

**Land Adjoining The Elms, Church Row,  
Framsden, Suffolk**

**Planning application: 2656/11 (replacing 1294/08)**

**HER Ref: FRD 020**

**Archaeological Monitoring Report**

(© John Newman BA MIFA, 2 Pearsons Place, Henley, Ipswich, IP6 0RA)

(November 2011)

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## **Site details for HER**

Name: Land Adjoining The Elms, Church Row, Framsdon, Suffolk,

Client: Gipping Homes

Local planning authority: Mid Suffolk DC

Planning application ref: 2656/11 (alternative proposal to those approved under 1294/08)

Development: Erection of dwelling & cart lodge

Date of fieldwork: 7 June & 2 November, 2011

HER Ref: FRD 020

Grid ref: TM 2016 5978

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*Summary: Framsdon, land adjacent to The Elms, Church Row (FRD 020, TM 2016 5978) monitoring of test pits and subsequent footing trenches for a new dwelling revealed extensive evidence for Post medieval disturbance probably caused by quarrying operations. However three sherds of medieval pottery were recovered from the upcast spoil (John Newman Archaeological Services for Gipping Homes).*

## 1. Introduction & background

1.1 Gipping Homes commissioned John Newman Archaeological Services (JNAS) to undertake the archaeological monitoring of ground works required under a condition for a programme of archaeological works of the planning decision notice for application 2656/11 which replaced the previous application on the site, 1294/08. The monitoring requirements were set out in a Brief and Specification set by Dr J Tipper of the Suffolk CC Archaeological Service to satisfy this condition (Appendix II). This development concerns the erection of a new dwelling and cart lodge on land adjoining and on the south-eastern side of The Elms, Church Row, Framsdén.

1.2 Framsdén is located some 10 miles north of Ipswich and is a parish where the main settlement has a linear layout along The Street with a small stream running parallel on a south-east/north-west alignment just to the south with the parish church a little further to the south-east. The proposed development site is c50m east of the parish church (HER ref. FRD 012) on flat ground between the 35m and 40m OD contours and some 50m south of the small, west-east, flowing stream that runs on the southern side of The Street (see Fig. 1) and therefore in a location where evidence for later Saxon and medieval activity might be found. Previous to works starting on site the proposed development area had been mainly soft ground on the edge of a former farm yard with relatively modern storage structures on its western side which proved to have very shallow foundations.

## 2. Monitoring methodology

2.1 The site monitoring was undertaken in two stages with a short, initial, visit to inspect two test pits and then a longer attendance on site to observe the excavation of the foundation trenches which was undertaken using a mid-sized 360 machine equipped with a 500mm wide toothed bucket. The trenches were stable and therefore could be entered to examine and hand clean the exposed soil profiles while the upcast spoil was stockpiled on site giving ample opportunity to rake through it in a search for stray finds. On both site visits weather conditions were dry and sunny. The footprint area was plotted in relation to nearby mapped features (see Fig. 2) and, finally, a small number of digital images were taken to record the monitoring (see Appendix I).

## 3. Results

3.1 The two test pits examined on the initial visit both revealed a substantial depth of made ground at the site. The landowner confirmed that some 400mm of topsoil had been spread on the site in the recent past and this lay over 1300mm of a mid to dark brown sandy loam with occasional brick and tile fragments with the locally occurring glaciofluvial deposit comprising yellow sand with flints only being found at a depth of 1700mm from the modern ground surface.

3.2 The foundation trenches were 500mm wide by 1000mm to 1200mm deep and in total some 50m were excavated and examined (see Fig. 2). With a maximum depth of 1200mm the foundation trenches remained within the substantial depth of made ground at the site as seen in the earlier test pits as described in section 3.1 above. The exposed trench profiles throughout the house footprint all revealed the same

mid to dark brown sandy loam and occasional Post medieval brick or tile fragments were noted at depths of 900mm to 1200mm.

3.3 While only Post medieval brick or tile fragments were noted in the excavated trenches examination of the upcast spoil did allow the recovery of two rim sherds and one body sherd (45g) of Hollesley type sandy coarseware of medieval date. The only other finds seen in the spoil were occasional transfer printed blue and white sherds of 19<sup>th</sup> century date, further Post medieval brick and tile fragments and a few small clay tobacco pipe stems also of Post medieval date.

## 4. Conclusion

4.1 While the site is within the area of archaeological interest in Framsdén these ground works did not reveal any deposits of archaeological interest with the entire footprint area of the new house demonstrating extensive evidence for Post medieval disturbance. The most likely reason for the substantial depth of made ground at this site being that it has been used as a quarry for the underlying sand and gravel deposits in the last c200-300 years.

4.2 In conclusion it is clear that extensive Post medieval ground disturbance at this site has removed any potential for archaeological deposits of medieval, or earlier, date to survive though the three sherds of medieval pottery from the upcast spoil do hint at activity of this date in the vicinity.

*(Acknowledgements: JNAS is grateful to everyone on site from Gipping Homes for their close cooperation with regard to this site monitoring)*

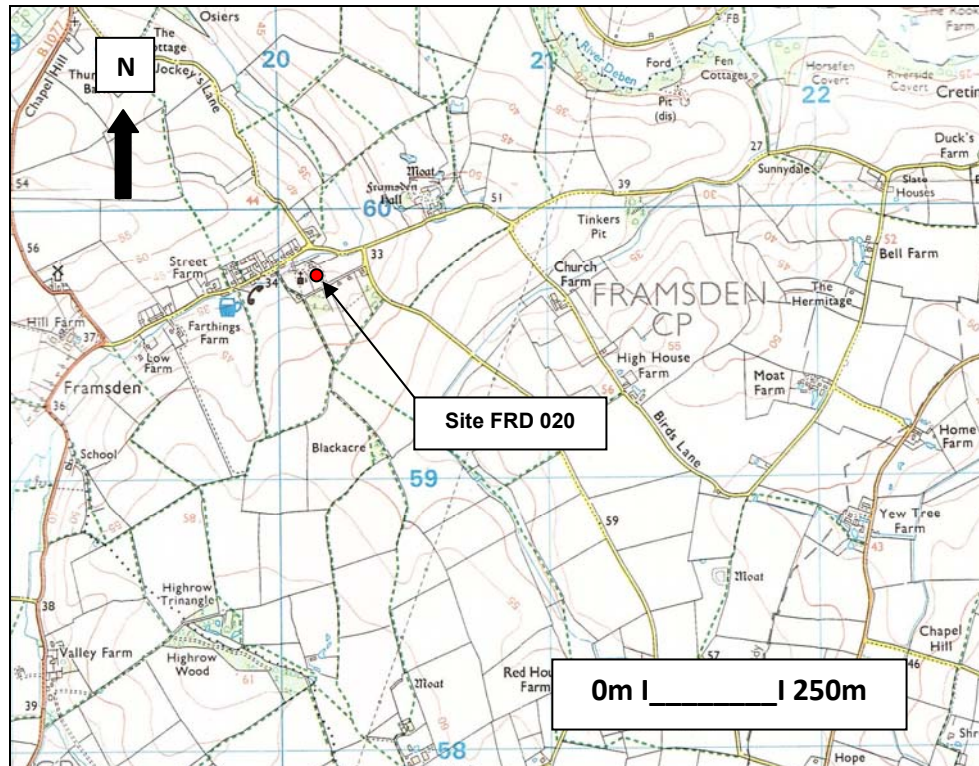


Fig. 1: Site location (Ordnance Survey © Crown copyright 2006  
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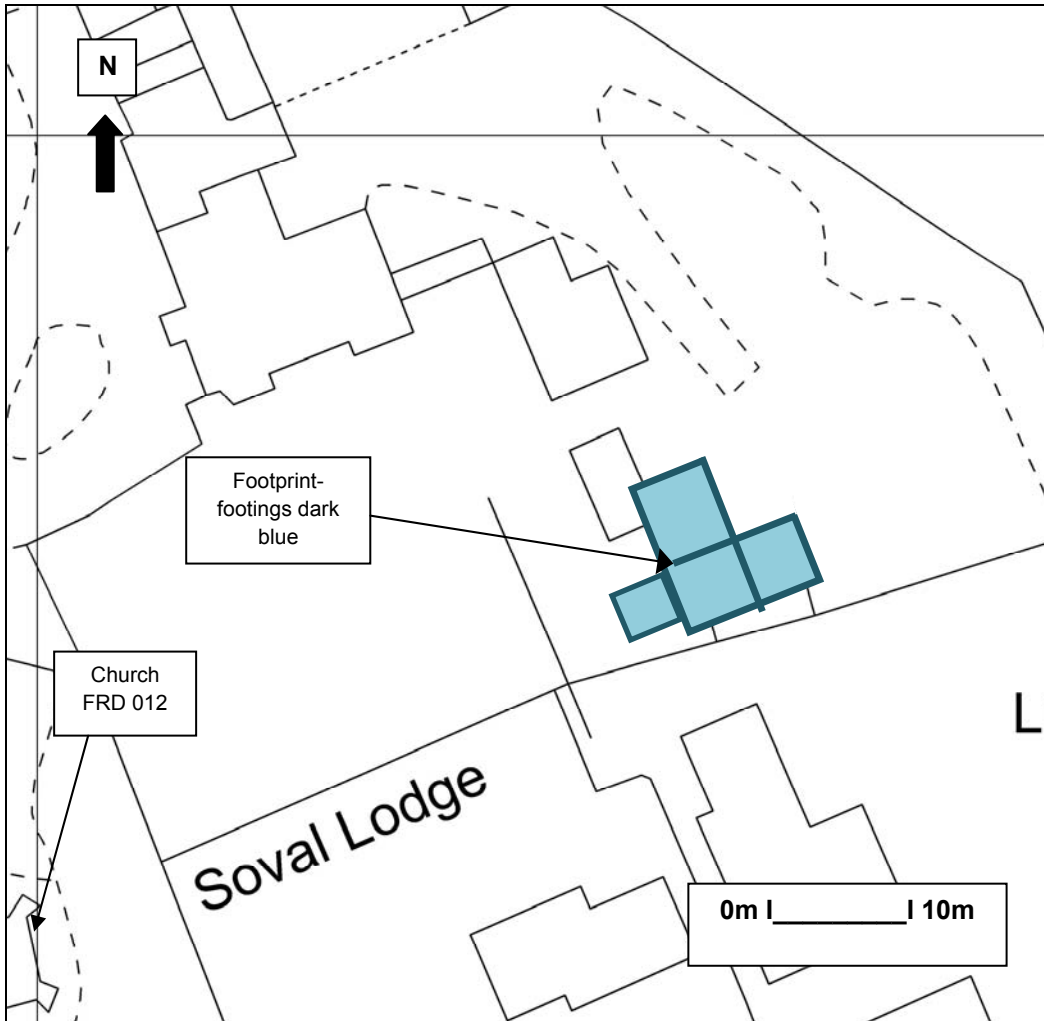


Fig. 2: Monitored house footprint

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## Appendix I- Images



General view from east with church in background & The Elms (former vicarage) to right



Eastern footing from south



Northern footing from west

9–10 The Churchyard, Shire Hall  
Bury St Edmunds  
Suffolk  
IP33 2AR

## **Brief and Specification for Continuous Archaeological Recording**

### **LAND ADJACENT TO THE ELMS, THE STREET, FRAMSDEN, SUFFOLK (1294/08)**

*Although this document is fundamental to the work of the specialist archaeological contractor the developer should be aware that certain of its requirements are likely to impinge upon the working practices of a general building contractor and may have financial implications*

#### **1. Background**

- 1.1 Planning permission for the erection of a single dwelling and garage (following the demolition of an existing outbuilding) and also construction of access on Land Adjacent to The Elms, The Street, Framsdan, Suffolk (TM 201 597), has been granted by Mid Suffolk District Council conditional upon an acceptable programme of archaeological work being carried out (application 1294/08).
- 1.1 The Planning Authority has been advised that any consent should be conditional upon an agreed programme of work taking place before development begins in accordance with PPS 5 *Planning for the Historic Environment* (Policy HE 12.3) (which replaced PPG 16 in 2010) to record and advance understanding of the significance of the heritage asset before it is damaged or destroyed.
- 1.2 This application lies within the area of archaeological interest, defined in the County Historic Environment, importance close to the medieval church (HER no. FRD 012). The church also possesses an architectural fragment diagnostic of the Anglo-Saxon period, indicating contemporary occupation remains within the immediate vicinity. There is high potential for heritage assets of archaeological significance to be disturbed by this development. Aspects of the proposed works would cause significant ground disturbance that has potential to damage any archaeological deposit that exists.
- 1.2 Aspects of the proposed works will cause ground disturbance that has potential to damage any heritage assets of archaeological importance that exists.
- 1.3 Assessment of the available archaeological evidence indicates that the area affected by the development can be adequately recorded by continuous archaeological monitoring and recording during all groundworks (**Please contact the developer for an accurate plan of the development**).
- 1.4 In accordance with the standards and guidance produced by the Institute of Field Archaeologists this brief should not be considered sufficient to enable the total execution of the project. A Written Scheme of Investigation (WSI) based upon this brief and the accompanying outline specification of minimum requirements, is an essential requirement. This must be submitted by the developers, or their agent, to the Conservation Team of the Archaeological Service of Suffolk County Council (9–10 The Churchyard, Shire Hall, Bury St Edmunds IP33 2AR) for approval. The work must not



commence until this office has approved both the archaeological contractor as suitable to undertake the work, and the WSI as satisfactory. The WSI will *provide the basis for measurable standards* and will be used to establish whether the requirements of the planning condition will be adequately met.

- 1.5 Following approval of the WSI, our office will advise the Local Planning Authority that an acceptable scheme of work is in place, and therefore we (will) have no objection to the work commencing. Neither this specification nor the WSI, however, is a sufficient basis for the discharge of the planning condition relating to archaeological investigation (assuming planning permission is granted). Only the full implementation of the scheme, both completion of fieldwork and reporting based on the approved WSI, will enable SCCAS/CT to advise Mid Suffolk District Council that the condition has been adequately fulfilled and can be discharged; only the Local Planning Authority can effect discharge of the condition.
- 1.6 Before commencing work the project manager must carry out a risk assessment and liaise with the site owner, client and the Conservation Team of SCCAS (SCCAS/CT) in ensuring that all potential risks are minimised.
- 1.7 All arrangements for the excavation of the site, the timing of the work, access to the site, the definition of the precise area of landholding and area for proposed development are to be defined and negotiated by the archaeological contractor with the commissioning body.
- 1.8 The responsibility for identifying any constraints on field-work (e.g. Scheduled Monument status, Listed Building status, public utilities or other services, tree preservation orders, SSSIs, wildlife sites &c., ecological considerations rests with the commissioning body and its archaeological contractor. The existence and content of the archaeological brief does not over-ride such constraints or imply that the target area is freely available.
- 1.9 Detailed standards, information and advice to supplement this brief are to be found in *Standards for Field Archaeology in the East of England*, East Anglian Archaeology Occasional Papers 14, 2003.
- 1.10 The Institute for Archaeologists' *Standard and Guidance for an archaeological watching brief* (revised 2001) should be used for additional guidance in the execution of the project and in drawing up the report.

## **2. Brief for Archaeological Recording**

- 2.1 To provide a record of archaeological deposits which are damaged or removed by any development [including services and landscaping, and removal of the foundations of the existing buildings) permitted by the current planning consent.
- 2.2 Any ground works, and also the upcast soil, are to be closely monitored during and after stripping in order to ensure no damage occurs any heritage assets. Adequate time is to be allowed for archaeological recording of archaeological deposits during excavation, and of soil sections following excavation.

## **3. Arrangements for Monitoring**

- 3.1 To carry out the monitoring work the developer will appoint an archaeologist (the archaeological contractor) who must be approved by SCCAS/CT.
- 3.2 The developer or his contracted archaeologist will give SCCAS/CT five working days notice of the commencement of ground works on the site, in order that the work of the archaeological contractor may be monitored. The method and form of development will

also be monitored to ensure that it conforms to previously agreed locations and techniques upon which this brief is based.

- 3.3 Allowance must be made to cover archaeological costs incurred in monitoring the development works by the contract archaeologist. The size of the contingency should be estimated by the approved archaeological contractor, based upon the outline works in this Brief and Specification and the building contractor's programme of works and time-table.
- 3.4 If unexpected remains are encountered SCCAS/CT must be informed immediately. Amendments to this specification may be made to ensure adequate provision for archaeological recording.

#### **4. Specification**

- 4.1 The developer shall afford access at all reasonable times to SCCAS/CT and the contracted archaeologist to allow archaeological monitoring of building and engineering operations which disturb the ground.
- 4.2 Opportunity must be given to the contracted archaeologist to hand excavate any discrete archaeological features which appear during earth moving operations, retrieve finds and make measured records as necessary. Where it is necessary to see archaeological detail one of the soil faces is to be trowelled clean.
- 4.3 All archaeological features exposed must be planned at a scale of 1:20 or 1:50 on a plan showing the proposed layout of the development, depending on the complexity of the data to be recorded. Sections should be drawn at 1:10 or 1:20 again depending on the complexity to be recorded.
- 4.4 A photographic record of the work is to be made of any archaeological features, consisting of both monochrome photographs and colour transparencies/high resolution digital images.
- 4.5 All contexts must be numbered and finds recorded by context. All levels should relate to Ordnance Datum.
- 4.6 Archaeological contexts should, where possible, be sampled for palaeo-environmental remains. Best practice should allow for sampling of interpretable and datable archaeological deposits and provision should be made for this. Advice on the appropriateness of the proposed strategies will be sought from Helen Chappell, English Heritage Regional Adviser for Archaeological Science (East of England). A guide to sampling archaeological deposits (Murphy, P.L. and Wiltshire, P.E.J., 1994, *A guide to sampling archaeological deposits for environmental analysis*) is available for viewing from SCCAS.
- 4.7 All finds will be collected and processed (unless variations in this principle are agreed with SCCAS/CT during the course of the monitoring).
- 4.8 The data recording methods and conventions used must be consistent with, and approved by, the County Historic Environment Record.

#### **5. Report Requirements**

- 5.1 An archive of all records and finds is to be prepared consistent with the principles of *Management of Archaeological Projects (MAP2)*, particularly Appendix 3. This must be deposited with the County Historic Environment Record within three months of the completion of work. It will then become publicly accessible. It must be adequate to

- perform the function of a final archive for deposition in the County Historic Environment Record (The County Store) or museum in Suffolk.
- 5.2 The project manager must consult the County Historic Environment Record Officer to obtain an event number for the work. This number will be unique for each project or site and must be clearly marked on any documentation relating to the work.
  - 5.3 Finds must be appropriately conserved and stored in accordance with *UK Institute of Conservators Guidelines*.
  - 5.4 Every effort must be made to get the agreement of the landowner/developer to the deposition of the full site archive, and transfer of title, with the intended archive depository before the fieldwork commences. If this is not achievable for all or parts of the finds archive then provision must be made for additional recording (e.g. photography, illustration, scientific analysis) as appropriate.
  - 5.5 The project manager should consult the intended archive depository before the archive is prepared regarding the specific requirements for the archive deposition and curation, and regarding any specific cost implications of deposition. The intended depository should be stated in the WSI, for approval. The intended depository must be prepared to accept the entire archive resulting from the project (both finds and written archive) in order to create a complete record of the project.
  - 5.6 If the County Store is not the intended depository, the project manager should ensure that a duplicate copy of the written archive is deposited with the County HER.
  - 5.7 If the County Store is the intended location of the archive, the project manager should consult the SCCAS Archive Guidelines 2010 and also the County Historic Environment Record Officer regarding the requirements for the deposition of the archive (conservation, ordering, organisation, labelling, marking and storage) of excavated material and the archive. A clear statement of the form, intended content, and standards of the archive is to be submitted for approval as an essential requirement of the WSI.
  - 5.8 The WSI should state proposals for the deposition of the digital archive relating to this project with the Archaeology Data Service (ADS), and allowance should be made for costs incurred to ensure proper deposition (<http://ads.ahds.ac.uk/project/policy.html>).
  - 5.9 A report on the fieldwork and archive, consistent with the principles of *MAP2*, particularly Appendix 4, must be provided. The report must summarise the methodology employed, the stratigraphic sequence, and give a period by period description of the contexts recorded, and an inventory of finds. The objective account of the archaeological evidence must be clearly distinguished from its interpretation. The Report must include a discussion and an assessment of the archaeological evidence, including palaeoenvironmental remains recovered from palaeosols and cut features. Its conclusions must include a clear statement of the archaeological value of the results, and their significance in the context of the Regional Research Framework (*East Anglian Archaeology*, Occasional Papers 3 & 8, 1997 and 2000).
  - 5.10 An unbound hardcopy of the report, clearly marked DRAFT, must be presented to SCCAS/CT for approval within six months of the completion of fieldwork unless other arrangements are negotiated with the project sponsor and SCCAS/CT.
  - 5.11 Following acceptance, a single copy of the report should be submitted to SCCAS/CT. A single hard copy should be presented to the County Historic Environment Record as well as a digital copy of the approved report.
  - 5.12 A summary report, in the established format, suitable for inclusion in the annual 'Archaeology in Suffolk' section of the *Proceedings of the Suffolk Institute of Archaeology*, must be prepared and included in the project report.

- 5.13 Where appropriate, a digital vector trench plan should be included with the report, which must be compatible with MapInfo GIS software, for integration in the County Historic Environment Record. AutoCAD files should be also exported and saved into a format that can be imported into MapInfo (for example, as a Drawing Interchange File or .dxf) or already transferred to .TAB files.
- 5.14 At the start of work (immediately before fieldwork commences) an OASIS online record <http://ads.ahds.ac.uk/project/oasis/> must be initiated and key fields completed on Details, Location and Creators forms.
- 5.15 All parts of the OASIS online form must be completed for submission to County Historic Environment Record. This should include an uploaded .pdf version of the entire report. A paper copy should also be included with the report and also with the site archive.

Specification by: Dr Jess Tipper

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E-mail: jess.tipper@suffolk.gov.uk

Date: 26 May 2011

**This brief and specification remains valid for six months from the above date. If work is not carried out in full within that time this document will lapse; the authority should be notified and a revised brief and specification may be issued.**

**If the work defined by this brief forms a part of a programme of archaeological work required by a Planning Condition, the results must be considered by the Conservation Team of the Archaeological Service of Suffolk County Council, who have the responsibility for advising the appropriate Planning Authority.**

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**OASIS ID: johnnewm1-214070**

### Project details

|  |   |
|--|---|
| Project name                           | Land Adjacent To The Elms, Church Row, Framsdan, Suffolk-Archaeological Monitoring Report   |
| Short description of the project       | Framsdan, land adjacent to The Elms, Church Row (FRD 020, TM 2016 5978) monitoring of test pits and subsequent footing trenches for a new dwelling revealed.extensive evidence for Post medieval disturbance probably caused by quarrying operations. However three sherds of medieval pottery were recovered from the upcast spoil |
| Project dates                          | Start: 07-06-2011 End: 11-11-2011   |
| Previous/future work                   | No / No   |
| Any associated project reference codes | FRD 020 - Related HER No.   |
| Any associated project reference codes | 2656/11 - Planning Application No.  |
| Type of project                        | Recording project   |
| Site status                            | None  |
| Current Land use                       | Other 5 - Garden  |
| Monument type                          | QUARRY PIT Post Medieval  |
| Significant Finds                      | POTTERY Medieval  |
| Investigation type                     | "Watching Brief"  |
| Prompt                                 | Planning condition  |

### Project location

|                   |   |
|-------------------|---|
| Country           | England   |
| Site location     | SUFFOLK MID SUFFOLK FRAMSDAN LAND ADJACENT TO THE ELMS, CHURCH ROW    |
| Study area        | 300.00 Square metres  |
| Site coordinates  | TM 2016 5978 52.1916965481 1.22148452535 52 11 30 N 001 13 17 E Point |
| Height OD / Depth | Min: 37.00m Max: 38.00m   |



**Project creators**

|                              |   |
|------------------------------|---|
| Name of Organisation         | John Newman Archaeological Services                                   |
| Project brief originator     | Local Authority Archaeologist and/or Planning Authority/advisory body |
| Project design originator    | John Newman   |
| Project director/manager     | John Newman   |
| Project supervisor           | John Newman   |
| Type of sponsor/funding body | Landowner   |

**Project archives**

|                           |  |
|---------------------------|--|
| Physical Archive Exists?  | No   |
| Digital Archive recipient | Suffolk CC Archaeological Service            |
| Digital Contents          | "none"                                       |
| Digital Media available   | "Text","Images raster / digital photography" |
| Paper Archive recipient   | Suffolk CC Archaeological Service            |
| Paper Contents            | "none"                                       |
| Paper Media available     | "Report"                                     |

**Project bibliography 1**

|                               |   |
|-------------------------------|---|
| Publication type              | Grey literature (unpublished document/manuscript)   |
| Title                         | Land Adjacent To The Elms, Church Row, Framsdon, Suffolk-Archaeological Monitoring Report |
| Author(s)/Editor(s)           | Newman J  |
| Date                          | 2011  |
| Issuer or publisher           | John Newman Archaeological Services   |
| Place of issue or publication | Henley, Suffolk   |
| Description                   | Loose bound client report and pdf version   |
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| Entered on                    | 14 June 2015  |