

## **CFA ARCHAEOLOGY LTD**

The Old Engine House  
Eskmills Business Park  
Musselburgh  
East Lothian  
EH21 7PQ

Tel: 0131 273 4380  
Fax: 0131 273 4381  
email: [info@cfa-archaeology.co.uk](mailto:info@cfa-archaeology.co.uk)  
web: [www.cfa-archaeology.co.uk](http://www.cfa-archaeology.co.uk)

Author	Mike Cressey HND BA MSc PhD FSA Scot MifA
Illustrator	Leeanne Whitelaw MA MAAIS
Editor	Sue Anderson BA MPhil PGDip MifA FSA Scot
Commissioned by	Alasdair Rait
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**MANSE STABLES, 244 CHURCH STREET,  
TRANENT, EAST LOTHIAN**

**STANDING BUILDING SURVEY**

**Report No. 1670**

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## **1. INTRODUCTION**

### **1.1 General**

1.1.1 This report presents the results of an archaeological standing building recording survey carried out by CFA Archaeology Ltd (CFA) in August 2009 at a former stable, at The Manse, Tranent, East Lothian (NGR: NT 40363 73338, Fig. 1). The work was commissioned by the owner Mr Alistair Rait to fulfil a planning condition (App No. 09/002323/FUL) based on a Written Scheme of Investigation for archaeological work that was approved by East Lothian's Archaeological Officer, Mr Andrew Robertson. Digital elevations and site plans were made available to CFA by Mottram Patrick Partnership Architects.

1.1.2 The stable is part of The Manse and Tranent Parish Church and is a Category B Listed building. The stable is to be converted into a modern dwelling and, given the nature of this work, the Archaeological Officer at East Lothian Council has requested an Enhanced Historic Building Appraisal to provide a descriptive record of the structure prior to conversion and to place it in its geographical, architectural and historical context.

### **1.2 Objectives**

1.2.1 The objectives of the programme of archaeological works are:

- to undertake an archive assessment and examine the existing cartographic record to establish how the building has altered over time;
- to carry out an enhanced survey of the building, requiring a field visit to survey the building, supported by relevant plans and drawings and any other information gathered during the desk-based assessment;
- to produce an illustrated enhanced building report to bring together the results of the desk-based assessment and the building recording survey.

## **2. METHODOLOGY**

### **2.1 General**

2.1.1 An effective standard for this type of project has been established by previous building recording surveys conducted by CFA. Recording of all elements was carried out following established CFA methodology and included completing standard building record sheets, sketch drawing, photographic recording and structural examination. CFA follows the Codes and appropriate Standards set down by the Institute for Field Archaeologists. Recording conventions follow English Heritage (2006).

### **2.2 Desk-based assessment**

2.2.1 An assessment of the readily available archive material associated with the stable was made to assess its significance within its historical and archaeological setting. East Lothian's Sites and Monuments Record (SMR) and the National Monuments Record of Scotland (NMRS) were examined.

2.2.2 The National Archive of Scotland on-line database of historic maps and plans was examined to determine if they hold copies of estate maps depicting the building.

2.2.3 The East Lothian Council Library Service's Local History Section at Haddington was consulted to determine if they hold any historical photographs of the building. An assessment of any other relevant archive material pertinent to the history of the building was also examined.

2.2.4 The National Map Library on-line map collection was examined, and enlarged map extracts have been used to construct a historic map regression showing significant historical changes associated with the stable and its enclosing walls.

2.2.5 The 19th-century Statistical Accounts were also examined to determine whether any information on the building was included in the Parish of Tranent entry.

### **2.3 Building recording on the stable**

2.3.1 An enhanced building survey was carried out according to the levels defined by Simpson and Connolly (2006). This level of recording work combined both photographic and elevation recording supported by ground and loft plans. A narrative of the building's character has been produced, which includes a descriptive summary of the major architectural features.

2.3.2 The client's architectural elevations and plans were considered to be of sufficient quality to form a template for the survey. Room dimensions were measured using a Leica Disto and the ground plan was checked and found to be accurate. No work could be carried out in the loft due to the unsafe nature of the floor timbers, which were rotten.

- 2.3.3 A digital Nikon D100 SLR was used to take external and internal digital photographs using both natural and flash conditions.
- 2.3.4 An appropriate photographic record was made of all internal and external elevations of the buildings. All significant historical features associated with the layout of the cottage were photographed. A list of all photographs is included as Appendix 1.

### **3. DESK-BASED SURVEY RESULTS**

#### **3.1 Cartographic Sources**

- 3.1.1 A plan drawn by Brydone in 1831 held in the East Lothian Council Library Service's Local History Section shows the routes of Tranent's water supply. The plan suggests the presence of an L-shaped arrangement of cottages on the present site of the stable. Unfortunately the plan is not reproducible owing to its poor quality.
- 3.1.2 The 1856 First Edition map depicts a rectangular building trending east-west with an outshot L-shaped structure on its west end (Fig 2a). These buildings were cleared to make way for the stable that was built by 1858. The building is depicted on the 1894 Second Edition (Fig 2b) and all subsequent editions and conforms to the present layout.
- 3.1.3 There are no maps pertinent to the stable held within the National Archive of Scotland.

#### **3.2 National Monument Record of Scotland (NMRS)**

- 3.2.1 The NMRS holds a single record for the stable (NT47SW 103) but offers no bibliographic details.

#### **3.3 Documentary Sources**

- 3.3.1 Historic Scotland's Statutory List has assigned the stable a Category B status and this includes the stable, retaining wall and gate piers (Historic Building No. 42089). The building was listed on 30 March 1992.
- 3.3.2 The New Statistical Account of Scotland does not mention the stable although the Manse is mentioned. There are no bibliographic details nor any other information relating to the stable held within East Lothian Council Library Service's Local History Section, Haddington.

## **4. BUILDING SURVEY RESULTS**

### **4.1 General**

4.1.1 The external elevations of the stable are shown on Fig. 3a-d. Internal floor layout plans are shown on Fig 4.

### **4.2 External elevations (Figs 3a-d)**

#### *West-facing elevation (Fig 3a, Plates 1& 2)*

4.2.1 The west-facing elevation represents the principal elevation and it measures 16.8m long and 3.05m high, with a wall thickness of 0.6m. The roof is pantile and the gables have sandstone copings. The elevation has five bays and comprises squared and snecked rubble sandstone with contrasting droved quoins and window dressings. At the centre of the elevation there is a gabled bay which is advanced with breaking eaves containing a hay loft. The door is surmounted by a dated lintel (1858) (Plate 2). Within the apex of the gable there is a set of three flight holes for doves.

4.2.2 A central double-leafed door leads into what was the carriage shed. Either side of the advanced central gable are two doors and a window that provided access into Units 2 and 3 the stables. The windows are sash-and-case (4 over 4) and measure 1.26m high and 0.62m wide. The rain goods are cast-iron. The timber softwood plank doors have fanlights. At the south end of the elevation there is a decorative iron ornamental lamp bracket.

#### *South-facing elevation (Fig 3b, Plate 3)*

4.2.3 The south-facing elevation comprises the south gable which measures 6m wide. At the centre is a plank-built loft hatch in a wooden door frame. At about the level of the stone skews, the random rubble stonework is cream sandstone set in lime mortar. Below this level the build is cruder with yellow sandstone of random rubble. Above the loft hatch is a small stone round-headed panel with three flight holes.

#### *East-facing elevation (Fig 3c, Plates 4 and 5)*

4.2.4 The east-facing elevation measures 16m long and has three bays with a central window with dressed ashlar surrounds flanked by a single window lighting Unit 1. The windows are all sash-and-case (4 over 4), the central window has square wrought-iron window bars. At eaves level is a pitching door within a dormer with pantiled roof. At the north end of the gable is a plank-built door providing access between the stable (Unit 1) and the rear garden. The doorway surrounds are broached. Towards the south end of the elevation an east-west trending partition wall has been tacked onto the elevation.

*North-facing gable (Fig 3d, Thumbnail 083)*

- 4.2.5 The north-facing gable measures 6m wide and is constructed on coursed rubble and has droved ashlar quoins. The coping stones are sandstone. The elevation is otherwise featureless. A boundary wall running to the east has been attached onto the east side of the gable.

### **4.3 Internal ground floor descriptions**

*Unit 1, Stable (Plate 6)*

- 4.3.1 The stable measures 5.4m by 4.9m and is 2.7m from the floor to ceiling. The east-facing internal elevation contains the plank-built door in an opening measuring 2.07m high and 1.07m wide. The door is flanked on its north side by the sash and case window. The window has splayed ingos.
- 4.3.2 The south-facing elevation is plain and constructed of random rubble and has white-washed. The west-facing elevation has two ceramic pipe-vents inserted at the wall head. The north-facing wall has a blocked doorway at its west end. Within the centre of the wall is the scars from the removal of the wooden trevisses that formed the sides of the stalls. Within the centre of the room are two cast-iron hind-posts standing to a height of 1.55m. Each has a ball finial.
- 4.3.3 The floor is laid with cobble setts throughout but on line with the position of the stalling is a sandstone drain set within the cobbles which is aligned east-west. The drain has been constructed from sandstone blocks.

*Unit 2, Carriage Room (Plate 7)*

- 4.3.4 The Carriage room measures 5.7m long and 2.8m wide. A doorway on the north elevation leads into Unit 3, another stable. To the left of the door is a small aumbry measuring 0.46m by 0.47m and providing a space in which to place a lantern. The room is lit by a central window with splayed ingos on the west-facing elevation. On the south-facing elevation close to the main double-leafed door entrance is a blocked doorway that once allowed access into Unit 1. The blocking work is coursed rubble and has been whitewashed. Both the north and south-facing elevations are not load bearing and have been crudely keyed to the main core block walls.

*Unit 3, Stable (Plate 8)*

- 4.3.5 This unit measures 5.9m by 4.9m and is accessed via a door from Unit 2 on the south-facing and east-facing elevations. On the west-facing wall there is a single treviss surviving from a stall. To the right of the stall treviss is a short upright wall. Its function is not clear but it may have formed the upright for housing an iron water boiler that was coal fired in a grate below. The boiler may have been vented by a cast-iron pipe that is present on the south-facing gable. The floor of this unit is a mixture of large flagstone and brickwork with a stone drain leading through a hole in the wall. A lead-pipe protruding from

the east-facing elevation shows that a water-supply was present. The same wall contains the central doorway and flanking windows.

*Roof timbers (Plate 9)*

- 4.3.6 The roof timbers were viewed from the hatch on the south elevation and comprise softwood (pine) A-frame joists with nailed scarfe joints. It is likely that these represent the original roof timbers judging by the wrought-iron nails used in the joints. The loft floor is planked throughout but is unsafe to walk on, so no inspection of the loft space above Units 1 and 2 was possible.

*Boundary Walls (Plate 10)*

- 4.3.7 The Statutory List includes a retaining wall and gate piers as part of the Grade B Listing. The gate-piers at the entrance to the manse driveway are stugged grey sandstone with ball finials. These are flanked by rendered and lined ashlar-coped walls. At the entrance to the courtyard in front of the stable are squat pyramidically coped piers. A curved sandstone rubble wall with semi-circular copings to the west sweeps south to form a diminutive courtyard which shields the garden of the Manse. The wall adjacent to the main drive entrance has evidence of blocking work and clearly this formed a small gateway into the rear garden behind the stable.

## **5. DISCUSSION**

- 5.1 The stable is a good example of a high status Victorian gig-house or gig shed with a combined stable for three horses (Shaw 2003). The hay loft above the stable was essential for storing fodder. In this case the loft was combined with a dove-cote. Whether pigeons were kept by the vicar of Tranent for food or ornamental purposes is a matter of conjecture. It is however, interesting to note that during the 18th and 19th centuries, pigeons were often kept in house stables as this would have a tendency to keep them warm in winter, which is material to their breeding early in the spring when they are of more value (Hansell 1992).
- 5.2 The building is of a single phase construction with the main core block divided by two non-load-bearing walls which form three individual units. The use of two different types of sandstone in the south gable wall suggests that the lower section has been constructed using re-used stonework either brought in or perhaps from the earlier buildings that were demolished to make way for the stable.

## 6. CONCLUSIONS AND RECOMMENDATIONS

- 6.1 The Enhanced level building survey of the stable has recorded all the features of significance. The survey has shown that the main walls of the building form the primary core block and the two partition walls were then inserted to form the individual interior units during a single-phase of construction. The layout includes two stables that flank the carriage or gig room. The building was built in 1858 and is a fine example of a house stable of moderately high status as indicated in the quality of the architectural detail.
- 6.2 The listed boundary wall has been included in the photographic survey along with the boundary walls that partition the rear of the stable which was probably used in the 19th century as a small paddock.
- 6.3 This report presents an adequate record of the building prior to its conversion to a modern dwelling and as such no further work is recommended.
- 6.4 An entry in *Discovery and Excavation in Scotland* (Appendix 2) will be sufficient to disseminate the results of the standing building survey. A copy of the report will be lodged with the NMRS and SMR in due course.

## 7. REFERENCES

### *Bibliographic*

English Heritage 2006 *Understanding Historic Buildings – A Guide to Good Recording Practice*. London.

Hansell, P and J 1992 *The Dovecote Heritage* Millstream Publishers

Simpson, B and Connolly, D 2006 *Historic Building Recording: Guidance for Curators and Commercial Archaeological Contractors*

Shaw, J 2003 *Agricultural Buildings: Livestock Housing and Products in Stoll, J, Shaw, J and Storrier (Eds) Scotland's Buildings* 438-464.

### *Cartographic*

Brydone, J 1831 'Tranent Burgh Plan of the grounds adjacent to the spring that supplies water' (microfiche)

1853 First Edition Ordnance Survey Haddington Sheet 9: Scale 1:1056

1894 Second Edition Ordnance Survey, Haddingtonshire Sheet 9: Scale 1:1056

## APPENDIX 1 – PHOTOGRAPHIC REGISTER

No.	Unit	Element	Ext/Int	From
001	N/a	West-facing elevation, general view	External	West
002	N/a	West-facing elevation, general view	External	West
003	N/a	West-facing elevation, north end	External	West
004	N/a	West-facing elevation, north end	External	West
005	N/a	West-facing elevation, Carriage shed doorway	External	West
006	N/a	West-facing elevation, Carriage shed doorway detail	External	West
007	N/a	West-facing elevation, Carriage shed date stone	External	West
008	N/a	West-facing elevation, Carriage shed door detail	External	West
009	N/a	West-facing elevation, south end, general detail	External	West
010	N/a	West-facing elevation with south gable	External	West
011	N/a	West-facing elevation with south gable	External	West
012	N/a	South-facing elevation, general shot	External	South
013	N/a	South-facing elevation, general shot	External	South
014	N/a	South-facing elevation, flight hole and ridge detail	External	South
015	N/a	South-facing elevation, loft pitching door	External	South
016	N/a	South-facing elevation, general view	External	South
017	N/a	South and east facing elevations, general view	External	South
018	N/a	South and east facing elevations, general view	External	South
019	N/a	East-facing elevation, south end	External	South
020	N/a	South-facing elevation of a boundary wall	External	South
021	N/a	South-facing elevation of a boundary wall	External	South
022	N/a	West-facing boundary wall on the south side of the stable	External	West
023	N/a	West-facing boundary wall at south end of garden	External	West
024	N/a	Rear north-facing boundary wall on the south side of the stable	External	North
025	N/a	South-facing gable taken from rear garden	External	South
026	N/a	South-facing gable, general view	External	South
027	N/a	General shot of the roof timbers	Internal	South
028	1	South-facing elevation, general view	Internal	South
029	1	South-facing elevation, general view	Internal	South
030	1	West-facing elevation, general view	Internal	West
031	1	North-facing elevation, general view	Internal	North
032	1	North-facing elevation, general view	Internal	North
033	1	North-facing elevation, general view	Internal	North
034	1	North-facing elevation, general view	Internal	North
035	1	East-facing doorway leading to yard	Internal	East
036	1	East-facing elevation with window detail	Internal	North
037	1	Detail of stall posts	Internal	North
038	1	Floor detail with cobbles and drain	Internal	North
039	1	Floor detail with cobbles and drain	Internal	East
040	1	Floor detail with cobbles and drain (flash)	Internal	North
041	1	Floor detail with cobbles and drain (flash)	Internal	North
042	1	Floor joists and stall arrangement	Internal	North
043	1	Stall posts, general view	Internal	North
044	2	Carriage shed, recess for lamp on north-facing elevation	Internal	North
045	2	Window detail on west-facing elevation in the Carriage shed	Internal	West
046	2	Carriage shed, north-facing elevation	Internal	North
047	2	Carriage shed, north-facing elevation	Internal	North
048	2	East-facing elevation, double leafed doors	Internal	East
049	2	East-facing elevation, double leafed doors	Internal	East
050	3	South-facing elvation of the stable	Internal	South-west

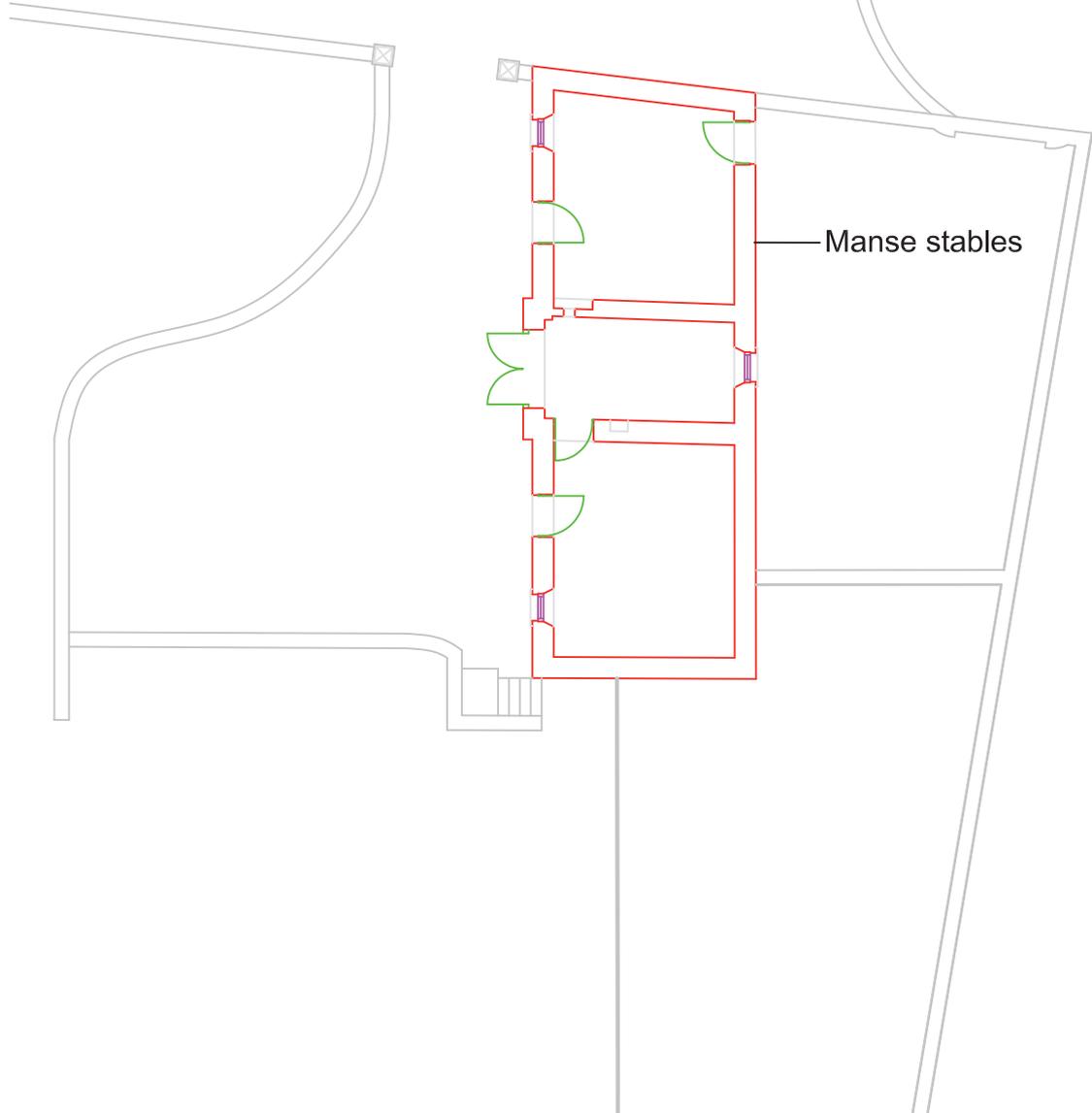
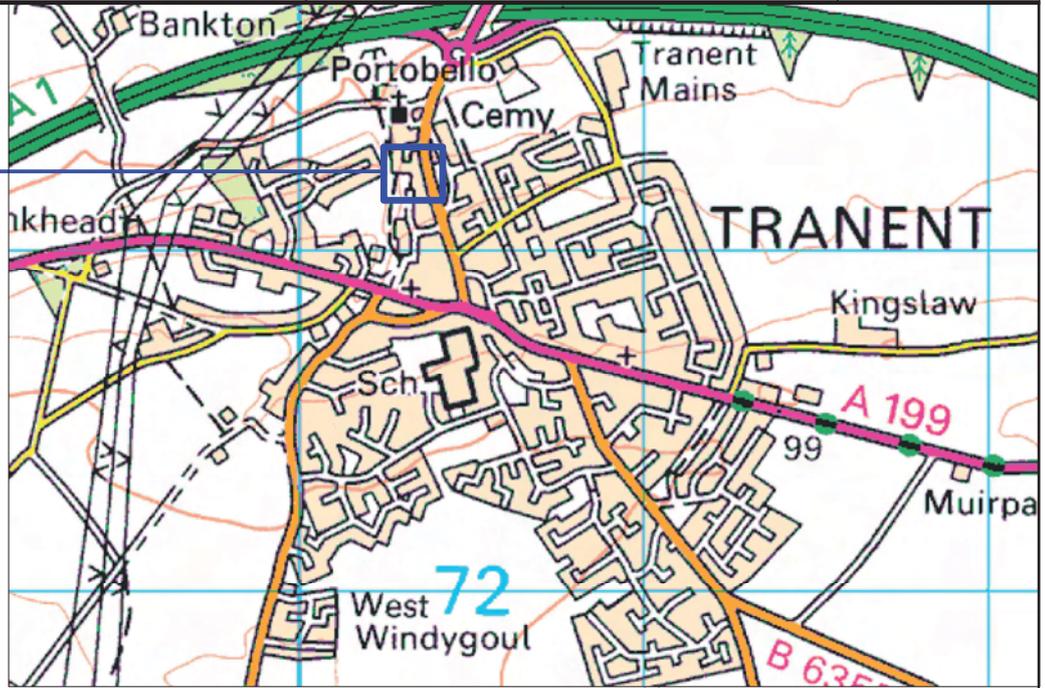
No.	Unit	Element	Ext/Int	From
051	3	Stall with surviving woodwork on west-facing elevation	Internal	West
052	3	West-facing elevation of the stable	Internal	West
053	3	North-facing elevation of the stable	Internal	North
054	3	West-facing elevation of the stable	Internal	East
055	3	West-facing elevation of the stable	Internal	West
056	3	East-facing elevation, door and window detail	Internal	East
057	3	East-facing elevation, door and window detail	Internal	East
058	3	South-facing side of the wooden stall	Internal	South
059	3	Floor detail, flagstones and brickwork	Internal	North
060	3	Floor detail, flagstones and brickwork	Internal	North
061	3	Floor detail, flagstones and brickwork	Internal	North
062	N/a	North gable, general view	External	North
063	N/a	North gable, general view	External	North
064	N/a	North gable, general view	External	North
065	N/a	West corner of the north gable	External	North
066	N/a	Junction of the garden wall and the north-facing gable	External	North
067	N/a	Junction of the garden wall and the north-facing gable	External	North
068	N/a	Wall and gate piers at entrance to the drive	External	West
069	N/a	Blocked section of a former entrance in the garden wall	External	North
070	N/a	Blocked section of a former entrance in the garden wall	External	North
071	N/a	Blocked section of a former entrance in the garden wall	External	North
072	N/a	Blocked section of a former entrance in the garden wall	External	North
073	N/a	Blocked section of a former entrance in the garden wall	External	North
074	N/a	Blocked section of a former entrance in the garden wall	External	North
075	N/a	Gate piers at the drive entrance	External	East
076	N/a	Gate piers at the drive entrance	External	East
077	N/a	Blocking work within former garden entrance	External	South
078	N/a	East-facing elevation, general detail	External	East
079	N/a	East-facing elevation, general detail	External	East
080	N/a	East-facing doorway on east-facing elevation	External	East
081	N/a	East-facing elevation, window detail	External	East
082	N/a	East-facing elevation, oblique view	External	South-east
083	N/a	East-facing gable, oblique view	External	South-east
084	N/a	North-facing elevation of the garden boundary wall	External	North
085	N/a	North-facing elevation of the partition garden boundary wall	External	North
086	N/a	West-facing elevation of the boundary wall at rear of the garden	External	West
087	N/a	West-facing elevation of the rear boundary wall of the garden	External	West
088	N/a	West-facing elevation of the rear boundary wall of the garden	External	West
089	N/a	East-facing elevation with pantile roof detail	External	East

## APPENDIX 2 - DISCOVERY AND EXCAVATION IN SCOTLAND ENTRY

<b>LOCAL AUTHORITY:</b>	East Lothian
<b>PROJECT TITLE/SITE NAME:</b>	Manse Stables , 244 Church Street, Tranent
<b>PROJECT CODE:</b>	MOTT
<b>PARISH:</b>	Tranent
<b>NAME OF CONTRIBUTOR:</b>	Dr M Cressey
<b>NAME OF ORGANISATION:</b>	CFA Archaeology Ltd
<b>TYPE(S) OF PROJECT:</b>	Historic Building Survey
<b>NMRS NO(S):</b>	NT66NE 28
<b>SITE/MONUMENT TYPE(S):</b>	Farmstead
<b>SIGNIFICANT FINDS:</b>	None
<b>NGR (2 letters, 8 figures)</b>	NT 40363 73338
<b>START DATE (this season)</b>	August 2009
<b>END DATE (this season)</b>	August 2009
<b>PREVIOUS WORK (incl. DES ref.)</b>	None
<b>MAIN (NARRATIVE) DESCRIPTION:</b> (May include information from other fields)	An enhanced standing building survey was carried out at the former Manse Stable in advance of its conversion to a modern dwelling. The principal elevation contains five bays and comprises squared and snecked rubble sandstone with droved ashlar dressings. At the centre of the bay is a gabled bay which is advanced and carries a date stone of 1858 below a row of flight holes. The gables have sandstone skews. Internally the building has three units with the central unit being the carriage or gig room which was flanked by two stables of equal size. With the exception of one trevis and three cast-iron hind posts, the stalling has been removed. The building has two small paddocks to the rear and one is flanked by a Grade B Listed wall and ornate entrance. These features were also included in the photographic survey. The stable is a fine example of a house stable of moderately high status.
<b>PROPOSED FUTURE WORK:</b>	None
<b>SPONSOR OR FUNDING BODY:</b>	Alastair Rait (owner)
<b>ADDRESS OF MAIN CONTRIBUTOR:</b>	CFA Archaeology Ltd, Old Engine House, Eskmills Park, Musselburgh, EH21 7PQ.
<b>EMAIL ADDRESS:</b>	mressey@cfa-archaeology.co.uk
<b>ARCHIVE LOCATION (intended/deposited)</b>	Archive to be deposited in NMRS, Reports lodged with SMR and NMRS.



Site Location



Key:	Fig No:	1	Revision:	A	Client:	Alasdair Rait
	Title: Site Location Map					
Scale: 1:200 @ A4	Project: <b>MANSE STABLES, 244 CHURCH STREET, TRANENT, EAST LOTHIAN STANDING BUILDING SURVEY</b>					
					CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park Musselburgh East Lothian, EH21 7PQ t: 0131 273 4380 f: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk	
Drawn by: LW					Report No: 1670	



Fig. 2a - Enlarged extract from the 1856 OS map



Fig. 2b - Extract from the 1894 OS Map

Key:



Site of stable

Fig. No:

2

Revision:

A

Client:

URS Corporation Ltd

Title:

Project:

MANSE STABLES, 244 CHURCH STREET,  
TRANENT, EAST LoTHIAN  
STANDING BUILDING SURVEY



CFA ARCHAEOLOGY LTD  
The Old Engine House  
Eskmills Park  
Musselburgh  
East Lothian, EH21 7PQ  
t: 0131 273 4380  
f: 0131 273 4381  
e: info@cfa-archaeology.co.uk  
w: www.cfa-archaeology.co.uk

Scale:

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LW

Page No:

Report No:  
1670



Key:

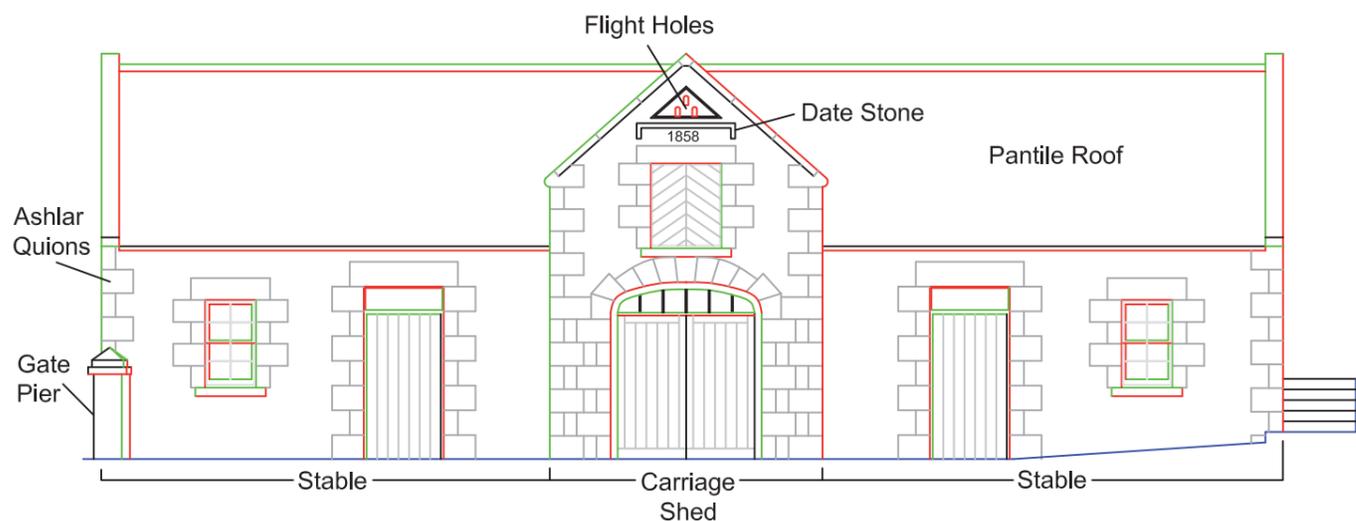


Fig. 3a - West-facing elevation

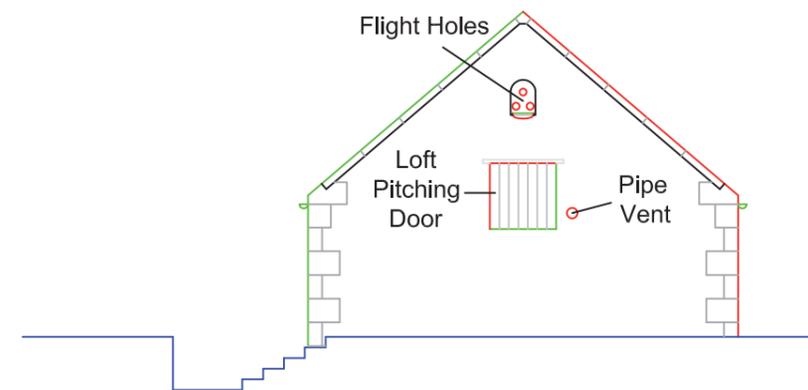


Fig. 3b - South-facing elevation

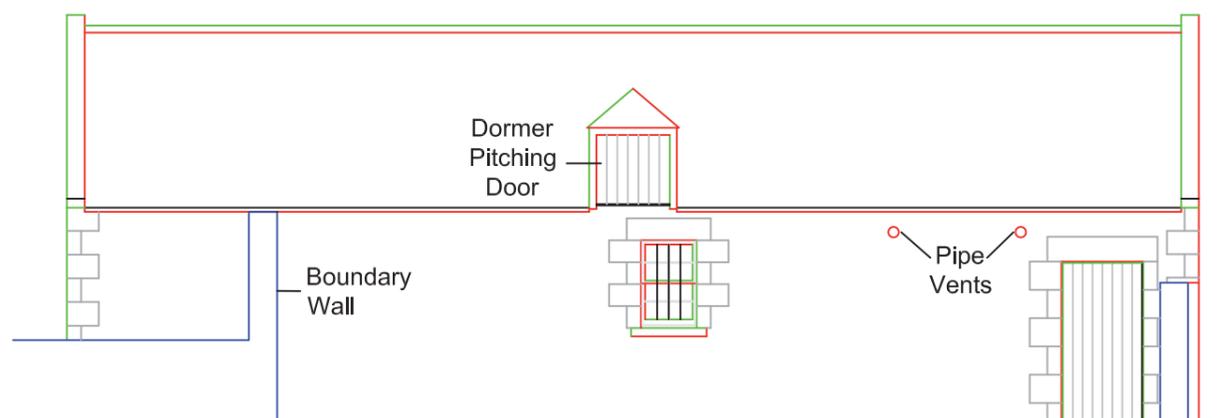


Fig. 3c - East-facing elevation

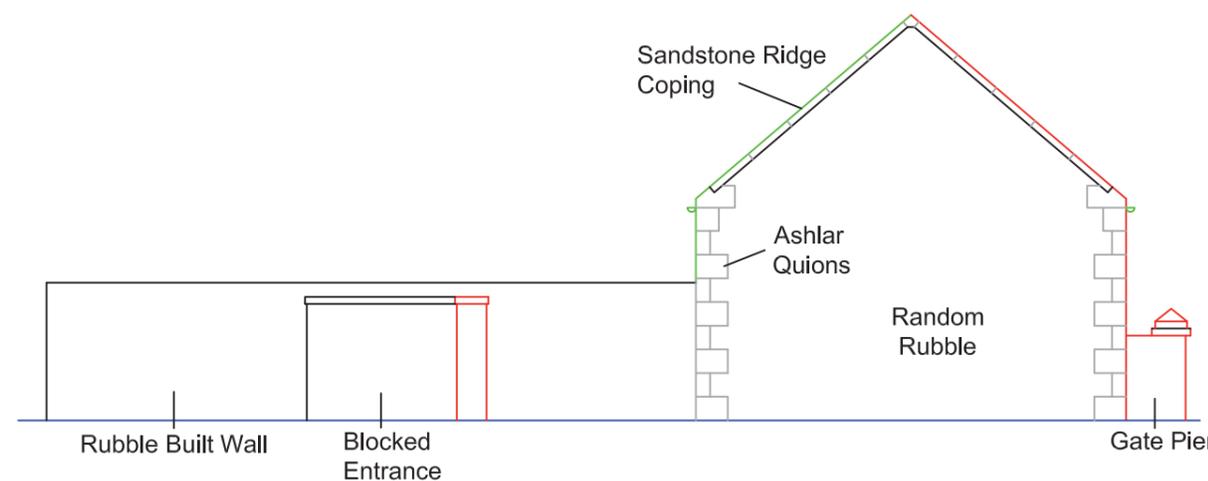


Fig. 3d - North-facing elevation



Fig. No: 3 Revision:

Title: Building Elevations

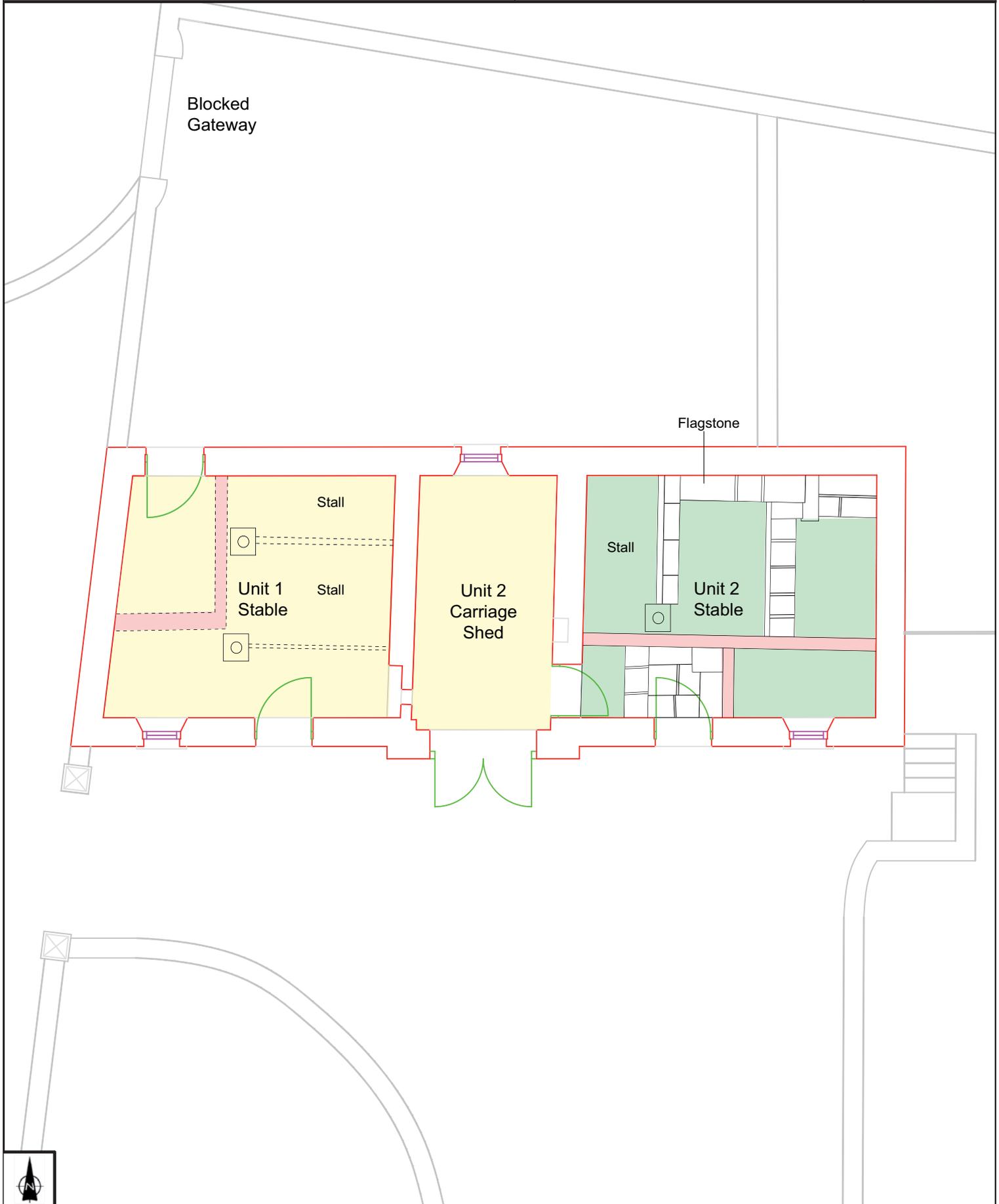
Project: MANSE STABLES, 244 CHURCH STREET, TRANENT, EAST LOTHIAN STANDING BUILDING SURVEY

Scale: 1:100 @ A3

Client: Alasdair Rait

Drawn by: LW

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Key:	Fig No: 4	Revision: A	Client: Alasdair Rait
 Cobbles	Title: Ground Plan		
 Brick Floor	Project: MANSE STABLES, 244 CHURCH STREET, TRANENT, EAST LOTHIAN		
 Drain	STANDING BUILDING SURVEY		
Scale: 1:100 @ A4	 <p>CFA ARCHAEOLOGY LTD The Old Engine House Eskmills Park Musseburgh East Lothian, EH21 7PQ t: 0131 273 4380 f: 0131 273 4381 e: info@cfa-archaeology.co.uk w: www.cfa-archaeology.co.uk</p>		
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Plate 1 - West-facing elevation of the stable



Plate 2 - West-facing loft door with date stone and flight holes



Plate 3 - South-facing gable with loft door and flight holes above



Plate 4 - South-east corner of stable showing pantile roof



Plate 5 - East-facing elevation showing barred window and dormered pitching door.



Plate 6 - Interior of Unit 1 with two treviss posts in the foreground

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Plate 7 - Interior of Unit 2 showing the arched doorway. A lamp aumbry is present on the left-hand wall



Plate 8 - Interior of Unit 3, showing the loft floor joists and fenestration



Plate 9 - Interior of the loft showing A-frame roof joists



Plate 10 - Ashlar B-Listed gate piers with ball finials at the entrance to the manse driveway

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