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ENV	333/334
ONT	1799
Parish	1092
Rec'd	29/10/1991

15-16 MARKET PLACE - RICHMOND
ARCHAEOLOGICAL INVESTIGATIONS
MAP ARCHAEOLOGICAL CONSULTANCY LTD

COUNTY PLANNING DEPARTMENT		
29 OCT 1991		
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15-16 MARKET PLACE - RICHMOND

1 Introduction

MAP Archaeological Consultancy Ltd was approached by The Boots Company PLC initially to undertake a sample excavation to the rear of 16 Market Place. The purpose of the excavation was to provide an evaluation of the nature of the archaeological deposits and the degree of preservation present on the site prior to development work on 15-16 Market Place. Depending on the results of the sample excavation in Area 2 (Fig 2) any further phases of work on the site were to include the supervision, observation and recording of all foundation work in Area 2. The Boots Company also allowed limited observation and recording of Area 1 foundation work. This report presents a consideration of the results of the sample excavation and the foundation work.

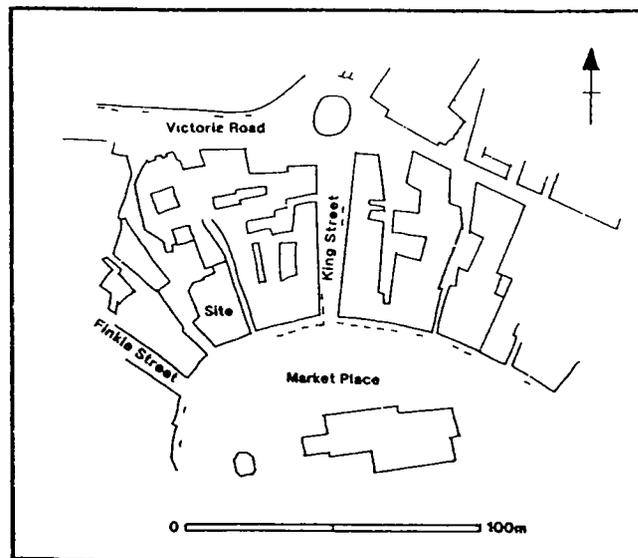


Fig 1 Site Location Plan

2 Historical and Documentary Evidence

The earliest known map of Richmond dates to 1610, despite the distortion encountered by Speed's attempt to create a three dimensional plan, it is clear that the area of present day 15–16 Market Place did possess extant buildings in 1610. What is less clear is the possible undeveloped area to the rear of these properties. Later documentary evidence indicates the presence of buildings and an undeveloped area to the rear of 15–16 Market Place. The 1810 O S map of Richmond confirms this development pattern.

Documentary evidence clearly illustrates the role and importance of chantries and obits to medieval Richmond. Chantries were bequests which supported a priest to say masses regularly for the soul of the benefactor or other persons, whilst an obit was a small gift sufficient to pay for an annual memorial service. The foundation dates for all the known chantries are as yet unclear, but it is certain that of the known chantries, establishment dates range between 1330 and 1492 (Wenham 1955). At the time of the Dissolution in 1544 there were no fewer than 13 chantries and 20 obits in Richmond. Some were quite lavishly endowed with property and incomes, whilst others were very small foundations.

The chantries were free chapels or places of religious worship voluntarily erected by the people of Richmond, independent of the parish church and exempt from all ordinary jurisdiction. Each chantry was provided with a priest, without any charge to the rector or parish, and endowed with rents and lands for their perpetual maintenance. Consequently these priests required living accommodation near to their chantry chapels. Documentary evidence states that such a housing or college was located between Friars Wynd and Finkle Street (Clarkson 1814).

At the north side of the Market Place was a large building, in the form of a quadrangle enclosing a small courtyard, called the College, which it is supposed was the property in Richmond, formerly belonging to the Priory of Ellerton and valued at £1 a year.

The opportunity to observe and record archaeological deposits at the 15–16 Market Place development, permitted comparison of the archaeological record against the historical record. Excavations at 2–4 Finkle Street (Finney, 1989), had suggested the presence of undeveloped areas between Finkle Street and Friars Wynd, but there was no conclusive evidence as to the ground plan of buildings either contemporary with, or relating to, the college of the Chantry Priests.

3 Excavations at 2-4 Finkle Street 1989

During the months of August–November, 1989 excavations were undertaken at 2-4 Finkle Street, mainly in the area to the rear to the east (Area A) and to the north-east (Area B) of the properties which front Finkle Street. The observations and subsequent post-excavation work was totally funded by Percheron Properties Ltd.

Area A

Excavation located a number of associated and non associated stone and rubble stone walls (Walls 1-9) and a drain complex (Drains 1-6).

Excavation showed that Walls 1, 3 and 8 had been constructed directly onto earlier walls which appeared to follow roughly the same alignment and were constructed of similar type materials, except that the bonding material was clay in the earlier walls and lime mortar in the later additions. Taking into consideration the above evidence it would appear that Walls 2, 6, and 9 formed a three sided enclosure. The investigation of the interior of this area was confined to predetermined foundation trenches. Even so, the hand excavated sections were adequate in illustrating that the underlying stratigraphy and substantiated by the associated pottery and bone assemblages that the deposits did not represent the internal floor levels of a building, but were more suggestive of possible cultivation over a long period of time. Pottery from Layers 22 and 23 spanned a period from the 12th to 15th centuries.

Further evidence to suggest that the area enclosed by Walls 2, 6 and 8 was of a garden nature was provided by the excavation of Feature 68, which has been interpreted as a stone water trough.

Excavation showed that Area A had remained relatively undisturbed by development until late in the archaeological record. The start of development is attested by a series of drains. Excavation suggested that Drain 2 represented the earliest of the modern features due to its construction form, i.e. the extensive use of cobbles. Drains 3 and 5, due to their stratigraphic relationships and the use of brick in their construction, may, with Drains 1 and 6, be related to the post-medieval development of Finkle Street in the 18th century. The use of brick only came into vogue in Richmond from the early 18th century onwards.

Area B

Excavation in Area B showed that this area of the site had been more extensively developed from the early medieval period through to modern day. The archaeological record in Area B suggests a period of natural soil accumulation which may represent the predevelopment phase of Richmond, i.e. the development of Richmond as a market town was primarily concentrated around the Castle and Market Place before radiating outwards to be eventually confined by the town wall, which was constructed in the 14th century.

Excavation in Area B located 13 walls (Walls A–N). Walls A, B, C, F, H, J and K were only partially in situ as their upper extents had been robbed and the stone reutilised. Walls E, G, L, M and N were of a more substantial nature and their location and association suggests that they originally formed a single unit, possibly a building which measured at least 11m by 11m.

Finally, excavation suggested that there was possibly evidence for Timber-framed building activity, pre-dating the stone building, in Area B. Unfortunately the restrictions imposed in the relevant areas of the site means that interpretation of cut 83 remains problematic.

The excavations at 2–4 Finkle Street not only illustrated the degree of potential archaeological information to be derived from future development, but also provided a number of guide-lines to be tested by further archaeological work. e.g. the nature of Timber-framed building activity, the re-use of wall alignments, the continuation of a pottery sequence comparable to 2–4 Finkle Street and the exact nature of land use in this area of Richmond at any given date.

4 Excavation Methods

The evaluation report of the development area suggested a sample excavation was carried out in Area 2. Unfortunately due to the in situ fire escape and the difficulties possibly arising from excavation in close proximity to the extant dispensary foundations, the area to be sampled was moved further to the north than originally planned (Figs 2 & 3)

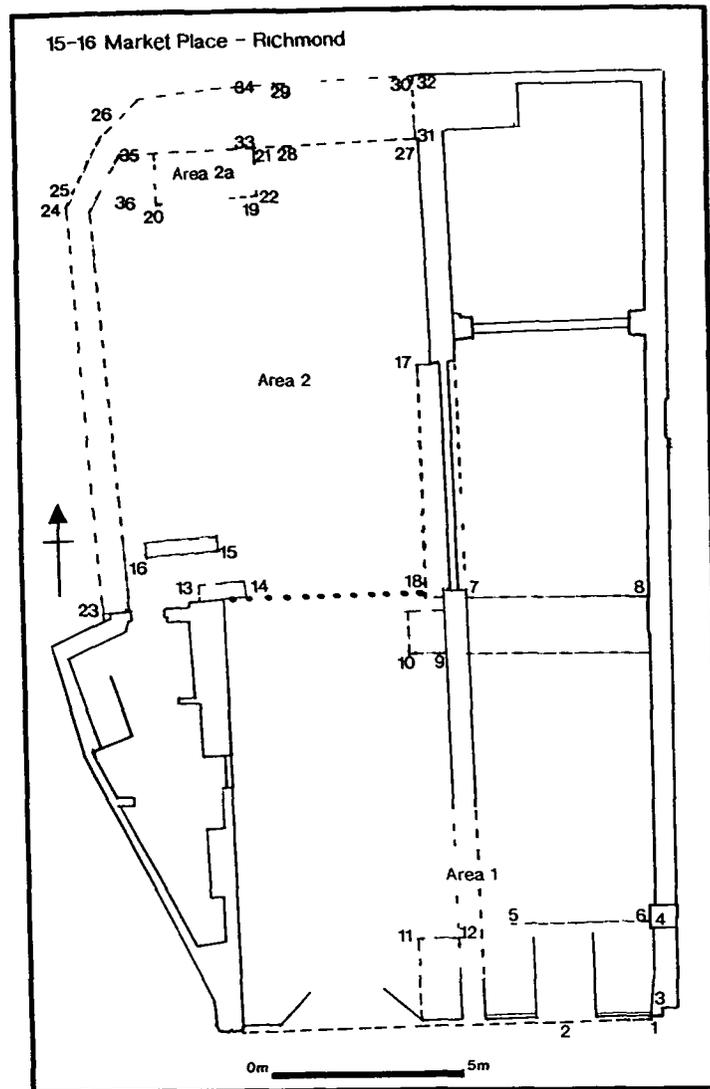


Fig 2 Site Plan – location of sections

Although initially an area of approximately 5m x 2m was to be sampled, the location of an active drainage pipe to the west of Area 2a resulted in a smaller excavation area measuring 2.5m x 1.75m. For the purpose of this report the sample excavation area is referred to as Area 2a, representing a sub-section Area 2.

Area 2 equates to the area to the north of 16 Market Place and to the west of 15 Market Place
 Area 1 equates to the extent interiors of 15-16 Market Place (Fig 2)

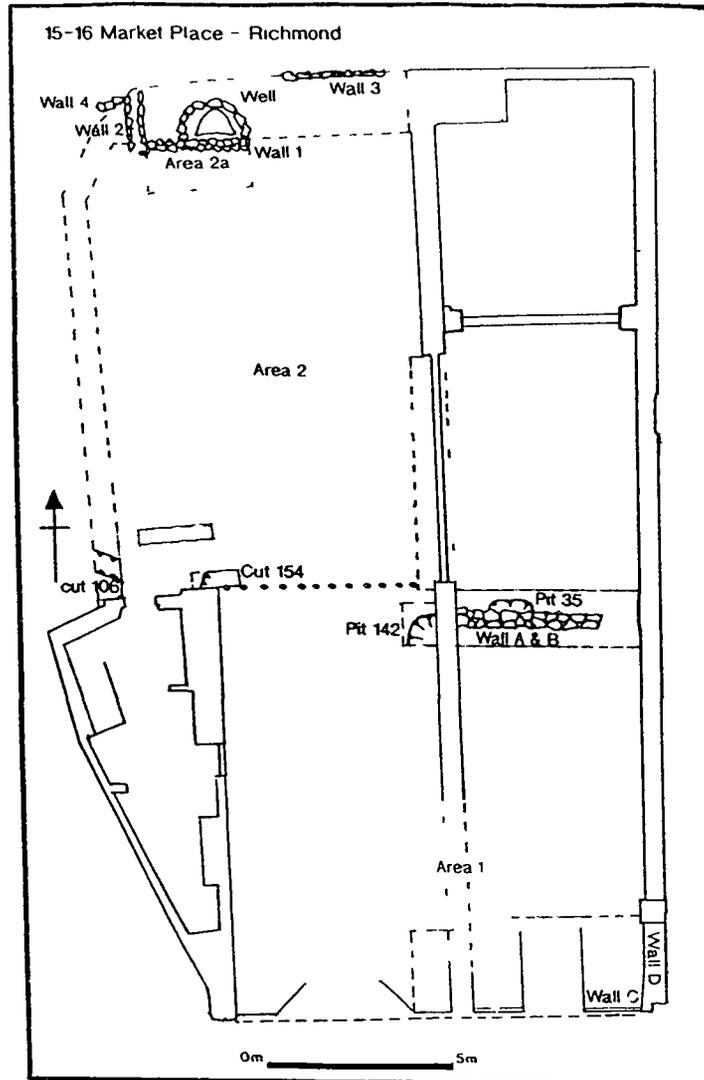


Fig 3 Site Plan – location of features

All foundations trenches were excavated by hand in Area 1 (labour provided by Randal Orchard), with section 7-8 observed during excavation, whereas sections 1-2, 3-4, 5-6, 9-10 and 11-12 were recorded after excavation. Foundations cut into Area 2 were mechanically excavated, and drawn at a scale of 1:10, or photographically recorded due to the unusually high water table which resulted in the sections of a number of the trenches being extremely unstable (sections 13-14, 17-18, 23-24, and 25-26)

Area 2a had suffered some disturbance due to the removal of the concrete yard floor (Layer 1) and deposition of building materials, therefore it was felt that machining of this strata would be more effective than hand excavation. In total, approximately 0.4–0.55m of Layers 3, 4, 87 and 88 were removed. All this strata was recorded on section (19–20 & 21–22 Figs 4 & 5 respectively)

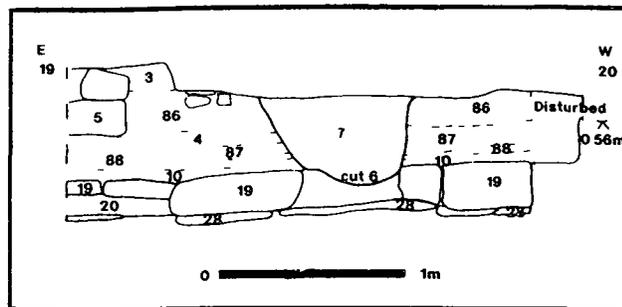


Fig 4 Area 2a – section 19–20

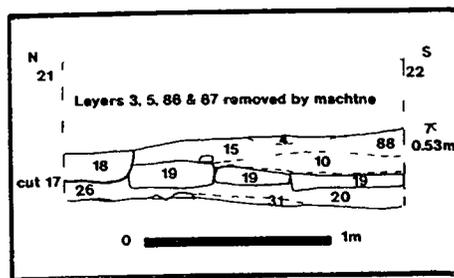


Fig 5 Area 2a – section 21–22

The level data assigned to sections within this report equates to measurements below the finished floor levels of the new development

5 Excavation Results

AREA 2a – Sample Excavation

The original objectives in sampling Area 2a were to assess the degree of preservation in this particular area of Richmond with specific reference to the extent of modern disturbance, and how the proposed development would effect the archaeological deposits

Portions of the excavated area had been disturbed in the upper levels by a concrete yard, foundations of buildings removed to facilitate development work, and recent development, a layer of olive-yellow sand (context 10) which indicated the start of in situ deposits (Fig 6)

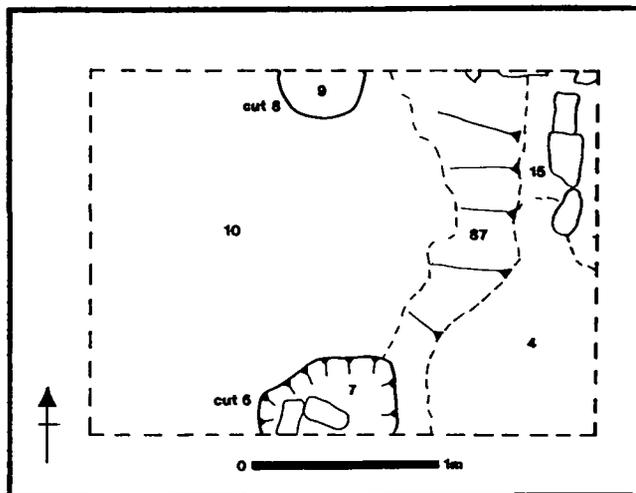


Fig 6 Area 2a – modern and post-medieval features

A very similar layer of sand was seen during the course of the Finkle Street excavation and this was initially interpreted as a levelling layer deposited in the mid to late 18th century and representing the start of a phase of redevelopment in Richmond. Excavation only located one sherd of pottery from this layer (Appendix 3 Fig 27 4) which represents a fragment of a bung-hole cistern, dated to the late 14–15th century. The occurrence of this sherd in Layer 10 would appear to be residual rather than in situ due to the stratigraphic considerations of material sealed by Layer 10.

Layer 10 was only disturbed by three modern pits (cuts 6, 8 and 17). Pits 6 and 17 can be dated to the modern period due to the inclusions of brick and plastic fragments in their fills (Fig 7).

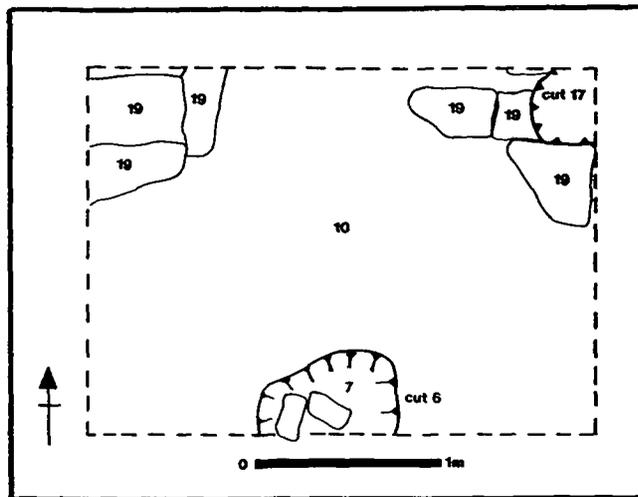


Fig 7 Area 2a - layer 10

Pit 8 was a shallow depression containing a sandy fill (context 9) with inclusions of charcoal and sea shells of the whelk species

The modern pits (cuts 6 and 17) bottomed out on context 24, a sandstone floor, below this level there was no modern disturbance to the archaeological stratigraphy (Figs 4, 5, & Pl 1)



Pl 1 Sandstone floor Context 24 Facing North

Layer 10 sealed an area of flooring (context 24) composed of various sized sandstones (context 19) with a lime mortar bonding (layer 23 Fig 8)

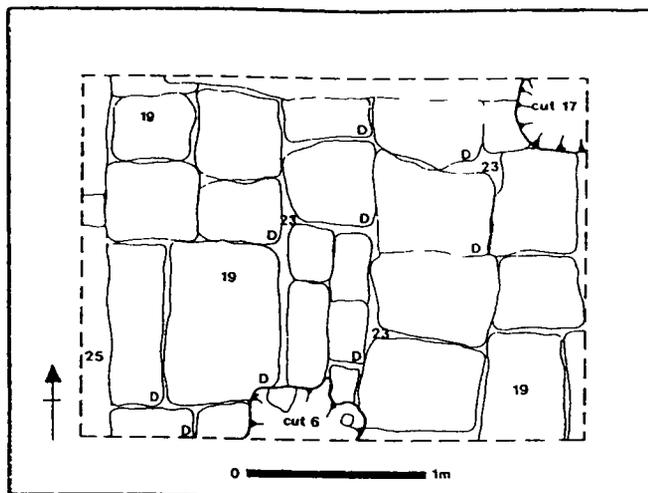
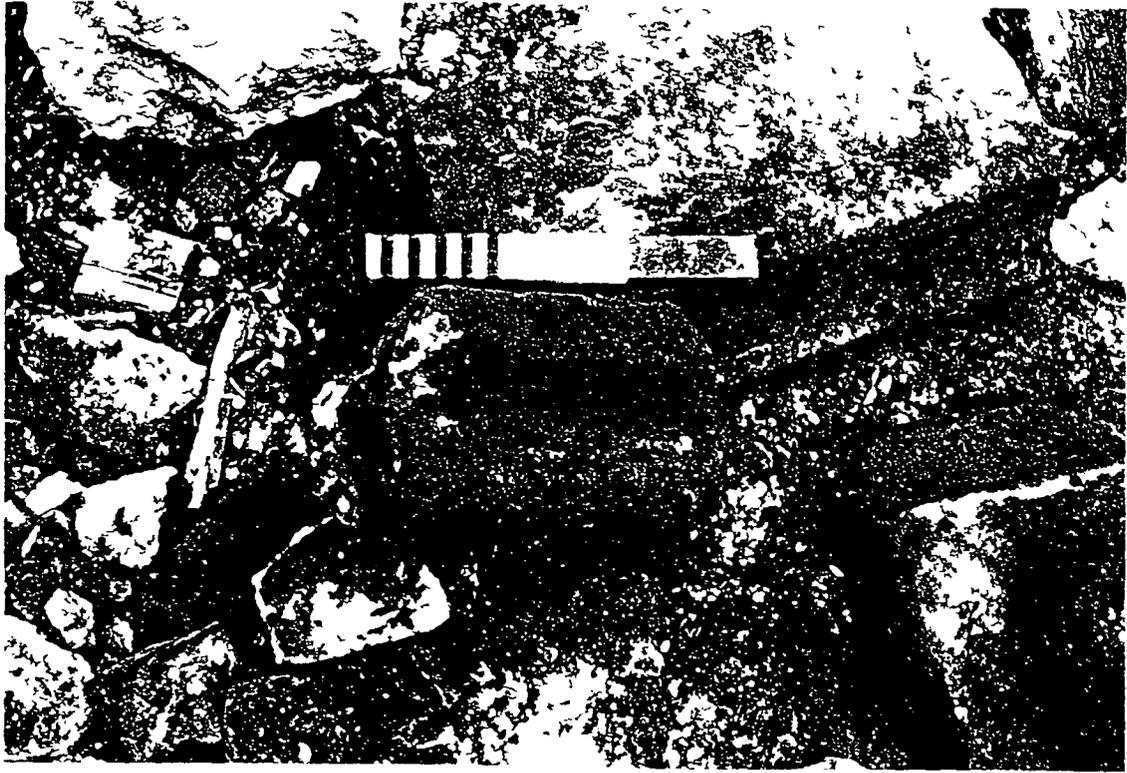


Fig 8 Area 2a – sandstone floor

Removal of the floor showed that at least 40% of the stones had been dressed (Pls 2-4)

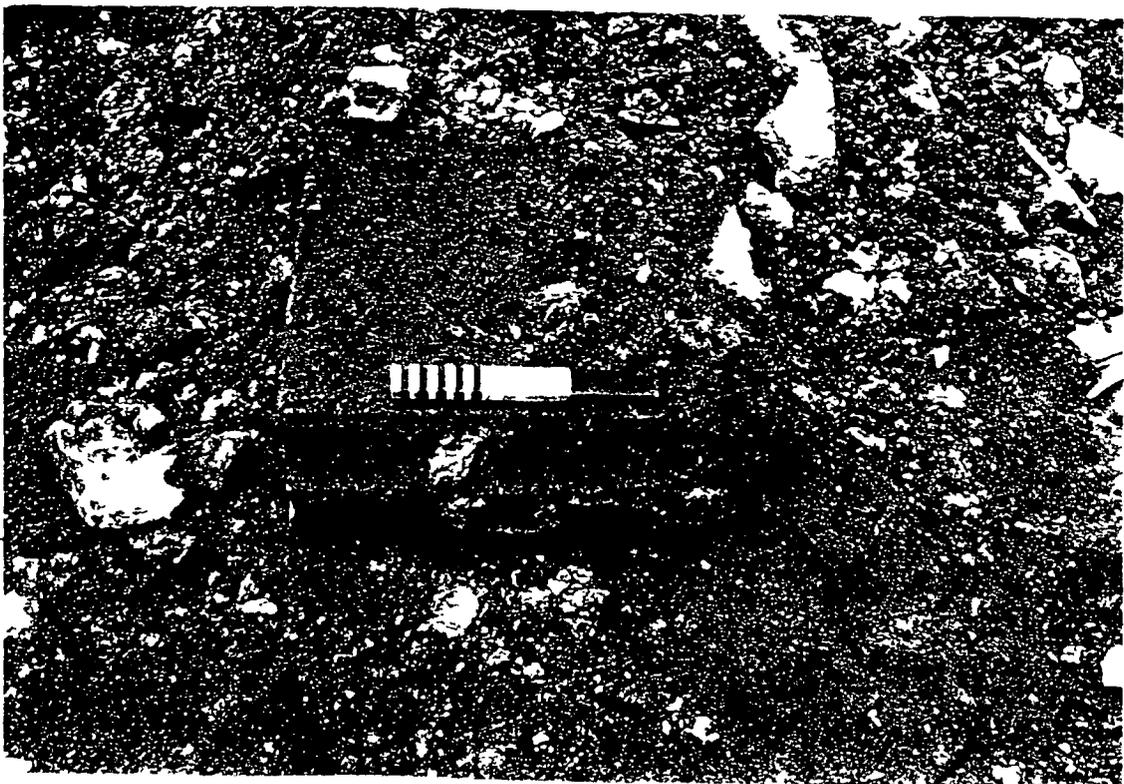


Pl 2 Worked stone from paved floor



Pl 3 Worked stone from paved floor

Architectural consideration of the stones (J Hatcher pers com) indicated that the stones displayed hollow chamfreys and were of a Classical rather than Gothic nature datable by style to the 17th-18th century. One piece could possibly be of a Tudor date (ie 16th century) and possibly represents a fragment of window tracery. The remaining dressed pieces could have been used originally as covmg.



Pl 4 Worked stone from paved floor

Sealed beneath the sandstone floor was a layer of dark grey/olive sand (layer 20) which had acted as the bedding layer for the sandstone floor. Excavation in the south-eastern corner of Area 2a located a greater depth of sand than in the west, this can be explained by the absence of the stone paved floor (context 32) constructed of thin slabs of limestone (context 28) located in the west of Area 2a (Fig 9)

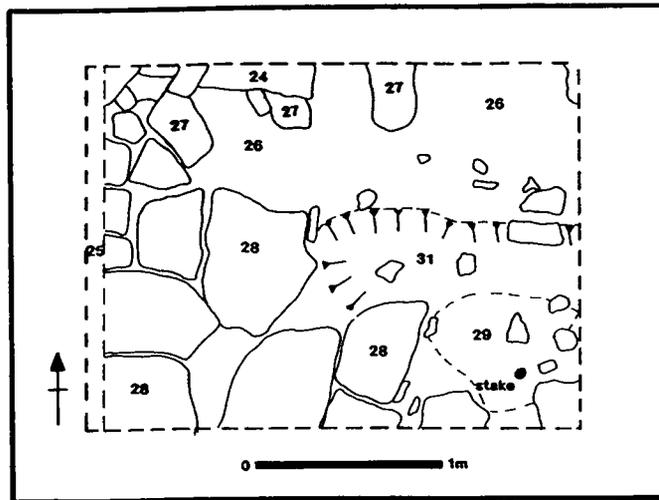


Fig 9 Area 2a – Limestone floor and wall 2

Below Layer 20 was a layer of light brown silty clay (context 21) which may have acted as a foundation layer for the sandstone floor construction. Sealed below Layer 21 in the north of Area 2a was a layer of light olive clay with mortar inclusions (context 26) and to the south, a layer of olive clay (context 31), which in the west was sealed by the limestone floor (context 32)

Removal of Layer 26 exposed a well constructed wall (wall 1 context 30) composed of sandstone blocks (context 27), measuring 0.32m x 0.3m x 0.05m bonded with a olive clay (context 34). The wall measured approximately 0.7m in width and was exposed for a length of 2.5m (Fig 10)

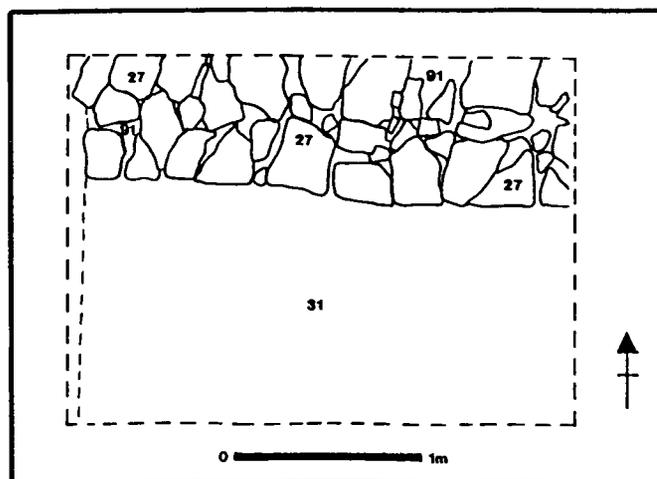


Fig 10 Area 2a – wall 1 upper level and layer 31

The wall was lowered to facilitate the east–west foundation of the 16 Market Place extension (see below) There was no alteration in the composition of the wall and it is clear that the wall survived for at least five courses and probably more (Fig 11)

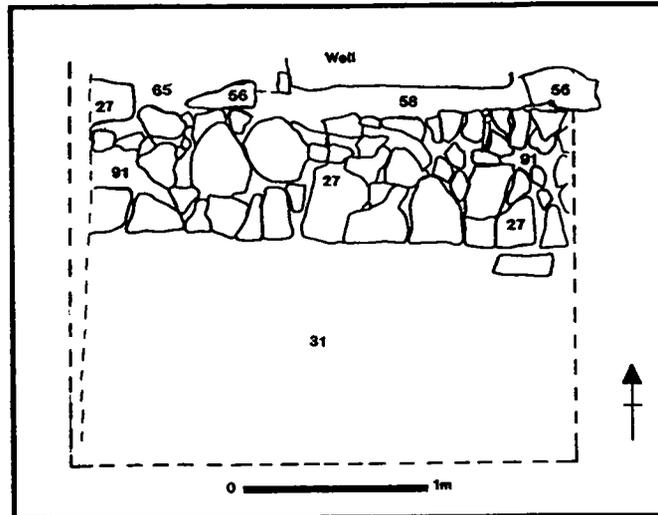


Fig 11 Area 2a – wall 1 lower levels

Wall 1 returned to the west of Area 2a and continued into the section (wall 2 Fig 12)

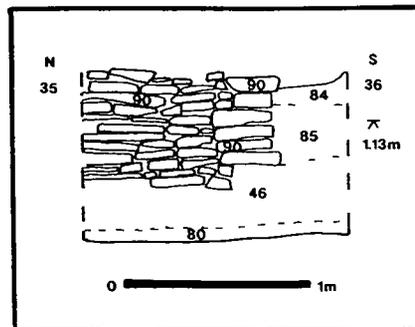


Fig 12 Area 2a – wall 2 section

Wall 2 (context 33) was constructed of sandstone and limestone blocks measuring approximately 0.28m x 0.18m x 0.07m and bonded with an olive yellow clay (context 91) The wall measured 0.95m in width was exposed for a length of 1.6m (Fig 13) and survived to a depth of 0.65m or 12 courses of stonework (Fig 12)

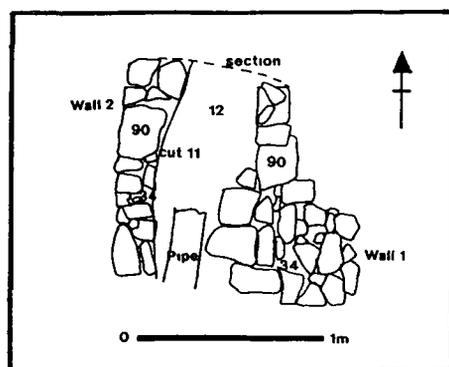


Fig 13 Area 2a – wall 2 plan

The upper levels of Wall 2 had been utilised to house a modern drain which ran from the Dispensary extension of 16 Market Place to the drainage system situated on an east–west alignment to the north of section 29–30 (Fig 2)

Walls 1 and 2 formed the south and west wall respectively of Building 1

Excavation showed that the limestone paved floor (context 32) butted up to Wall 1 suggesting that the wall was still extant, albeit to an unknown degree, when the floor had been laid Layer 31 also butted the wall

A general cleaning of Layer 31 located a fragment of textile (Pl 5, Appendix 6)



Pl 5 Fragment of textile in situ

Sealed beneath Layer 31 was a layer of dark grey silty clay loam (layer 29) Excavation located a piece of timber which was extremely well preserved due to the water logged nature of this layer With direct reference to previous excavations in Richmond, it is believed that Layer 29 equates directly with Layer 23 in Area A of the Finkle Street development This layer is interpreted as a natural build up layer representing the earliest man-made deposits in this area of Richmond

The sample excavation had been continually effected by water seepage, excavations carried out at Finkle Street were similarly effected, but the increased volume of water seen in Area 2a may be due to the possible presence of a well some 2-3m to the west of the excavation area (Mrs Stabler pers com) The area was also affected by leakage from a drainage system to the west of Area 2a and to the south bordering section 29-30

The removal of the two stone floors (contexts 24 & 32) resulted in the amount of water seepage increasing dramatically The decision to mechanically excavate a sump to the west of the site to aid drainage of the excavation area failed to eliminate the problem

It was felt that more damage than constmctive analysis of Layers 29 and 31 would be the result, if excavation continued Equally the sample excavation had already quite clearly illustrated the excellent degree of preservation of archaeological deposits, therefore it was concluded that no further excavation should be undertaken in this area and that by covering Area 2a with polythene and concrete Layers 29 and 31 and wall 1 would be preserved in situ

The sample excavations in Area 2a had clearly illustrated the degree of preservation of medieval deposits in this area of Richmond, equally the high water table meant that water-logged deposits were highly likely to occur during development work Based on the conclusions drawn at 15-16 Market place and from previous work at Finkle Street and it was felt that all foundation work should be observed and recorded (Recommended Archaeological Action Ref 1/92/289F) The following sections report and discuss the results of these observations

Area 1 – Foundation Sections

A total of five foundation trenches were observed and recorded in Area 1, with Section 7–8 observed during excavation and Sections 1–2, 3–4, 5–6, 9–10, and 11–12 recorded after excavation, all these trenches were hand excavated by non archaeological labour

Sections 1–2, 3–4, and 5–6

The foundation cut through the shop frontage of 15 Market Place, measured in access of 1.5m in width and was cut to a depth of 1.5m from the present day street level (Figs 14–16). A total of three sections were recorded in this foundation trench due to informative nature of the deposits – section 1–2, provided evidence on the development at the front of 15 Market Place section 3–4, provided evidence on the inter-relationship of the south and east wall of an earlier building and section 5–6, the nature of the internal deposits of the building

Section 1–2 It is clear from the section that the modern shop frontage of 15 Market Place had been constructed directly onto an earlier wall (Wall C context 119), which acted as a foundation. Wall C was constructed of well cut sandstones and limestones (context 117), these stones varied in size and shape but greater conformity was seen towards the bottom of the construction. There was no apparent bonding. The wall stones were directly sealed by a layer of bedding sand (context 116) and then sealed by concrete paving slabs (context 115). Wall C was constructed directly onto layer 114 (Fig 14)

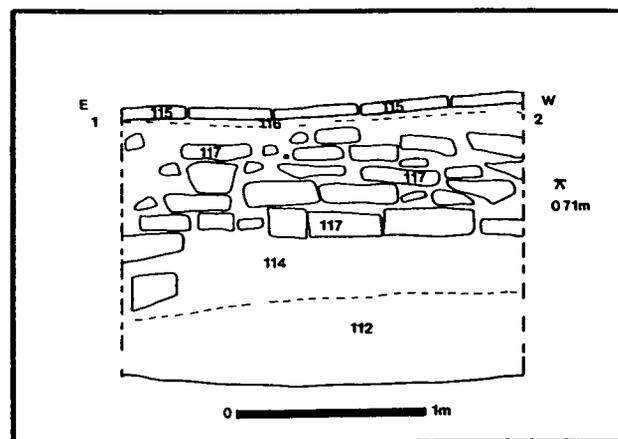


Fig 14 Area 1 Foundations – section 1–2

Layer 114, a greyish-brown clay measured approximately 0.40m in depth and sealed a further clay layer (context 112) of reddish-brown compact clay. This layer continued to a depth of an excess of 0.5m. It was impossible to determine the exact depth of this layer as the foundation trench was only excavated to the depth as shown on section (Fig 14). Initially it was considered that layer 112 represented natural deposits, whereas layer 114 represented a deliberate foundation layer laid to facilitate the construction of Wall C.

An interesting feature of Wall C was that the wall was markedly deeper in depth in the east than in the west. There is a definite slope to the street outside the front of 15 Market Place and it would appear that the builders of Wall C needed to compensate for this slope during construction.

No finds were recovered during the recording of the section to provide dating for Wall C, or any of the associated deposits.

Section 3-4. This section recorded the return of Wall C (Wall D) in the east of the site. Wall D (context 120) was of similar construction to Wall C, i.e. sandstone and limestone blocks (context 118) with no apparent bonding, with the addition of the occasional use of cobbles (Fig 15).

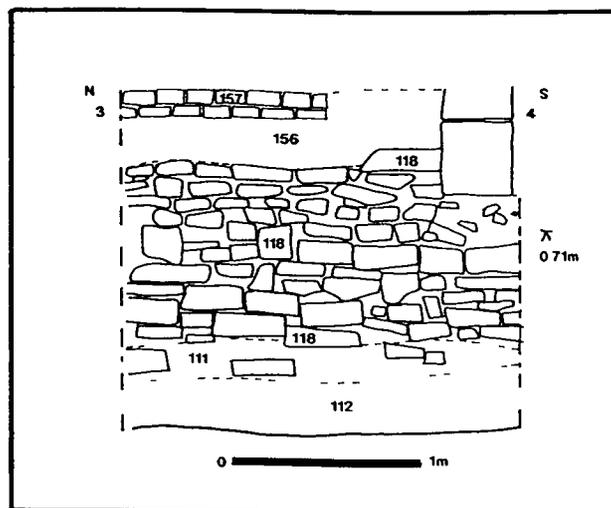


Fig 15 Area 1 Foundation – section 3-4

Wall D had been used as the foundation for the modern wall of 15 Market Place which borders Friars Wynd and which was of brick construction, covered with a plaster skim (contexts 157 and 156 respectively).

Wall D was built directly onto Layer 111 (a dark grey silty clay loam – which may equate to Layer 46 in Area 2) and which had accumulated directly above layer 112 – 'natural'. The difference in base layers between Walls C and D may be due to the need for Wall C to have a firmer base to compensate for the natural slope of the Market Place.

The presence and nature of layer 111 suggests that accumulation of this layer represents a period when the present interior of 15 Market Place was undeveloped and remained open land. If this interpretation is correct then layer 111 was removed prior to the deposition of layer 114 at the front of the 15 Market Place property.

Section 5-6 The section in the north recorded the stratigraphic history of the interior of the building (Fig 16)

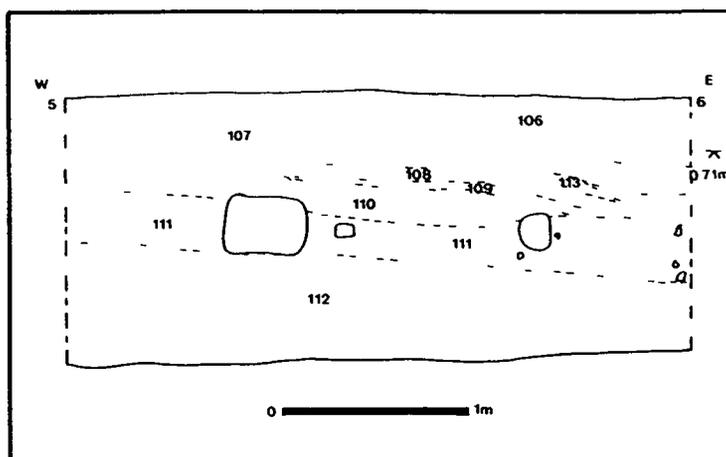


Fig 16 Area 1 Foundations - section 5-6

Below the deposit of modern build-up (context 106) which had been disturbed by development work, excavation located a number of build up layers dating from the post-medieval period (context 107) through to probably the original floor levels of the building (contexts 108-110, and 113). Excavation located a layer measuring approximately 0.20m in depth and composed of a mixture of clays and burnt daub (context 110). The west side of the section had been destroyed for c. 1m due to development work, so it was impossible to trace the full extent of layer 110. Above this layer were further concentrations of clay based deposits with traces of burnt material (contexts 108, 109 and 113). Pottery from Layer 111 suggested that all these deposits were laid down sometime after the 13th-14th centuries.

An interesting factor of this area of the site was that none of these layers were seen in section 7-8, suggesting that Wall B may have represented the north wall of this building.

Section 7-8 (Fig 2) was located almost centrally to 15 Market Place. The foundation trench was excavated by hand by non-archaeological labour to facilitate the construction of a ground beam to support the upper levels of the building. The southern side of this trench was cut into the infilled cellar of 15 Market Place. All excavation was down to natural clay.

The trench measured 1.5m in width and when fully excavated reached a depth of 1.8m. The southern side of the trench was formed by hard core which had been deposited to infill the extant

cellar prior to development. The northern side provided a cross section through the in situ strata of the interior of 15 Market Place. Excavation of this trench also necessitated the removal of an extant wall (Wall A) which had originally provided a main internal support for the upper floors of the building. Originally the wall had continued up to ceiling level but it had been lowered sometime this century, possibly during the most recent development work prior to that carried out in 1990. The foundations of Wall A had to be removed during the excavation of the foundation trench. This proved extremely labour intensive due to the size of the wall stones and the very well compacted mortar used in the initial bonding. Wall A measured approximately 0.65m in width, was aligned east-west and was present at ground level for a distance of approximately 2m. It did not butt into the standing east wall of 15 Market Place but stopped approximately 0.5m from the wall.

Wall A (context 104) was constructed of well cut sandstones and limestones (context 39) with a lime mortar bonding (context 40).

The fill of the foundation trench (cut 41) for Wall A was a reddish brown slightly sandy loam (layer 44). Pottery from this layer dates to the 19th century (Appendix 3).

To the east of Wall A, where the wall was not evident, was a deposit of large sandstones 0.70 x 0.43 x 0.11m intermixed with a layer of greyish brown compact clay (context 42). This was the area where the stairwell had existed prior to development.

Located beneath Wall A was a second wall, on approximately the same alignment and apparently acting as the foundation for, Wall A. Wall B was constructed of well cut sandstone blocks (context 43) with no apparent bonding. The stones measured approximately 0.55 x 0.37 x 0.08m and survived for at least 4 courses. The wall was sealed in the east by the greyish-brown clay layer associated to the stair well.

Wall B possessed a series of foundation stones represented by large sandstone slabs set directly into Layer 37 – a greyish-brown clay, which probably represents the fill of the foundation trench cut for Wall B (cut 38).

Cut into the foundation trench for Wall B was a feature most likely to represent a pit (cut 35). Excavation of this feature located a substantial deposit of pottery (Figs 24 & 25, Appendices 2 & 3).

The dating of the pottery collection is crucial to providing a date for the construction of Wall B. It is clear from the pottery analysis (Appendix 3) that the earliest date for the assemblage is the 12th century, with the predominant date resting in the 13th–14th centuries. Therefore one can conclude that Wall B was constructed most probably around the 13th–14th century.

Section 9–10 (Fig 17) was the continuation of the section 7–8 in 16 Market Place. The baulk between sections 7–8 and 9–10 was removed without archaeological observation. Even so a deposit of bone was located (see Appendix 2) and according to the workmen a layer of "dark material with bits of twigs" was removed.

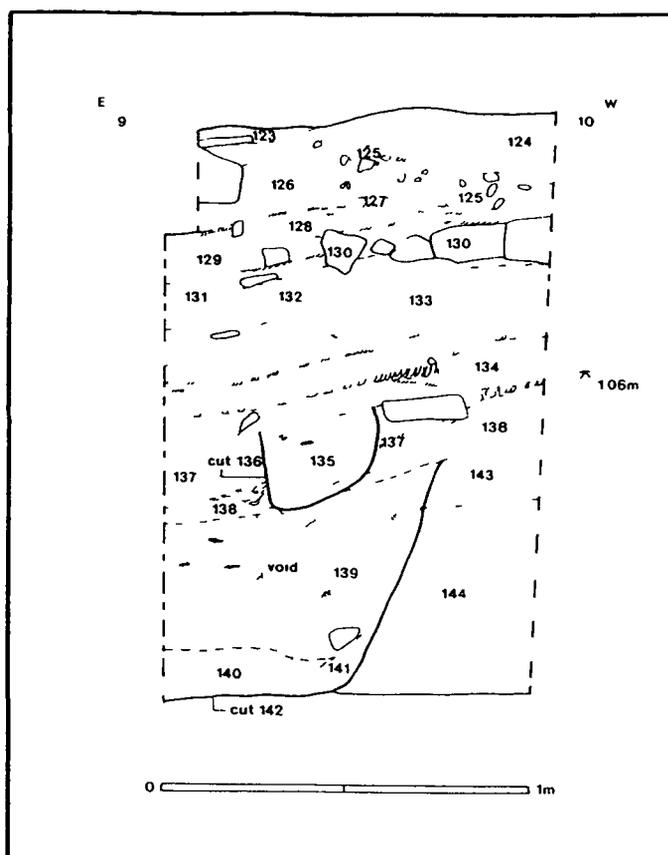


Fig 17 Area 1 Foundations – section 9–10

This section excavated in 16 Market Place was recorded after excavation had been completed. The trench measured approximately 1.5m x 1.05m and was cut to a depth of 1.55m.

The section recorded the most complicated sequence of archaeological deposits seen with a standing building in Richmond (Fig 17).

The manual excavation of this foundation trench extension had cut through a series of layers (contexts 123, 124, 125, & 126), which represented the make-up beneath the latest floor level. Layer 127 may represent the remnants of an earlier floor with Layers 128 and 129 representing further build-up layers. Layer 130, a deposit of limestones may represent a levelling layer or be the remnants of a stone floor.

Sealed beneath Layer 130 was a further series of either build-up or dumping layers (context 131, 132, 133, & 134).

Below Layer 134 were a series of layers which were associated with two cuts (cuts 136 and 142). The earlier of the two features was cut 142 which represented a pit measuring in excess of 0.75m in diameter (the eastern extent of the feature is unknown, but based on information on the cutting of the foundation baulk between 15–16 Market Place obviously extended some distance to the east). The pit was cut to a depth of 0.62m into layers 143 – a pale grey clay and layer 144 a dark red compact clay.

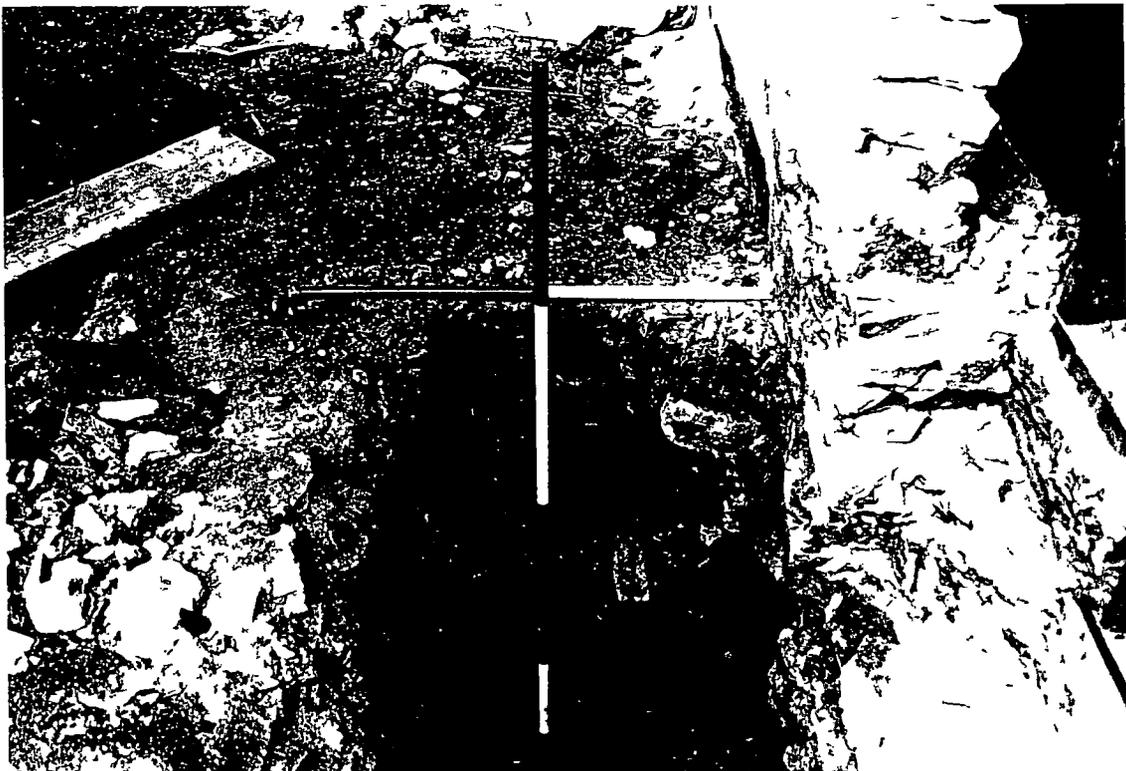
The pit was filled with a series of layers (contexts 139–141) which suggested gradual accumulation as opposed to deliberate backfilling

Two sherds of pottery were recovered from layer 141 dating to the 14th century (Appendix 3), suggesting that the pit was in use either during that century or later

When the pit had fully silted up and possibly been capped by layers 137 and 138, a second feature (cut 136) was cut into the upper fills of the pit. Cut 136 measured 0.32m in width and was cut to a depth of 0.22m. The fill consisted of a single layer of organic based silty clay. No finds were recovered from the fill.

Due to the nature of the constraints placed on the excavation in Area 1, (which was not covered by the Recommended Archaeological Action), it was not possible to sample the fills of the pits to establish original function. The relatively small amounts of associated pottery suggests that they were probably not used as domestic rubbish pits, although the location of the animal bone in the baulk between 15–16 Market Place, (context 161 Appendix 4) which may be associated to Pit 136, might suggest the presence of domestic debris.

Section 11–12 (Pl 6) was a continuation of the foundation trench excavated at the front of 15 Market Place. The trench measured 2m x 1m x 1.5m. The stratigraphy encountered was at variance to that seen in sections 1–2 and 5–6. All the faces of the trench displayed high concentrations of stone which due to the angle of settling gave the appearance more of a backfill deposit than a feature construction. The stone (context 153), a mixture of sandstone and limestone rested directly onto Layer 112 (Pl 6).



Pl 6 Section 11–12 Facing North

To the west of section 11-12 was the infilled cellar of 16 Market Place, taking this into consideration it is possible that the deposit of stones may represent the backfilling of an earlier cellar. The slightly more substantial deposit of stone to the east may represent a foundation layer for the construction of the wall which separates 15 and 16 Market Place (Pl 7)



Pl 7 Section 11-12 Facing East

No finds were located to provide dating for any of these features

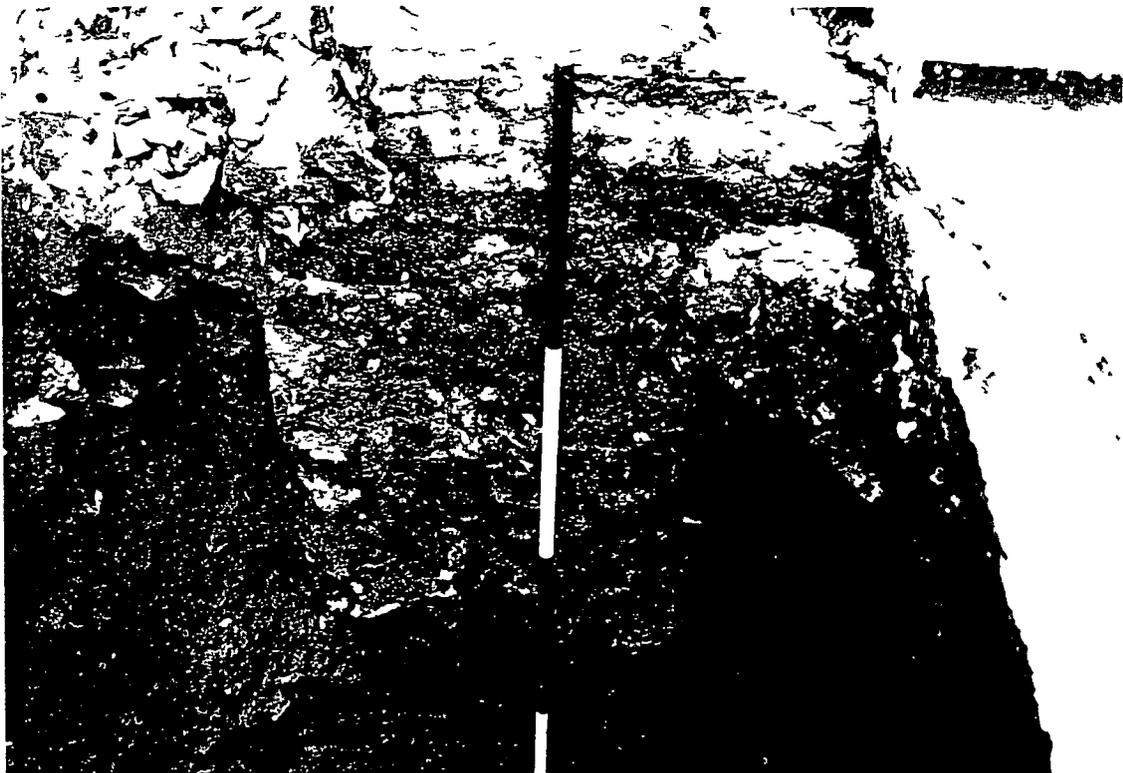
Area 2 – Foundation Sections

Section 13–14 (PI 8)

Section 13–14 was excavated in the later stages of archaeological observation at the site. The results of the observation had a marked effect on the interpretation of the use and development of the original buildings which fronted the Market Place in the medieval period.

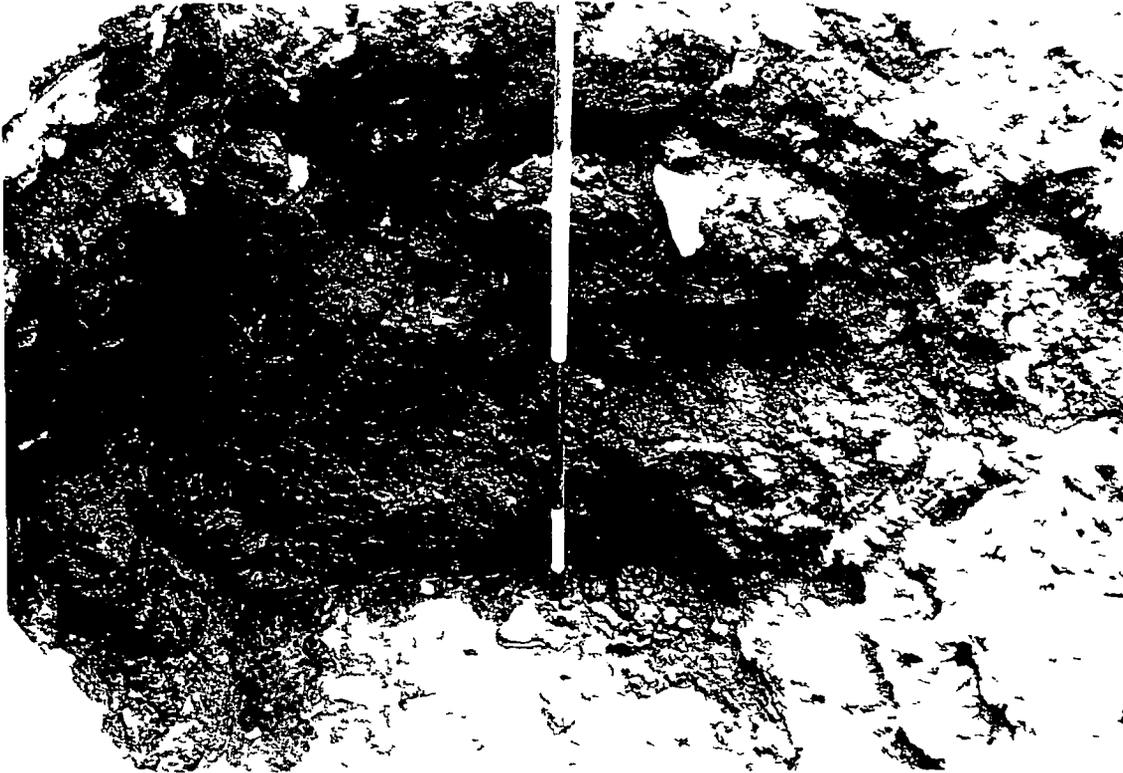
During the excavation of all foundation trenches in Area 1, excavation had halted at approximately 1.5m – 1.8m when layer 112, (reddish brown clay), had been encountered. During the course of these excavations there was a noticeable lack of water, the presence of which had hampered all excavations in Area 2. Layer 112 was initially interpreted as natural, although the natural deposits in Area 2 had always been observed as a pale olive compact clay (context 80), as opposed to the reddish-brown clay in Area 1. It had been assumed that, as can occur with natural clays, there would be a merging of the two layers at some point between Areas 1 and 2.

Excavation of section 13–14 did not reflect the established sequence of stratigraphy seen in section 15–16 (Fig 18) and in the lower levels of section 27–28 (Fig 19). On the north facing section excavation indicated that the west wall of 16 Market Place had been constructed onto a 0.75m deep deposit of broken stone and bricks (context 155), the latter indicating a late date for its construction, probably sometime in the 18th century. Layer 155 had been built directly onto Layer 112 (PI 8).



PI 8 Section 13–14 Facing South

The east facing section displayed similar deposits to those recorded on section 15–16. The south facing section clearly illustrated the presence of a cut (context 154). Cut 154 possessed a vertical side in the west and extended to a depth of approximately 1m (Pl 9).



Pl 9 Section 13–14 Facing North

The fill of the feature was a reddish–brown clay (context 112) which sealed a deposit of pale olive clay – natural (context 80). The cut extended into the west facing section but it was impossible to ascertain the exact width of the feature due to the predetermined size of the trench (Pl 9).

Excavation of section 15–16 clearly indicated that the cut did not extend further than 1m northwards and equally the excavation of section 17–18 had shown that cut 154 was not present 7.5m to the east.

Based on the evidence derived from the excavation of section 13–14, it would appear that Layer 80 should be accepted as the natural deposit on the site whereas Layer 112 represents a man made deposit laid to aid the construction of the original properties which fronted the Market Place. Where Layer 112 was excavated there appeared to be no problems with water seepage, whereas any excavation into Layer 80 resulted in quite considerable quantities of water filling excavated trenches. It is therefore possible to conclude that a substantial area of the frontage of the Market Place was excavated sometime around the 13th–14th century and the excavated area backfilled with a type of clay which acted as a barrier to the naturally high water table in Richmond. This new base then allowed cellars to be built if required and may also have provided a firmer foundation base for the early medieval buildings.

Section 15–16 (Fig 18)

Section 15–16 illustrated a gradual accumulation of deposits from the early medieval period to modern times

Layers of 145–148 represented dump and build up layers (Fig 18), the upper of which are probably directly associated with the construction of the floor levels of the original dispensary, which was demolished to facilitate development

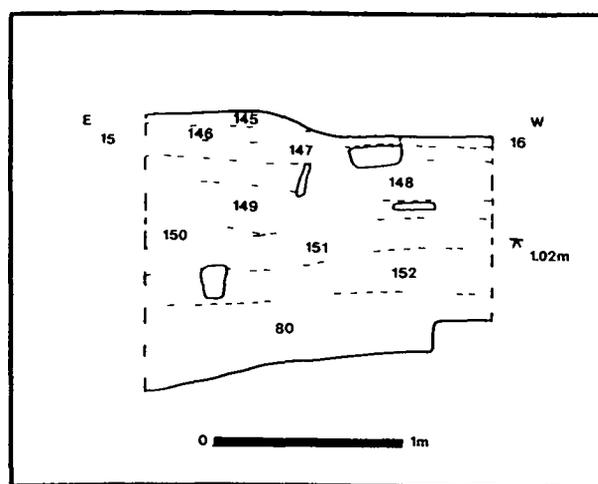


Fig 18 Area 2 Foundations – section 15–16

Pottery recovered from layers 149 and 152, was dated to the 13th–14th centuries (Appendix 3)

Section 17–18

A 0.60m wide trench aligned north–south was mechanically excavated in the south–east corner of Area 2, again due to the unstable nature of the deposits this section was only photographically recorded

The only indications of development were the lower levels of a well constructed sandstone and limestone wall which had been demolished in modern times during interior work at 15 Market Place. Below the wall archaeological deposits remained in situ and followed the sequence as recorded during the excavation of section 31–32 (Fig 20)

Section 23–24

The north–south foundation trench cut into the western boundary of Area 2, measured 0.60m in width and was cut to a depth of in excess of 2m. The extremely unstable nature of this foundation trench made accurate stratigraphic recording impossible. Throughout excavations at the site and predominantly in Area 2 it was apparent that the water table occurred at a considerable height. In certain areas of the site within 10–15 minutes of excavation, and often much sooner, parts of the section collapsed and water gushed into the newly mechanically excavated trenches. It was for this reason that this section was only recorded photographically.

Excavation showed that there had been no development of this area of the site in post–medieval to modern times. Sealed beneath the concrete yard surface (context 1) was an in situ deposit of cobbles in a very dark grey silty loam (context 2). An undisturbed deposit of light grey loamy clay with occasional sandstone and limestones (context 70) sealed a deposit of grey brown silty clay loam (context 77). Underneath Layer 77 was Layer 46. Partially cutting Layer 46 and the natural Layer 80 below, was a linear cut (cut 160) aligned east to west and measuring approximately 1.25m in width and 0.40m in depth. The cut was filled with a very dark grey, silty clay loam (context 159). This layer was sealed by a band of sandstones (context 158) which had probably been deposited deliberately to infill the cut. A similar feature was seen during the excavations at 2–4 Finkle Street in the southern limit of Area B, but without further excavation in the intervening area between 2–4 Finkle Street and 16 Market Place, it is impossible to suggest a definite association between the two features.

It was clear from the stratigraphic considerations that this feature represents a very early phase of development in Richmond. The limited nature of this particular excavation can only indicate the presence of this feature and no definitive interpretation can be made on the accordingly small amount of evidence.

Section 25–26

To the west of the well, excavation of a foundation trench (section 25–26) located a further wall (wall 4 – context 122). This wall was photographically recorded and appears to follow an east–west alignment. Its relationship, to Walls 1 and 2 of Building 1 is unknown and due to the restrictive nature of the excavation in this sector of Area 2 it is impossible to speculate. The re–instatement of the drains to the north of Walls 3 and 4 would have provided more conclusive interpretative evidence, but this re–instatement was not seen as necessary and excluded from the development programme.

Section 27–28

This section illustrated the complex nature of this area of the site and served also to illustrate the degree of preserved archaeological deposits in this area of Richmond.

The section was mechanically excavated in the main, with some hand excavation. All the work was observed and recorded by the archaeological consultant. The foundation trench was aligned east-west and measured approximately 4m in length. The original design plans had suggested two foundation trenches in this area of the site separated by a thin soil baulk. Due to the unstable nature of deposits in Richmond it was clear that such a design was impractical and therefore a single wide trench was excavated which measured 1.65m in width. The trench was to have continued for another 3m to the west, but the excavation located what at first appeared to be a wall aligned north to south, but which on further investigation resulted in the exposure of a very finely constructed well (see below). The logistics of hand excavating the well, resulted in the decision to change the foundation designs for this area of the site. It was decided to bridge the well and incorporate it into the foundations therefore preserving the feature for posterity.

Section 27-28 provides a detailed history of development in Area 2 from the early medieval period through to modern day (Fig 19)

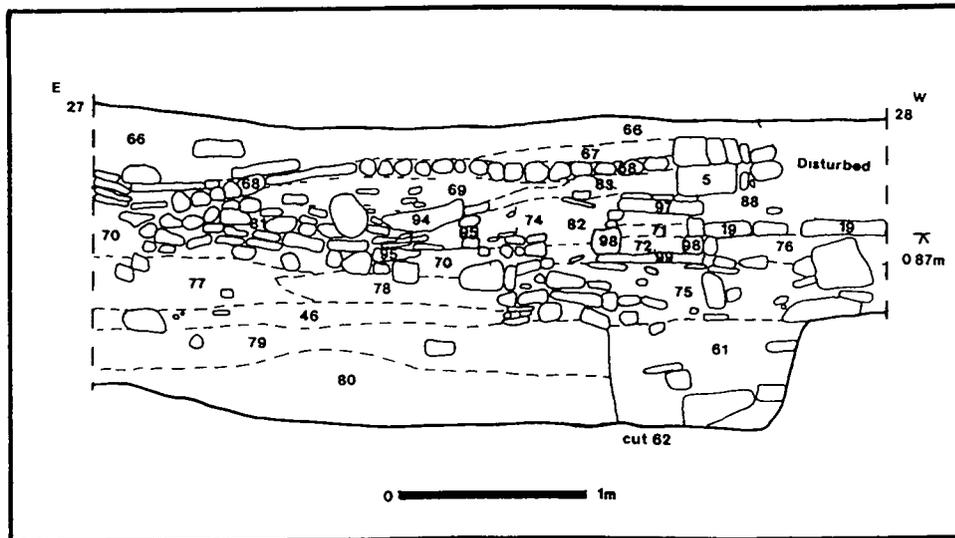


Fig 19 Area 2 Foundation - section 27-28

The upper levels of the section (context 66) represented disturbance and dumping through the course of development work on the site. The eastern portion of the section had been badly disturbed during the mechanical excavation of the upper levels of the sample area - 2a. Beneath the disturbed levels were in situ deposits representing a cobbled surface (context 68) and various levelling layers (contexts 69, 83, and 88) which appear to be directly associated with the construction and sealing of three stone lined drains (contexts 96, 100 and 101).

Drain 1 was constructed of sandstone and cobble sides (context 95) with a large sandstone capping stone (context 94), the absence of a base stone may be explained by the nature of the excavation.

mechanical excavation may have removed the base stone. The occurrence of stone collapsed into the dram may explain the apparent absence of silt layers.

Dram 2 was constructed of sandstone blocks (context 98) with a sandstone slab base (context 99) and capping stone (context 97). The level of silt (layers 71 and 72) within the dram indicated it had been in use for a considerable period of time.

Situated between Drains 1 and 2 was evidence for a third drain. Drain 3 (context 101) appeared to share the side stone of Dram 1 and had been robbed on the western side, instead of the stone lining, a deposit of compact clay (layer 74) was located. The general nature of this feature implied that it had been demolished and possibly reinstated by Drain 1 or even possibly Drain 2.

Sealed beneath Drain 2 was a deposit of soil and sandstones (layer 75). This layer shared the same alignment and level as Wall 1 (context 30). Layer 75 also rested directly upon Layer 61, interpreted as representing the fill of the foundation cut for the well (context 93). The insubstantial nature of layer 75 with regard to the percentage of stone shown on section may be explained by the juxtaposition of the layer to the section alignment. Layer 75 did not appear to butt out at layer 78, but gave the general impression that it continued behind this deposit. As the limit of the excavation had been reached, it was not possible to investigate this relationship further. However, based on the available evidence it seems likely that layer 75 does represent the known eastern extent of Wall 1.

Section 29–30

The upper archaeological strata had been removed or badly disturbed by the construction of Victorian and modern service trenches. These trenches rested directly on a well constructed sandstone and limestone wall (context 121). Wall 3 was aligned east to west and extended for a length of approximately 3.5m. There was no indication of a foundation trench for the wall, therefore one must assume that the lower surviving levels of the wall had been constructed directly into the natural clay and a foundation trench was only cut to the north. The excavated section also illustrated that the wall returned at both the east and west ends. Although impossible to substantiate at present, the available evidence suggests that the building continues to run on a north-south alignment under the tarmac courtyard and also under the buildings presently occupied by Fawcetts Butchers to the south.

This section was not drawn but photographically recorded (Pl 10)



Pl 10 Section 29–30 showing wall 3 Facing North

Section 31–32

Section 31–32 recorded the foundation courses of the extant wall of the extension to 15 Market Place. The wall had been built directly on Layer 77 which appeared to represent a natural accumulation layer as opposed to a deliberate foundation deposit (Fig 20)

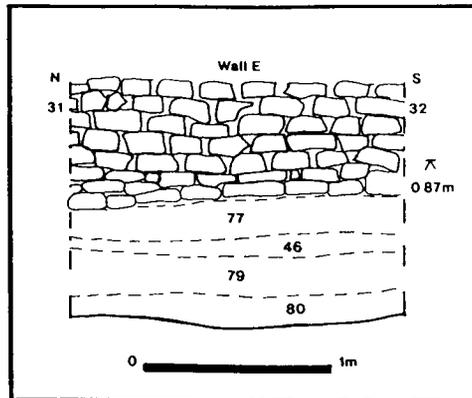


Fig 20 Area 2 Foundations – 31–32

Beneath Layer 77 occurred layers 46, 79 and 80, all of which showed no signs of disturbance, other than root disturbance to Layer 79

The Well

As specified by the development design, sections 27–28 and 29–30 were to have extended for another 3m to the west. However, excavation was halted by the discovery of a concentration of stone which initially was interpreted as a wall. This section was cleaned up and recorded (Fig 21)

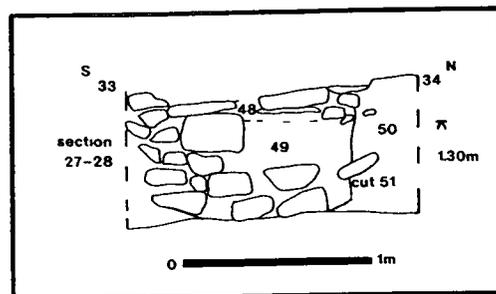


Fig 21 Area 2 Foundations – section 33–34

Deposits above the feature of greyish-brown clays associated to the manhole construction directly to the south were removed mechanically to within 0.15m of the top of the stones. This area was then excavated by hand. After the removal of a clay layer (context 54), further deposits of clay were encountered (contexts 55 and 57 Fig 22)

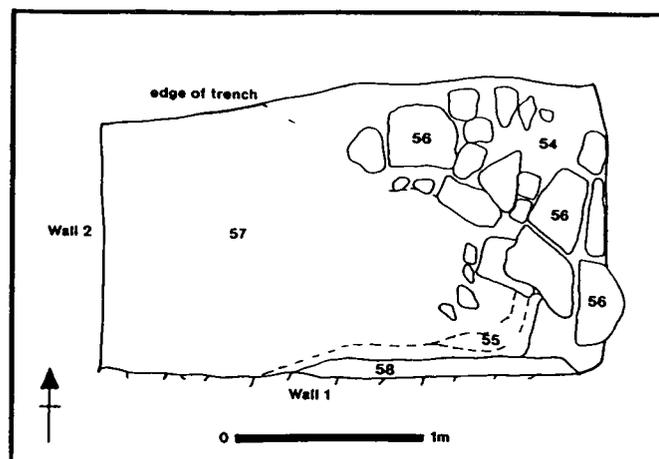


Fig 22 Area 2 – well relationship to layers 56 and 57