

A421

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A421 Improvements: M1 Junction 13 to Bedford

Built Heritage Baseline Report

Report No: D109831-P1A-ENV-R004

April 2007

FINAL

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FINAL

Highways Agency
Woodlands
Manton Lane
Bedford
MK41 7LW

Jacobs
Thorncroft Manor
Dorking Road
Leatherhead
Surrey
KT22 8JB

Balfour Beatty
86 Station Road
Redhill
Surrey
RH1 1PQ

Scott Wilson
Scott House
Basing View
Basingstoke
Hampshire
RG21 4JG

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Executive Summary

This report contains a historic valuation and current setting assessment of built heritage receptors within the study corridor of the proposed A421 M1 Junction 13 to Bedford improvements. This report updates the Stage 2 report prepared by MoLAS on behalf of Hyder in 2005 (Hyder 2005).

The built structures examined within this report include historic structures positioned either adjacent to or in close proximity to the proposed Scheme. Twenty seven significant structures have been identified and include one Grade I Listed structure (St. Mary's Church tower), one Grade II* listed building (Moat Farmhouse) and thirteen Grade II listed structures. The baseline conditions identified in the Stage 2 report have been updated in accordance with the findings of this study, leading to the addition of two further structures. The highest concentration of structures was located in the village of Marston Moretaine, which lies to the south of the existing A421.

This report forms the basis for the built heritage chapter of the Environmental Statement, which also includes an assessment of the impact on the structures by the proposed improvements.

1 Introduction

1.1 Background

- 1.1.1 As part of the ECI contract awarded to Balfour Beatty, with Scott Wilson as their designer, a Stage 3 Cultural Heritage Environmental Impact Assessment of the ES (see Chapter 7) has been undertaken to enable the likely scale and nature of potential impacts from the Scheme to be determined and to identify the location, type and importance of the constraints associated with the route. This work then allows the requirements for mitigation to be defined.
- 1.1.2 Previous cultural heritage baseline studies (Stage 2) were completed during 2005 by *MOLAS for Hyder* (Hyder 2005). This work was reviewed and updated in the course of the current stage of works.
- 1.1.3 A walkover survey was undertaken by a built heritage consultant during January 2006. This was a systematic walkover which identified undesignated locally significant historic buildings, and assessed the current setting and potential development impacts upon listed buildings, conservation areas and locally significant buildings. Access to properties and land along the preferred route was generally available. However, some buildings were not accessible, preventing their assessment. These cases are noted in this report.

1.2 Aims and Objectives

- 1.2.1 This study was undertaken to provide an updated and comprehensive assessment of the built heritage baseline within the Scheme corridor in order to identify potential constraints associated with the Scheme and the magnitude of likely impacts from the Scheme. This report considers listed buildings, locally listed buildings, other locally significant historic buildings, conservation areas and historic villages.

2 Methodology

2.1 Legislation and Guidance

- 2.1.1 The assessment of the historic built environment has been undertaken with due regard to legislation and the national planning framework concerning conservation areas and listed buildings as provided by the Planning (Listed Buildings and Conservation Areas) Act 1990 and *Planning Policy Guidance Note 15 - Planning and the Historic Environment*. The guidance sets out the requirement for listed building consent for any works that may affect the special architectural or historical interest of listed buildings, the desirability of preserving or enhancing the character or appearance of a conservation area and a presumption against development which would adversely harm the setting or special architectural or historical interest of listed buildings and conservation areas. Further guidance on conservation areas is provided in the English Heritage advice notes "Guidance on the Management of Conservation Areas" (2005) and "Guidance on Conservation Area Appraisals" (2005). These provide a useful checklist of questions to be used as a basis in considering the architectural or historical interest of unlisted buildings.
- 2.1.2 This report was prepared in accordance with the guidance provided in Volume 11 of the Design Manual for Roads and Bridges (Highways Agency, 1994). As a baseline report it will establish the existing survival, setting and condition of built heritage within the route corridor, thereby enabling potential impacts from the Scheme to be assessed within the Environmental Statement.

2.2 Survey Methodology

- 2.2.1 The survey corridor was defined by the scope of works previously undertaken in the Stage 2 report. Buildings previously identified by the Stage 2 assessment report (Hyder 2005) were re-examined for significance, setting and potential impact from the scheme. Two additional buildings were added to the baseline following the walkover survey. No conservation areas were identified by previous reports and none are included within this study.
- 2.2.2 This built heritage baseline study examined statutorily listed buildings and structures, as recorded in the Bedfordshire Historic Environment Record, and identified undesignated historic buildings which were assessed to be of local significance. All buildings were assessed through external visual examination, map regression and historic buildings records.

2.3 Assessment of Importance

- 2.3.1 All buildings, structures and areas within the study area were assessed on a six-point scale, and assigned to a level of importance (Table 1). This was based on their statutory and non-statutory designations, their architectural and historic importance and their contribution to local character.

Table 1: Criteria for Establishment of Importance of Historic Buildings

Importance	Description
Very High Importance	<ul style="list-style-type: none"> • Standing remains inscribed as of being of universal importance, such as World Heritage Sites • Other buildings of recognised international importance
High Importance	<ul style="list-style-type: none"> • Ancient Monuments with standing remains • Historic buildings of exceptional interest (for example grade I) or particularly important buildings of more than special interest (for instance Grade II* listed buildings or some Grade II buildings) • Conservation areas of exceptional interest
Moderate Importance	<ul style="list-style-type: none"> • Historic buildings of special interest, for example many Grade II buildings • Conservation areas of more than special interest • Historic Townscape or built-up areas with historic integrity in their buildings, or built settings (e.g. including street furniture and other structures)
Low Importance	<ul style="list-style-type: none"> • 'Locally listed' buildings • Historic buildings of modest quality in their fabric or historical association • Conservation areas of local significance • Historic Townscape or built-up areas of limited historic integrity in their buildings, or built settings (e.g. including street furniture and other structures)
Not Important	<ul style="list-style-type: none"> • Buildings of no historical merit
Unknown Importance	<ul style="list-style-type: none"> • Buildings with some hidden (i.e. inaccessible) potential for historical significance

3 Results

3.1 Presentation of Results

- 3.1.1 The results of the walkover survey are presented from west to east and are illustrated on Figures 1 to 4.
- 3.1.2 The prefix 'B' refers to the numbering in the Built Heritage Gazetteer (Appendix A).
- 3.1.3 Chapter 7 of the Environmental Statement provides a full discussion of the impact of the Scheme on the built heritage of the study area.

3.2 Built Heritage Receptors

B1 Charity Farm

Designation: Undesignated

Importance: Low



Plate 1 Charity Farm (B1)

- 3.2.1 *Description* One building survives at Charity Farm, a single-storey building located south of the M1 (Plate 1; Figure 1). This is an undesignated building, considered to be of local interest. The building is oriented north-south, and has a brick southern gable and western elevation, and a weatherboarded eastern elevation. This has six windows with "hit and miss" ventilators, a plank door and a blocked doorway framed by brick piers towards the centre of the elevation. The southern two thirds of the building is roofed in pantiles carried on timber king post trusses, while the northern part, believed to be a later phase, is roofed in corrugated asbestos sheet.
- 3.2.2 *Setting* The outbuilding lies on the south side of the east-west branch of the A421, which runs parallel to the M1 motorway, at Junction 13. It is situated in the south-west corner of the field closest to the road. Currently under the plough, the surrounding agricultural landscape is predominantly flat, rising to the east. There has been some erosion of historic field boundaries. All other buildings formerly related to Charity Farm have since been lost, leaving the current building as the only survivor of the former farm complex.

B2 Brook Farm

Designation: Grade II Listed Building

Importance: Moderate



Plate 2 Brook Farm (B2)

3.2.3 *Description:* Brook Farm is a timber-framed house of complex plan, constructed in the 17th century (Plate 2; Figure 1). The building consists of a two-storey block and a two-and-a-half-storey block to the west, with a one-and-a-half-storey block to the east. Close studding with brick noggin survives across the upper storeys with the ground floor underbuilt with red brick. A substantial modern brick extension has been added to the south of the building.

3.2.4 *Setting:* The immediate setting of Brook farmhouse is enclosed by the presence of substantial modern light-industrial buildings to the south and a high enclosing fence, preventing views towards the building from the adjacent road. The surrounding landscape is characterised by rolling fields; however, the M1 is located c.0.25km to the west of the building within a substantial cutting, severing the farmhouse from the landscape to the west.

B3 Ridgmont Station

Designation: Grade II Listed; Building at Risk

Importance: Moderate



Plate 3 Ridgmont Station looking southwest (B3)

- 3.2.5 **Description** Ridgmont Station dates from 1846 when it was constructed for the Bedford branch of the former London and North Western Railway. The building is of two storeys, constructed of brick and rendered in pebble-dash, with ornamental applied timber framing. The principal elevation overlooks the platform and is formed by a projecting gable flanked by porches and a wing to the left, with a mock jetty (Plate 3; Figure 1). A stack is placed at the junction of the two wings with a further end stack to the left wing. The station is constructed in the picturesque style, as demonstrated in the use of mock timber framing, scalloped barge boards to the gables and pointed arches to the porches. The cross-gabled roof has 20th century tiles with retained original scalloped tiles, and ridge tiles. The building is currently in a poor state of repair and is included on the English Heritage Buildings at Risk Register.
- 3.2.6 **Setting** Ridgmont Station is located close to the current A421, with unimpeded views of the M1, which is embanked above Station Road and the A421. The station remains in active use. A pallet business is located adjacent to the station building, resulting considerable visual and noise intrusion.

B4 Highfield Farm

Designation: Undesignated

Importance: Low

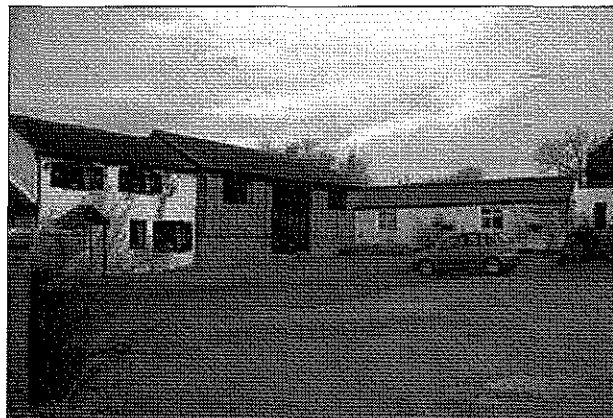


Plate 4 Highfield Farm (B4)

- 3.2.7 **Description** Highfield Farm is a complex of farm buildings dating from the 19th-20th centuries (Plate 4; Figure 1). It comprises an L-shaped range of buildings, including the modern farmhouse (Highfield House), an attached former threshing barn (converted to a house), a further house (Hedgehog Cottage) and assorted outbuildings.
- 3.2.8 Highfield House is a two-storey building of three bays built to a T plan. It is built of brick with white render used on the gabled central wing and north bay. It has a half hipped pantile roof and a central chimney stack.
- 3.2.9 A single storey slate roofed wing connects the house with the former threshing barn which has been substantially rebuilt. The former barn has a central cart doorway now fully glazed, with new windows inserted at high level to each side. Close spaced timber studding has been used on the south elevation.
- 3.2.10 Attached to the south west of the former barn is Hedgehog Cottage, a two-storey building. It is built of brick with a white rendered front elevation with modern windows, external shutters and a

canopied porch over a modern door. This building has been altered and has lost its chimney stack. Single storey brick buildings extend to the south west.

- 3.2.6 Other buildings within the complex include a brick-built barn with a corrugated iron roof, which may date from 1920s-50s, situated on the north-west fork of the side-road.
- 3.2.7 **Setting** Highfield Farm is located within largely flat agricultural land, formed by large open fields. Although close to the current A421, the setting of the farm retains much of its rural character.

B5 Brogborough Cottages

Designation: Undesignated

Importance: Low



Plate 5 Brogborough Cottages (B5)

- 3.2.11 **Description** Brogborough Cottages consist of a pair of two-storey brick built rendered cottages, symmetrically arranged in three bays, with a single bay recessed extension at each end (Plate 5; Figure 1). The doors are centrally placed in each cottage under small modern canopied porches, flanked by a pair of three-light windows. The first floor is defined by a plat band and contains three further windows, the central of which is formed by a single light. Chimneys are placed to either end of the original building, with a central chimney located between the two properties. The roofs are of plain tile and the rafter feet extend below the roofline giving the appearance of a dentilled cornice. The buildings date from approximately the early 20th century with extensions to the side elevations added in the 1950s or later.
- 3.2.12 **Setting** The cottages are located to the north of the A421, close to Brogborough Hill and to the south of the Brogborough Farm complex. They are set within compact gardens to the front, with small holdings to the rear. The surrounding landscape remains in agricultural use, being formed by large open fields and areas of woodland plantation. The principal views from the cottages look to the west, and are curtailed by a belt of trees.

B6 Brogborough Manor Farmhouse

Designation: Grade II Listed

Importance: Moderate



Plate 6 Brogborough Manor Farmhouse (B6)

- 3.2.13 **Description** Brogborough Manor House is a substantial two-storey building of probable 17th century origins, but substantially reworked in the 18th century and with some 19th century alterations (Plate 6; Figure 1). Construction is in red brick with flared headers used over window and door openings. The Manor is built on a U-footprint, and is of double pile plan. The principal elevation looks to the south west and is formed in three bays, with a brick band defining the first floor. The doorway is centrally placed within a 20th century porch, and holds a central six-panel door with rectangular fanlight over. The rear elevation is formed by two wings joined by a single-storey block, each of which contains a single casement windows on each floor. A pair of substantial end stacks with ornamental moulded bands, blind arcading and dentil cornices are set on the side elevations.
- 3.2.14 The outbuildings include a stable block and are single-storey and constructed of brick. Constructed as model farm outbuildings, these buildings constitute curtilage listed structures.
- 3.2.15 **Setting** The farm is located along a private road to the west of Brogborough Hill, within a small dip in the landscape. A complex of single-storey brick outbuildings is set to the north. The Manor Farmhouse is set within a formal garden defined by a low ha-ha to the east, with ponds to the east and west. From the house, the view east looks down towards the current A421, which is largely hidden in a steep-sided cutting.

B7 The Round House

Designation: Grade II Listed; Building At Risk

Importance: Moderate



Plate 7 The Roundhouse (B7)

3.2.16 Description The Round House was constructed in the 17th century and subsequently remodelled in the 19th century (Plate 7; Figure 1). It is a two-storey building constructed in red brick with ashlar dressings. Originally of double-pile plan, it is believed to have been called the Round House as it was possible to make an entire circuit of the building at first-floor level. The building is currently derelict, roofless and partially demolished. Only the south elevation remains in a relatively complete condition. This elevation survives to the top of the first floor, the lower storeys now being obscured by a later 20th century extension. Three windows are present at first-floor level with moulded stone surrounds. A corbel table of limestone modillions runs across the elevation just above the window lintels, with scalloped undersides and flat topsides. Relief-carved brick quoins flank this elevation. A single-storey extension is set to the right, retaining elements of a decorative rendered surround.

3.2.17 Setting The Round House lies on the south side of the current A421 at the top of a hill, slopes to the west. A disused tramway set in deep cutting is located to the northwest, now in use as a path. The surrounding landscape has been subject to considerable alteration and is today characterised by scrubland and immature woodland, permeated by a network of footpaths.

B8 Vale Farm

Designation: Undesignated

Importance: Low

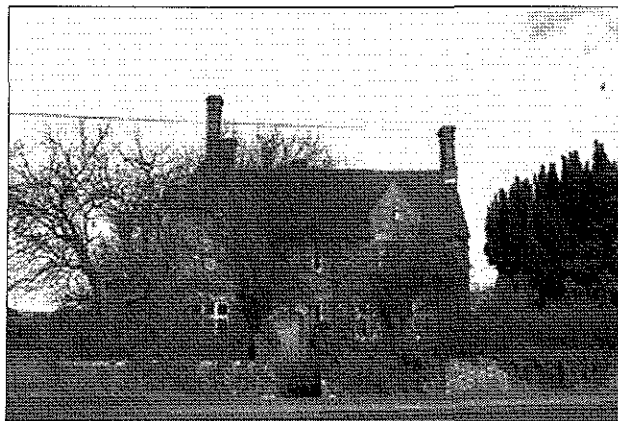


Plate 8 Vale Farm (B8)

3.2.18 Description Vale Farm consists of a farmhouse and outbuildings currently in use as a domestic residence and business premises respectively (Plate 8; Figure 2). The farmhouse is a two-storey gabled building located to the east of the outbuildings, built on a T plan, in a mock-Tudor style. The house is built of orange and cream bricks laid in Flemish bond. The lintels, sills and other details are in ashlar limestone. The principal elevation facing the A421 has the main door in a small porch with pointed arch. The building is well detailed with gabled windows to the first floor and projecting buttressed gable end chimney stacks with corbelled top courses. The windows have been replaced with UPVC frames, below the original limestone lintels. The southern gable chimney stack has an inset date plaque of 1841.

3.2.19 The former outbuildings consist of two buildings, arranged on an L-plan to the west of the house. The southern range fronts directly onto the roadside and is formed by a single-storey brick building with plain tile roof and six iron-framed windows below swept heads. This building retains evidence of rebuilding in its south elevation. The western range consists of a former barn consisting of a double-height building, also constructed in brick with a plain tile roof. A wide doorway is placed centrally in the west elevation, flanked by a pair of iron-framed windows set below eaves level. Polychrome brickwork is used to create a horizontal pattern across both buildings. The outbuildings result from a single phase of construction, as evidenced by their structural relationship and similarity in design and detailing.

- 3.2.20 **Setting** Vale Farm is set on the north side of the current A421, separated from the road by a grass verge. The house is located within a substantial private garden which extends to the north. Open agricultural land is set to the north and remains accessible from a public footpath along the eastern boundary of the property. Views from the house to the south are partially screened by planting along the garden boundary; however, long views are possible across the current A421. The outbuildings are located adjacent to a large yard, now used for commercial car parking, close to modern retail sheds. The setting of Vale Farm is predominantly rural, despite the impact of high traffic levels on the A421.

B9 Escheat Farm

Designation: Undesignated

Importance: Low

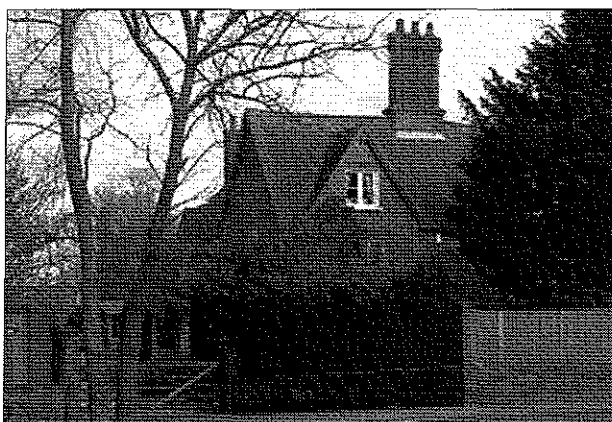


Plate 9 Escheat Farm (B9)

- 3.2.21 **Description** Escheat Farm comprises a group of brick buildings lying north of the A421, directly east of Vale Farm (B7) (Plate 9; Figure 2). The main house is of one-and-a-half storeys, and is formed by a short range fronting onto the road, with a lower range projecting at right angles to the north. Two large gabled dormers are prominent in the principle elevation, under steep plain tile roofs. Ground-floor windows are three-light wooden casements, with two-light casements at first-floor level. The building is well detailed, with the use of rubbed brick voussoirs and moulded pendants to the gables. A tall, well moulded chimney with three diagonal flues is centrally placed on the principle elevation.
- 3.2.22 The outbuildings associated with Escheat Farm lie directly east of the house. Arranged around a courtyard, these are brick buildings of one and two storeys, incorporating tile-hung gables and plain tile roofs. The former stables retain a stone date plaque of 1847 on the gable end. The Ordnance Survey identifies them as a stables, granary and dairy from south to north ; however, all have since been converted for residential use.
- 3.2.23 **Setting** Escheat Farm is located beside Vale Farm, on the roadside to the east. A narrow public footpath runs between the two properties, from the roadside, through to the fields to the north. Open fields are set to the north and south of the property, with a dismantled railway line running along the rear of the property. Views to the south are possible from the upper storeys, although the property's boundary with the A421 is heavily screened by fencing and vegetation.

B10 Thrupp End Farmhouse

Designation: Grade II Listed

Importance: High

3.2.24 **Description** Thrupp End Farmhouse is a Grade II Listed Building, dating from the 17th century with 19th century alterations (Figure 2). It is timber framed, with infill panels rendered with pebble-dash and some sections encased in brick. The south-eastern bay is a 19th century addition forming an L-shape, with a later single-storey block in the angle. Historic outbuildings associated with the farmhouse constitute curtilage listed structures.

3.2.25 The farmhouse represents the latest stage in the long occupation of this site, as demonstrated by the presence of a moated site and deserted medieval village, which are designated as a Scheduled Ancient Monument, adjacent to the building. The longevity of occupation and historical association of the site increase its significance.

3.2.26 **Setting** Thrupp End Farmhouse is located on the east side of the A421, to the south of Vale Farm. Two moated sites and a deserted medieval village are located next to the farm. These are Scheduled Ancient Monuments (SAMs). Its wider setting is dominated by the landscape effects of quarrying with the presence of a substantial lake to the east.

B11 Upper Wood End Farm

Designation: Undesignated

Importance: Low

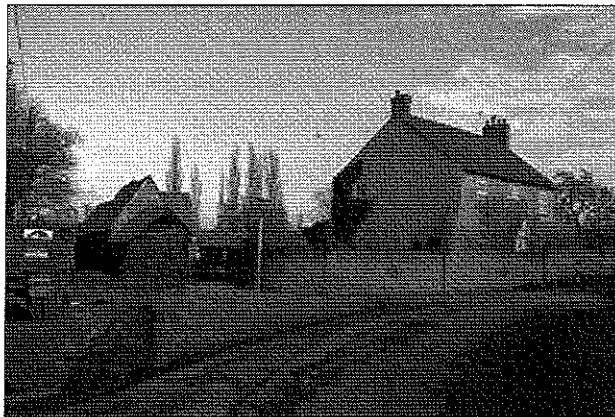


Plate 10 Upper Wood End Farm (B11)

3.2.27 **Description** Upper Wood End Farm is formed by a farmhouse and a small complex of buildings ranged around a yard to the northeast (Plate 10; Figure 2). The farmhouse is a two-storey building of double pile plan. The principal elevation is of three bays, with a central doorway flanked by segmental-headed windows containing UPVC frames. The building is roughcast externally and has a modern cement tile roof. End stacks are set to either end of the ridge and demonstrate two phases of construction in their differing form. Although unremarkable externally, an early origin for the building is suggested by the depth of its plan and the presence of a projecting wall stub or buttress from the left of the principle elevation. This building is likely to date from the 19th century or earlier.

3.2.28 The outbuildings are more vernacular in construction, and all are single storey. An east-west range is situated to the north of the yard and is weather boarded on a limestone rubble plinth, with a corrugated iron roof. A second range set at right-angles and aligned north-west uses brick for its load-bearing construction, such as gables and piers, with weatherboarding infill in each bay. This range has a plain tile roof.

- 3.2.29 *Setting* Upper Wood End Farm is set within a rural landscape as part of a small a hamlet, characterised by open fields and rolling hills. Long views are possible across the surrounding countryside. Access to the farm is by a winding single track road, further enhancing the rural character of the setting.

B12 Lower Wood End Farm

Designation: Grade II Listed

Importance: Moderate



Plate 11 Lower Wood End Farm (B12)

- 3.2.30 *Description* Lower Wood End Farmhouse dates from the 17th and 18th centuries, with later reworkings (Plate 11; Figure 2). This is a two-storey timber framed building with some brick rebuilding, constructed on an L-plan. Externally, the age of the building is reflected in the compact size and positioning of the first-floor windows directly under the eaves. A substantial stack is cross set in the south range, with an end stack in the short range to the north. The roof, windows and door are now all of 20th century date.
- 3.2.31 *Setting* The farmhouse is set within an open rural landscape within a small complex of associated outbuildings. The surrounding landscape is characteristically rural, with open flat fields to the southeast and a ridge of hills to the northwest. Characteristic long views are possible from the farm to the southeast.

B13 Moat Farm Outbuildings

Designation: Undesignated

Importance: Low

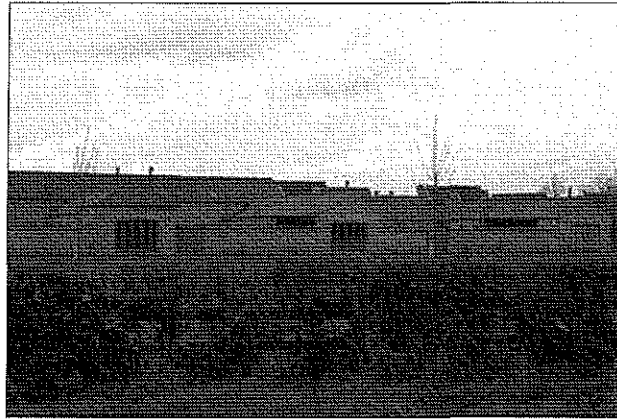


Plate 12 Moat Farm outbuildings (B13)

3.2.32 Description Moat Farm outbuildings were built in 1871 (gable date plaque) for Moat Farm (Grade II listed) which lies to the northeast (Plate 12; Figure 2). They comprise a long double-height barn range to the north, with four single-storey ranges projecting to at right-angles at the south. The yards between the small ranges are enclosed by brick walls. These buildings are simply detailed and are suggestive of Model Farm design. These buildings have recently been converted to residential use with the addition of modern slate roofing, large modern windows and skylights.

3.2.33 Setting The outbuildings are situated in the west end of Marston Moretaine village, to the south of the A421, in close relationship with the 16th century Manor Farm to the northeast. Modern housing has been constructed directly to the north of the buildings, whilst further 20th century housing lies to the south. However, the outbuildings remain on the outskirts of the village and retain something of their historic setting through the presence of open ground to the south and west, and through their close relationship with other historic buildings in the village, such as the church.

B14 Moat Farmhouse (Moretaine Manor)

Designation: Grade II* Listed

Importance: High



Plate13 Moat Farmhouse (B14)

3.2.34 Description Moat farmhouse dates from the early 15th Century, with 16th century alterations and a restoration in 1880 (Plate 13; Figure 2). It is a two-storey timber-framed hall of the 15th

century with 16th century crosswings, jettied at first-floor level, with brick-nogging infill panels. The original cross passage entrance is set to the east and now contains a 19th century door. An additional inserted entrance is set to the west within a small porch. The hall wing is of five bays, with a tall brick stack set against the cross passage. A further substantial clunch stone stack is placed against the west elevation.

- 3.2.35 **Setting** Moat farmhouse is set within a wet moat on the western edge of the village of Marston Moretaine. Open grass is located in front of the building to the southeast, whilst the Manor Farm outbuilding complex is located to the southwest. A modern housing development is located directly to the rear of the moat, between the Farm House and the current A421. Moat Farm, the church and rectory form a recognisable group of historic buildings in close proximity with each other.

B15 The Old School House

Designation: Grade II Listed

Importance: Moderate



Plate 14 The Old School House (B15)

- 3.2.36 **Description** The Old School House is dated 1847 and was built as a National School and Schoolhouse (Plate 14; Figure 2). It consists of a single-storey school room with two-storey schoolhouse set at right angles. Construction is in red brick, utilising contrasting headers and stretchers, with ashlar limestone details. The school is formed in three bays defined by brick pilasters, the central bay being raised and gabled with a four-light window. A plaque above the window states 'Fear God'. The flanking windows are of three lights, with mullions and transoms with honeycomb glazing bars. The School House gable looks on to the road and contains a projecting bay with three-light and two-light windows to the ground and first floors respectively, both of which utilise similar glazing to the School building. A moulded stone cornice separate the ground and first floors. A memorial plaque in the gable records 'Marston and Liddington School 1847'. The side elevation is in three bays with a central doorway.

- 3.2.37 **Setting** The School House is located on the east side of the village green of Marston Moretaine, close to Moat Farm, the Church and the Old Rectory. The building is surrounded by modern residential buildings to the northwest with smaller scale 19th century buildings to the south east.

B16 The Old Rectory

Designation: Grade II Listed

Importance: Moderate

- 3.2.38 **Description** The Old Rectory dates from the 18th and 19th centuries, although it is believed to be a reworking of an earlier structure (Figure 2). Construction is in varied red brick, some incorporating vitrified headers to create a chequer-board pattern. The plan is irregular and complex, and the oldest part of the building, to the northeast, may incorporate timber framing, and there are substantial 19thC extensions. The main part of the building is of two storeys with attic, and a variety of windows has been used, including dormers and sashes. The doorway contains a six fielded panelled door below a rectangular fanlight.
- 3.2.39 **Setting** The Old Rectory is set within a substantial garden directly to the northwest of the church and is well screened from the road. The building retains much of its historic setting, being located close to the church and manor, within the historic core of Marston Moretaine.

B17 Tower belonging to the Church of St Mary

Designation: Grade I Listed

Importance: High



Plate 15 The Tower and Church of St Mary (B17 & B18)

- 3.2.40 **Description** This is a free-standing tower located c.20m to the north of St Mary's Church (Plate 15; Figure 2). Dating from the 14th century, although believed to have earlier origins, the tower is constructed of coursed rubble limestone and ironstone, with ashlar limestone dressings. The tower is square in plan with angle buttresses, and walls c.2m thick. The tower is in three stages with an embattled parapet. The ground floor is now accessed by an arched opening in the west elevation, whilst a pointed opening is set at first-floor level, possibly formerly functioning as an entrance. The final stage is punctuated by a belfry opening in each elevation with cusped two-light openings and quatrefoil in the head of the opening.
- 3.2.41 **Setting** The tower stands on a promontory on the north side of St. Mary's Church, within the churchyard. The land slopes down from the tower, towards the south and east towards a small stream. The tower is visible from the west of the village and forms a significant feature within the local landscape.

B18 The Church of St Mary

Designation: Grade II Listed

Importance: Regional

3.2.42 **Description** The Church of St. Mary dates from the 14th century and was restored by Sir George Gilbert Scott in 1873 (Plate 15; Figure 2). Construction is in coursed ironstone, with ashlar limestone dressings and later additions of limestone rubble. The church contains work from the 14th and 15th centuries as well as the 19th century reworking. An embattled parapet runs around the building, serving to unite the varied elements.

3.2.43 **Setting** The church is set within a substantial sub-circular churchyard to the south of the village. Set within 20m of the free-standing tower, the church has a predominantly enclosed setting, and retains much of its historic character, enhanced by the continuing use of the churchyard for burial.

B19 Beancroft Farmhouse

Designation: Grade II Listed

Importance: Moderate



Plate 16 Beancroft Farmhouse (B19) seen from Beancroft Road

3.2.44 **Description** Beancroft Farmhouse dates from 1797, as recorded on a plaque above the doorway, with 19th and 20th century additions (Plate 16; Figure 2). The two-storey house is constructed of red brick, with a plain tile gabled roof. The principle elevation looks to the southeast and is formed in three bays, creating a symmetrical elevation with gable end chimney stacks. The doorway is centrally placed below a semi-circular fanlight, flanked by a pair of modern three-light windows. A similar glazing pattern is followed on the first floor, with a two-light window placed in the central bay. A single-storey extension of 20th century date has been added against the southwest elevation.

3.2.45 **Setting** Beancroft Farm stands on the north side of Beancroft Road in substantial grounds. The farm is on a gentle slope which looks down to the south-east, over agricultural land towards the current A421 which is screened by a band of trees. Beancroft Farm is located adjacent to a former moated site, two sides of which remain intact and wet. The property is entered from the long driveway to the south-east, that leads to the house and is marked by two brick-built gateposts. A number of outbuildings to the north of the building are now in commercial use.

B20 Charity Farmhouse

Designation: Grade II Listed

Importance: Moderate



Plate17 Charity Farmhouse (B20)

3.2.46 **Description** Charity Farmhouse dates from the early 17th century and is timber framed with colour-washed rendered panels (Plate 17; Figure 2). This is a two-storey building which rests on a substantial exposed limestone rubble plinth, which may indicate the further use of limestone in the build. The principal elevation is of two storeys with an attic, facing northwest. This elevation has four principle bays, with a modern porch placed centrally in the elevation. A lower two-storey wing and single-storey wing are set to the southeast. Evidence for refenestration survives in the building, with modern casements set adjacent to blocked timber mullioned openings. A plain tile half-hipped roof runs across the principal elevation, the steep pitch of which may suggest that it was thatched originally. Two later brick-built chimneys serve the building. Two further brick-built single-storey farm buildings are situated to the west.

3.2.47 **Setting** Charity Farm is situated on the north-west side of Beancroft Road. The farm sits on a gentle slope that leads down towards the south-east. Principal views look towards the hillside to the northwest, however long views are possible from the rear of the building towards the A421. The surrounding landscape is very rural and is characterised by gently rolling hills, and a ridge of hills to the northwest.

B21 Shelton Manor

Designation: Grade II Listed

Importance: Moderate



Plate 18 Shelton Manor (B21)

- 3.2.48 **Description** Shelton Manor is a two-storey manor house dating to the 16th century, with later alterations (Plate 18; Figure 3). Formed by a long range set parallel to the road with a jettied first floor, a lower extension with half-hipped roof is set to the right. The building is timber-framed, using close-studding with colour-washed rendered panels. The extension uses a lighter timber scantling. A 19th century lean-to is located in the centre of the principle elevation, its roof projecting downwards from the eaves. Two three-light casements are set at ground-floor level, with the doorway placed to the left of the 19th century extension. Four three-light windows are present at first floor level. All retain leaded quarrel windows. The roof is plain tiled with a centrally placed longitudinal stack. There are single-storey brick-built outbuildings to the south-east of the house.
- 3.2.49 **Setting** Shelton Manor is situated within a substantial garden on the west side of Lower Shelton Road within the hamlet of Shelton. Its setting is defined by its location within the village and is currently dominated by the presence of substantial late 20th century houses.

B22 The Haven, Sunny Crest, and The Sycamores

Designation: Undesignated

Importance: Low



Plate 19 The Haven (B22)

- 3.2.50 **Description** The Haven, Sunny Crest and the Sycamores are a series of compact, later 19th century houses located directly to the south of the current A46 (Figure 3).
- 3.2.51 The Haven is a late 19th or early 20th century house (Plate 19). This is a brick-built two-storey building with a later range added to the rear and a modern gabled porch added to the front elevation. The Haven has original 4-light sash windows and wooden shutters and chimneystacks to either gable end.
- 3.2.52 Sunny Crest is a house of the same design and may be contemporary with The Haven, but has since had modern render and double-glazed windows applied, together with two bay windows to the front elevation.
- 3.2.53 The Sycamores is the third house in this row, of the same design and may be of a similar date. It retains its sash windows, with a porch roof and bay window having been added to the front elevation, possibly dating from the 1920s or later.
- 3.2.54 **Setting** The cottages are located on the southeast side of the current A421, opposite Hoo Lane. The buildings front directly onto the A421, with gardens to the rear. Stewartby Lake is located directly to the south, evidencing extensive former quarrying activity in this area.

B23 Hoo Farmhouse

Designation: Grade II Listed

Importance: Moderate



Plate 20 Hoo Farmhouse (B23)

- 3.2.55 **Description** Hoo Farmhouse is a two-storey, timber-framed building dating from the 17th century (Plate 20; Figure 3). Brick nogging is used across the exterior and remnants of white-washing survive on the principle (north) and southeast elevations. It is L-shaped in plan, with the angle filled by a bay of almost contemporary timber-framed construction. 19th century gabled porches have been added to the front and rear elevations. The building is roofed in plain tiles.
- 3.2.56 **Setting** Hoo Farm is situated on the south side of Cranfield Road, c.0.65km from the current A421. It is set within a large garden, separated from the road by areas of plantation. Open fields lie to the south and east of the building.

B24 CP Farm Cottage

Designation: Undesignated

Importance: Low

- 3.2.57 **Description** CP Farm Cottage dates from 1861 and is a brick single-storey building (Figure 3). Built gable to the road with the entrance within a small porch in the north elevation. Segmental-headed sash windows are ranged across the ground floor, set within striped surrounds of red and yellow brick. A small plaque set within a similar surround is placed in the west elevation, recording the date of construction and the initials CP. The steeply-pitched roof is covered with plain tiles and there is a central chimneystack.
- 3.2.58 **Setting** CP Farm Cottage is set on the east side of the current A421, opposite the junction with Fields Road. It remains part of a working farm complex, however it is the only surviving historic building, the other buildings consisting predominantly of modern sheds. Open fields surround the farm complex.

B25 Elms Farm

Designation: Undesignated

Importance: Low

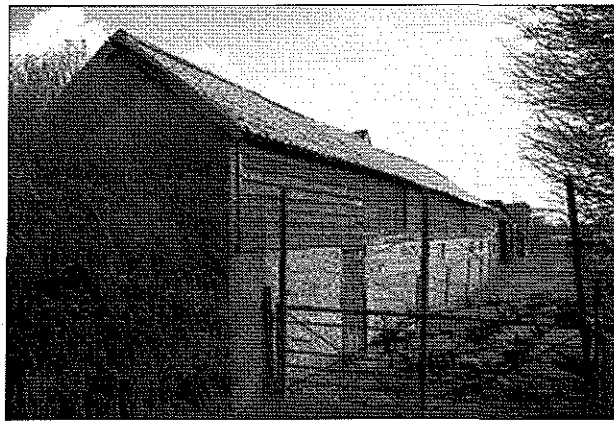


Plate 21 Outbuildings at Elms Farm (B25)

- 3.2.59 **Description** Elms Farm comprises a farmhouse and outbuildings (Plate 21; Figure 4). The main house is a late 19th or early 20th century yellow brick-built two-storey building, facing towards the A421. The principal elevation is of three bays, with the central bay at first-floor level finished with a decorative gable. Decorative broken string courses of nail-point carved bricks run below the windows, whilst a moulded decorative band defines the first floor. A service bay is placed to the left of the elevation. A pair of tall moulded stacks is placed upon the ridge, visible above the surrounding trees. The building retains much of its architectural character despite the widespread use of UPVC windows.
- 3.2.60 The historic outbuildings are believed to date from the 18th and 19th centuries. They are of one and two storeys, and in varying states of repair, and lie to the south west of the house, north of some modern farm buildings. A barn is set to the south of the complex, constructed in limestone with a large winnowing door and plain tile roof. A brick-built extension with pantile roof has been added to the north end. To the east of this is a long range of stables. Brick construction is used across the ground floor with weatherboarding across the first floor. A hayloft door is placed centrally within the west elevation, raised above the eaves. A further range of buildings runs along the eastern boundary of the site. Overgrowing vegetation hampered inspection of these structures; however, a chimney stack and possible queen-post roof structure were visible.
- 3.2.61 **Setting** Elms Farm is situated on the southeast side of the A421, at the junction with Manor Road. The complex remains in use as a working farm and has been subject to some extension with the construction of modern farm outbuildings. The complex remains within a predominantly open agricultural landscape, with the exception of a large-scale industrial building located to the north.

B26 72-74 Bedford Road, Wootton

Designation: Grade II Listed

Importance: Moderate



Plate 22 72 - 74 Bedford Road, Wootton (B26)

- 3.2.62 **Description** This is a cottage dating from the late 18th or early 19th centuries, now subdivided to form two dwellings (Plate 22; Figure 3). Of timber-framed construction and rendered with pebble-dash externally, this is a single-storey building with attic, on an L-plan. The building is roofed in thatch, with 'eyebrow' dormers at first floor. The southwest elevation is of two bays with a central doorway. The northwest elevation is also of two bays with a central entrance, however, this elevation has been refenestrated and a modern porch added. A single-storey outshut has been added to the north end, possibly during the 19th century.
- 3.2.63 **Setting** This building is situated on the east side of Bedford Road, in the settlement of Wootton. Its setting is extensively built up and is now dominated to the detriment of the historic building, by two low-rise blocks of 1960s date to the east.

B27 Sailor's Bridge Cottages

Designation: Grade II Listed

Importance: Moderate



Plate 23 Sailors Bridge Cottages (B27)

- 3.2.64 **Description** Sailor's Bridge Cottages is a pair of cottages dating from 1865, which were formerly part of the Hoo Estate (Plate 23; Figure 4). They are designed in a "cottage ornee" style and built of brick with a fish-scale tile roof. The cottages are of L-plan, one facing the road and the other looking to the southwest. The former is of three bays with a centrally placed doorway and three gabled windows to the attic. The latter is similar in design, but with two dormers at attic level. Decorative details include the use of pierced barge-boards to the gable ends, contrasting brick window embrasures and quoins and decorative pinnacles.
- 3.2.65 **Setting** Sailor's Bridge Cottages is situated on the north-west side of the busy A5134, close to its junction with the A421. The cottages are set within a small garden screened from the road by a hedge and fence. The setting of the cottages is now largely dominated by their proximity to a substantial industrial building to the southeast and the police headquarters and playing fields to the north. These buildings have adversely affected the setting of the listed building.

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Appendix A - Gazetteer of built heritage receptors

Building No	Name	Designation	Significance
B1	Charity Farm	Undesignated	Low
B2	Brook Farmhouse	Grade II Listed	Moderate
B3	Ridgmont Station	Grade II Listed; Building at Risk	Moderate
B4	Highfield Farm	Undesignated	Low
B5	Brogborough Cottages	Undesignated	Low
B6	Brogborough Manor Farm	Grade II Listed	Moderate
B7	The Round House	Grade II Listed; Building at Risk	Moderate
B8	Vale Farm	Undesignated	Low
B9	Escheat Farm	Undesignated	Low
B10	Thrupp End Farm	Grade II Listed	High
B11	Upper Wood End Farm	Undesignated	Low
B12	Lower Wood End Farm	Grade II Listed	Moderate
B13	Moat Farm Outbuildings	Undesignated	Low
B14	Moat Farmhouse	Grade II* Listed	High
B15	The Old School House	Grade II Listed	Moderate
B16	The Old Rectory	Grade II Listed	Moderate
B17	Tower belonging to the Church of St Mary	Grade I Listed	High
B18	Church of St Mary	Grade II Listed	Moderate
B19	Beancroft Farm	Grade II Listed	Moderate
B20	Charity Farm	Grade II Listed	Moderate
B21	Shelton Manor	Grade II Listed	Moderate
B22	The Haven, Sunny Crest, The Sycamores	Undesignated	Low
B23	Hoo Farm	Grade II Listed	Moderate
B24	CP Farm Cottage	Undesignated	Low
B25	Elms Farm	Undesignated	Low
B26	72-74 Bedford Road	Grade II Listed	Moderate
B27	Sailors Bridge Cottages	Grade II Listed	Moderate

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NOTES

Key

	Proposed road scheme
	Building number
	Listed building Grade I
	Listed building Grade II*
	Listed building Grade II
	Curtilage listed building Grade II
	Building of local interest
	Conservation Area

Revision Details

By	Date	Ref

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M1 JUNCTION 13
TO BEDFORD

Drawing Title

BUILT HERITAGE
SHEET 1 OF 4

Figure Number

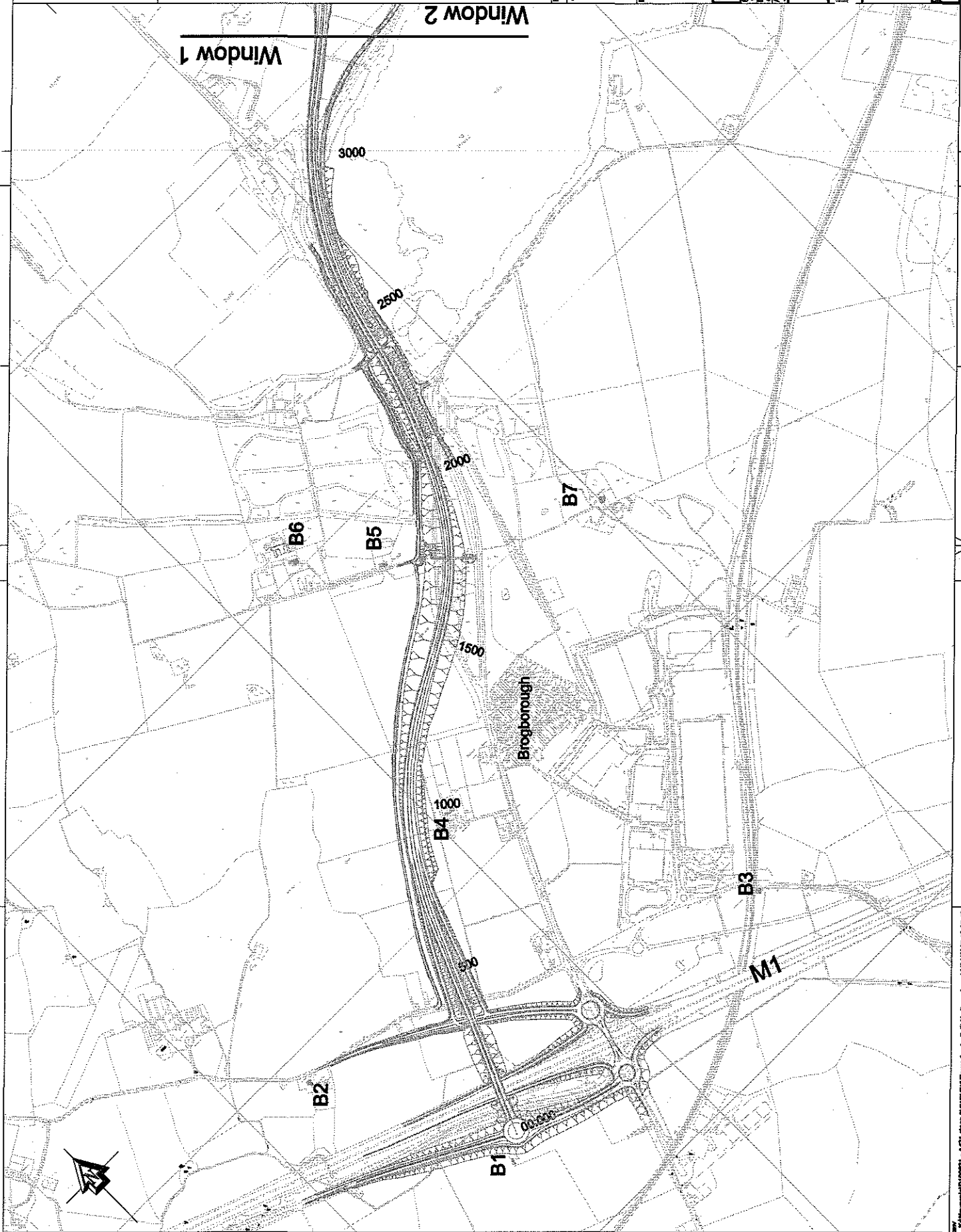
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B7	Building number
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BUILT HERITAGE
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Figure Number
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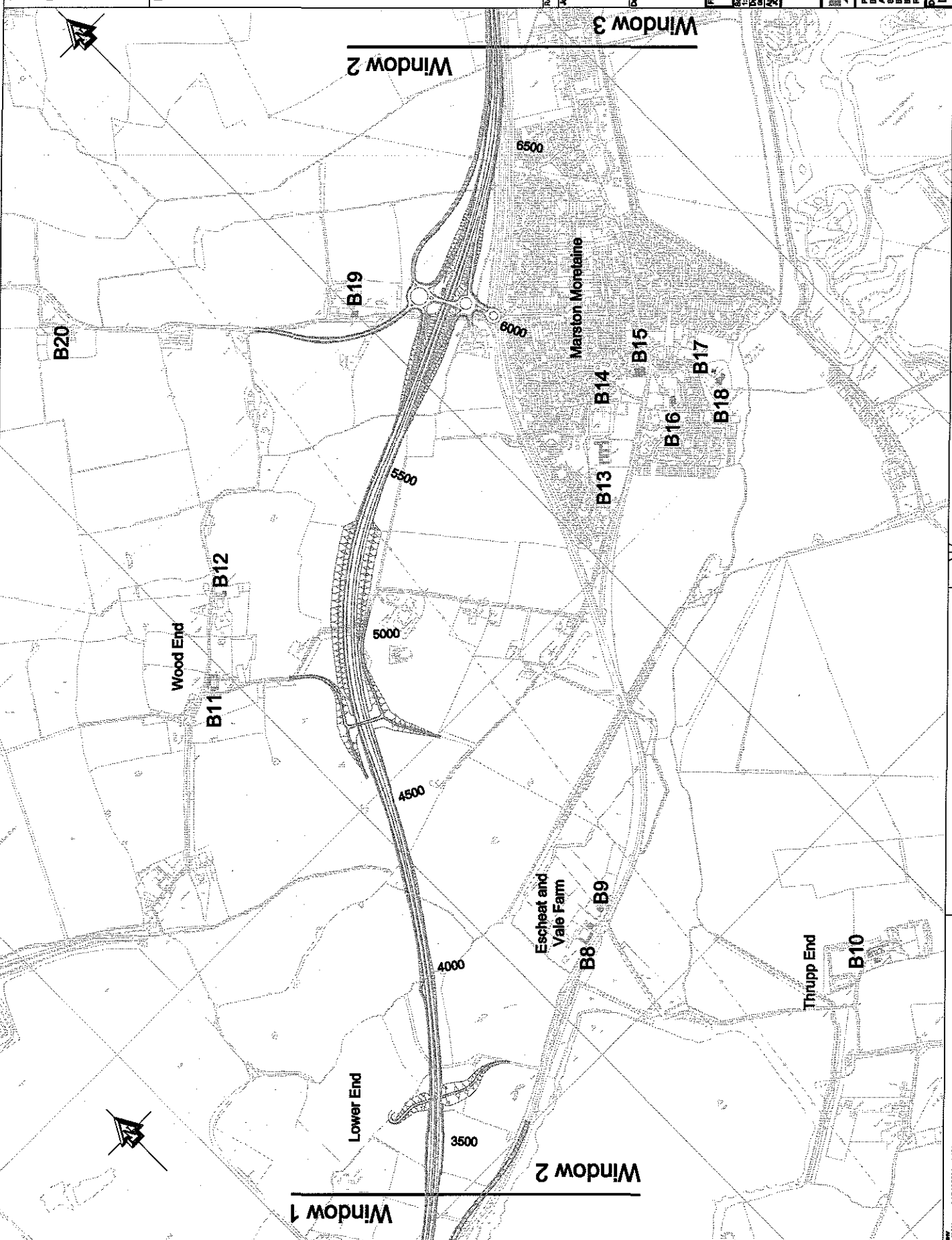
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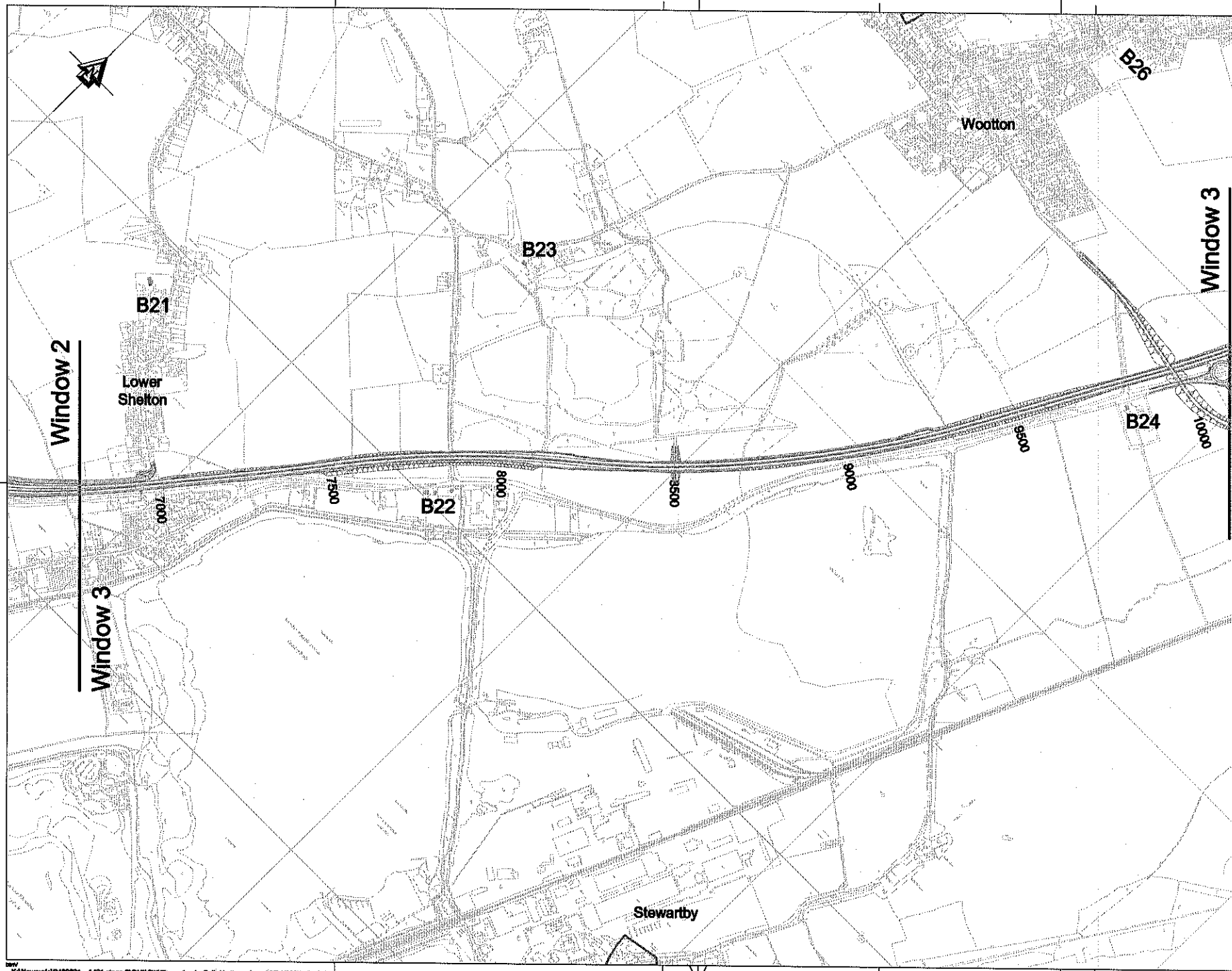
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Revision Details

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BUILT HERITAGE
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FIGURE 3

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	Listed building Grade II*
	Listed building Grade II
	Cartilage listed building Grade II
	Building of local interest
	Conservation area

Revision Details

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FIGURE 4

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