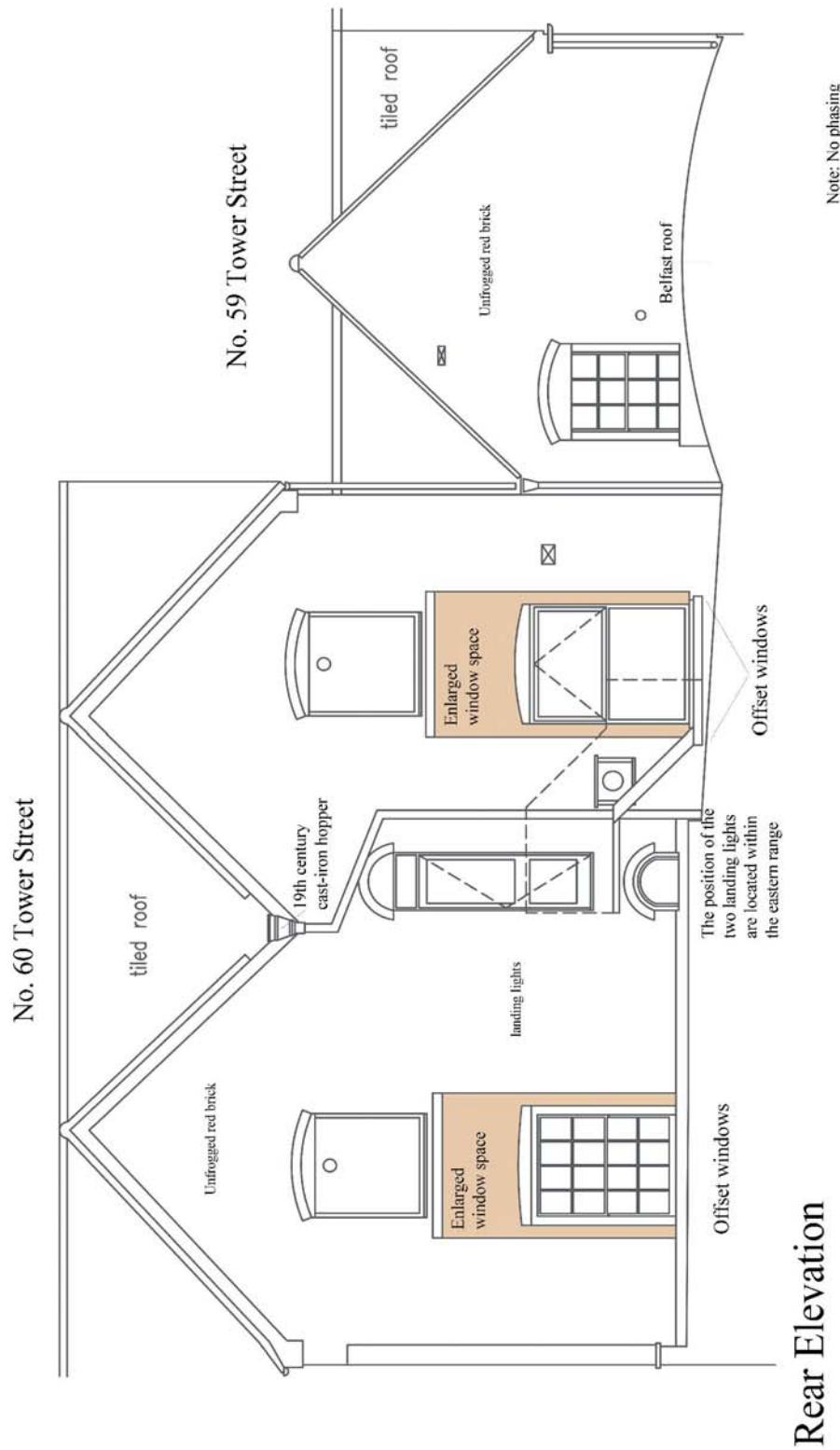
6). There is evidence on both this and the other two gables that the brickwork has, in recent times been re-pointed.

Figure 1
The north-west elevation of 59/60 Tower Street



* This limned is contemporary with the facade brickwork

Figure 2
The southern elevation of 59/60 Tower Street



7.2 No. 60 Tower Street - External Description

The north-west elevation, fronting onto Tower Street, as with other elevations is constructed of unfrogged late 18th century red brick (Plate 7). The north-western elevation comprises a three storey symmetrically placed door and window layout, indicative of Regency design. All four elevations of the main building support a recently laid [compressed] concrete ridge tiled roof. To the rear are a series of interconnecting outbuildings including a single storey workshop that extends towards the rear of the plot. This workshop is accessed via No. 59 Tower Street and is probably the remains of the Brook Brother's Depot, dating to the 1930s (see below).

The north-west elevation has in the recent past been subjected to extensive alterations, in particular alterations made to the ground floor door and window openings (see Figure 1 and Table 2). The 1883 Dudley Union Plan show the frontage to have a double bay which extended into Tower Street. Between the two bays would have been a grand entrance to this (merchant class) building. Nothing of the two bays or the entrance survives. However, there is evidence of scarring around each of the windows and the central doorway (Plates 3 & 8). The scarring comprises recently infilled [frogged] brickwork. The central doorway consists of a mid to late 20th century recessed opening which is approached by two tiled steps, one being the threshold. Based on a surviving door lintel, the doorway was originally much taller and wider. The eastern bay appears to have been replaced with a late 19th century window with masonry sill and lintel stones. A decorative lintel with denticular decoration flanked by ornate casement ends is protected by lead flashing (Plate 9). The two mullions that run either side of the central panes are of stone. The window may represent part of a shop frontage. This part of the building is accessed via an unsympathetic narrow door opening located immediately east of the window. This recent addition to the north-west elevation has corrupted the symmetry of the ground floor door/window layout. The western bay has been recently altered to include a recessed [shop] window and flanking doorway. Each opening has incorporated into its recess a roller-shutter system. Surrounding the door and window opening is new [frogged] brick (Plate 8).

The first and second floors incorporated into the north-west elevation comprise two rows of four windows sets; each set is symmetrically placed and are recessed into the surrounding brickwork (Plate 10). Each of the first floor windows comprises of an upper and lower 6-pane section and each section is incorporated into a sash-cord mechanism. The casement has a decorative ashlar-style squared masonry lintel (with central keystone) and protruding sill. Located between the two central windows on the 1st floor is a cast-iron rectangular brace plate which is tied into the superstructure of the building. The second floor 12-pane sash-cord window set is also recessed. The upper section of each sits underneath the eaves. Cast-iron guttering flanks either side of the elevation providing water run-off from a roof gutter located along the top of the eaves.

Only the first and second floors of the rear elevation of No 60 Tower Street are visible (Plate 11). The rear elevation, formed by two (east and west) gables has two sets of two windows. Each window set is slightly off-set within each gable. One of two landing lights is incorporated into the eastern gable and now forms a fire escape. Above this and located down between the gables is a 19th century ornate cast-iron gutter hopper (Plate 12). On the eastern gable, a sash-cord two section 12 pane window is symmetrically off-set. This and the window on the western gable are later additions. An area above the present window casement has been rendered suggesting that a larger window casement originally existed (Plate 13 and Figure 4 [former window casements in brown]).

7.3 The Internal Description

The internal layout of the building has largely remained unchanged, essentially each floor comprising four principal rooms that are accessed via a reception area (on the ground floor) and landings on the first and second floors. Within the central areas of the eastern and western flanks are two chimney stacks; each of the principal rooms would have possessed fireplaces that would have been serviced by these chimney stacks.

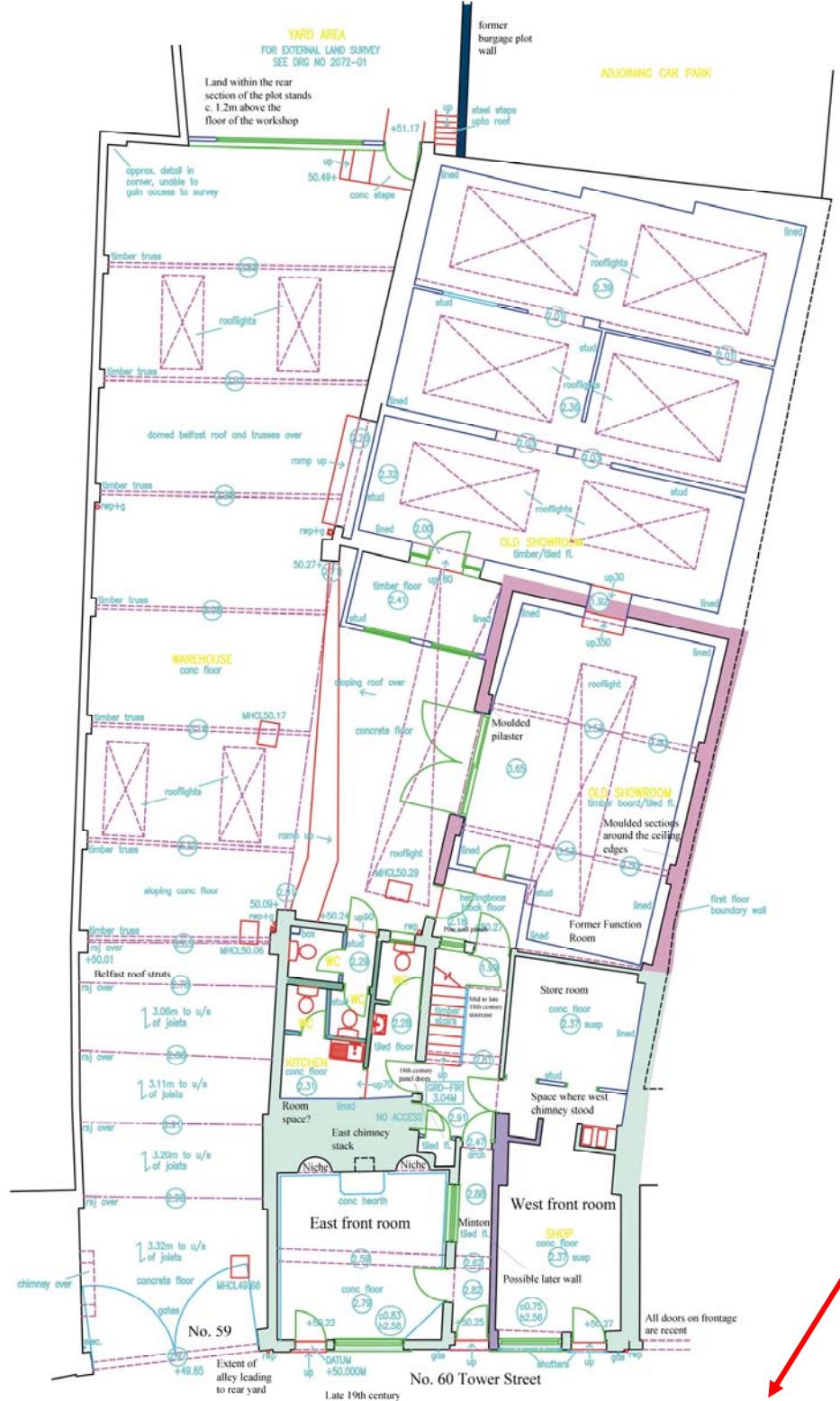
Based on a recent detailed plan of the building, No 60 Tower Street was probably once two buildings, the larger of the two located on the eastern side (Figure 3, wall marked in purple). The party wall located within the western section of the building, located between the hall and the western front room is not a structural wall and is probably a mid to late 19th century addition, contemporary with the door and surround that separates the hall from the reception area (see Plate 15). However, the superstructure for both the east and west sections of the building are, arguably contemporary (Figure 3, marked in blue). Other phasing is in evidence within the rear eastern room where studded walls have been erected, probable during the late 19th or early 20th century (Figure 3, marked in green). Prior to the Dudley Union map of 1883 the function room was constructed (Figure 3, marked in crimson). This building is the only structure that has survived the re-organisation of the plot since the publication of the early 20th century Ordnance Survey plan series.

Evidence for building phasing on the 1st floor is limited. It is probable that No 59 Tower Street (Figure 4, marked in salmon pink) was built later than No. 60 Tower Street (although there is no substantial evidence for this). Assuming that the two buildings were in place prior to the present building, the party wall between both presently separates the eastern and western front rooms marks this division (Figure 4, marked in green [east] and blue [west]). The width of the plot for No. 59 is roughly equal to the widths of each of the building sections; suggesting that three N-S burgage plots may have existed within the present building boundary of 59/60 Tower Street. The 2nd floor layout mirrors the phasing of the 1st floor.

7.4 The Ground Floor

The ground floor (similar to other floors) has four principal rooms; two occupying the Tower Street frontage and two at the rear (Figure 3). These rooms and a staircase (leading to the first floor) are accessed by a narrow hallway and reception area. The hallway, measuring 5.35m by 0.88m leads from the entrance that fronts onto Tower Street to a reception area. The flooring is constructed of late 19th century Minton tiles that is arranged in a geometric pattern (Plate 14). A single ceiling joist extends from the eastern room through to the hallway. Access to the front eastern room is via a doorway located along the eastern side of the hallway. The party wall between the hallway and the eastern room appears to be a structural wall and may represent the original boundary line between two properties. The hallway leads to a reception area (or lobby) measuring 5m x 2.05m via a mid to late 19th century door with associated moulding and crescent light (Plate 15). A wooden ornate late Regency staircase stands within the SE section of this space (Plate 16). At the eastern end of this space are two (6-panel) panelled doors that lead to two small rectangular cupboards (Plate 17). These doors and associated surrounds and L-hinges are contemporary or slightly earlier than the original building.⁵ The Ground floor has had its wooden floor removed and replaced with concrete. It has not been ascertained if this building has cellarage.

⁵ Alcock & Hall (1994, 23) suggest that this type of hinge was in use by 1707.



Ground Floor Plan

The eastern front room, measuring 4.85m x 4.25m is accessed by two doors (see above). Much of the north-west wall (fronting Tower Street) has been radically altered. A wooden hand rail extends along the eastern, southern and western walls. A centrally located fireplace is set within the southern wall and is flanked either side by a semi-circular niche (Plate 18). A window glazed with fire glass has been inserted into the western wall. In recent times, this room has been segregated from the rest of the building, probably utilised as a shop unit.

western front room is currently utilised as a shop (occupied by Ferret World) and much of the original and historic fabric within this space has been either covered over or removed, including the chimney stack that would have serviced this and the rear western room. Access to the rear western room is via a centrally located short corridor within the southern wall of the western front room and from the reception area. The rear western room, currently utilised as a store room has no visible historic fixtures and fittings. Inspection though did reveal that the western wall is lined with plasterboard.

The (former) rear eastern room has in recent times been sub-divided into toilet and kitchen areas. There are no visible fixtures and fittings within this space except for a small window opening that once provided a light source from a central rear courtyard (see Map 5). The western wall of the rear room is also a structural wall for the rear of the property.

Based on the fixtures present, the staircase, dating from c. 1760, provides the only access to the first and second floors and much of the original fixtures and fittings associated with this structure survive. The wooden stair hand rail (banister) is moulded, whilst the spindles (also referred to as *balusters*) are lathe-turned in a mid-18th century style (Alcock & Hall 1994) (Plates 19 & 20). Decorative side panelling, referred to as open string brackets extend up each of the treads (Plate 21). Based on Alcock & Hall (1994, 9) this design dates to c. 1750. On the second floor a section of the hand rail and accompanying spindles have been boxed-in with ply-board. Between the ground floor and the first floor and the first floor and the second floor are two elongated landing lights, both have been altered in the recent past (Plate 22). These features are indicative of the Regency style and would have provided a light source for the stairs.

7.5 The First Floor

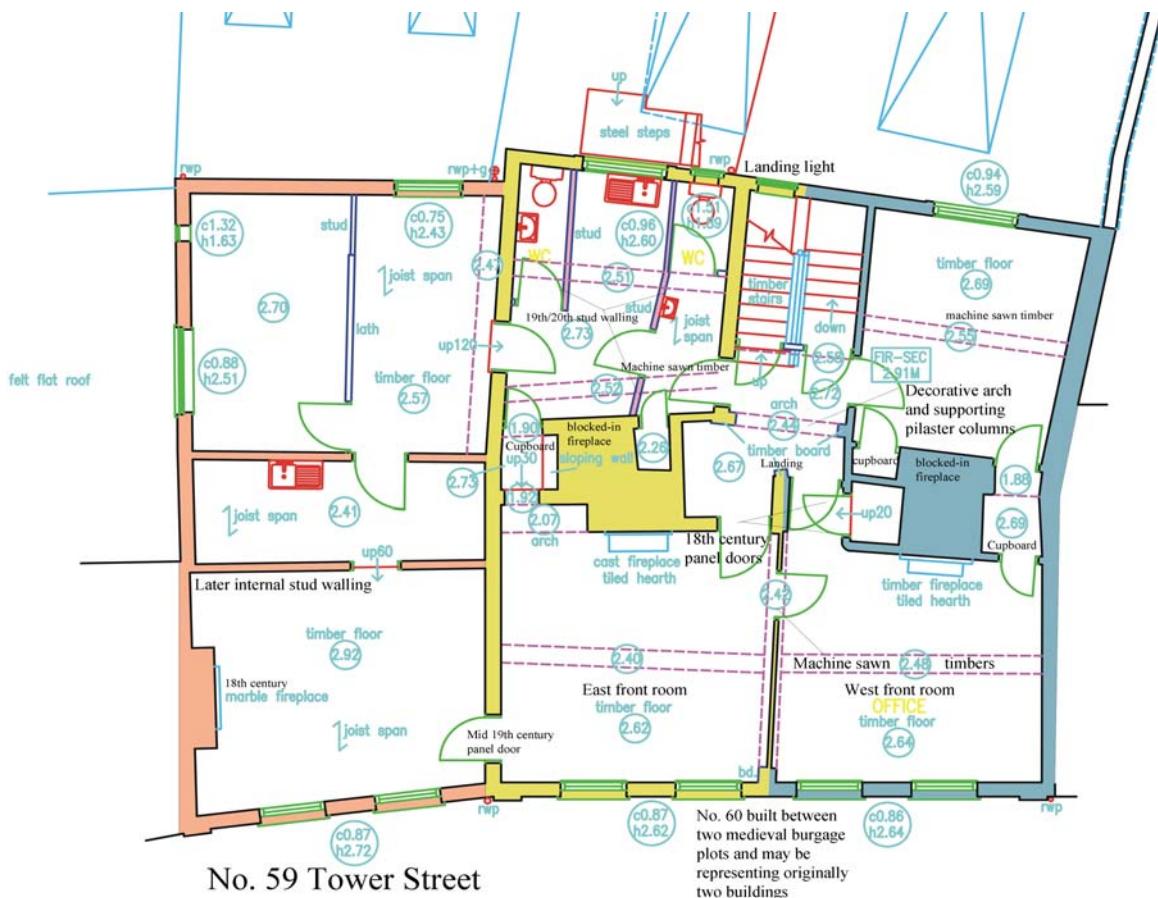
The first floor is accessed via the stairway and leads to an irregular shaped landing, measuring 2.95m x 2.78m (maximum). Within this space are a number of Regency period features that are contemporary with the original building and include several wooden decorative pilaster columns with capitals that form the lower section of an arch that divides the landing into two clear sections (Plates 23 & 24).

All rooms retain their original oak floorboards and doors. Much of the original furniture associated with the doors (e.g. hinges, door handles) is in place. To the north of the landing and fronting Tower Street are two principal rooms whilst to the south are two further rooms (Figure 4). A machine-cut timber ceiling joist (oriented E-W) extends through both of the front rooms. This ceiling joist is supported by the eastern wall (between Nos. 59 and 60 Tower Street), a timber that divides the two Tower Street rooms and the western wall (between Nos. 60 & 61 Tower Street). The western room, measuring 4.5m x 4.5m has a centrally-located fireplace incorporated into the southern wall. The fireplace comprises a painted semi-decorative wooden surround and lintel. The fire hearth has been blocked-in. Access from the landing is via a doorway located between the chimney stack and the western wall. There is also access via a narrow room between this room and rear western room on the western side of the room.

The eastern front room, measuring 4.54m x 4.50m has a centrally located fireplace along its southern wall. The dimensions and probable design is probably similar to the fireplace within the western front room. To the east of the chimney is an access passage leading to a rear suite of rooms. Recorded within the western wall of the passage is a shape of the upper section of the brick chimney stack; sloping westwards towards the top of the stack. The eastern rear room is currently divided into four rooms, forming two toilets, a kitchenette and a reception/dinning area. Two ceiling timbers, each running off line from the orientation of the building extends between the eastern wall of the building to a N-S central support wall that separates this space from the stair space. Within the western toilet cubical are the remnants of a gas light fitting (Plate 25). The presence of such appliance suggests that the building was once supplied with town gas.

The fourth bedroom located to the western rear side of the building measures 4.08m x 3.34m and is accessed by the landing and a western passage leading from the western front bedroom. Incorporated into the northern wall are the western chimney stack and a bricked-in fireplace. Flanking the eastern side of the chimney is the small recess which probably once was open, providing further access between the two western bedrooms. The sash-cord window, incorporated into the southern wall and overlooking the rear plot is 19th century in date and may have replaced an earlier window casement.

Figure 4
1st Floor plan of Nos. 59/60 Commercial Street

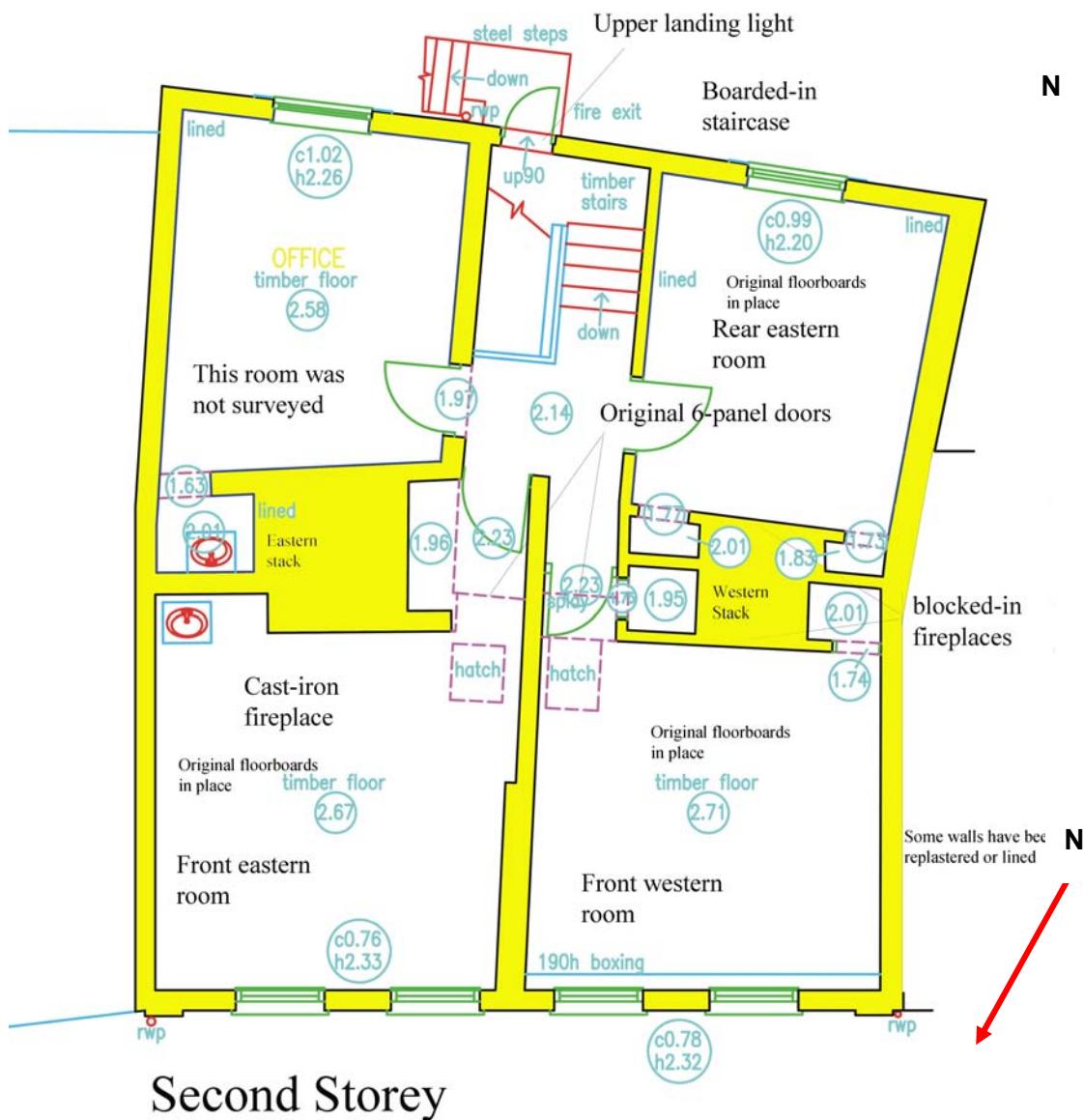


7.6 The Second Floor

Similar to the ground floor and 1st floor room layout, the 2nd floor suite of rooms is arranged with two facing Tower Street and a further two located to the rear of the building (Figure 5).

The second floor is accessed via the staircase. Between the 1st and 2nd floors, much of this structure has been boxed-in. An elongated stair light is incorporated into the southern wall, between the 1st and 2nd floors. This Regency feature has been blocked-in and is now utilised as a fire escape. The upper section of the staircase leads to a centrally placed landing measuring 5m (N-S) by 2m. The majority of the landing walls have been lined and/or re-plastered. The landing floor and those of the four rooms it services are of oak floorboards. The two chimney stacks within the eastern and western sections of the building extend to this floor. Blocked-in fire places are present in each of the four rooms (similar in layout to other rooms on other floors).

Figure 5
2nd floor plan of No. 60 Tower Street



Note: bakelite fittings survive within some rooms

The eastern room facing Tower Street, measuring 4.48m x 4.28m has much of its wall relined and re-plastered. The southern wall has the chimney breast centrally placed. On the eastern flank is a recess which has been used as a cupboard, whilst of the western flank is the access via the landing. Within the same area is a ceiling hatch, allowing access to the roof space.⁶ Incorporated into the chimney is a fine example of a Regency cast iron fire grate (Plates 26 & 27). This original feature dating to c. 1810 was, up until recently, boarded-in. Although the fire grate remained intact the original wooden surround had been removed, probably in order to create a flush surface so the board could be screwed to the surround wall. There were no visible fixtures or fittings within the western front and rear rooms. No access was gained into the rear eastern room.⁷

7.7 The Outbuildings

To the rear of 59/60 Tower Street are three outbuildings. Two of these have historic and archaeological interest. The first of these is a possible function/meeting room which is located to the rear No. 60 Tower Street (see Figure 3). This single storey building measures approximately 9m x 6m and probably dates to the early- to mid-19th century. The western wall forms the boundary between Nos. 60 and 61 Tower Street. Much of the original plasterwork and timber flooring is still in place. However, the rear southern bay has been removed (see Map 5), along with the original roof. Furthermore, incorporated into the central section of the eastern wall is a recently constructed double door opening. It is probable that within its recent past this room has been used for storage. Apart from some of the original walls surviving, decorative moulded cornicing has survived (Plates 28 & 29). This feature is probably contemporary with the original building. In places, the ceiling plaster has come away from the wooden lattice due to rainwater penetration. The walls and the ceiling are covered mainly by plasterboard and a suspended ceiling. However, apart from the decorative cornicing, several (plaster-coated) wooden pilasters with splaying capitals are visible along the eastern and western walls. To the south of this building and extending a further 9m is a recently constructed prefabricated annex (formally a show room). This structure has no architectural or historic merit.

Immediately located to the east of the function/meeting room and extending to the rear line of the modern annex building is a single storey workshop/depot. This building, part of which was formally open space, utilises the space between the eastern boundary wall of No. 59 Tower Street and the walls that form the once eastern boundary of No. 60 Tower Street; incorporating the structural walls of the Tower Street building and the eastern wall of the annex (Figure 3). The floor of the workshop/depot is concrete and is laid on several levels. The floor dips from north to south where the Tower Street building meets with the function/meeting room. Constructed along the eastern boundary wall are a series of brick piers that support an example of a Belfast roof (Plates 30 & 31). This roof dating between 1925 and 1939 has its frame struts constructed entirely of wood. Each of the seven joists comprises an upper and lower timber beam. The upper beam is curved and connecting both timbers are a series of lattice plywood struts which add lateral strength to each of the seven roof sections. This outbuilding, along with the two other buildings is covered by asphalt roofing. Much of the roofing is in a poor state of repair and rainwater damage has occurred in various areas.

⁶ Limited inspection revealed much of the original timber was in place despite having the original tiles being replaced with synthetic compressed concrete tiles.

⁷ According to the tenant, the key to this room is in the possession of the owners.

7.8 The Rear Plot Area

Lying immediately south of the workshop and the recently constructed showroom is a rear plot area that measures approximately 12m x 20m. This area, enclosed by a late 18th or early 19th century boundary wall (Plate 32) is approached from an elevated doorway located on the western side of the workshop (Plate 33). The brick wall has over the past been repaired using a variety of the brick types.

Located within the SE part of the rear plot is a late 19th century [outdoor] brick-built privy (Plate 34), whilst incorporated into the southern boundary wall is a doorway. The ground level for this area is approximately 1.5m above the ground level of the surrounding yard surfaces that extend beyond the boundary walls of the plot.

Based on the Dudley Union map of 1883 it is probable that the remains of post-medieval stallage exist within the plot area. It is probable that the foundations and possible floors of outbuildings located along the southern and western boundary areas remain *in situ*.

8.0 DISCUSSION

Tower Street is considered to be part of the later medieval development of the town, with its origins dating to the 13th and 14th centuries. According to the recently published Conservation Area Character Appraisal (2004), Tower Street formed part of a back lane that extended from Castle Hill to High Street, creating an access for burgage plots that fronted onto the northern side of Market Place and High Street.

Nos. 59/60 Tower Street constitutes an important archaeological and architectural resource. The building lies within the Dudley Town Centre Conservation Area and has been designated a Grade II Listed Building (No. HBSMR 1023). However, during the mid to late 20th century the building's frontage has been radically altered and much of the original appearance has changed. The upper section of the Tower Street façade though is unchanged and is in relatively reasonable condition.

Internally, there are many important fixtures, fittings and features that chronological chart the different phases of architectural development of the building and associated outbuildings including original fireplaces, dado rails, floors and doors.

The 19th and 20th century outbuildings including the function room, located to the rear of No. 60 Tower Street and the workshop with its intact Belfast roof, located to the rear of No. 59 Tower Street greatly add to the historical development of the property. These buildings, however, replace earlier outbuildings that may have been utilised as workshops and stallage. Furthermore, between the two properties (Nos. 59 and 60) an early post-medieval alley would have provided access to a rear courtyard to building that front Market Place.

Externally, and to the rear of the property is an area of rear plot which is enclosed by a c. 2m brick wall. The potential for the survival of substantial remains relating to the medieval and later post medieval activity within this part of the burgage plot is high. Medieval activity would of course be associated with buildings the fronted Market Place, whilst post-medieval activity would be associated with the development in Tower Street.

This building is one only of a small number of historic buildings that stand within Tower Street. Over the past 50 years major development has occurred on the northern side of Tower Street and Nos. 59/60 Tower Street, along with neighbouring buildings either side imposes an important historic statement on the townscape setting within this part of Dudley town centre.

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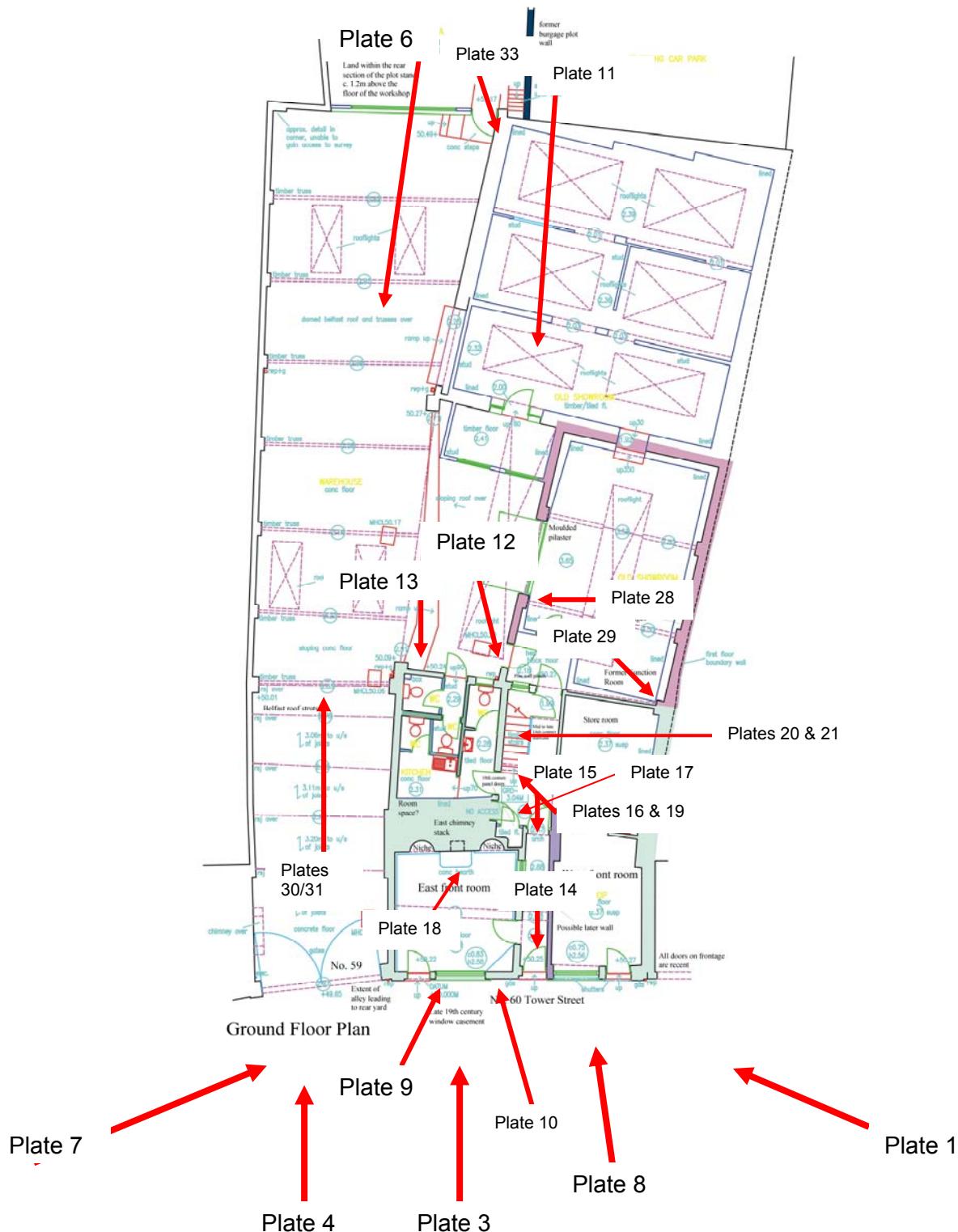
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- Dudley Union Plans – Parish of Dudley (1883) [GDU/5/1]
- 1883. 1st Edition Ordnance Survey Map.
- 1903-04 1st Revision to the 1st Edition. County Series, Scale 1:2,500
- 1919 2nd Revision Ordnance Survey Map. County Series, Scale 1:1,250
- 1938 3rd Revision Ordnance Survey Map. County Series, Scale 1:1,250
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9.2 Documentary sources

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- Holden's Annual Directory 1816/1817 (LD 913.4247 DUD)
- Kelly's Directory of Staffordshire, Warwickshire and Worcestershire 1921 (LD 913.4247 DUD)
- Planning applications since 1948 (see Table 3)



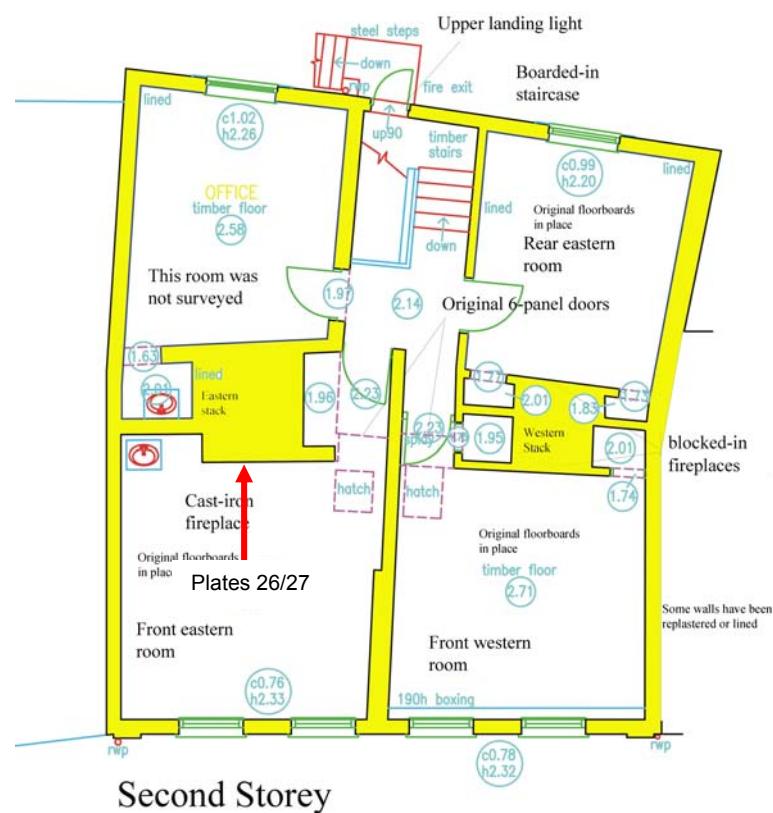
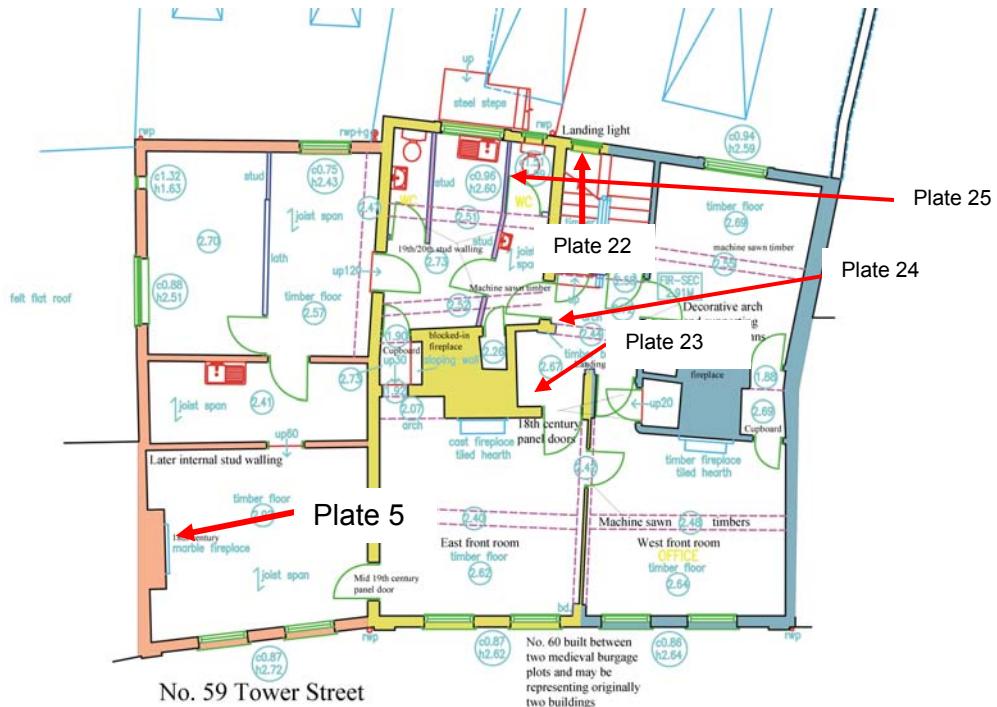


FIGURE 6. DIRECTION OF PLATES

PLATES



Plate 1. Southern side of Tower Street showing building Nos. 58 to 62, looking NE.



Plate 2. Southern view of the Fountain Arcade, located west of 59/60 Tower St.



Plate 3. Eastern section of No. 60 Tower Street showing brick scarring, looking SE.



Plate 4. Northern elevation of No. 59 Tower Street, looking SE.



Plate 5. Marble fire surround, located within the stack of the principal E. room.



Plate 6. View of No. 59 Tower St and the curved upper section of the Belfast roof.



Plate 7. General view of No. 59/60 Tower Street looking SW.



Plate 8. Western section of No. 60 Tower Street showing roller shutter, looking SE.



Plate 9. Detail of denticulation within the upper section of the E. window, looking SE.



Plate 10. Upper stories of No. 60 Tower Street showing window detail, looking SE.



Plate 11. Rear view of Nos. 59/60 Tower Street, looking NW.

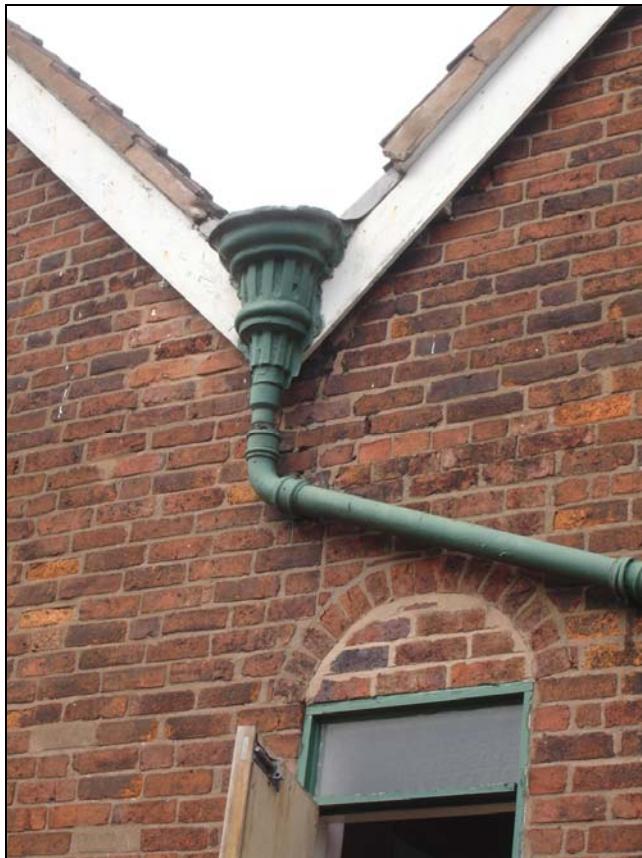


Plate 12. Cast iron drainage hopper at the rear of No. 60 Tower St, looking N.

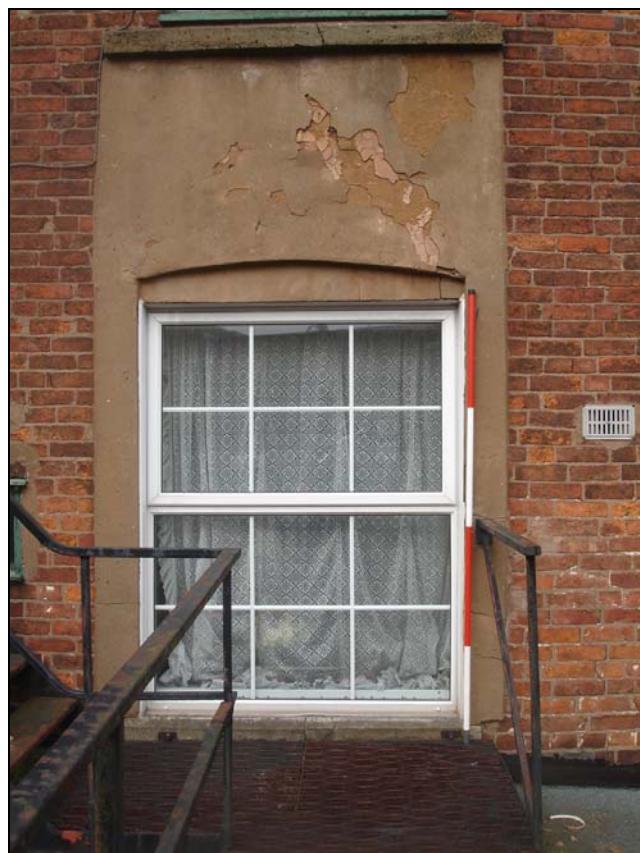


Plate 13. 19th century window inserted into the space of an earlier window, looking NW.



Plate 14. Minton tiled floor within the hallway, looking NW.



Plate 15. 19th century panelled door with crescent light, looking NW.

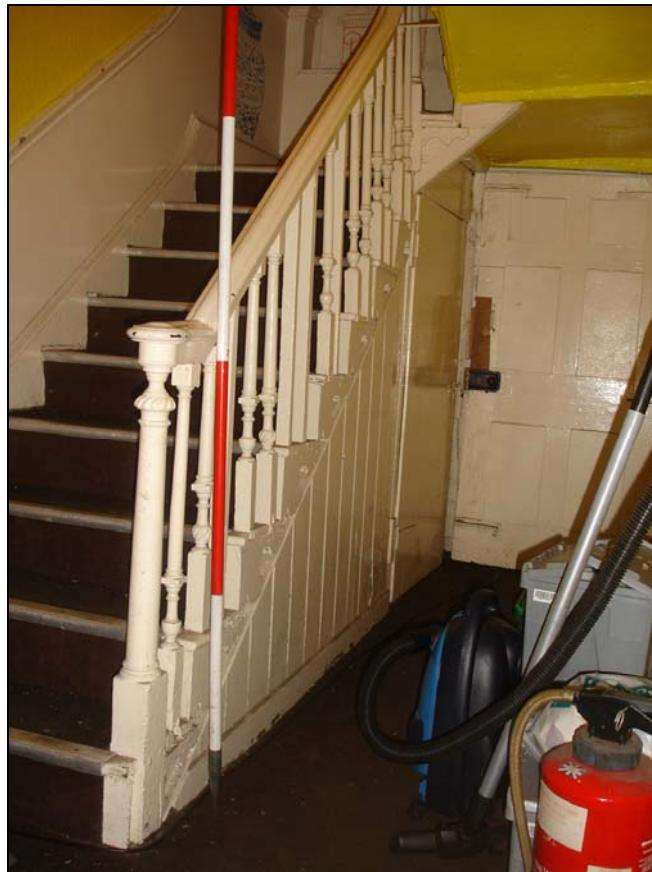


Plate 16. General view of the late 18th century staircase, looking SE.



Plate 17. Two late 18th century panelled doors, leading to cupboards, looking N.



Plate 18. Two niches flanking fireplace within eastern principal room, looking SE.

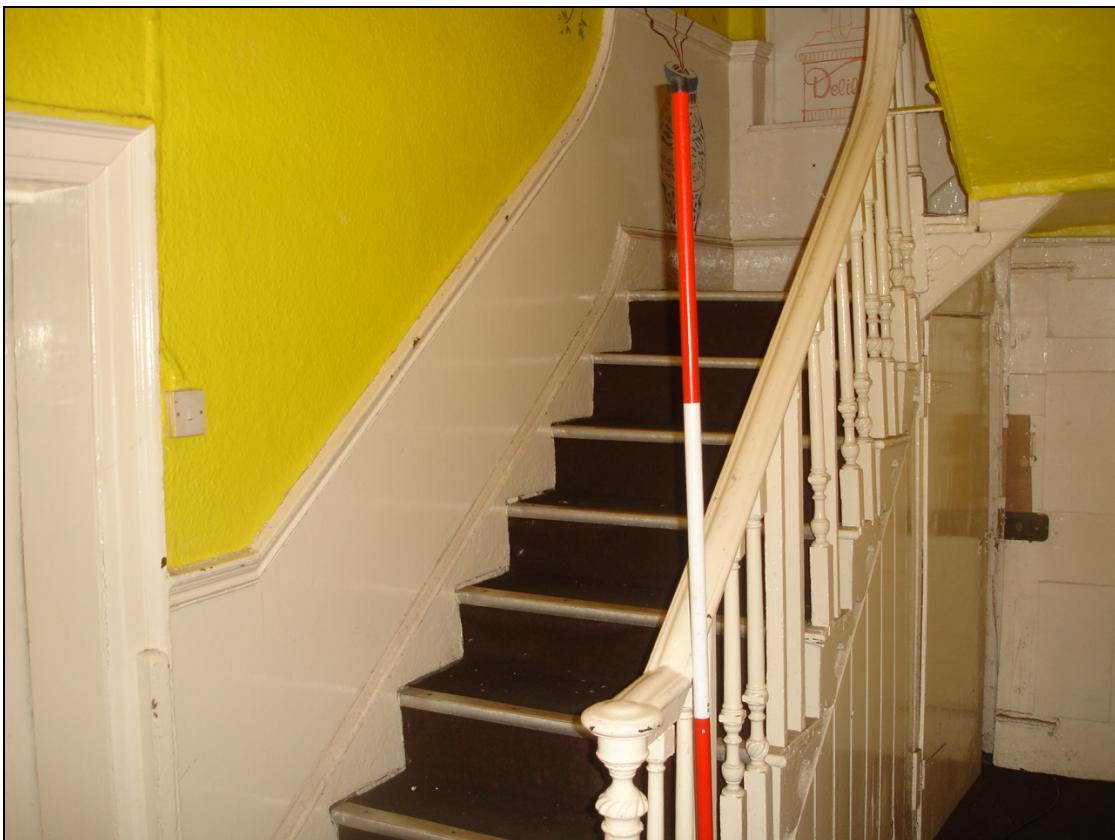


Plate 19. General view of staircase, showing hand and wall panels, looking SE.



Plate 20. Detail of lathe-turned stair spindles.



Plate 21. 'Comma and curve' panel decoration on staircase.



Plate 22. Landing light, one of two originally illuminating the stair area, looking SE.



Plate 23. Decorative pilaster with associated arch, located on the 1st floor landing.



Plate 24. Detail of pilaster column showing wooden capital, looking NE.

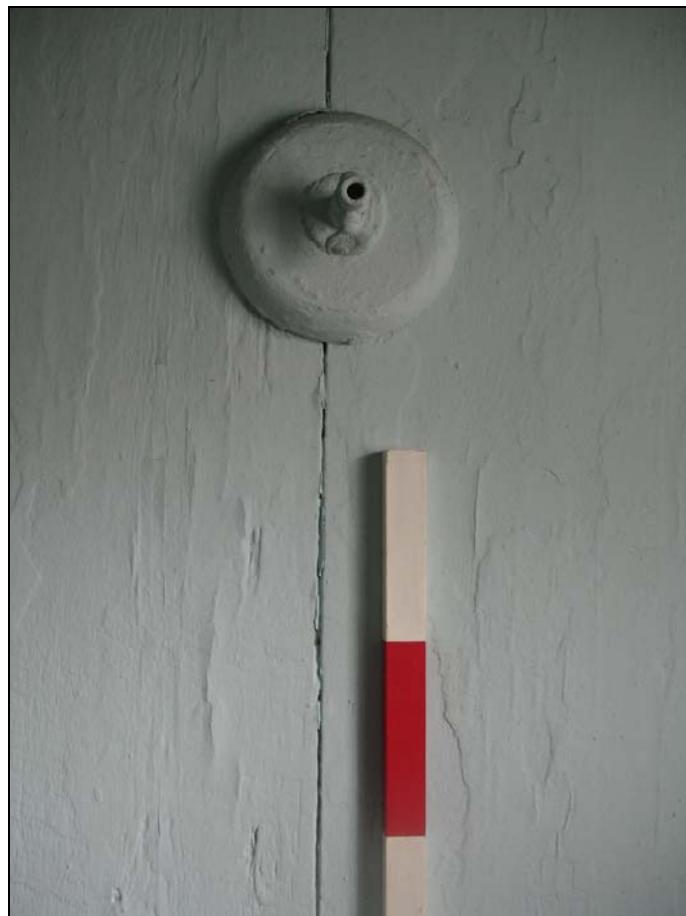


Plate 25. Detail of gas light fitting, located in a toilet cubical within rear E. room.



Plate 26. Cast-iron grate, located in the eastern principal room on the 2nd floor.



Plate 27. Detail of the cast-iron grate, looking SE.



Plate 28. Pilaster column with supported capital within NE. wall of the meeting room.



Plate 29. Detail of moulded plaster cornice, located in the ceiling of meeting room



Plate 30. Central section of the Belfast roof, covering the workshop area, looking SE.



Plate 31. Southern section the Belfast roof, looking SE.



Plate 32. Rear southern boundary wall of No. 59 Tower Street, looking N.



Plate 33. Steps leading to the workshop roof and fire escape,
looking NW.



Plate 34. View of the brick privy, locate to the rear of No. 59 Tower St, looking E.

APPENDIX 1

Located within Dudley Borough are nine scheduled monuments, none of these are located close to Tower Street, apart from Dudley Castle (SM 21613) (see Table 1).

Table 1
Scheduled Monument sites within Dudley Borough

Scheduled Monuments (SM)	Dudley MBC Ref.	English Heritage Monument No.
Dudley Castle	926	SM 21613
St Mary's Abbey, Halesowen	873	-
Triangular crane, Bumble Hole, Netherton	2010	-
St James's Priory, Dudley	999	WM 8
Wychbury Camp, Pedmore	2707	WM 7
Medieval settlement, Cooper's Bank Farm, Dudley	7644	SM 30015
Cross, St John the Baptist Churchyard, Halesowen	862	SM 30034
Cross, St Mary's Churchyard	1033	SM 30037
Coalmining remains, Saltwells Wood, Brierley Hill	12093	SM 35113

Appendix 2

Project Brief issued by Dudley MBC Historic Environment Team in November 2006

BRIEF FOR ARCHAEOLOGICAL DESKTOP ASSESSMENT AND ARCHEOLOGICAL BUILDING RECORDING

November 2006

59 – 60 TOWER STREET, DUDLEY, WEST MIDLANDS

Archaeological Officer: Mr P Boland, Principal Conservation Officer/Borough Archaeologist, Dudley MBC, Directorate of the Urban Environment, 3 St James Road, Dudley, West Midlands, DY1 1HZ. Tel: (01384) 814190; Fax (01384) 814141; email:- pete.boland@dudley.gov.uk

Client: Brooks

Agent: CRH Houston, Temeside Properties Ltd, Neen Sollars House, Cleobury Mortimer, Kidderminster, DY14 OAH.

Nature of Proposed Development: Demolition of single-storey buildings at rear in order to erect a new residential block and conversion of existing building into residential accommodation.

Planning Application Number: **N/A**

Site Location and Description

No.59-50 Tower Street is a late 18th century Grade II listed building located within the Dudley Town Centre Conservation Area. It is recorded on the Council's Historic Sites and Monuments Record as HBSMR 1023. It is located within the medieval core of Dudley Town Centre.

Planning Background

No application has been received yet. This study forms part of the pre-application discussion.

PPG 16 and Unitary Development Plan policies HE8 and HE11 indicate that there should be a presumption in favour of the preservation of important archaeological features and sites. The best means of determining the existence and quality of such features is by documentary study and, in the case of standing buildings or landscape features, a detailed survey of the existing fabric, if necessary, by selective field evaluation. The desktop study therefore represents the first stage in this process. In addition PPG 15 (Annex C) indicates that information about the history and development of the building will be of value in considering proposals.

HISTORICAL BACKGROUND

For general background history please refer to the Conservation Area Character Appraisal for Dudley Town Centre (2004) – copies can be downloaded from the Council's website:- <http://www.dudley.gov.uk/environment--planning/planning/historic-environment/conservation-areas/conservation-charact/dudley-town-centre-character-appraisal>

Aims and Objectives of the Assessment

The aims of the assessment are as follows:-

- To compile a summary history of the development and land use within the study area.
- To compile an adequate record of all of the on-site buildings/structures prior to any future development of the site.
- To assess the Historical/archaeological development of the assessment site and provide a description of any surviving architectural features.
- To assess the archaeological potential of the study area using the PPG 16 Annex 4 criteria taking account of, where possible, the location, type, likely date, nature and depths of the remains.
- To assess the degree of disturbance or destruction to potential archaeological remains by existing or previous structures or events
- To assess the possible impact of the proposed development upon the archaeological resource.
- To place the site within a local context referring to other similar, local sites were appropriate.
- To contribute factual data to the knowledge on the history and archaeological development of Dudley.
- To assist the client in advancing towards having enough information in order that a Planning application and Listed Building Consent for the site can be determined.

METHODOLOGY

The archaeological desktop assessment will be undertaken with reference to the standards and guidance described in the Institute of Field Archaeologists document *Standard and Guidance for Archaeological Desk-Based Assessments* (1999).

A detailed Project Design must be submitted to the Historic Environment Team for approval. The Project Design must be compiled in full collaboration with the specialists who will be employed in the project team.

The archaeological and historical importance of the assessment area and any material archaeological and/or architectural will be investigated in the context of the local, regional and national significance with reference to and consideration of (where available and appropriate).

- An external and internal visual inspection by means of a site visit.
- Dudley Historic Buildings Sites and Monuments Record (HBSMR)
- Geological maps
- Available trial pit and borehole data
- Plans and maps of the assessment site and its environs
- Aerial photographs
- Historical documents held in museums, libraries or other archives, in particular the Dudley Archives and Local History Service, and any other relevant sources e.g. early maps, topographical drawings, leases, wills, rentals, plan books etc.
- Where available, unpublished research reports and archive, held by archaeological contractors/consultants prior to deposition in publicly accessible museum archives
- Data held by the client and the agent.
- Photographic Data
- Survey drawings
- Appropriate archaeological and historical journals and books

- Trade and Business Directories
- Planning files relevant to the immediate planning history of the site
- English Heritage Monuments Protection Programme (MPP).

BUILDING RECORDING/SURVEY

The standing building survey should be undertaken with reference to the standards and guidance described in the Institute of Field Archaeologists document *Standard and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures* (1999) and be carried out in accordance with the guidelines set out by English Heritage in *Understanding Historic Buildings: A Guide to Good Recording Practice* (2006) to a Level 3 standard. Thus a detailed written account should be produced accompanied by detailed phased survey drawings showing all breaks in construction, changes in masonry/brick including mortar type and pointing, and detailing to all openings should be recorded. Drawings of each elevation and existing floor plans should be produced at a scale of either 1:50 or 1:100. Sections of surviving joinery and ferramenta will be drawn at 1:2 or 1:10 as appropriate.

It is understood that a survey may have been made of the building. These plans and elevations may be adequate to provide the basis of the survey, but it should be confirmed in advance that their completeness and accuracy of detail is acceptable. If the existing plans are accurate they should be used to locate particular features of historic and architectural interest and be accompanied by a detailed photographic survey with directional arrows of all photographs taken annotated on the plans. The photographic survey should also include more general views of the setting of the building as described in the English Heritage guidelines (2006). The photographs should be in 35mm monochrome print and colour transparencies.

ARCHIVE

A full copy of the archive, to include all notes made on site, as well as the negatives of the photographs and the photographs themselves should be deposited with Dudley Historic Building Sites and Monuments Record (HBSMR). An appropriate HBSMR number should be obtained prior to the commencement of the project and placed on the back of all photographs.

Digital copies of the report and any photographs or plans created during the fieldwork should be deposited with the Dudley HBSMR on CD ROM. Submission on other digital media should be agreed in advance. Photographs taken during the assessment should be delivered as JPEG or uncompressed TIFF format files, each image forming a discrete file. All digital submissions should include adequate documentation of metadata. Further guidance on the creation of digital archives and metadata can be obtained from the Archaeology Data Service (<http://ads.ahds.ac.uk>).

Reporting Arrangements

The fieldwork should be followed by a report to accompany the photographic record for submission to the Local Planning Authority as early as possible. The report should be produced in A4 format with foldouts no bigger than A3 using colour where appropriate. At least two copies of the report should be sent, either by the client or by the contractor undertaking the above works to the Local Planning Authority. It should include:

- Aims of the work and a summary of the results;
- Details of sources consulted;
- Historical outline of the site;

- Historical development of the building and a description of any surviving architectural features.
- Archaeological background;
- Plans, elevations, photographs and other illustrations to support the text of the report.

A copy of the report must also be sent to the Black Country Sites and Monuments Record in Wolverhampton.

Publication

Summaries of work carried out must be sent to the relevant period society journals and to the local archaeological society journals for inclusion in their yearly summaries of work and also to CBA West Midland's for inclusion in their annual publication 'West Midlands Archaeology.'

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RCHME, 1996, *Recording Historic Buildings: a Descriptive Specification*, 3rd ed.

United Kingdom Institute for Conservation, 1990, *Guidelines for the preparation of excavation archives for long-term storage*.

14th November 2006

NB This brief remains valid for three months from the above date. If the work covered by this brief has not been commenced within this period it may be necessary to revise the brief in the light of new information and priorities