

**Conservatory Extension to 24 Double Street,
Framlingham, Suffolk**

Planning application: C/11/2556

HER Ref: FML 071

Archaeological Monitoring Report

(© John Newman BA MIFA, 2 Pearsons Place, Henley, Ipswich, IP6 0RA)

(May 2012)

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Site details for HER

Name: 24 Double Street, Framlingham, Suffolk, IP13 9BN

Client: Mr R Sampson

Local planning authority: Suffolk Coastal DC

Planning application ref: C/11/2556

Development: Erection of rear conservatory extension

Date of fieldwork: 17 April, 2012

HER Ref: FML 071

OASIS Ref: johnnewm1-125539

LBS Ref: 1283566 (Grade II)

Conservation area

Grid ref: TM 28662 63452

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Summary: Framlingham, 24 Double Street (FML 071, TM 28662 63452) monitoring of ground works for a small conservatory extension to the rear of the house on the southern side of the street recorded evidence for a firm, grey/brown clay deposit which, as one possibility, can be interpreted as being a remnant of the bank associated with the medieval ditched town defences which ran between Double Street and Fore Street (John Newman Archaeological Services for Mr R Sampson).

1. Introduction & background

1.1 Mr R Sampson commissioned John Newman Archaeological Services (JNAS) to undertake the archaeological monitoring of ground works required under a condition for a programme of archaeological works of the planning decision notice for application C/11/2556. The monitoring requirements were set out in a Brief and Specification set by Mr K Wade of the Suffolk CC Archaeological Service to satisfy this condition (Appendix II). This development concerns the erection of a small conservatory extension to the rear of 24 Double Street, Framlingham (see Fig. 1).

1.2 In East Anglia major medieval castles are not common but the Bigod stronghold at Framlingham survives as a significant indicator of the medieval era and its political turmoil between the crown and the major aristocratic families. In existence by at least 1157, the town is dominated by the later medieval structure of the castle and the nearby urban townscape owes much to this major defensive structure. Below the castle, the town developed gaining market status by at least 1270 and the street pattern close to the outer baileys and market place may well indicate the line of the outer castle and medieval town defences. Double Street lies within this area of archaeological interest and may well lie just outside an outer bailey but within a town ditch defined by this street on the inside and the line of Fore Street outside the defences and therefore well within the area of medieval settlement. The extent of the historic core is uncertain as the opportunity to investigate below ground deposits has been limited in modern times as, in common with many small towns in East Anglia, a large number of existing historic properties has restricted development. The site of the proposed development falls within this historic town area in a similar location to the rear of 42 Double Street (HER- FML 055) c50m to the east where the recent monitoring of ground works recorded possible evidence for the bank on the inner side of the town ditch. Number 24 Double Street is a Grade II listed building described as 'early 19th face to an older core' with mention of timber framing being visible in places.

2. Monitoring methodology

2.1 Two visits were made to the site during a single day as the hand excavation of the footing trenches and removal of the over-site progressed under generally overcast, and occasionally wet, weather conditions. The excavated trenches were entered so the base and sides could be examined and, where necessary, trowelled clean to improve visibility and the upcast spoil was examined for stray finds as it was excavated and transferred to a skip for disposal. Finally the location of the extension footprint was recorded in relation to the existing house and a small number of digital images were taken to record the monitoring (see Appendix I).

3. Results

3.1 The total footprint for the conservatory extension covers 20m² (see Fig. 2) in the back yard and adjacent garden area immediately to the rear of the house. In total 13m of 500mm wide and 600/700mm deep footing trench was examined and this revealed 350mm of topsoil in the garden area and 250mm of mixed clayey subsoil and make-up below the formerly concreted area immediately adjacent to the rear wall of the house. Below these upper levels the exposed deposits throughout the 13m of trench was a uniform, firm, dark grey/brown clay which contained small flints and chalk fragments in addition to occasional oyster shells and small peg tile

fragments. At the maximum depth of 600/700mm the trench excavation remained within this dark grey/brown material and therefore its full depth is unknown. Removal of over-site across the footprint only went to a depth of 300mm so remained within recently deposited and disturbed deposits.

3.2 The few pottery sherds seen within the upcast top and subsoil were all white and blue types of 19th/earlier 20th century date while the small fragments of peg tile seen within the lower deposit could be of medieval or earlier Post medieval date.

5. Conclusion

5.1 As outlined in section 1.2 above Double Street runs within the line of the medieval, ditched, town defences at Framlingham and therefore the firm clay deposit exposed in the lower part of the monitored trenches can be interpreted as a surviving part of the associated bank with the ditch lying to the south behind the buildings on the northern side of Fore Street. The nature of the dark grey/brown clay deposit is similar in character to the firm, grey clay deposit recorded to the rear of 42 Double Street to the east (Newman, 2011, 4) which has also been interpreted as a surviving remnant of the town bank. However it should be noted that this conclusion regarding the sites monitored to the rear of the houses on the southern side of Double Street is largely based on the interpretation of the street plan within the historic area of the town rather than any intrinsic quality of the recorded deposits.

5.2 While the conservatory footing trenches have disturbed an area within the historic core of Framlingham the scale of the works was small with the planned structure requiring relatively shallow foundations. In conclusion further evidence that can be interpreted to indicate the presence of the medieval town defences between Double Street and Fore Street is a useful addition to archaeological records for the town.

(Acknowledgements: JNAS is grateful to Robin Sampson for his close cooperation with regard to this site monitoring)

Ref.

Newman, J 2011 'No 42 Double Street, Framlingham, Suffolk- Archaeological Evaluation Report' (JNAS)

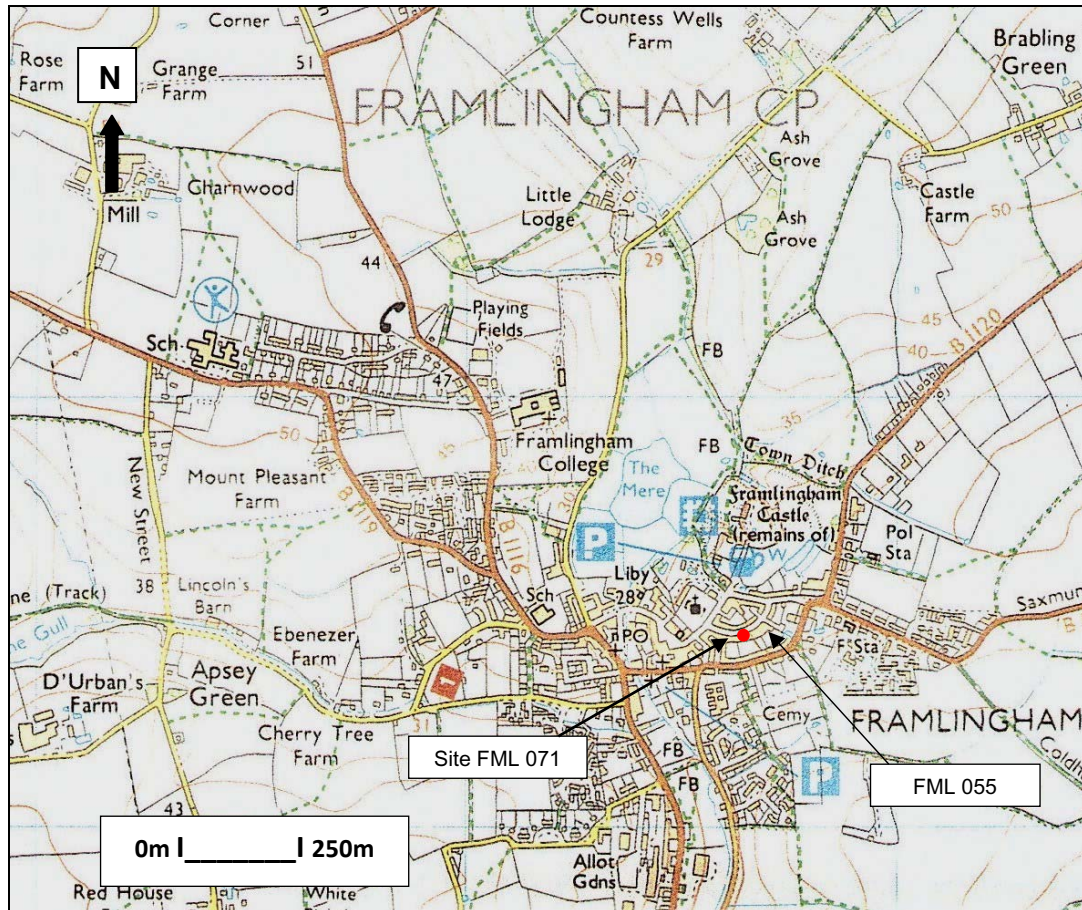


Fig. 1: Site location (Ordnance Survey © Crown copyright 2008
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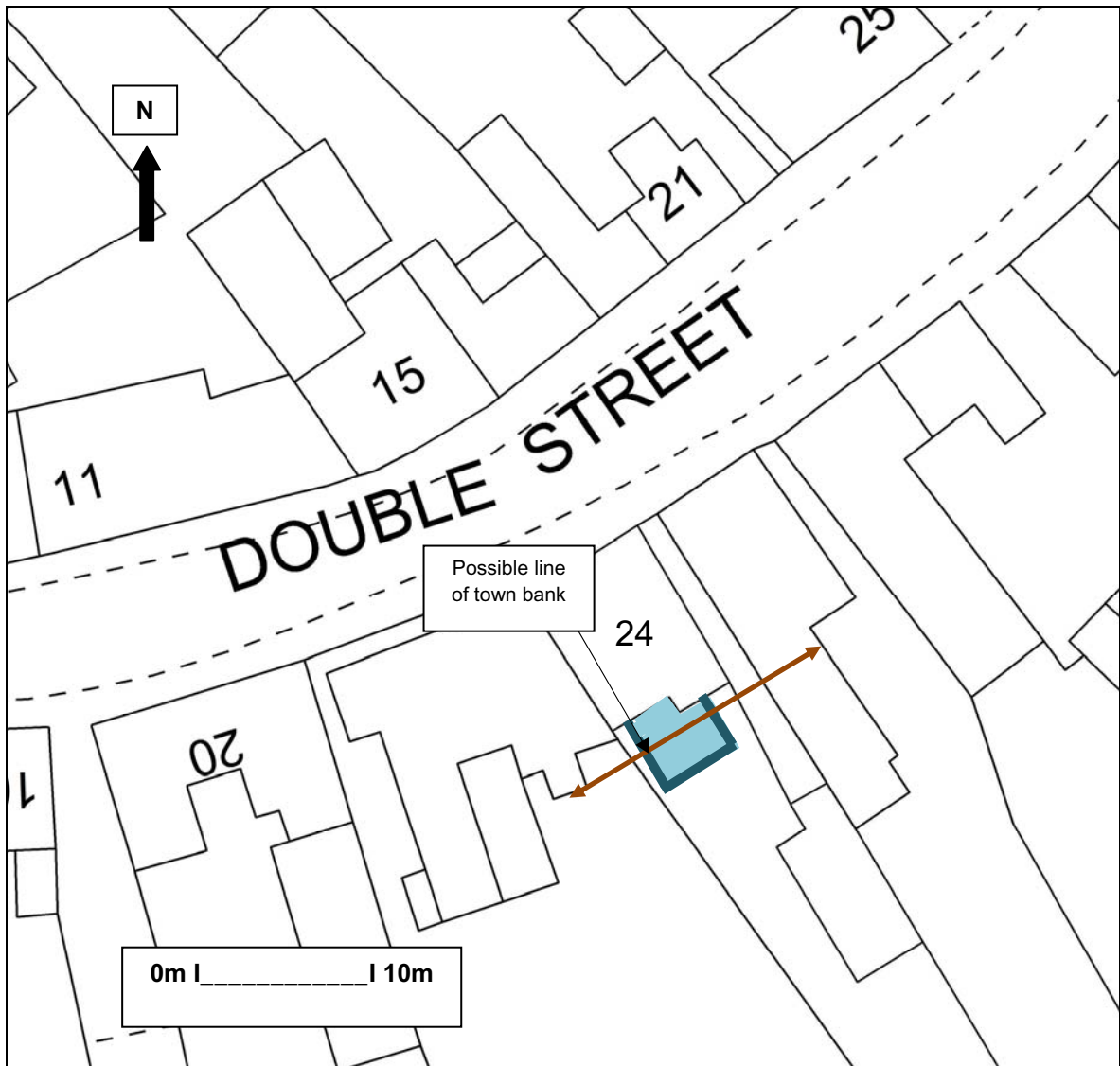


Fig. 2: Monitored footprint area (trenches- darker blue)
(Ordnance Survey © Crown copyright 2012 All rights reserved Licence No 100049722)

Appendix I- Images



General view of the rear of the house from south



South-eastern corner of footings



South-western corner of footings (trenches fully exc.)

SUFFOLK COUNTY COUNCIL

ARCHAEOLOGICAL SERVICE - CONSERVATION TEAM

Brief and Specification for Archaeological Monitoring

24 DOUBLE STREET, FRAMLINGHAM

1. Background

- 1.1 Planning permission to erect a conservatory at 24 Double Street, Framlingham has been granted conditional upon an acceptable programme of archaeological work being carried out (C/11/2556). Assessment of the available archaeological evidence and the proposed foundation methods indicates that the area affected by new building can be adequately recorded by archaeological monitoring.
- 1.2 The proposal lies within the area of archaeological interest defined for medieval Framlingham in the County Historic Environment Record and will involve ground disturbance.
- 1.3 As strip foundations are proposed there will only be limited damage to any archaeological deposits, which can be recorded by a trained archaeologist during excavation of the trenches by the building contractor.

2. Brief for Archaeological Monitoring

- 2.1 To provide a record of archaeological deposits which would be damaged or removed by any development [including services and landscaping] permitted by the current planning consent.
- 2.2 The main academic objective will centre upon the potential of this development to produce evidence for the medieval occupation of the site.
- 2.3 The significant archaeologically damaging activity in this proposal is the excavation of building footing trenches. These, and the up-cast soil, are to be observed during and after they have been excavated by the building contractor.

3. Arrangements for Monitoring

- 3.1 The developer or his archaeologist will give the County Archaeologist (Keith Wade, Archaeological Service, Shire Hall, Bury St Edmunds IP33 1RX. Telephone: 01284 741230; Fax: 01284 741257) 48 hours notice of the commencement of site works.
- 3.2 To carry out the monitoring work the developer will appoint an archaeologist (the observing archaeologist) who must submit a Written Scheme of Investigation (WSI), based on be the outline works in paragraph 2.3 of the Brief and Specification and the building contractor's programme of works and timetable. The WSI must be approved by the Planning Authority's archaeological adviser (the Suffolk County Council Archaeological Service).
- 3.3 Allowance must be made to cover archaeological costs incurred in monitoring the development works by the contract archaeologist.
- 3.4 If unexpected remains are encountered, the County Archaeologist should be immediately informed so that any amendments deemed necessary to this specification to ensure adequate provision for recording, can be made without delay. This could include the need for archaeological excavation of parts of the site which would otherwise be damaged or destroyed.

4. Specification

- 4.1 The developer shall afford access at all reasonable times to both the County Archaeologist and the 'observing archaeologist' to allow archaeological observation of building and engineering operations which disturb the ground.
- 4.2 Opportunity should be given to the 'observing archaeologist' to hand excavate any discrete archaeological features which appear during earth moving operations, retrieve finds and make measured records as necessary.
- 4.3 In the case of footing trenches unimpeded access at the rate of one and half hours per 10 metres of trench must be allowed for archaeological recording before concreting or building begin. Where archaeological detail is observed, one of the soil faces is to be trowelled clean and sections drawn at a minimum scale of 1:50.
- 4.4 All archaeological features exposed should be half sectioned and then fully excavated when possible and recorded in section and plan at a minimum scale of 1:50. Trench locations should be recorded on a plan showing the proposed layout of the development.

- 4.5 All contexts should be numbered and finds recorded by context as far as possible.
- 4.6 The data recording methods and conventions used must be consistent with, and approved by, the County Historic Environment Record.
- 4.7 Developers should be aware of the possibility of human burials being found. If this eventuality occurs they must comply with the provisions of Section 25 of the Burial Act 1857; and the archaeologist should be informed by '*Guidance for best practice for treatment of human remains excavated from Christian burial grounds in England*' (English Heritage & the Church of England 2005) which includes sensible baseline standards which are likely to apply whatever the location, age or denomination of a burial.

5. Reporting Requirements

- 5.1 **Reporting should be commensurate with results.**
If significant archaeological features or finds are found:
- 5.2 An archive of all records and finds is to be prepared consistent with the principles of *Management of Archaeological Projects (MAP2)*, particularly Appendix 3. This must be deposited with the County Historic Environment Record within 3 months of the completion of work. It will then become publicly accessible. This should include a plan showing the proposed development with all areas observed during the monitoring clearly marked.
- 5.3 Finds must be appropriately conserved and stored in accordance with *UK Institute of Conservators Guidelines*. The finds, as an indissoluble part of the site archive, should be deposited with the County HER if the landowner can be persuaded to agree to this. If this is not possible for all or any part of the finds archive, then provision must be made for additional recording (e.g. photography, illustration, analysis) as appropriate.
- 5.4 A report, consistent with the principles of *MAP2*, particularly Appendix 4, must also be provided. The report must summarise the methodology employed, the stratigraphic sequence, and give a period by period description of the contexts recorded, and an inventory of finds. The objective account of the archaeological evidence must be clearly distinguished from its interpretation. The Report must include a discussion and an assessment of the archaeological evidence. Its conclusions must include a clear statement of the archaeological value of the results, and their significance in the context of the Regional Research Framework (*East Anglian Archaeology*, Occasional Papers 3 & 8, 1997 and 2000).

- 5.5 A summary report should be provided, in the established format for inclusion in the annual 'Archaeology in Suffolk' section of the *Proceedings of the Suffolk Institute of Archaeology* (which can be included in the project report)
- 5.6 An OASIS online record <http://ads.ahds.ac.uk/project/oasis/> must be initiated and key fields completed on Details, Location and Creators forms.
- 5.7 All parts of the OASIS online form must be completed for submission to the HER. This should include an uploaded .pdf version of the entire report (a paper copy should also be included with the archive).
- 5.8 Where appropriate, a digital vector plan showing all the areas observed should be included with the report. This must be compatible with MapInfo GIS software for integration into the County HER. AutoCAD files should be also exported and saved into a format that can be imported into MapInfo (for example, as a Drawing Interchange File or .dxf) or already transferred to .TAB files.

When no significant features or finds are found

- 5.9 A short report should be provided including the following information:
 - Grid Ref
 - Parish
 - Address
 - Planning Application number
 - Date(s) of visit(s)
 - Methodology
 - Plan showing areas observed in relation to ground disturbance/proposed development
(a digital vector plan as in 5.8 above when possible)
 - Depth of ground disturbance in each area
 - Depth of topsoil and its profile over natural at each location of observation
 - Observations as to land use history (truncation etc)
 - Recorder and Organisation
 - Date of report

Specification by: Keith Wade

Suffolk County Council
Archaeological Service Conservation Team
Economy, Skills and Environment Department
9-10 The Churchyard
Shire Hall
Bury St Edmunds
Suffolk IP33 1RX

Date: 1st February 2012

Reference: 24 Double Street

This brief and specification remains valid for 12 months from the above date. If work is not carried out in full within that time this document will lapse; the authority should be notified and a revised brief and specification may be issued.

If the work defined by this brief forms a part of a programme of archaeological work required by a Planning Condition, the results must be considered by the Conservation Team of the Archaeological Service of Suffolk County Council, who have the responsibility for advising the appropriate Planning Authority.

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OASIS ID: johnnewm1-125539

Project details

Project name	Erection of Rear Conservatory at 24 Double Street, Framlingham, Suffolk-Archaeological Monitoring Report
Short description of the project	Framlingham, 24 Double Street (FML 071, TM 28662 63452) monitoring of ground works for a small conservatory extension to the rear of the house on the southern side of the street recorded evidence for a firm, grey/brown clay deposit which, as one possibility, can be interpreted as being a remnant of the bank associated with the medieval ditched town defences which ran between Double Street and Fore Street.
Project dates	Start: 17-04-2012 End: 17-04-2012
Previous/future work	No / No
Any associated project reference codes	1283566 - LBS No.
Any associated project reference codes	FML 071 - HER event no.
Type of project	Recording project
Site status	Conservation Area
Current Land use	Other 5 - Garden
Monument type	TOWN DEFENCES Medieval
Significant Finds	NONE None
Investigation type	'Watching Brief'
Prompt	Planning condition

Project location

Country	England
Site location	SUFFOLK SUFFOLK COASTAL FRAMLINGHAM 24 Double Street
Postcode	IP13 9BN
Study area	14.00 Square metres
Site coordinates	TM 28662 63452 52.2211754824 1.348143695210 52 13 16 N 001 20 53 E Point

Height OD / Depth Min: 29.00m Max: 30.00m

Project creators

Name of Organisation John Newman Archaeological Services

Project brief originator Local Authority Archaeologist and/or Planning Authority/advisory body

Project design originator John Newman

Project director/manager John Newman

Project supervisor John Newman

Type of sponsor/funding body Landowner

Project archives

Physical Archive Exists? No

Digital Archive recipient Suffolk CC Archaeological Service

Digital Contents 'none'

Digital Media available 'Images raster / digital photography','Text'

Paper Archive recipient Suffolk CC Archaeological Service

Paper Contents 'none'

Paper Media available 'Report'

Project bibliography 1

Publication type Grey literature (unpublished document/manuscript)

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