

**Erection of Extension to Dyers Hall, 95 High Street,
Lavenham, Suffolk**

Planning application: B/11/01034/FHA

HER Ref: LVM 075

Archaeological Monitoring Report

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(August 2012)

(Tel: 01473 832896 Email: johnnewman2@btinternet.com)

Site details for HER

Name: Dyers Hall, 95 High Street, Lavenham, Suffolk, CO10 9PZ

Client: Mr & Mrs C Burton

Local planning authority: Babergh DC

Planning application ref: B/11/01034/FHA

Development: Erection of garden room extension & conversion of garage to summer house

Date of fieldwork: 27 & 30 July, 2012

HER Ref: LVM 075

Listed building ref.: 1351510 (Grade II)

OASIS: johnnewm1-132178

Grid ref: TL 9153 4925

Conservation area

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Summary: Lavenham, Dyers Hall, 95 High Street (LVM 075, TL 9153 4925) monitoring of foundation trenches for a small garden room extension recorded the undisturbed locally occurring natural boulder clay deposits just below a yard surface of recent date which proved to have a shallow make-up layer that contained a few large flints suggestive of an earlier cobbled yard surface. The only finds seen in the upcast spoil were brick and tile fragments of recent date (John Newman Archaeological Services for Mr & Mrs C Burton).

1. Introduction & background

1.1 Wincer Kievenaar Architects on behalf of their clients, Mr & Mrs C Burton, commissioned John Newman Archaeological Services (JNAS) to undertake the archaeological monitoring of ground works required under a condition for a programme of archaeological works of the planning decision notice for application B/11/01034/FHA. The monitoring requirements were set out in a Brief and Specification set by Mr K Wade of the Suffolk CC Archaeological Service to satisfy this condition (Appendix II). This development concerns the erection a small garden room extension to the rear of Dyers Hall, 95 High Street, Lavenham. The application also includes the conversion of the garage to the rear of the garden into a summerhouse. However these works have now been dropped from the scheme in favour of a simpler plan development that will involve the creation of a new car port which will entail the excavation of two post holes and the re-use of another pair of existing posts and the removal of the existing car port.

1.2 Lavenham is a well known historic town in south Suffolk that was granted a market and grew to prominence and great prosperity in the later medieval period as reflected by its major church and numerous listed buildings. The town lies within the till plateau of central Suffolk with Dyers Hall, 95 High Street being located within the historic core nearly 340m north east of the parish church and 50m south west of the Market Place (see Fig. 1). Dyers Hall is a grade II listed structure described as being a 'timber framed and plastered building with 18th century external features' so in all likelihood of very late medieval/early Post medieval origins.

2. Monitoring methodology

2. Two visits were made to the site to observe the excavation of the foundations for the garden room extension as they were undertaken by hand under weather conditions that were dry and sunny giving good site visibility at all times. The foundation trenches were entered to allow for closer inspection of the exposed soil profiles and hand cleaning of indistinct areas while the upcast spoil was taken directly to a skip allowing for the inspection of a good proportion of it on each site visit. The foundations were recorded in relation to nearby mapped features and a small number of digital images were taken in order to record the monitoring (see Appendix I).

3. Results

3.1 In total some 10m of 400mm wide and 400/500mm deep foundation trench were examined with all of the four trenches running parallel across the footprint of the new extension area (see Fig. 2). As work progressed across the footprint area the existing concrete yard surface was removed and the trenches revealed a shallow 150mm to 200mm deep sub-base to this yard made up of brick and tile fragments of recent date mixed with a mid to dark brown clay subsoil deposit which contained occasional large rounded flints. Below this sub-base layer the locally occurring glaciofluvial deposit, which was made up of a stiff pale yellowish brown clay, was exposed at a depth of only 350mm from the top of the former yard surface.

3.2 The only disturbance to the exposed natural clay deposit proved to be a modern pipe run and recent foundations on the northern and southern sides of the extension footprint area for the existing extension to the house and a boundary wall of relatively

recent date respectively. As noted in section 3.1 above the only finds seen during the monitoring proved to be small fragments of brick and tile of recent date.

4. Conclusion

4.1 While this site is within the area of archaeological interest at Lavenham to the rear of a listed building where evidence for medieval and earlier Post medieval activity might be anticipated the limited extent of the foundation trenches for this small extension did not reveal any features or finds of any significance. Some evidence, in the form of occasional rounded flints, for a cobbled yard pre-dating the modern concrete yard was noted but this former surface could not be dated. The shallow depth of deposits above the locally occurring natural boulder clay is perhaps surprising within such a historic settlement though as the area immediately behind the house is flat (see Appendix I- Images) before rising to towards the rear boundary of the garden it is possible that some ground truncation has taken place in the past.

4.2 In conclusion it is clear that the limited nature of the monitored footings has had a minimal impact on the area of archaeological importance within the town and while further works are planned under this application to create a car port to the rear of the garden the related ground disturbance will now be limited to two post holes. Monitoring of such minor works is unlikely to record archaeological deposits or finds of any significance.

(Acknowledgements: JNAS is grateful to Mr & Mrs C Burton and to their contractors, Lavenham Restorations, for the close cooperation during this site monitoring)

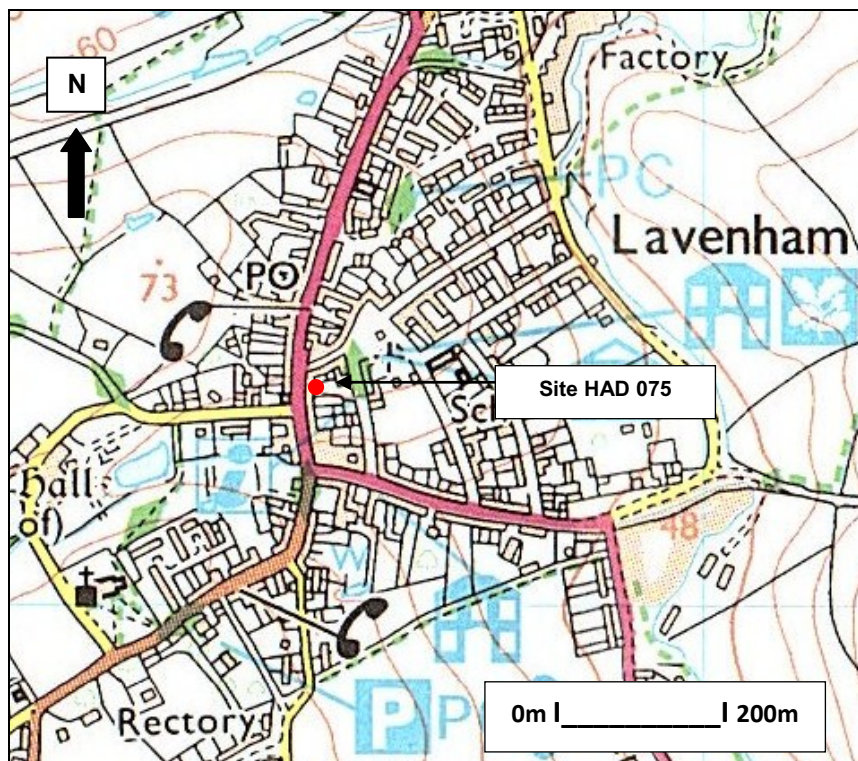


Fig. 1: Site location (Ordnance Survey © Crown copyright 2006
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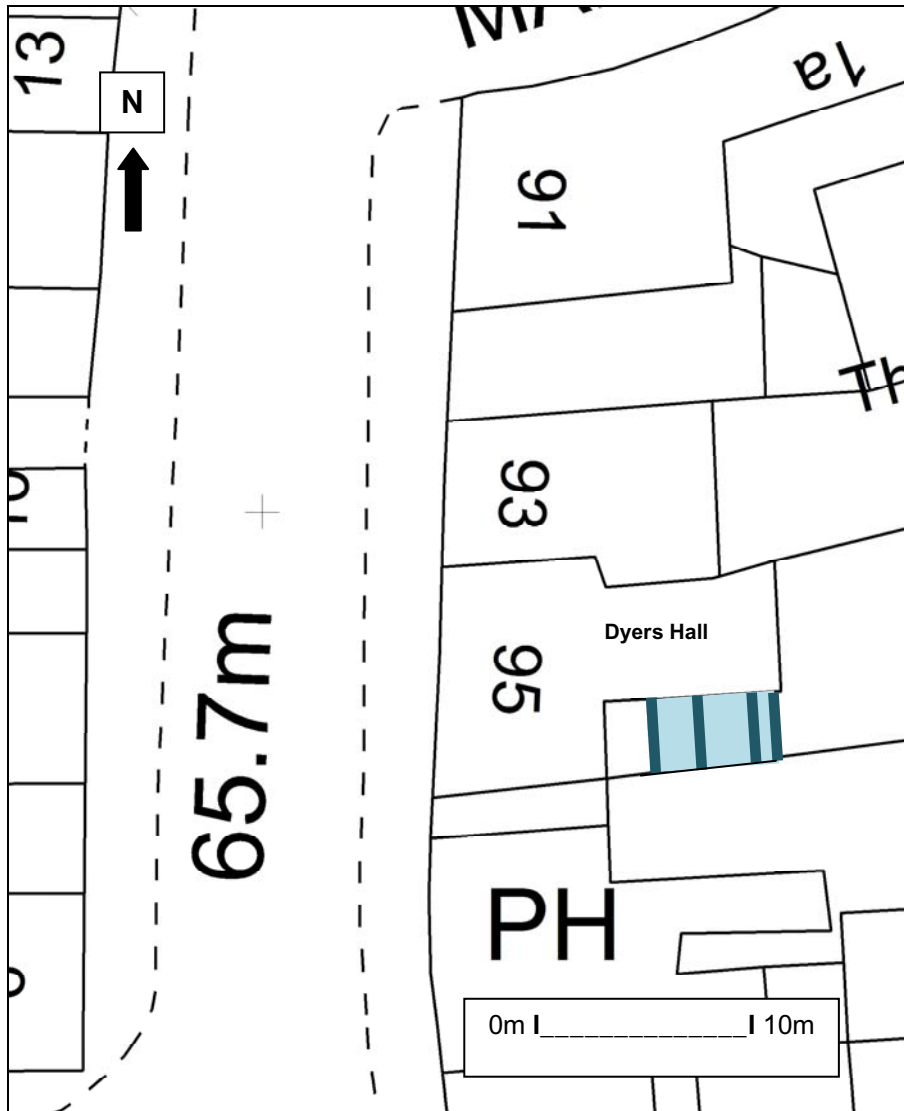


Fig. 2: Monitored foundation trenches (dark blue)
(Ordnance Survey © Crown copyright 2012 All rights reserved Licence No 100049722)

Appendix I- Images



Extension area from back garden to east



Eastern pair of foundation trenches



West central foundation trench

SUFFOLK COUNTY COUNCIL

ARCHAEOLOGICAL SERVICE - CONSERVATION TEAM

Brief and Specification for Archaeological Monitoring

DYERS HALL, 95 HIGH STREET, LAVENHAM

1. Background

- 1.1 Planning permission to erect a garden room and car port extension at Dyers Hall, 95 High Street, Lavenham has been granted conditional upon an acceptable programme of archaeological work being carried out (B/11/01034/FHA). Assessment of the available archaeological evidence and the proposed foundation methods indicates that the area affected by new building can be adequately recorded by archaeological monitoring.
- 1.2 The proposal lies within the area of archaeological interest defined for medieval Lavenham in the County Historic Environment Record and will involve significant ground disturbance.
- 1.3 As strip foundations are proposed there will only be limited damage to any archaeological deposits, which can be recorded by a trained archaeologist during excavation of the trenches by the building contractor.

2. Brief for Archaeological Monitoring

- 2.1 To provide a record of archaeological deposits which would be damaged or removed by any development [including services and landscaping] permitted by the current planning consent.
- 2.2 The main academic objective will centre upon the potential of this development to produce evidence for the medieval occupation of the site.
- 2.3 The significant archaeologically damaging activity in this proposal is ground reduction/reshaping and the excavation of building footing trenches. These, and the up-cast soil, are to be observed during and after they have been excavated by the building contractor.

3. Arrangements for Monitoring

- 3.1 The developer or his archaeologist will give the County Archaeologist (Keith Wade, Archaeological Service, Shire Hall, Bury St Edmunds IP33 1RX. Telephone: 01284 741230; Fax: 01284 741257) 48 hours notice of the commencement of site works.
- 3.2 To carry out the monitoring work the developer will appoint an archaeologist (the observing archaeologist) who must submit a Written Scheme of Investigation (WSI), based on the outline works in paragraph 2.3 of the Brief and Specification and the building contractor's programme of works and timetable. The WSI must be approved by the Planning Authority's archaeological adviser (the Suffolk County Council Archaeological Service).
- 3.3 Allowance must be made to cover archaeological costs incurred in monitoring the development works by the contract archaeologist.
- 3.4 If unexpected remains are encountered, the County Archaeologist should be immediately informed so that any amendments deemed necessary to this specification to ensure adequate provision for recording, can be made without delay. This could include the need for archaeological excavation of parts of the site which would otherwise be damaged or destroyed.

4. Specification

- 4.1 The developer shall afford access at all reasonable times to both the County Archaeologist and the 'observing archaeologist' to allow archaeological observation of building and engineering operations which disturb the ground.
- 4.2 Opportunity should be given to the 'observing archaeologist' to hand excavate any discrete archaeological features which appear during earth moving operations, retrieve finds and make measured records as necessary.
- 4.3 In the case of footing trenches unimpeded access at the rate of one and half hours per 10 metres of trench must be allowed for archaeological recording before concreting or building begin. Where archaeological detail is observed, one of the soil faces is to be trowelled clean and sections drawn at a minimum scale of 1:50.
- 4.4 All archaeological features exposed should be half sectioned and then fully excavated when possible and recorded in section and plan at a minimum scale of 1:50. Trench locations should be recorded on a plan showing the proposed layout of the development.

- 4.5 All contexts should be numbered and finds recorded by context as far as possible.
- 4.6 The data recording methods and conventions used must be consistent with, and approved by, the County Historic Environment Record.
- 4.7 Developers should be aware of the possibility of human burials being found. If this eventuality occurs they must comply with the provisions of Section 25 of the Burial Act 1857; and the archaeologist should be informed by '*Guidance for best practice for treatment of human remains excavated from Christian burial grounds in England*' (English Heritage & the Church of England 2005) which includes sensible baseline standards which are likely to apply whatever the location, age or denomination of a burial.

5. Reporting Requirements

- 5.1 **Reporting should be commensurate with results.**
If significant archaeological features or finds are found:
- 5.2 An archive of all records and finds is to be prepared consistent with the principles of *Management of Archaeological Projects (MAP2)*, particularly Appendix 3. This must be deposited with the County Historic Environment Record within 3 months of the completion of work. It will then become publicly accessible. This should include a plan showing the proposed development with all areas observed during the monitoring clearly marked.
- 5.3 Finds must be appropriately conserved and stored in accordance with *UK Institute of Conservators Guidelines*. The finds, as an indissoluble part of the site archive, should be deposited with the County HER if the landowner can be persuaded to agree to this. If this is not possible for all or any part of the finds archive, then provision must be made for additional recording (e.g. photography, illustration, analysis) as appropriate.
- 5.4 A report, consistent with the principles of *MAP2*, particularly Appendix 4, must also be provided. The report must summarise the methodology employed, the stratigraphic sequence, and give a period by period description of the contexts recorded, and an inventory of finds. The objective account of the archaeological evidence must be clearly distinguished from its interpretation. The Report must include a discussion and an assessment of the archaeological evidence. Its conclusions must include a clear statement of the archaeological value of the results, and their significance in the context of the Regional Research Framework (*East Anglian Archaeology*, Occasional Papers 3 & 8, 1997 and 2000).

- 5.5 A summary report should be provided, in the established format for inclusion in the annual 'Archaeology in Suffolk' section of the *Proceedings of the Suffolk Institute of Archaeology* (which can be included in the project report)
- 5.6 An OASIS online record <http://ads.ahds.ac.uk/project/oasis/> must be initiated and key fields completed on Details, Location and Creators forms.
- 5.7 All parts of the OASIS online form must be completed for submission to the HER. This should include an uploaded .pdf version of the entire report (a paper copy should also be included with the archive).
- 5.8 Where appropriate, a digital vector plan showing all the areas observed should be included with the report. This must be compatible with MapInfo GIS software for integration into the County HER. AutoCAD files should be also exported and saved into a format that can be imported into MapInfo (for example, as a Drawing Interchange File or .dxf) or already transferred to .TAB files.

When no significant features or finds are found

- 5.9 A short report should be provided including the following information:
 - Grid Ref
 - Parish
 - Address
 - Planning Application number
 - Date(s) of visit(s)
 - Methodology
 - Plan showing areas observed in relation to ground disturbance/proposed development
(a digital vector plan as in 5.8 above when possible)
 - Depth of ground disturbance in each area
 - Depth of topsoil and its profile over natural at each location of observation
 - Observations as to land use history (truncation etc)
 - Recorder and Organisation
 - Date of report

Specification by: Keith Wade

Suffolk County Council
Archaeological Service Conservation Team
Economy, Skills and Environment Department
9-10 The Churchyard
Shire Hall
Bury St Edmunds
Suffolk IP33 1RX

Date: 22nd November 20

Reference: Dyers Hall, Lavenham

This brief and specification remains valid for 12 months from the above date. If work is not carried out in full within that time this document will lapse; the authority should be notified and a revised brief and specification may be issued.

If the work defined by this brief forms a part of a programme of archaeological work required by a Planning Condition, the results must be considered by the Conservation Team of the Archaeological Service of Suffolk County Council, who have the responsibility for advising the appropriate Planning Authority.

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OASIS ID: johnnewm1-132178

Project details

Project name	Dyer's Hall, 95 High Street, Lavenham, Suffolk- Archaeological Monitoring Report
Short description of the project	Lavenham, Dyers Hall, 95 High Street (LVM 075, TL 9153 4925) monitoring of foundation trenches for a small garden room extension recorded the undisturbed locally occurring natural boulder clay deposits just below a yard surface of recent date which proved to have a shallow make-up layer that contained a few large flints suggestive of an earlier cobbled yard surface. The only finds seen in the upcast spoil were brick and tile fragments of recent date.
Project dates	Start: 27-07-2012 End: 30-07-2012
Previous/future work	No / No
Any associated project reference codes	LVM 075 - HER event no.
Any associated project reference codes	1351510 - LBS No.
Type of project	Recording project
Site status	Conservation Area
Current Land use	Other 5 - Garden
Monument type	NONE None
Significant Finds	NONE None
Investigation type	""Watching Brief""
Prompt	Planning condition

Project location

Country	England
Site location	SUFFOLK BABERGH LAVENHAM Dyer's Hall, 95 High Street
Postcode	CO10 9PZ
Study area	16.00 Square metres
Site coordinates	TL 91534 49253 52 0 52 06 28 N 000 47 50 E Point

Height OD / Depth Min: 63.00m Max: 64.00m

Project creators

Name of Organisation John Newman Archaeological Services

Project brief originator Local Authority Archaeologist and/or Planning Authority/advisory body

Project design originator John Newman

Project director/manager John Newman

Project supervisor John Newman

Type of sponsor/funding body Landowner

Project archives

Physical Archive Exists? No

Digital Archive recipient Suffolk CC Archaeological Service

Digital Contents "none"

Digital Media available "Images raster / digital photography", "Text"

Paper Archive recipient Suffolk CC Archaeological Service

Paper Contents "none"

Paper Media available "Report"

Project bibliography 1

Publication type Grey literature (unpublished document/manuscript)

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