

**32 High Street
Saxmundham
Suffolk**

Report into the Architectural and Historic Significance of the Building

1 General History of the building from plans and records

- 1.1 The earliest plan which shows the building is the **Tithe Map of 1840**, surveyed by B.M. Calland, which indicates that the present footprint had already been established, with the yard to the south¹. At this point however only sections A, B and C had been constructed, that is, the present rooms G1 to G4 (see the plan). Room G5 was added in c. 1850 as the two-storey animal house with the upper floor used as the hay loft for animal feed and bedding.

Pigs and cattle would have been housed in this new building, which replaced an open fenced, or walled, compound. Sheep, if John Berrett, the butcher until at least 1858, sold mutton or lamb would normally have been housed outside. It is noticeable at this point, 1840, that the carriageway into the yard from the High Street has not yet been oversailed by the principal sitting room, and it is regrettable that no early photographs have come to light which indicates the appearance of the street façade before the room was built over the carriageway, probably in the 1870s. In any



Fig. 1: Detail from the 1840 Tithe Map

event the entire façade and the front rooms were completely reconstructed about 1900, including the room over the carriageway, which became the sitting room, if it had not been that before. Immediately east of the open compound shown in 1840 is a fenced area with the Tithe Apportionment plot No. 247, but there are several such plot numbers on the map, explained at the end of the Apportionment as gardens of houses in the ownership and occupation of 'sundry persons' paying a total commuted tithe of £17 3s 13¼d per annum². This must have presented difficulties for these 'sundry persons' in deciding who was responsible for how much of the Tithe payment, and it also means that the individual owners and occupiers are unrecorded. Accordingly, we do not know if Berrett was either the owner or the occupier of this garden plot, but it was he who by the end of the 1850s had extended his range of buildings by a further ten metres or so to add rooms G7 and G8, the latter being a carriage house.



Fig. 2: South elevation towards the yard, looking east

1.2 The evidence of two but joins in the south elevation of the building tell us that each of the sections A, B and C were constructed at different times in the nineteenth century, or, more accurately, reconstructed as the needs of the business and domestic occupation changed. The implications of these joints will be considered under the section dealing with the description of the exterior.

1.3 The next available map is the **1883 Ordnance Survey Map**, sheet 50.13, and this shows the range of buildings complete and taking a bite out of the garden at the east end of the site, with the outdoor privy attached to the east return of the terminating building (G8), the site closest to the River Fromus. There remains a privy today, but it has

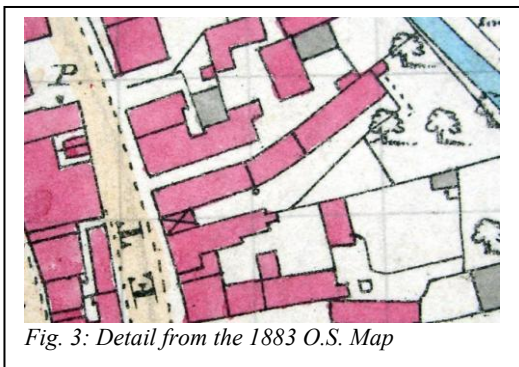


Fig. 3: Detail from the 1883 O.S. Map

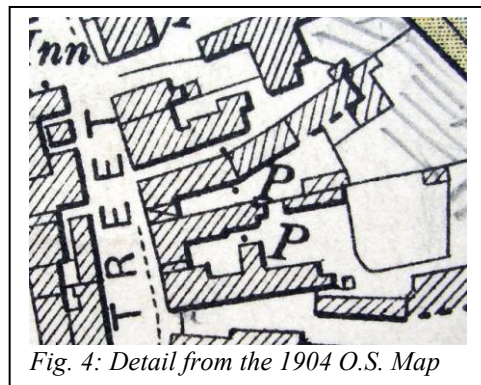


Fig. 4: Detail from the 1904 O.S. Map

been rebuilt at the front (south) edge of the carriage house. The likelihood is that the garden was for the enjoyment of all of the residents of the buildings with access through Berrett's Yard, and Berrett came to a mutually agreeable arrangement with his neighbours³. The **1904 O.S. Map** indicates that the east end of the range has received an additional projection to the south, the

internal plan has altered at this point and the carriage house is more clearly defined as an open cart or implement shed. There are however no recorded changes to the principal elements of the range towards High Street, as the map does not provide any clue to the fact that the street range had been rebuilt since 1883. No change is indicated to these parts in **1927** either, although there were developments at the river end of the site: the wrap-around building at the south-east corner has been swept away to allow the construction of a large workshop over the former gardens.

- 1.4 In the 1890s John Durrant was the butcher, and by 1896 it was Robert Gooch, the former prosperous enough to have two assistant butchers working for him and the latter having two servants, who may, of course, also have been apprentices. It was one of these two who altered the east end of the coach house, but nothing of any consequence for the history of the building is recorded. In the 1930s and early 1940s the shop changed hands twice, first coming to Arthur Packard and subsequently to Albert Mitchell, both butchers. Mitchell's widow Bessie sold to Sidney Harry Newson, who had previously worked a butcher's shop on Church Street, and so began the longest continuation of the business by one family⁴, the Newsons only finally selling up in the 1990s.
- 1.5 It was the Newsons therefore who were responsible for the alterations of the 1950s and the particularly damaging modernisations of c. 1970, which did more to eradicate the character of the retail and domestic elements of the building than any other: the opening of the ground floor front range into a large retail area, the removal of the staircase, the replacement of the front windows to the street, the creation of a side entrance to the shop, and a host of other insults which are noted in the Room Survey Sheets. The installation of the cold store into one third of the back parlour (room G2-3) is an understandable modernisation for a butcher's shop, but it suggests that any domestic use of the premises had been abandoned. Certainly the later removal of the staircase meant that the two first-floor front rooms were taken out of use, leaving no doubt that the shop became a lock-up, notwithstanding that a half-glazed door was knocked through the east parlour wall over the carriageway. For this reason the two front first-floor rooms are the best preserved of any in the range, but they both have only modest fittings of c. 1900, and it is a shame that no wallpaper survives.
- 1.6 After the departure of the Newson family there was occupation by two short-term businesses, and finally the site was purchased by Hopkins Homes Ltd on 2 May 2006⁵.

2 Description of the Exterior

- 2.1 The range of buildings which comprises No. 32 High Street can be divided into five parts, depending on their function and date of construction, and these are defined by the letters A-D on the plans, leaving rooms G6-G8 at the east end.

Section A

- 2.2 Section A is the main elevation fronting the street and running east as far as the butt joins in the north and south walls which define the extent of the rebuilding of the street range in about 1900. It included the site of the staircase, which was presumably also reconstructed in c. 1900, but the point is academic. The **street elevation** is of two storeys in two window bays and is constructed of Flemish-bond red brick under a gabled roof hipped to the



Fig. 5: West elevation towards High Street

north and clad with Welsh slate⁶. The ground floor is rendered and painted in white masonry paint and to the right of the elevation is the carriageway into Berrett's Yard under a shallow basket arch to the front only. To the left is a plate-glass display window of c. 1970 under three plain transom lights. A

blank timber fascia board runs the width of the elevation above this point and there are three 3/6 unhorned sash windows to the first floor, boarded over. A steel rail on four steel brackets formerly took the signage for the butcher's shop. The eaves of the roof overhang slightly so there is a timber soffit board and the gault-brick ridge stack has lost all of its pots. There would have been three – one each for the two first-floor fireplaces and one for the shop fire in the south wall.

- 2.3 The **carriageway** is of colourwashed Flemish-bond red brick to each side, but to the south the wall belongs to No. 30 High Street, a Grade II listed building. The north side has the impression of a plinth course, but it is just a painted black band continuing from the west elevation, and at high level, immediately west of the c. 1970 half-glazed door, is the corbelling for the shop chimney flue, which also supports the apron of the sitting-room fireplace



Fig. 6: Carriageway, north side

in room F1. There is of course no trace of the fire opening in the interior. The door has a triple-louvred hinged overhead, and to the west the single 2/2 unhorned sash window of c. 1900 remains the most authentic part of Section A other than the structural brickwork. A wide plank door on strap hinges closes off the Yard, hinged on the south side. The carriageway ceiling consists of twelve 6" by 1½" joists running north-south with floorboards on top, all of c. 1900. Their condition is not good and netting has been fixed in place to catch falling debris.

2.4 Section A technically includes the first of the plain plate-glass non-opening windows inserted in the south wall of the rear range and lighting room G1, as the butt joint which defines the limit of the c. 1900 rebuild is to its east. These characterless c. 1970 windows are a great detraction, and the western one takes the place of a doorway which formerly led into the rear room before the Newsoms knocked both rooms into their large retail space.

- 2.5 The **rear elevation** of the street range is of interest in that it is of weatherboarded timber studwork, and there is a half-glazed loading door of c. 1970 in the southern half opening into room F1. To its right is an opening which is the former doorway between the staircase and its tight landing (room F2) from which access was provided to the two principal front rooms. The remainder of the east wall of room F3 has been boarded and painted blue, but in 1987 it was entirely weatherboarded, according to the photograph by Stephen Plunkett.

Sections B and C

- 2.6 Of the long **rear wing** only the south elevation is visible owing to the close proximity of the adjacent building to the north, and this is of whitewashed red brick laid in Flemish bond under a gabled pantiled roof which cants to the north



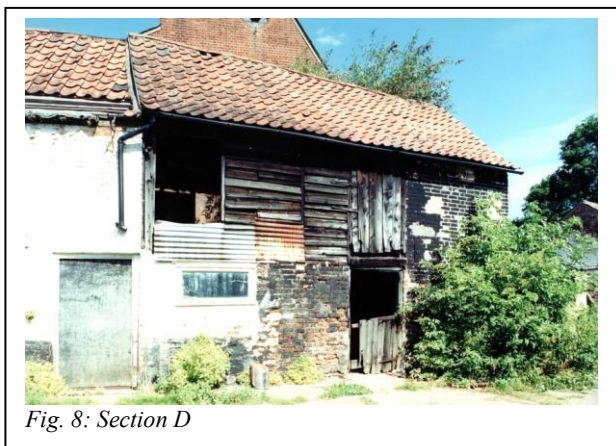
Fig. 7: South elevation towards the yard, looking west

between rooms G4 and G5. There is one stack which serves the fire opening in the wall between rooms G1 and G3 and there are two butt joins, both of which have queens closers to one side indicating that the bricklayer was building to a defined right-angle, and these joins confirm that the range was built in three phases, marked as A, B and C on the plan. Section D was, as we have noted, an open enclosure at the time of the 1840 tithe map, and section A, the street façade, was entirely rebuilt in about 1900. In the third quarter of the nineteenth century therefore, the entire range was rebuilt in two or even three distinct phases, although the precise dates of these events is difficult to determine. Rooms G6 and G7 (the carcass store room and probably slaughterhouse), room G8 (carriage house) and room G9 (outside privy) were also added in the third quarter of the nineteenth century along with sections B and C.

- 2.7 There are two external storeys and three bays of plate-glass windows of c. 1970 in each floor under segmental arches, although the main shop area rises through both floors and the remaining two first-floor windows light the roof spaces, access to which was not possible, partly due to lack of a staircase⁷. The additional ground-floor window at the west end under a flat concrete lintel is in the position formerly taken by an external doorway which would, in the nineteenth century, have led to the main living room of the premises. 810 mm east of this window is a butt join indicating the extent of the reconstruction of the front range (section A) and on the line of the wall between rooms G3 and G4 is another butt join with queens closers marking the extent of section B. There are two boarded doors, that to the west under a brick arch and the other under a flat lintel.

Section D

- 2.8 Section D, or room G5, is the animal shelter but it is an odd room in that the western third of it has been taken into room G4, probably about 1900 when a great deal of alteration took place to the building. There is a red brick ground floor with a plate-glass window of c. 1900 to the left and the lower leaf of a double stable door to the right. Above this is a plank door to the hay loft (for animal feed and bedding), and to the left of this door is a weatherboarded area reflecting a similar weatherboarded area in the north wall. Parts have been repaired with corrugated iron. The ground floor of the east gable end was until the 1970s open to the former storeroom and slaughterhouse to the east (G6 and G7), but this has been closed with blockwork on the inside and stretcher-bond brickwork to the outside. Over this is a two-light cross casement window, without glass, lighting the hay loft and over that is a weatherboarded gable head.



Rooms G6 and G7

- 2.9 This section is now roofless, although the whitewashed marks of the gable ends remain on the walls of the flanking buildings, indicating that the front (south) wall has been reduced in height and the west part entirely rebuilt with 1970s blockwork. There is an internal cross wall, also of blockwork, which divides the space into the two rooms, but it is unlikely that the slaughterhouse was split into two rooms before about 1970, just as it is unlikely that it was used for its original purpose after the Second World War. The internal floor is of concrete but there are no other internal details and no surviving fragments of windows or doors.

Rooms G8 and G9

- 2.10 It is impossible to gain access to the former carriage house because of excessive vegetation and physical barriers erected to prevent access. The building was added in the late nineteenth century over the private gardens shown on the 1840 Tithe map and is of Flemish-bond red brick under a gabled pantiled roof. The east gable head however is of Fletton bricks and was rebuilt in c. 1950, in Flemish bond. To the south is a full-width doorway under a timber lintel, without the door, and there are no windows. The roof, like all the roofs of the complex, is a simple common

rafter structure. Room G9 is a detached external toilet in Fletton brick under a flat roof, with a plank door and a frosted glass window with a top-hung opener in the south elevation. The door is hung on butt hinges and has a Suffolk latch.

3 Description of the Interior

3.1 The room survey sheets itemise the details of the interiors of each space for which access was possible, so only a general description is given here. The sequence of construction, or reconstruction,



Fig. 10: Rooms G8 and G9

means that each element of the building reflects different dates within the nineteenth century, with the street range reflecting the style of c. 1900, greatly altered in about 1970 in an unsympathetic manner. The retail area was opened out to absorb the main sitting room of the domestic quarters, and the staircase and other features were removed, so that in all of the space **G1** there is nothing earlier than c. 1970 apart from the cold room door leading into room G2 and the sash window. Much the same may be said of rooms **G2 and G3**, which have been converted back into a single space by the removal of the cold-store partition. Of the middle of the nineteenth century are the empty plain fire opening, the floorboards in the space G3 and the plank door leading east to room G4, but it is still possible to identify the room as the kitchen or possibly back parlour of the domestic part of the butcher's shop, a residential function that must have ceased in the 1950s.

3.2 Room **G4**, the butchery room, is very plain, with a concrete floor and no original fittings. The chimneypiece within the north wall was finally removed in 1982 when the work benches were extended and the only item of any interest is the chamfered bridging beam of the third quarter of the nineteenth century, and that is not of particular architectural value. Room **G5** was added after the date of the



Fig. 11: Room G1, the retail area, looking east



Fig. 12: Room G4, the butchery room, looking west

1840 tithe map, on the site of an open animal compound, possibly in c. 1850 to judge by the poor-quality brickwork, but it reminds us that livestock was kept in the centre of towns and villages until well into the twentieth century, and the slaughter and butchery of animals took place on individual butcher's premises. This is the reason why so many established butchers' shops in towns have sometimes extensive outbuildings at the rear, today usually unused or converted to other uses. In some ways this promotes the interest of the two-

storey animal house with its double stable door to the ground floor and hay-loft door above into the attic. The internal first floor is missing, although the mortise holes for the joists remain in the one north-south bridging beam, and there is modern fibreboard nailed to the underside of the tie beams, and through holes in this one may observe the simple roof of common rafters, collars and tie beams. This roof type is among the simplest, has little inherent interest and is consistently employed throughout the ranges. Apart from the concrete floor with drainage channels none of the fittings associated with animal welfare survive.

3.3 Even less survives of the space which was formerly the carcass hanging room, **G6 and G7**. This is just a ruinous shell, and there are no room survey sheets for it or the remaining two buildings in the range, because of the impossibility of access and the certainty that there is nothing of interest within them.



Fig. 13: Room F1, over the carriageway, north and west walls

3.4 The **first floor** consists today of three spaces in the street range: rooms **F1 and F3** with the small staircase landing between them (**F2**). Because the staircase was removed in c. 1970 (and the roof over the space it had occupied collapsed in the 1990s), the two principal rooms fell out of use. There would in any case have been much less reason to make alterations than to the ground-floor rooms, so the interiors are virtually complete examples of simple domestic spaces of about 1900. All of the fittings remain, including the sash windows

to the street elevation, but all are of the simplest, cheapest, kind and are replicated in hundreds of thousands of terraced houses in towns and cities throughout the country. The floors are extremely dangerous and in places the

ceiling plaster has fallen away to reveal the construction details of the main roof: common rafters, tie beams and one tier of through purlins.

- 3.5 The first-floor spaces of the rear ranges are in the main just attic spaces, with common rafter roofs, but there remains a room over **G4**, but there is no ready access to it and the floor is in any case unsafe.



Fig. 14: Roof over room F3, in the front range

4 The Condition of the Buildings

- 4.1 All of the roof spaces in the complex are unsafe and could not be inspected, and the floor of room F1, over the carriageway

into the yard, is rotten and falling away, to the extent that it could not be crossed. Netting has been rigged under the carriageway to catch falling timbers. The roofs of the range of buildings along the rear wing are all in structurally suspect condition, and there are missing pantiles along the line of the eaves of the range. All of the rainwater goods are in poor condition and a length of cast-iron guttering has recently fallen into the yard, according to the neighbours. There is only one external window or door which predates the 1970s – the sash window of c. 1900 looking into the carriageway, and this is in poor condition. The external walls have defective pointing and there is widespread spalling of bricks, especially in sections C and D. Parts of section D – the former animal shelter – are in danger of collapse, but it was impossible to approach the former carriage house, G8 and the privy, G9. From a distance however, they appear to be in poor to bad condition.

- 4.2 Internally the entire retail area at the front of the complex (G1) is in very bad condition, with ferns, lichen and mosses growing out of the carpet tiles, and a thick stem of ivy is splitting open the north external wall, where the dry lining is falling in places. Damage from damp is extensive, to the point where this room is beyond economic restoration, unless there are overriding factors such as significant architectural or historic interest, or townscape value. The remainder of the interiors of the ground floor, rooms G2, G3 and G4, are in poor decorative and structural condition.

5 The Site, and the Place of No. 32 High Street within it

- 5.1 The site of No. 32 High Street is on the east side of the street about half-way between Church Street in the south and Sweet Farm Road in the north, opposite the Market Place which runs north-south parallel and to the west of the High Street. Many of the houses and shops which have their frontage to Market Place also have elevations towards the High Street, and the High Street is, generally-speaking, lined with an attractive mix of residential and commercial buildings with a pleasant variation in size and height. There is also a mixed building line, with some

buildings set back, and there are carriageways into yards and even two lengths of crinkle-crinkle wall on the west side of the street just north of No. 32. These features, combined with the curve of the street and the set-back Bell Hotel at the opening of Market Place, promote the historic High Street, as the centre of the medieval town, into a classic Conservation Area. It is exactly this kind of street scene which was intended for designation by the Civic Amenities Act, 1967; it is crammed with buildings listed in their own right, including Nos. 28-30 which share the yard with No. 32. That is a Grade II item and so is Nos. 26 –26B, and on the same side No. 46 is listed. All the buildings on the opposite side of the road with the exception of the fish and chip shop, facing No. 32, are listed, and there are a further eight in the Market Place. All of these buildings are Grade II, so there are no buildings of exceptional importance, but rather their cumulative effect is the point; each augments the next⁸.



Fig. 15: High Street, looking north



Fig. 16: High Street, looking south

5.2 It is therefore a great pity that the butchers' shop façade of c. 1900 was all but obliterated in the insensitive alterations of c. 1970. The only survival is the two sash windows to the upper floor, and one of those has been taken out and both openings boarded⁹. As it stands today this elevation detracts from the Conservation Area, and is not even historically accurate, because the entrance door would have been set back into a lobby in the centre of the front elevation rather than in the side. There would presumably have been a typical tiled stallriser with cattle and sheep's heads and pilasters and consoles closing the elevation to either side, and the whole would have looked much more like the Grade II No. 35 opposite, even if that has itself been altered. The rear offices extending north-east along the north side of the yard are in various stages of dilapidation and do not enhance the street scene, although they do have a degree of historic interest in that the footprint, and, one presumes, the height of the buildings have not changed over the last 170 years, even if each component has been rebuilt.

6 The Impact of the Proposals on the Conservation Area

6.1 As it stands the façade towards High Street, which is the most significant element in terms of the Conservation Area, actually detracts from the street scene, and combined with the neighbouring premises to the north this is a poor stretch of the street. The proposals set out in drawing No. SAXI-32HS-004 however, go as far as is possible to rectify this situation, recreating a conventional early twentieth-century shop front with a glazed door with an overlight to the right of a double-paned shop display window complete with transom lights and set over a plain stallriser. The whole is to be within a conventional cornice supported on side pilasters¹⁰. The unsightly fascia board which embraces both the present display window and the weak arch over to the carriageway is to be removed and

the two first-floor windows reinstated as 6/6 sashes to conform with the remainder of the street architecture. Since the height and scale of the new elevation will match the original it is beyond doubt that the proposed build will add considerably to the amenity of Saxmundham High Street. The rear elevation of the street range, over the carriageway, is to receive a sash window in place of the inappropriate door of c. 1970.

- 6.2 The rear wings are in a sad condition and present more of an eyesore than an asset to the yard, but the proposals suggest a new build adhering to the existing cranked footprint but with a far more interesting elevation, taller than the original to allow two full storeys (as is essential) and with an interesting stepping down of roof levels. The mixture of door designs and window types further enlivens the elevation, and it is difficult to see grounds for objection: residential and retail use is combined, and not only will the yard once more become a vibrant corner of Saxmundham, but also be a very pleasant place to live. This is a far cry from the present situation and the conclusion is that the proposals for the rear wing further enhance the Saxmundham Conservation Area.

7 Historical and Architectural Appraisal

A Historical Appraisal

- 7.1 The historical interest of No. 32 High Street rests on a single factor, but it is a factor which is worth recording: the fact that so far as is known the premises has always



been used for a butchers' business (at least until the last decade of the twentieth century), which is a continuity lasting about 170 years. It is highly likely that the site was built up long before any of the present buildings were constructed in the nineteenth century, as the High Street was central to medieval Saxmundham, and the shape of the plot running back to the river from the street is that of a burgage plot. In this context the only thing of particular importance is that the footprint of the new build should correspond as closely as possible with the historic footprint, at least as it existed in 1840 (Tithe map). The proposals satisfy this point exactly.

B Architectural Appraisal

- 7.2 Architecturally there is nothing of more than passing interest. On the micro-scale there would normally be those individual features enumerated in the room survey sheets, such as door hinges or floorboards, which rate a score of 5 or 6, but there are none of those. This is an exceptional circumstance in a sizeable building fronting an historic High Street. The highest score is 4, which only registers that the feature concerned is original to the date of construction of the part in which it is found, and the majority of scores are 0-2. The best parts are the fittings of two first-floor rooms of the street range (F1 and F3), but they

are perfectly ordinary in a wider context and only stand out in the precise context because of the paucity of fittings of quality elsewhere in this particular building.

- 7.3 On the macro side there is little beyond the historic interest of the site mentioned above: there are no roof structures of any character, no details in the brickwork, no innovation in construction on any other factor which is out of the ordinary. The west façade is rather worse than merely dull and the rear wing only presents the viewer with a series of quite ordinary later nineteenth-century builds which have been badly and unsympathetically altered.

Chronology of Known Events and Occupiers

Date	Event	Source
1840	The Tithe Map indicates that only the straight section of the rear range existed, with a fenced stock yard attached to the south-east	Tithe Map, 1840
1841	John Berrett, butcher, in occupation with his wife, son and 2 apprentices	1841 census
1844	John Berrett in occupation	White's Directory, 1844
1858	John Berrett, butcher, in occupation	Post Office Directory, 1858
1891	John Durrant, butcher, in occupation with his wife, 2-day-old daughter and two servants, both of whom were butchers	1891 census
1896	Robert Gooch, butcher, in occupation	Kelly's Directory. 1896
1901	Robert Gooch, butcher, in occupation with his wife, daughter and 2 servants	1901 census
1937	Arthur Packard, butcher, in occupation	Kelly's Directory, 1937
1945	Bessie Mitchell sold the building to Sidney Harry Newson. In 1937 Newson had a butcher's shop in Church Street	Land Registry
1986	Newson's butchers still occupied the building	SRO K609/1
2002	The building in use as a second-hand furniture shop (North Sea Bubble Ltd). Sold to Stephen Hicklin	Land Registry
2006	2 May. Premises and site bought by Hopkins Homes	Land Registry

Room Survey Sheets

In the tables which follow the column headed 'value' refers to the following scale, indicating the historical or architectural importance of each item. These values are relative to other values awarded within the same building, not relative to other buildings. A grade of 5 for a small vernacular structure might only be a 3 in a superior house:

- 0 None
- 1 Not original to building, and could be removed or replaced
- 2 Not original to building, but is of value as a later alteration or addition which contributes to the historical character, but is not vital if removal would enhance what is original
- 3 Not original to building but is important to historical development and should be retained
- 4 Original feature which should be retained unless there are pressing reasons
- 5 Original and important
- 6 Original and of great value in the local context, and should be restored if necessary

Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB
On Which Floor: Ground
Photograph Negative Nos.: 333/206/1-4

Designation on Plans: G1
Date of Photograph: 21/7/2010

General Description & Comments:

The main retail area of the butcher's shop, and the subsequent second-hand furniture shop, with white glazed tiles and butchers' hooks fixed to the walls, which have been dry-lined and boarded. The entrance has been created in the side elevation in c. 1970, when the façade was altered, and the eastern part of the room raised up to the full height of the building. There is little of architectural interest in the room, which is in very poor condition and extremely damp. The main staircase has been removed, probably in c. 1970, when the alterations were made, and there is now no internal access to the two first-floor rooms of the street elevation, or to the attics of the remainder of the building.

INTERNAL STRUCTURE

DESCRIPTION	Date	Value
Walls: Flemish-bond brick	Early C19 & c. 1900	4
Ceiling: Battened out and boarded over	c. 1970	0
Floor: Carpet tiles over vinyl over concrete	c. 1970 and later	0

FITTINGS

Door(s):	1. Half-glazed door out to the exterior in the south wall with butt hinges and a mortise lock	c. 1970	0
	2. Insulated cold-store door cut through the north end of the east wall into room G2	Mid 1950s	3
	3. Out to room G3 – door removed		
Doorcase(s):	1. Plain surround	c. 1970	0
	2. None		
	3. None		
Window(s):	1. Plate-glass shop display window to the west, overlooking the High Street. Three plain overlights	c. 1970	0
	2. One 2/2 horned sash in the south wall looking into the carriageway	c. 1900	3
	3. 3 plate-glass windows without openers to the south elevation	c. 1970	0

Chimneypiece(s): Removed from east wall

Fire insert(s): None

Roof: N/A

Other:

DECORATION:

Panelling: None

Dado: White tiles c. 1970 0

Skirting: None

Plasterwork: None

Paintings: None

Wall coverings:

Dry lining and boards of various types, falling from the wall in many places

c. 1970

0



Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB
On Which Floor: Ground
Photograph Negative Nos.: 333/206/5-7

Designation on Plans: G2 & G3
Date of Photograph: 21/7/2010

General Description & Comments:

This room was built in the middle of the nineteenth century as either the back parlour or the kitchen for the use of the owner of the shop, and as such was provided with a fire opening in the west wall. The window to the yard has unfortunately been replaced by a c. 1970 plate-glass window. In the mid 1950s a radical alteration was made in order to provide Sidney Newson with a cold-store, which had become efficient enough to be installed in the majority of butchers' and fishmongers' shops. This involved partitioning off the north third of the room, which was then given a concrete floor and a new opening knocked through into room G1. The partition has been removed.

INTERNAL STRUCTURE

DESCRIPTION	Date	Value
Walls: Flemish-bond brick	Mid C19	4
Ceiling: Battened and boarded to G2	1950s	3
Battened and boarded to G3	c. 1970	0
Floor: Concrete to G2	1950s	2
Floorboards run east-west to G3	Mid C19	4

FITTINGS

Door(s):	1. Out to room G1. Insulated steel cold store door	1950s	3
	2. Out to room G1. Door removed		
	3. Out to room G4. 4-plank door with 4 rails hung on nailed strap hinges and with a Suffolk latch	Mid C19	4
Doorcase(s):	1. None		
	2. None		
	3. None		
Window(s):	One plate-glass window to the south, without openers	c. 1970	0
Chimneypiece(s):	Removed from the west wall leaving the fire opening intact	Mid C19	4
Fire insert(s):	Removed		
Roof:	N/A		
Other:			

DECORATION:

Panelling:	None		
Dado:	None		
Skirting:	None		
Plasterwork:	None		
Paintings:	None		
Wall coverings:	Room G2 is dry-lined and painted	1950s	3
	Room G3 is plastered	Mid C19	4
Other:			



Fig. 19: Rooms G2 and G3, looking north-west

Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB
On Which Floor: Ground
Photograph Negative Nos.: 333/206/8-10

Designation on Plans: G4
Date of Photograph: 21/7/2010

General Description & Comments:

The butchery room, where the carcasses were prepared for sale after having hung for the relevant time in rooms G6 and G7. For this the long stone benches were required against the north wall, and these were extended to take in the west wall of the room in 1982, on composition blocks. This required the removal of the chimneypiece set in the north wall.

INTERNAL STRUCTURE

DESCRIPTION	Date	Value
Walls: Flemish-bond brick	Mid C19	4
Ceiling: Battened out and boarded. There is one chamfered bridging beam to the east with run-out stops, and a heavier boxed bridging beam to its west	Mid C19	4
Floor: Concrete	Mid C20	2

FITTINGS

Door(s):	1. Out to room G03. See under G03 2. Out to exterior to the south were two boarded-over doors. That to the north has been completely blocked	c. 1900	2
Doorcase(s):	1. None 2. None		
Window(s):	1. Two plate-glass windows in the south wall, without openers	c. 1970	0
Chimneypiece(s):	Removed from the north wall in 1982		
Fire insert(s):	Removed		
Roof:	N/A		
Other:	WORK BENCH Against the north wall, east of the former fireplace, is a concrete work bench with a concrete top, with the interior filled with builders' sand. In 1982 this was extended west, but the sop slabs have been removed leaving composition block piers	1950s	2

DECORATION:

Panelling:	None		
Dado:	None		
Skirting:	None		
Plasterwork:	None		
Paintings:	None		
Wall coverings:	Plaster, with areas of tiling, such as around the former washing sink against the east end of the south wall	1950s	0
Other:			



Fig. 20: Room G4 – door into room G3

Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB

On Which Floor: Ground

Photograph Negative Nos.: 333/206/12-16

Designation on Plans: G5

Date of Photograph: 21/7/2010

General Description & Comments:

G5 is the animal shelter, where the beasts bought at the market were led and housed until slaughter time, and there would have been a hay-loft above. The doorway to this remains in place above the stable door in the south elevation, but the floor inside has disappeared. According to the 1840 Tithe Map, there was only a walled enclosure in this position, and immediately east of that was the fence delineating a garden which ran down to the River Fromus. The present building was constructed about 1850.

INTERNAL STRUCTURE

DESCRIPTION	Date	Value
Walls: Flemish-bond brick and studwork to the west part of the first floor, with horizontal weatherboarding	c. 1850	4
Blockwork to the ground floor of the east wall	c. 1970	0
Ceiling: Fibreboard nailed onto the underside of the tie beams of the roof, missing in places	c. 1970	0
One timber bridging beam for the upper floor runs north-south, with mortise holes for the floor joists, all of which are missing	c. 1850	4
Floor: Concrete with drainage channels	Mid C20	2

FITTINGS

Door(s):	1. Double timber stable doors to the south, the upper leaf missing, on strap hinges	c. 1850	4
	2. Hay-loft door to the first floor, immediately above the stable door	c. 1850	4
Doorcase(s):	1. None		
	2. None		
Window(s):	1. One two-light cross casement in the east gable head, which lit the former hay loft	c. 1850	4
Chimneypiece(s):	None		
Fire insert(s):	None		
Roof:	Simple roof of common rafters, collars and tie beams, one of the latter to each truss	c. 1850	4
Other:	Three RSJs have been built into the walls spanning the building at high level, and a fourth has been inserted over the blockwork of the east wall	1950s	1

DECORATION:

Panelling:	None
Dado:	None
Skirting:	None
Plasterwork:	None
Paintings:	None

Wall coverings: Colourwash

1950s

0

Other:



Fig. 21: Room G5, east wall

Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB

On Which Floor: First

Photograph Negative Nos.: Digital

Designation on Plans: F1

Date of Photograph: 21/7/2010

General Description & Comments:

The sitting room for the domestic accommodation, over the carriageway. It is distinguished from the principal bedroom (room F3) by the design and size of the fire insert. In common with all of the street elevation the date is c. 1900 when this part of the building was rebuilt.

INTERNAL STRUCTURE

DESCRIPTION

Date Value

Walls:	Flemish-bond brick to the west and north walls South wall is common with the north wall of No. 30 High Street Studwork and weatherboarded east wall	c. 1900 Early C19 c. 1900	3 4 3
Ceiling:	Flat and plastered, with areas of plaster missing	c. 1900	3
Floor:	Floorboards run east-west, on joists which are decaying and collapsing	c. 1900	3

FITTINGS

Door(s):	1. A half-glazed door is set in the east wall 2. The door to F2 is missing	c. 1970	1
Doorcase(s):	1. None 2. Moulded architrave	c. 1900	3
Window(s):	One 3/6 unhorned sash formerly set in the west window opening is detached and lying on the floor	c. 1900	3
Chimneypiece(s):	A reeded cast-iron surround is set in the north wall	c. 1900	3
Fire insert(s):	Cast-iron register grate	c. 1900	3
Roof:	The roof has common rafters and one tier of through purlins	c. 1900	3

Other:

DECORATION:

Panelling:	None		
Dado:	None		
Skirting:	Roll-topped	c. 1900	3
Plasterwork:	None		
Paintings:	None		
Wall coverings:	Plaster, formerly with wallpaper	c. 1900	3

Other:



Fig. 22: Room F1, looking north to room F3

Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB
On Which Floor: First
Photograph Negative Nos.: Digital

Designation on Plans: F2
Date of Photograph: 21/7/2010

General Description & Comments:

The staircase upper landing, which rose immediately to the east and had access to the two front first-floor rooms through the open doorway which remains in the east wall. From the landing four-panelled doors opened to the south and north into the sitting room (F1) and the principal bedroom (F3).

INTERNAL STRUCTURE

DESCRIPTION	Date	Value
Walls: Flemish-bond brick to the west (the chimneystack) Studwork and weatherboarded east wall	c. 1900 c. 1900	3 3
Ceiling: Flat and plastered	c. 1900	3
Floor: Floorboards run east-west	c. 1900	3

FITTINGS

Door(s):	1. Four-panelled door into room F3, with Bakelite knobs and butt hinges 2. The doors to F2 and to the former staircase are missing	c. 1900	3
Doorcase(s):	1. Moulded architrave 2. Moulded architrave to F2 3. Plain architrave to the former staircase	c. 1900 c. 1900 c. 1900	3 3 3

Window(s): None

Chimneypiece(s): None

Fire insert(s): None

Roof: N/A

Other:

DECORATION:

Panelling: None

Dado: None

Skirting: Roll-topped, but fitted only to the west wall c. 1900 3

Plasterwork: None

Paintings: None

Wall coverings: Plaster, formerly with wallpaper c. 1900 3

Other:

Location & Address: No. 32 High Street, Saxmundham, Suffolk, IP17 1AB
On Which Floor: First
Photograph Negative Nos.: Digital

Designation on Plans: F3
Date of Photograph: 21/7/2010

General Description & Comments:

The principal bedroom of the domestic accommodation, over the carriageway. It is distinguished from the sitting room (room F1) by the design and size of the fire insert. In common with all of the street elevation the date is c. 1900 when this part of the building was rebuilt.

INTERNAL STRUCTURE

DESCRIPTION	Date	Value
Walls: Flemish-bond brick to the west, north and south walls Studwork and weatherboarded east wall	c. 1900 c. 1900	3 3
Ceiling: Flat and plastered	c. 1900	3
Floor: Floorboards run east-west	c. 1900	3

FITTINGS

Door(s):	1. Out to F2. See under room F2 2. 3-plank cupboard door to the east of the fire opening, with three rails, butt hinges and a small rim lock	c.1900	3
Doorcase(s):	1. Moulded architrave 2. None	c.1900	3
Window(s):	One 3/6 unhorned sash to the west, with its roller blind catch and spindles	c. 1900	3
Chimneypiece(s):	A plain timber surround is set in the south wall	c. 1900	3
Fire insert(s):	Cast-iron register grate	c. 1900	3
Roof:	N/A		

Other:

DECORATION:

Panelling:	None		
Dado:	None		
Skirting:	Roll-topped	c. 1900	3
Plasterwork:	None		
Paintings:	None		
Wall coverings:	Plaster, formerly with wallpaper	c. 1900	3
Other:			

Bibliography

Primary Sources

SRO – Suffolk Record Office, Ipswich Branch

268/114	Photographs of Saxmundham Streets, 1990
FC137/A3/1	Plan of Roads and Bridleways in the Parish of Saxmundham, no date (probably c. 1820)
K609/1	Stephen J Plunkett, A Photographic Record of Old Buildings in Saxmundham, 1987
K619/2/11	Anonymous, Glass slide of the High Street, 1959
Ordnance Survey	1:25000 scale maps, sheet 50.13, 1883, 1904 and 1927
P461/210	Tithe Map of Saxmundham surveyed by B.M. Calland, 1840
FDA210/A1/1.a	Tithe Apportionment, 1841
RG13/1789	1901 Census Return
RG12/1481	1891 Census Return
HO107/1031	1841 Census Return

Secondary Sources

Neave, Derek, *Saxmundham, Leiston and Aldeburgh Remembered in Old Postcards*, Woolpit, 1990
Neave, Derek, *A Second Look at Saxmundham and Area*, Halesworth, 1991
Kelly's *Directory of Suffolk*, various dates
Post Office Directory of Suffolk, 1858
Saxmundham and District Local History Society, *Saxmundham '90*, unpublished typescript, 1990
William White, *Directory of Suffolk*, London, 1844

ENDNOTES

¹ SRO P461/210

² FDA210/A1/1.a

³ The deeds, if they survive, might shed light on this point. The Land Registry certainly refers to a covenant committing the freeholder of No. 32 to allow passage across the yard. The term 'Berrett's Yard' has no justification. The author is coining it for the sake of simplicity, although it is as good a name as any, with a verifiable pedigree

⁴ Land Registry, Title No. SK238979

⁵ Land Registry, Title No. SK238979

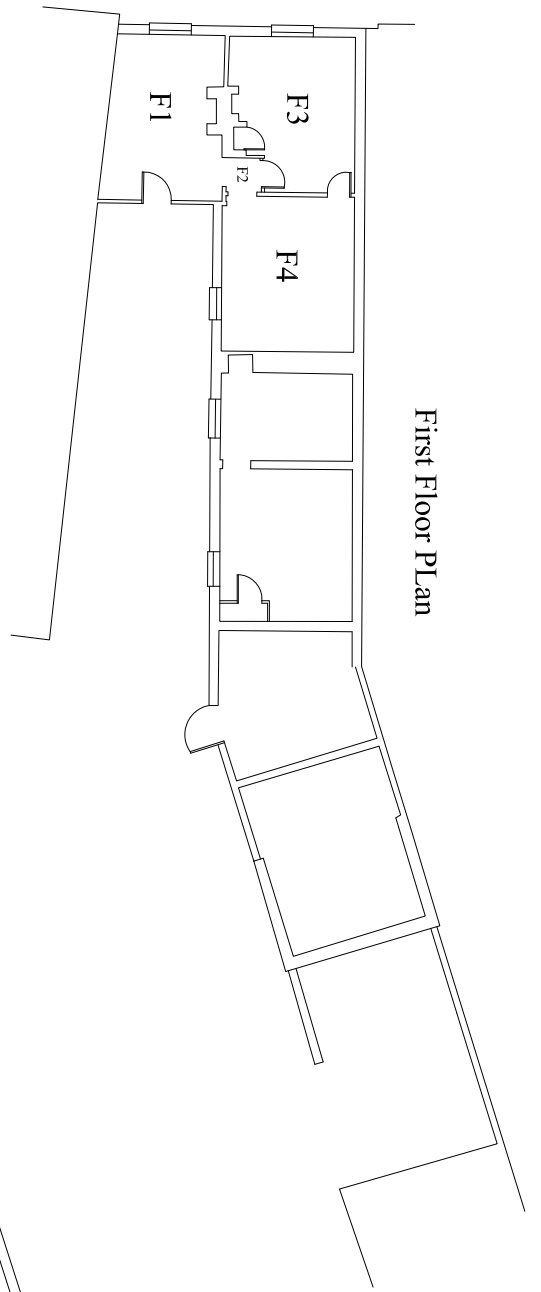
⁶ The slate is very unlikely to date before 1859 as that was the year in which the railway opened in Saxmundham allowing the transportation of heavy goods long distances at a sensible cost

⁷ The condition of the ceilings, or the attic floors, was such that access was not advisable in any case

⁸ In passing it should be noted that the author of this report was the resurvey fieldworker for Saxmundham; I compiled the list which we are discussing

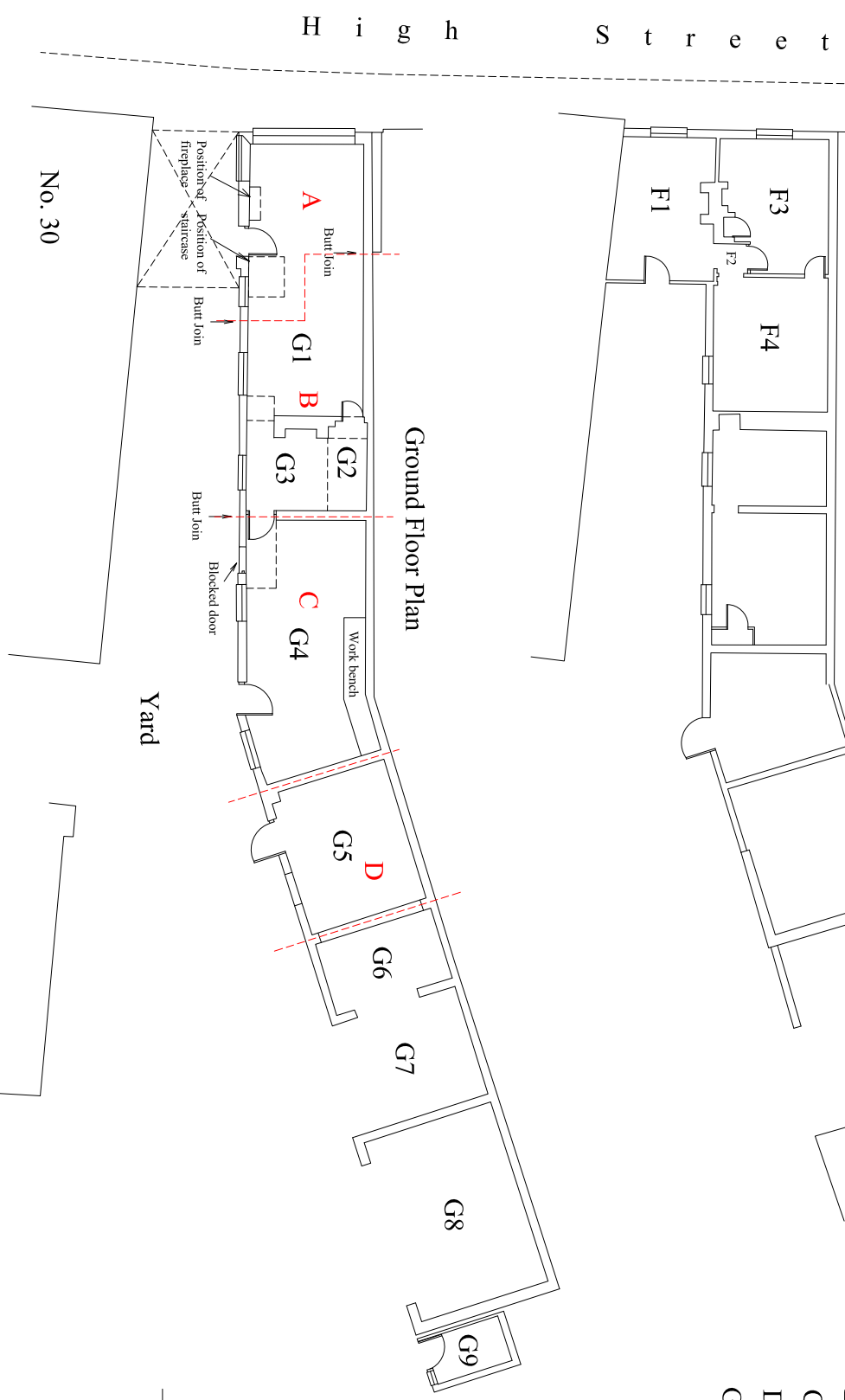
⁹ They could be reinstated. The adjoining Nos. 34 and 34A are hardly any better

¹⁰ The design proposed conforms just about exactly with the exemplar used for the glossary of terms in Kathryn Morrison, *English Shops and Shopping*, English Heritage, 2003, p. 41

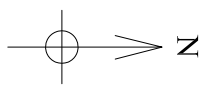


First Floor Plan

- A - Rebuilt in c. 1900
- B - Rebuilt in 3rd quarter of C19
- C - Rebuilt in 3rd quarter of C19
- D - Built after 1840
- G 7 & G8 - Built late C19



Ground Floor Plan



H i g h S t r e e t

No. 30

Yard

32 High Street
Saxmundham
Suffolk

Wilson Compton Associates
Historic Buildings Consultants
32 Trinity Street, Norwich, NR2 2BQ Tel: 01603 662901 Mob: 07276 672291

Ground and First Floor Plans

August 2010

SCALE	A4	DRAWN BY	BW	DWG NO	10/333/01	REV
CLIENT	Hopkins Homes Ltd					

OASIS DATA COLLECTION FORM: England

[List of Projects](#) | [Manage Projects](#) | [Search Projects](#) | [New project](#) | [Change your details](#) | [HER coverage](#) | [Change country](#) | [Log out](#)

Printable version

OASIS ID: johnnewm1-180737

Project details

Project name	No 32 High Street, Saxmundham, Suffolk- Historic Building Report
Short description of the project	Saxmundham, 32 High Street (SXM 035, TM 3876 6319) a level 2 historic building survey of a former commercial property that was a butchers business for c170 years from its construction in the earlier 19th century and before its demolition was carried out. The building is largely brick built with timber clad extensions to the rear (Wilson Compton Associates for Hopkins Homes)
Project dates	Start: 30-08-2010 End: 30-08-2010
Previous/future work	No / Yes
Any associated project reference codes	SXM 035 - HER event no.
Any associated project reference codes	DC/14/0507 - Planning Application No.
Type of project	Building Recording
Site status	Conservation Area
Current Land use	Other 2 - In use as a building
Monument type	RETAIL PROPERTY Post Medieval
Significant Finds	NONE None
Methods & techniques	""Photographic Survey"", ""Survey/Recording Of Fabric/Structure""
Prompt	Planning condition

Project location

Country	England
Site location	SUFFOLK SUFFOLK COASTAL SAXMUNDHAM No 32 HIGH STREET
Postcode	IP17 1AB
Site coordinates	TM 3876 6319 52.2145121188 1.49552550152 52 12 52 N 001 29 43 E Point
Height OD / Depth	Min: 15.00m Max: 16.00m

Project creators

Name of Organisation	Wilson Compton Associates
Project brief originator	Local Authority Archaeologist and/or Planning Authority/advisory body
Project design originator	Wilson Compton Associates
Project director/manager	Wilson Compton Associates
Project supervisor	Wilson Compton Associates
Type of sponsor/funding body	Developer

Project archives

Physical Archive Exists?	No
Digital Archive recipient	Suffolk CC Archaeological Service
Digital Contents	"other"
Digital Media available	"Images raster / digital photography","Text"
Paper Archive recipient	Suffolk CC Archaeological Service
Paper Contents	"none"
Paper Media available	"Report"

Project bibliography 1

Publication type	Grey literature (unpublished document/manuscript)
Title	No 32 High Street, Saxmundham, Suffolk- Historic Building Report
Author(s)/Editor(s)	Wilson Compton Associates
Date	2010
Issuer or publisher	Wilson Compton Associates
Place of issue or publication	Norwich, Norfolk
Description	Loose bound client report
Entered by	John Newman (johnnewman2@btinternet.com)
Entered on	6 June 2014

OASIS: