

**LINDSEY**  
ARCHAEOLOGICAL  
SERVICES



**The Town Hall, Bourne, Lincs.  
Statement of Significance**

Planning Application No.: N/a

NGR: TF 096 202

Site Code: BTHS 08

LCNCC Accn No.: 2008.79

**REPORT**

for

**Mouchel Business Services  
on behalf of  
Lincolnshire County Council**

**By**

**Naomi Field MIFA**

**LAS Report No. 1077  
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Naomi Field  
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## **The Sessions House, Bourne, Lincs.**

### **Statement of Significance**

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### **INTRODUCTION**

Lindsey Archaeological Services was commissioned in April 2008 by Mouchel Business Services, on behalf of Lincolnshire County Council to prepare a Statement of Significance for Bourne Town Hall to be submitted with a planning application for alterations to the fabric of the building. The work was undertaken in accordance with IFA guidelines.

### **SITE LOCATION AND DESCRIPTION**

Bourne is a small market town located on the A15. Bourne Town Hall is situated at the junction of the A15 and the A151 in the very centre of the town (Fig. 1).

### **PLANNING BACKGROUND**

Lincolnshire County Council, in conjunction with S. Kesteven District Council, are proposing to provide Town, District and County Council services at Bourne Town Hall. This will involve extensive internal refurbishment of the building. The Heritage Section of the County Council has advised that Statement of Significance for the building that will be affected by the proposed works should be submitted with the planning application. The Market Hall is a Grade II Listed Building.

### **AIMS AND OBJECTIVES**

At this stage it is not proposed to produce a detailed building survey or description of the building. However, a short history of the building, together with an assessment of its historical importance is necessary in order to consider the potential impact that proposed alterations might have on the fabric of the building.

### **METHOD**

Local library and on-line sources were consulted to obtain a brief background history of the building in order to be able to place the Town Hall in a local and regional context. It comprised a collation and assessment of existing written and cartographic information, including information available at:

- Lincolnshire Archives Office - Enclosure, tithe, estate and parish maps, and other documentary sources, as appropriate
- Lincoln Central Library, local studies collection - published sources



A site visit was made to assess the extent of any modern disturbance to the site and drawings supplied by Mouchel will be annotated accordingly. Selected photographs of the areas affected by the proposed works were taken.

## **HISTORICAL BACKGROUND**

Bourne was granted both a Saturday market and a six-day Easter fair by Edward I in May 1281. Both were to be held at 'the manor'. (The date of the fair was changed to June 24th in a charter of Edward II in 1308.) It is not known when the first town hall in Bourne was built but perhaps it was in the 16-17th centuries when merchants not only needed corporate space to carry on business, but also sought to express civic pride in building impressive new market halls/town/guild halls. Wealthy merchants and tradesmen were starting to vie for power with the local gentry. A great percentage of town councillors and aldermen came from this class. They took pride in their new-found powers, which were reflected in the civic buildings they commissioned. These market halls were usually built or rebuilt in the already existing medieval market places. What is known for certain is that by the early 19<sup>th</sup> century, the town hall had become dilapidated and a new building was commissioned. A new site on the east side of the market place, to the south of what is now the Burghley Arms, was chosen. The architect, Bryan Browning, was a local man whose family came from Thurlby. He went on to design the House of Correction at Folkingham (1824) and the workhouses at Bourne, Stamford and Spalding in 1836-7.

The Town Hall or Sessions House was paid for by public subscription and it opened in 1821 for Petty and Quarter Sessions and the meetings of the various manorial courts that controlled land and property, and heard grievances. These functions were carried out on the first floor of the building, above the open market. Despite its unusual design the Town Hall with its multiple functions harked back to an era that was almost over. With the expansion of towns during the industrial revolution multi-functional buildings, combining civic and commercial functions, became a thing of the past.

The building has an unusual façade, with exterior recessed twin flight of steps which wind round either side of formal Doric columns (Pl. 1). The frontage is built in limestone but the remainder of the building is brick with stone details around the openings

The façade gives a false semblance of symmetry to the building and disguises the fact that the plot on which the Town Hall is built tapers towards to the rear with stone entrances to either side of the central stairs. These originally both gave access to the shambles (market) and stalls where the weekly market was held. While that on the north side of the building led into a space that tapers quickly, the passageway on the south side of the building runs parallel to the south wall of the building and through to the rear of the property (Pl. 2). The open arches of the shambles were blocked in the 19th century (Pl. 3) and the market now



occupies a purpose-built precinct at the rear. The passageway on the north side of the building has been infilled and incorporated into the building.

The building has been altered on a number of occasions but little detailed information survives. It is recorded that Charles Kirk, builder and architect of Sleaford, supervised extensive alterations to Bourne Sessions House in 1845 (LAO Misc. Don. 1015). It is difficult to determine what these works comprised, although it is possible that the first floor retiring room might be of this date. New furnishings were provided in the Courtroom in 1902 but whether they were accompanied by alterations to the fabric is not known. Plans were drawn up in 1958 (Fig. 2) for improvements to prisoners' accommodation on the first floor, in the south-west part of the building where minor alterations to access were made (Fig. 3). The interior of the Town Hall was further altered in 1974-75 when the size of the main courtroom was reduced to create a larger waiting area. Further renovations took place in 1992 which included a sympathetically constructed replacement extension at the rear of the building. The prisoners' accommodation was converted to kitchen, IT room and WCs. A reception room area with a counter and access from the street was added on the ground floor and is still used by South Kesteven District Council for the payment of council tax and other public inquiries. This may also be the date when UPVC double glazed windows were installed on the south side of the ground floor waiting area, which are completely out of keeping with the fabric of the building. The authority also has ground floor offices in the former market hall area while those of the Bourne Town Council are upstairs at the back, overlooking the new market place. The Town Hall was formally re-opened in November 1992 and it continued as the magistrates' court until April 2008. The courtroom continues to be used for regular meetings of the Town Council.

### **MODERN STATEMENT OF SIGNIFICANCE**

Bourne Town Hall is a late example of a public building constructed specifically to perform combined civic, legal and commercial functions. Its unusual design gives it an architectural status of more than local significance as recognised by its Grade II listing, whilst its construction by a local architect adds to its local importance

#### High Visual Quality

The Town Hall occupies a prominent position in the centre of the town at the main cross-roads, and it makes a major contribution to the architectural landscape of the town (Pl. 4).

#### A Site in Public Ownership

The Town Hall was financed by public prescription and is currently owned on behalf of the community by Lincolnshire County Council.



Throughout its life it has been the focus of key community activities and functions which have contributed to the very identity of Bourne.

#### Potential Importance to Cultural Life and Regeneration

The closure of the court will provide an opportunity for additional community services to be provided. At the same time the building retains sufficient original features to remind us of its former multiple civic roles, which could be displayed to great advantage for educational and leisure activities alike.

### **BUILDING DESCRIPTION**

#### **GROUND FLOOR (Fig. 4)**

The ground floor can be divided into four main areas, two of which are contained within the original footprint of the building- the Main Office (1) and the Waiting Area (2). The cash office stores and kitchen run along the north side of the building (3), and the modern rear extension to the east (4) contains the staircase, WCs and plant room.

##### **1. Main Office**

This is located in what was originally the Shambles or market beneath the town hall offices – It has an inserted tiled false ceiling (Pl. 5). There were originally seven open arcades along the long E-W axis of the building, and three on the short N-S axis. Brick arches spring from rectangular limestone pillars, standing 1.90m in height from the present floor surface. (The waiting area at the front of the building occupies the two westernmost arcades of the building.) The south side of the building narrows, with the three westernmost arches set in by 0.50m (Pl. 6). There is evidence for pairs of iron pintles (hinges) on either side of the arches for hanging gates that would have enclosed the market (see fig. 4, Pls 7 and 8), presumably to secure the area when it wasn't in use. Some remain *in situ*, others have been removed.

The arches on the south wall have been part bricked, with three-light windows, in modern wood frames (Pl. 9), above except on Bay 4 where there is a modern fire door. On the north side the arches have been blocked with doors leading to storage space and a kitchen (see below) (Pl. 10). On the east wall the three arches are all infilled. The southernmost has a modern door with glass panel above, of the same date as the remodelled stair access (1992) (Pl. 11).

##### **2. Waiting Area**

This is located at the front of the building and occupies the westernmost two bays of the market area. A modern partition separates this space from the main office to the rear. There is also an interview room on the south side which has been created with modern partitions that straddle the window in the third bay. The two windows on the south wall of the waiting area have UPVC frames. The arches on the north wall have been incorporated into the cash office counter (see below). A modern door has been inserted into the central arch of the west

wall providing public access to the waiting area. There was an original door, to the south of the centre, which was partially blocked to create a window (Pl. 12).

### ***Proposed Alterations to Areas 1 and 2***

#### ***1. Replace fire exit with window***

Ensure that the window frame is in wood to match the double glazed units already installed along this side of the building. Brickwork beneath the window to match that under the other windows.

The office space itself will remain substantially unaltered. There is already a clutter of cable and plugs attached to the stonework. Any rationalisation/ upgrading of wiring should be sympathetically carried out and avoid the stonework where possible.

#### ***2. Removal of partition wall between Main Office and Waiting Area.***

Replacement of Interview Room with enlarged interview room. The present interview room partition masks part of the arch – so the proposed position for Interview Room 1 is an improvement.

#### ***3. Replace window in Bay 2 with double door.***

This was originally an open arch and the window is inserted. Windows in Bays 1 and 2 are double glazed UPVC units which are not appropriate to the fabric of the building. So removal of the window in Bay 2 is an improvement. (Those in Bays 3-7 are double glazed in wood frames, and much more sympathetic). Replacement of the window in Bay 1 should be considered

#### ***4. New bike stand and an area for push chairs outside the front entrance beneath the steps.***

This may have a visual impact on the front elevation. Modern fixtures attached to the wall should be discouraged (Pl. 13).

#### ***5. Removal of the counter and arch blockings to the cash office.***

These are all modern, intrusive, insertions and their removal will enhance this area of the building.

### **3. North Side of the Building**

This area comprises the Cash Office (Pls 14 and 15), an office, storerooms and a kitchen (labelled A-E on Fig. 4). It is not clear whether the area north of the Market Hall was originally an internal space, or partly open. The recessed stone entrance at the front of the building appears to match the original stonework suggesting that it led to an internal space but pintles on the arches on the north side of the market hall suggest that gates were present and that the rear, at least, was open (Pl. 16). Chimney breasts along the north wall also suggest that the front area was an internal space but there may not have been fireplaces at ground level. If this were the case the first floor might have been supported on brick arches allowing access to the market along a passageway, as found on the south side of the building. The evidence remains contradictory without closer inspection of the fabric-which is hidden by modern



plasterwork.

#### ***Proposed Alterations***

##### ***1. Removal of all the partition walls between the kitchen and stores 2-5.***

This will return this area to a single space as originally conceived and remove the inserted doors between the arches. It is possible that the partition wall between the office and the cash room marks an original division but much of the wall has already been replaced with a modern glass partition and door.

##### ***2. Installation of a lift in the cash office.***

The current proposed location would cut through a chimney breast which supports a fireplace above. The chimney stack and pot still exist and form an important external feature of the building (Pl. 17). The lift will need to be repositioned to avoid this obstacle. Excavation of the lift pit may impact on archaeological deposits below the floor of the existing building.

##### ***3. Installation of WC in the cash office area.***

Connection of pipes below ground may impact on archaeological remains below the floor of the existing building

#### **4. Rear Extension**

A modern extension which incorporates an earlier extension (see Fig. 3), lies behind (east of) the main offices. This contains the rear stair to the first floor, ladies and gents WCs and the plant room. Earlier brickwork is visible only in the south wall of the lobby to the east of a modern side entrance to the building which is contained within a wider, earlier opening (Pl. 18). This wall supports the retiring room on the first floor (see below). The remainder of the extension comprises modern fabric, as far as can be ascertained.

#### ***Proposed Alterations***

##### ***1. Removal of the WCs.***

May have archaeological implications if below ground removal of pipes is contemplated.

None of the remaining proposals for this part of the building affect the original fabric

#### **FIRST FLOOR**

The footprint of the first floor is greater than that of the ground floor with a number of rooms cantilevered over open spaces below. This storey can be divided into seven main areas, five of which are contained within the original footprint of the building: The Court Room (5), the Waiting Area (6) and the Retiring Room (7) are clearly defined entities. The interview rooms and WC along the north side of the building (8) are probably contained within part of the original building even though part of this area on the ground floor was probably open space. The clock room (9) is original but the other rooms to the south of the Waiting Area are contained within a southern extension that sits over the open alleyway below (10). The modern rear extension to the east (11) contains the staircase, and offices.

## **5. The Court Room**

At the east end were originally three windows to light the bench. This was the original rear wall of the building before the extension was constructed. One now is reduced in height with fire exit doors below. All the window frames are modern, presumably contemporary with the remodelled stair access but the panelling beneath the two surviving windows looks original (Pl. 19). The fanlight window in the south wall is original, as is the rail in front (Pl. 20). Panelling on the bench is original but the central oak lectern is possibly 1902. The remainder of the ledge is also oak. It is not clear whether it is a replacement, or a re-used piece of oak. It is covered in red leatherette and rests on modern brackets, possibly all 1958. The removal of this and the restoration of a wood finish should be considered. The panelling is assumed to be pine. The magistrates' chairs are inlaid with the Kesteven County Council Crest and marked KESTEVEN COUNTY COUNCIL and dated 1902 (Pl. 21). The Court Room chairs are also covered in red leatherette. The Court Room tables are of plain oak with green leatherette central panels.

The seats for the jury are situated on a raised dais within the blind jettied bay, behind a low rail (Pl. 19). The brickwork of the bay, which rests on cast iron brackets and projects over the passageway below, looks the same as the rest of the original brickwork and is therefore probably an original feature of the building (Pl. 22). The dais and rail look inserted.

The partition, with the two doorways at the west end of the court that separates off the waiting area dates from 1974-5. It must be assumed therefore that the panel listing the original subscribers to the new Town Hall is not *in situ* although it clearly dates to 1821 (Pl. 23). The public gallery is situated on the north side of the courtroom and overlooks the bench (Pl. 24).

### ***Proposed Alterations***

#### ***1. Removal of the jury area.***

The dais and rail look inserted and do not significantly contribute to the character of the building.

#### ***2. Installation of glazed screen, ramp and secure access door at east end of court room.***

This is in the area of the bench which is a significant feature of the building. By protecting them with a glazed screen it will be possible to use the room for other purposes whilst retaining the original features.

#### ***3. Insertion of door in north wall leading to corridor.***

This is within the area of a blind arch. There is a flue at a height of c.2m on the corridor side which presumably served a stove in the courtroom and leads to the chimney stack on the north side of the building. This should be avoided when positioning the door.

#### ***4. Removal of the secure door at the north side of the bench.***

This is a modern insertion and its removal will reinstate the former layout (Pl. 25).

#### ***5. Block the door to the retiring room.***



This is a double door and the door and architrave should be secured but not removed.

## **6. The Retiring Room**

The Retiring Room is either part of the original construction or an early addition, possibly 1845, and projects over the alley to the south of the building. Its south wall is supported on a series of blind brick arches now contained within the southern boundary wall of the passageway which leads from the High street to the open market (PIs 26-28). The windows in the west and east walls are original openings but have modern wood frames. The fireplace in the projecting chimney breast is an original feature (PI. 29). There are two entrances into the room; that from the court is original (PI. 30) but that from the stairs is an insertion and belongs to the construction of the extension, now rebuilt in 1992 (PI. 31).

### ***Proposed Alterations***

#### ***1. Block access from Court Room.***

The panelled surround and door are original features of the building and should be retained. The inner door, possibly inserted for soundproofing, is modern and should be removed to reveal and enhance the original opening.

#### ***2.. Installation of desks along the south wall***

This does not allow for the chimney breast. This should not be removed as it is an original feature. Ideally the bookcases in the alcoves to either side of the fireplace should be retained, or as a compromise, above the level of the desks. The legal books should be disposed of to a suitable library or archive

## **7. The Waiting Area**

Originally this part of the building was accessed from the doors at the top of the double stairs at the front of the building. There is a high skirting, as found in the Court Room only on the south and north walls. The ceiling is tiled, with a false ceiling providing a slightly reduced height but it rests on the cornice.

The partition with the two doorways into the court is not shown on the proposed alterations to the building of 1958 and it is thought to date from 1974-5 (PIs 23 and 32). The secure lobby has been inserted, probably in 1992, with access from the north (PI. 33). There is a further door on the north side of the waiting area providing access to the rooms along the north side of the building.

### ***Proposed Alterations***

- 1. Remove secure lobby. Replace with partitions to create two offices.***
- 2. Block door to IT room***
- 3. Block north entrance to courtroom***
- 4. Insert secure access into courtroom***

5. Block access to corridor
6. Install secure access door into existing access at north-west corner of area.

None of the work in the Waiting Area affects the original fabric of the building

### **8. North Side of the Building**

Until recently this part of the building comprised interview rooms, a secure room and stores (marked F-J on Fig.5). The 1958 survey shows that there were only two rooms, each with a fireplace, in the area occupied by these four rooms (Fig. 2). This is borne out by the surviving brick wall between Rooms F and G which contains an arch, allowing access along the corridor (Pl. 34). (The boiler room (F) is in the space behind the stair. A modern partition wall forms its south side.) There is also a second wall between Rooms H and I which originally crossed the landing but has been removed, its position marked by the change in skirting board height and a ridge beneath the carpeting. The partition between Rooms G and H straddles a chimney breast which supports a chimney with three pots (Pl. 37), one must be for the stove in the Courtroom. The partition between Rooms I/J straddles a chimney breast (Pls 35 and 36) that supports a chimney with a single pot (Pls 17 and 37) and which appears to be original although the upper courses of the stack have been rebuilt. The chimney breast would be in the way of the proposed lift.

East of Room F is the original stair which leads up to the gallery that overlooks the Bench at the east end of the courtroom (Pl. 38). There is also a hatch in the west side of the stairwell giving access to the roof (Pl. 39). The gallery itself retains the wooden benches for the public to watch court proceedings and is an important original feature of the building (Pl. 40). However, the rails at the front of the gallery are clad with hardboard which is ugly in appearance and should be removed (Pl. 41). If blocking of the gaps between the spindles is required for health and safety reasons a perspex or similar guard should be considered. The spindles have a square section and look modern but are the same date as those on the staircase. The rail is original.

The WC lies to the east of the stairs. The partition walls are inserted, but they are shown on the 1958 survey and are therefore of an earlier date than those of Rooms 1-5. It might be of 1902 date.

### ***Proposed Alterations***

#### ***1. Room I Install lift.***

The chimney breast in Rooms I/J will be in the way of the lift shaft. It supports an original chimney which should not be removed.

#### ***2. Remove partition walls between rooms F, G and H.***

The cross wall between Rooms H and I has already been removed and that between G and



H is a modern partition. The wall between Rooms F and G is still *in situ* and the proposed alterations would require its removal. The arch on the landing is one of only a few features of architectural interest in this part of the building.

### **3. Remove WC**

This has no impact on the original fabric of the building

### **4. Install platform lift/ramp at east end of corridor**

This has no impact on the original fabric of the building

## **9. The Clock Room and ladies' WC**

The ladies' WC is accessed through a door on the west side of the Waiting Area 7 (Pl. 42). In 1958 it is shown as housing the female prisoners, with an existing WC in the corner. This is an original room at the front of the building which also contains the clock mechanism. The windows, and panelling enclosing the clock-winding mechanism, are original.

### ***Proposed Alterations***

#### ***1. Insert door in east wall***

This is an original wall to the building but there is nothing of obvious architectural interest affected by the proposal.

#### ***2. Install 2 WCs to replace existing WC***

The removal of the internal partitions to create an accessible WC would be an improvement.

## **10. South Extension**

Three rooms comprising the kitchen, IT room and men's WC are accessed from the south side of the Waiting Area 7 (Pl. 42) and are contained within a 19th century first-floor brick extension to the original building cantilevered over the alleyway below (Pl. 43). The 1958 survey shows that the gents WC was installed in 1958 with a new door but the space is as exists now. Until 1959 this may have been a storeroom but no function is shown on the 1958 as existing plan (Fig. 2). Access to the IT room and kitchen beyond is inserted, replacing an opening further east along the wall (Fig. 3). These interconnecting rooms are shown as the Warder's room and Mens' cell on the 1958 proposals. The kitchen window is barred, reflecting its original function (Pl. 44).

### ***Proposed Alterations***

#### ***1. Block door on east wall of waiting area***

This is an inserted doorway dating to 1958. The door may have been reused from the blocked opening

#### ***2. Remove door to men's WC.***

This an inserted door dating to 1958.

#### ***3. Insert new access on west wall (see Section 9 above)***

Suggest reusing door to men's WC in this new location. The wall on the east side of the

mens' WC is actually brick (not as shown on the plan) This is an original wall to the building but there is nothing of obvious architectural interest affected by the proposal.

### **11. The Rear Extension**

The Extension behind the courtroom comprises the rear stairwell and offices to the east. The rooms and the stair access are contained within a recent extension which is probably a remodelling of an earlier extension, as shown on the architect's survey of 1958 (ref.)

### ***Proposed Alterations***

Remodelling of the offices and installation of a WC in the extension will not impact on the original fabric of the buildings and are not considered further here.

## **DEGREES OF SIGNIFICANCE**

The gazetteer tabulates the features of the Sessions House that are described above in more detail. The criteria used below are based on those used elsewhere to signify the relative importance of key elements within a building, especially in relation to the statement of impact. All the architectural features identified as belonging to the building are graded as 1. There are other key features which may or may not be original or may have been altered in some way, and these are generally graded 2.

### **1 Outstanding significance.**

These items will not be altered, or any irreversible changes made unless a defined and compelling need is established, with general consensus following broad consultation

### **2. Considerable Significance**

Good representative examples of an important class of monument or feature, which have particular significance through association or are major contributors to the overall significance of the site. This typically equates with Grade II in terms of Listed Buildings. There should be a presumption in favour of retention and conservation of these items except in exceptional circumstances

### **3. Moderate Significance**

Elements which show moderate cultural significance or contribute to the character and understanding of the site. In this case it should be acceptable to remove or replace these items where necessary where others of high quality are available for replacement.

### **4 No positive significance.**

Elements of the site which are individually of low value in general terms and have little or no direct significance in promoting understanding of the site. These items could be replaced as opportunities arise.

### **5 Detracts from the place.**

Items which are intrusive and detract from, or obscure, understanding of significant elements of the site. These items should be replaced as the opportunities arise.



## STATEMENT OF IMPACT

In overall terms the proposed alterations to Bourne Town Hall will have only a limited impact on the existing fabric of the building. This is because there have already been internal alterations in the past and because the current proposals are modest in scope. The original functions of the building were quite specific and there is still substantial evidence surviving for these functions, with the arches for the market and the layout of the courthouse being the most significant and obvious examples.

Works affecting the external appearance of the building consist of the replacement of a fire door with a window on the south wall of the present main office and the insertion of a fire door to replace a modern UPVC window in the interview room, on the same wall. Sympathetic use of materials and attention to the design of the new window and doors will ensure minimal impact on the original fabric of the building. Both doors and windows will be inserted into the former arches of the market which are already infilled.

The proposed bike rack, and place for parking buggies/pushchairs is more difficult to assess. The grand frontage overlooking the busy crossroads is a major landmark in the town. Clutter beneath the steps must not be allowed to accumulate and detract from the appearance of this lovely building.

Apart from the proposed installation of a lift the proposed alterations to the fabric are modest. There are specific considerations relating to the lift installation where the existence of a chimney breast is problematic and the below-ground archaeological potential must be considered. The alterations to plumbing, with the removal and re-siting of WCs, sinks and kitchens may also have archaeological implications if below ground excavations are required for new pipe runs.

The cumulative impact will be beneficial to the overall appearance of the building and the removal of modern partitions and infill will expose some of the original features of the building for the first time in many years. Care will need to be taken to preserve the small features such as the hinge pintles on the ground floor and careful positioning of cable runs, plugs and light fittings will be required to ensure that there is no damage to stonework.

*+ retain early C20  
furniture where possible*

The proposed use of the courthouse for functions should allow for minimal alteration to the room with retention of the Bench at the east end. Most important in terms of features that illustrate the past history of the building is the panel showing the original list of subscribers to the construction of the building. The public gallery is also of historic interest and could be put displayed to advantage.

**Table 1 Summary of Proposed Works, Significance and Impact**

Current use	Proposed Use	Existing elements	Significance	Proposed work	Comment/Potential Impact
<b>GROUND FLOOR</b>					
Main Office			1		
	Enquiry desk	Fire exit	5	Replace with window	Ensure window complements those already present-suggest wood frame
		false ceiling	5		Suggest replace with more sympathetic materials when budget allows
					ensure that original fittings are not disturbed ensure that new power points do not damage stone pillars
Front entrance	front entrance	entrance	1	bike stand	Attachments to original fabric should be avoided. Visual impact should be considered
		door	4	Block	
waiting area		UPVC windows	5	replace one with door	suggest replacement of other with more sympathetic material
		interview room	5	remodel and position partitions	new position for partition is an improvement
		screen to main office	5	remove screen	improvement
		counter	5	remove counter	improvement
cash office E			5	remove partition	improvement
				install lift	chimney breast in the way. impact on below ground archaeology
				toilet and sink	impact on below ground archaeology
office D			5	remove partition	improvement
store C		infill	5	remove partition	improvement
store B		infill	5	remove partition	improvement
kitchen A		infill	5	remove partition	improvement
		sink	5	remove sink	improvement, archaeological implications if below ground work undertaken



**Table 1 Summary of Proposed Works, Significance and Impact**

Current use	Proposed Use	Existing elements	Significance	Proposed work	Comment/Potential Impact
Extension		remodelled 1992	4	remove door and partition	Improvement
		remove ladies and gents wcs	4	replace with kitchenette	impact on below ground archaeology if plumbing altered
<b>FIRST FLOOR</b>					
Court	Function Room	jury area	4	remove rail and dais	
		bench	1	remove and install partially glazed screen creating corridor in place of bench, with secure access door at south end and ramp	This would remove an important feature of the courtroom. Suggest retaining bench behind the screen
		glazed baffle door to bench	5	remove	Improvement
		door to retiring room	3	block	retain door and surround in situ
		blind arch	3	insert door	avoid flue on other side of wall
		partition at west end	4	block north door	
Retiring room	Study/IT Room		2	block door to court	lock door but retain
		Chimney breast	2	desks along south wall	chimney breast not shown on plan would be in the way. Do not remove
Extension	Hotdesk area	offices	4	remove partitions, add WC	modern, no impact on historic building fabric
Waiting Area	Town council offices	door on west wall	4	block	No impact on original building fabric
		secure lobby	5	remove	improvement
				install partitions to create 2 offices	No impact on original fabric

**Table 1 Summary of Proposed Works, Significance and Impact**

Current use	Proposed Use	Existing elements	Degree of significance	Proposed work	Comment/Potential Impact
Waiting area contd		Door to courthouse	4	Install secure access to function room	No impact on original fabric
		door to photocopier room	3	block	Inserted entrance 1958 but may be an earlier. Retain for reuse elsewhere in building if possible
South extension					
kitchen	Staff area	window	2	none	former male cell, retain window
Photocopier room	Staff area		4	insert door in west wall	former warder's room, no original features present
Male WC	lobby	male WC	5	remove WC	1958
			4	remove door	installed in 1958
			3	Insert door in west wall	Original wall fabric but no great impact – suggest reuse of door currently in north wall
South front room		female WC	4	remodel to create 2 WCs	former female cell . Original features already removed
		clock mechanism	1		to be retained
North extension	steps and ramp	steps	4	add ramp	
	landing	wc	4	remove wc and partition wall	pre-1058 but not original
	stairs to gallery	stairs to gallery	1	none	important original component of the building
	PC room and library	Stores and interview room	4	remove partitions	chimney breast not shown on plan would be in the way.
	Secure room	Chimney breast	1	Install lift	Main impact will be at ground level. Chimney breast is in the way but must not be removed
	interview room	Office			chimney breast in this room not shown on plan



## **STATEMENT OF JUSTIFICATION**

The purpose of this statement is to discuss and justify the proposed alterations to Bourne Town Hall in the light of their effect on the fabric of the building.

Bourne Town Hall has always performed functions which are at the core of the community but as some of these functions have disappeared and new roles are developed so adjustments are required to the building itself. Changes to the interior will have to be made to ensure continued use of the building. In order to ensure extended public access facilities provided must comply with current legislation covering health and safety, disabled access etc.

The proposed alterations provide an opportunity to undo past alterations which were not always entirely sympathetic to the historic fabric of the building while at the same time ensuring the future life of the building, in service to the local community.

### Ground Floor

Current public access is restricted to the waiting area in front of the cash office. Removal of the partition will open up the whole area that was formerly the covered market.

Removal of the partitions from the arches along the north side will further restore the original layout. It is most important that the iron gate fittings should not be removed as they are the last vestiges of its former use.

The stores and the kitchen along the north side of the building contain no features or fittings of any historic interest and removal of the partition walls to create a single open space restores the area to its former layout.

The closure of the courts provides an opportunity to create new amenities for the public whilst at the same time opening up parts of the building previously inaccessible. Access to the first floor is not currently possible for people with impaired mobility and installation of a lift is vital. However, the current proposed position is problematic because of the chimney.

## **MITIGATION**

The proposed alterations to the original fabric of the building are modest but there are key areas which will require removal of fabric or extensive alteration. The following is proposed in order to create ensure preservation by record of the affected areas.

1. Detailed recording of the fabric of the building exposed during the alterations
2. Archaeological investigation of all below ground excavations because of the possibility of medieval and Roman remains.

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### **Acknowledgements**

LAS would like to thank Alex Brett, Graham Mountjoy and Katie Stammers (Mouchel) Claire Boswell (SKDC) and Jackie, Fiona and Nellie Jacobs (Bourne Town Council) for their assistance.

### **References**

Schmiechen James and Carls Kenneth 1999 *The British Market Hall. A Social and Architectural History* Yale University Press

[www.hereford.gov.uk/html/hfdoldtownhall](http://www.hereford.gov.uk/html/hfdoldtownhall)

[www.hiddenhorsham.co.uk/35/oldtownhall](http://www.hiddenhorsham.co.uk/35/oldtownhall)

[www.monoculartimes.co.uk/huddersfieldgem/texts/markethalls](http://www.monoculartimes.co.uk/huddersfieldgem/texts/markethalls)

### **Contents of the Site Archive**

Correspondence

Site Notes

Ground plans supplied by the client 2

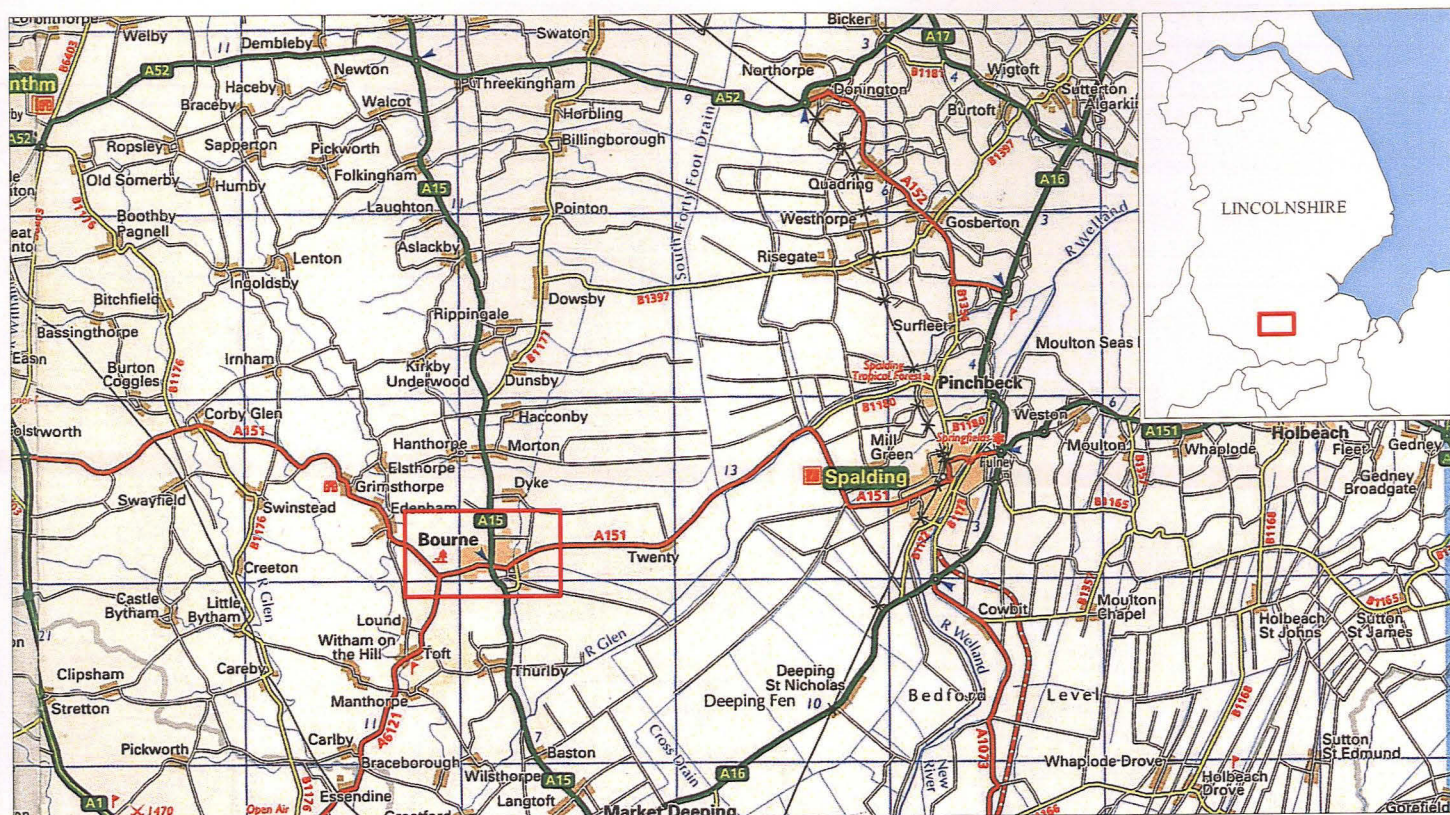
Photographs LAS digital film no. 08/97 80 images

Naomi Field  
October 2008



## THE FIGURES





Scale 1:25000



Scale 1:2500

Fig.1 Bourne, site location. Insert above based on the 1:10,000 Ordnance Survey map. Crown copyright, reproduced with the permission of the Controller of HMSO. LAS Licence no. AL 100002165.



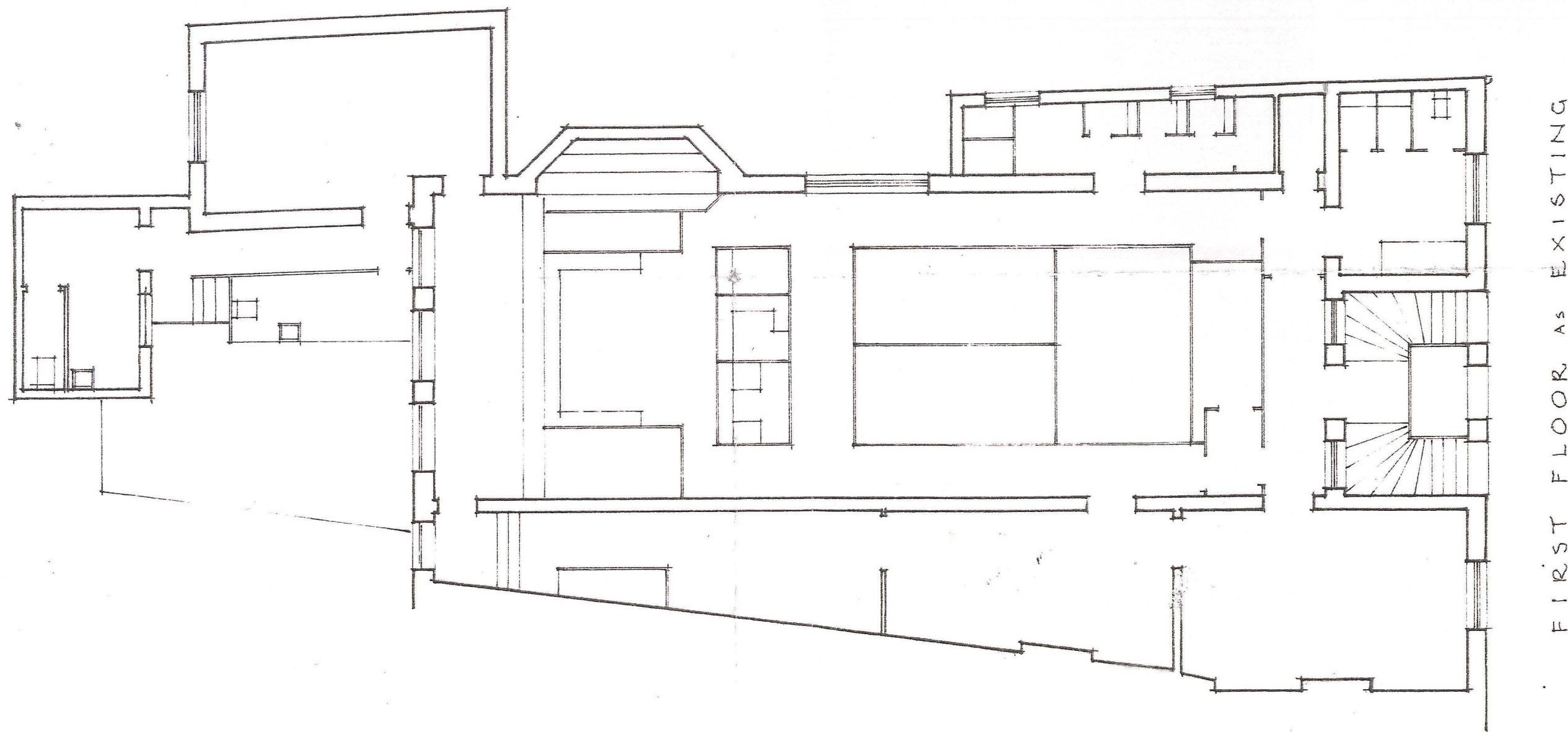
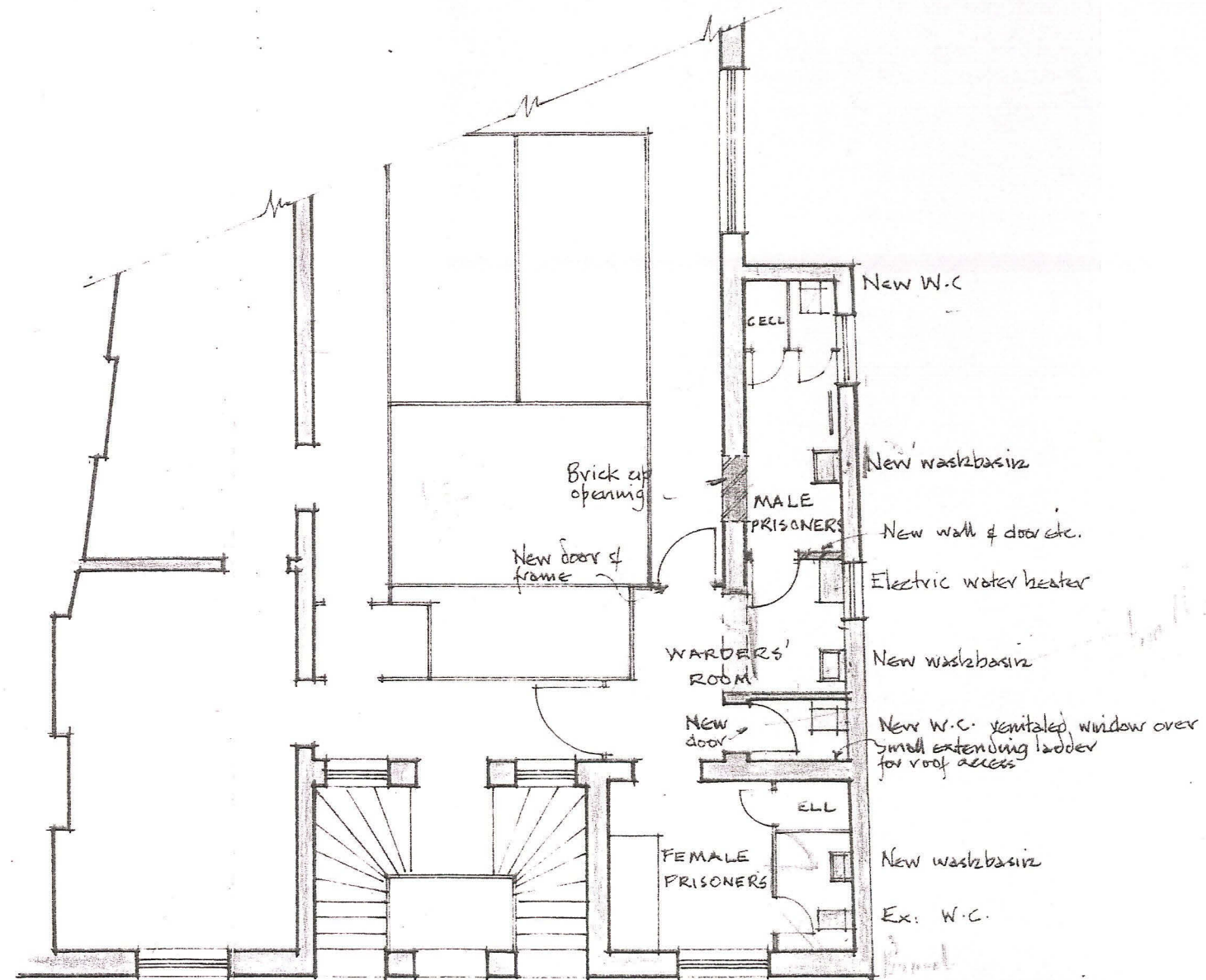


Fig. 2 Bourne Sessions House First floor plan showing layout as existed in 1958 (JWH Barnes County Architect, County Offices, Sleaford). Plan supplied by the client. Scale 1"=8' (1:96)





FIRST FLOOR AS ALTERED

Fig.3 Bourne Sessions House First floor plan showing proposed improvements in 1958 (JWH Barnes County Architect, County Offices, Sleaford). Plan supplied by the client. Scale 1"=8' (1:96)



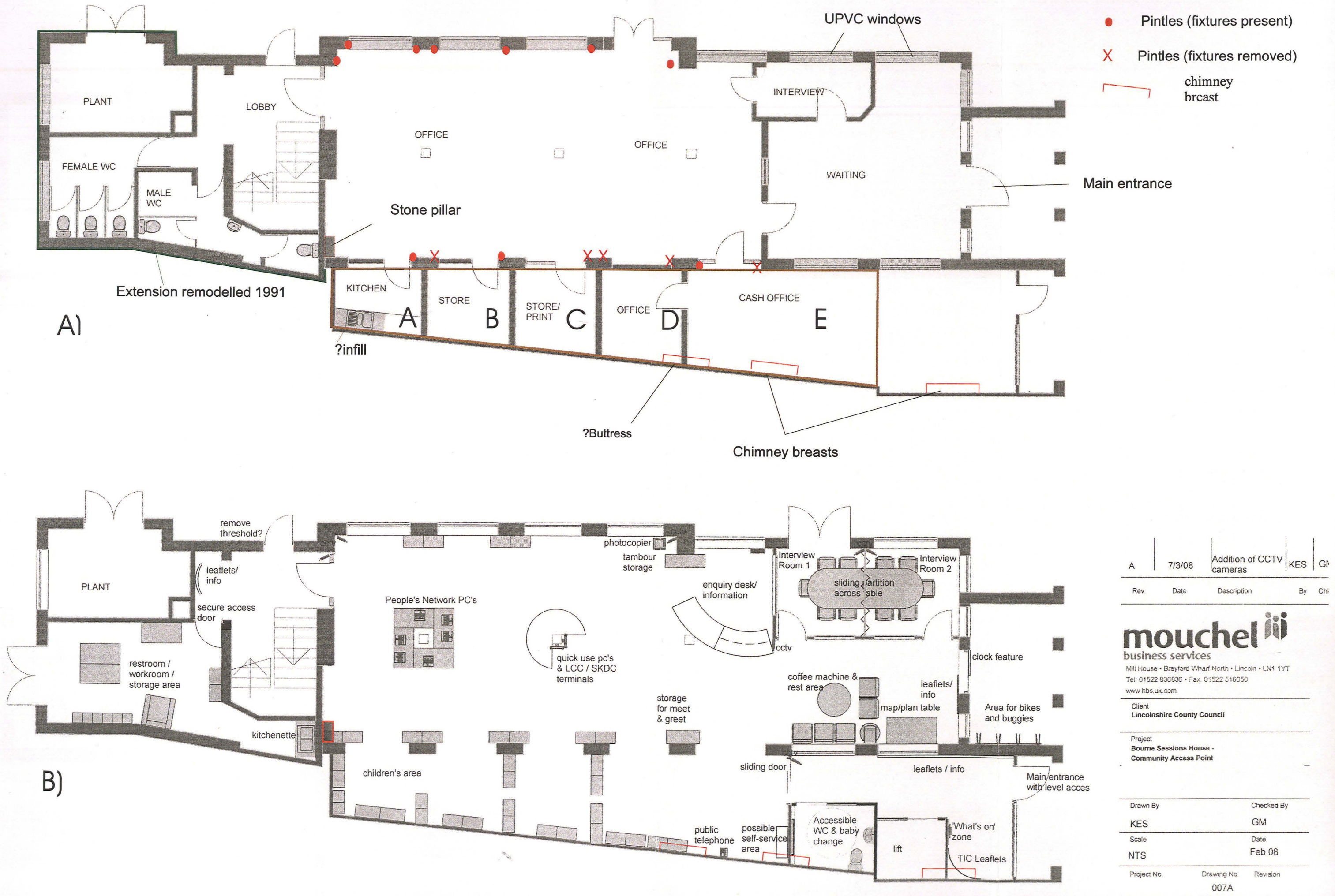
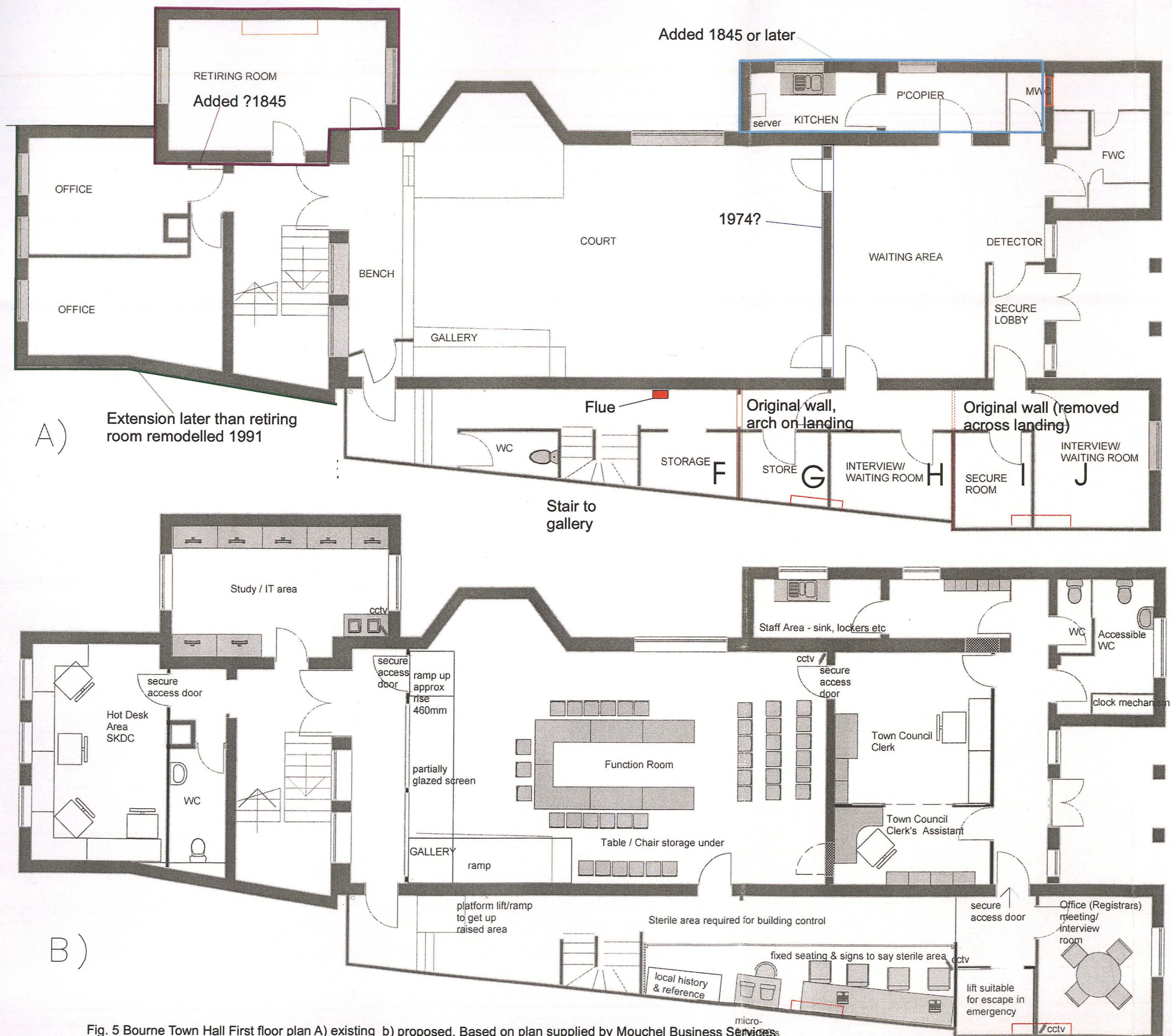


Fig. 4 Bourne Town Hall Ground floor plan A) existing b) proposed. Based on plan supplied by Mouchel Business Services

A	7/3/08	Addition of CCTV cameras	KES	GM
Rev.	Date	Description	By	Chk
<b>mouchel</b> business services Mill House • Brayford Wharf North • Lincoln • LN1 1YT Tel: 01522 836836 • Fax: 01522 516050 www.hbs.uk.com				
Client Lincolnshire County Council				
Project Bourne Sessions House - Community Access Point				
Drawn By		Checked By		
KES		GM		
Scale		Date		
NTS		Feb 08		
Project No	Drawing No	Revision		
	007A			





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Client  
Lincolnshire County Council

Project  
Bourne Sessions House -  
Community Access Point

Drawn By	Checked By
KES	GM
Scale	Date
NTS	Feb 08
Project No.	Drawing No.
	009
	Revision

Fig. 5 Bourne Town Hall First floor plan A) existing b) proposed. Based on plan supplied by Mouchel Business Services



## THE PLATES





Pl. 1 Bourne Town Hall, looking east



Pl. 2 Alley on south side of the Town Hall leading to the open market, looking east



Pl. 3 Blocked arches in south wall of covered market

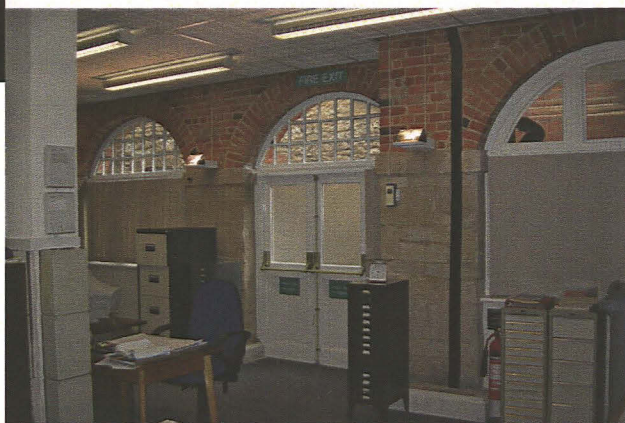


Pl. 4 The setting of Bourne Town Hall in the streetscape, looking north





Pl. 5 Main office , looking east



Pl. 6 Main office, south side showing inset bay, (right)



Pl. 7 Main office, example of stone pillar with pintle for hanging gate.

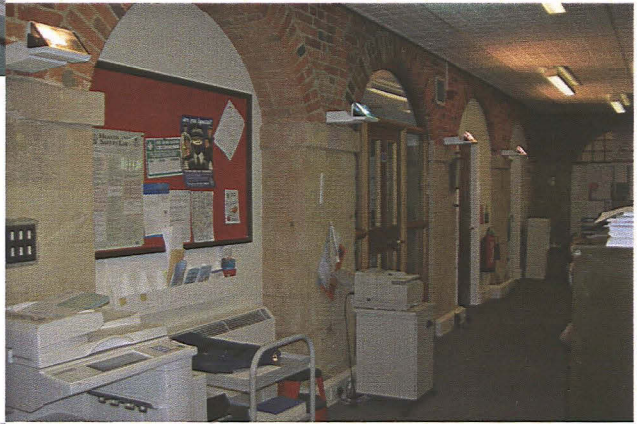


Pl. 8 Stone pillar with two hinge pintles

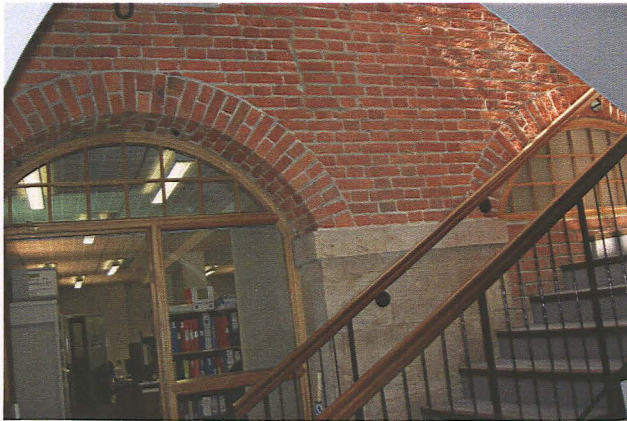




Pl. 9 Main office, inserted window in south wall



Pl. 10 Main office, north side showing blocked arches, enclosing storerooms A-D

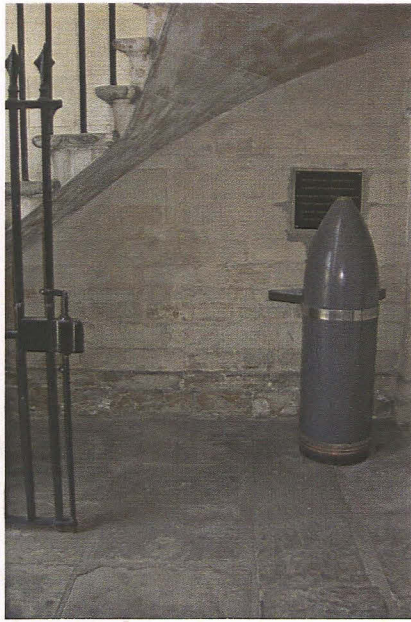


Pl. 11 Main office, door in blocked arch of east wall, viewed from the extension, looking west.



Pl. 12 Waiting Area, blocked door in west wall

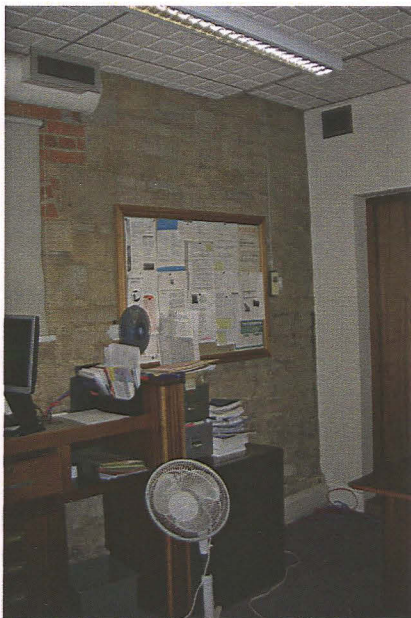




Pl. 13 Area beneath external stair at front of building showing proposed location of bicycle rack



Pl. 14 Cash office, looking east



Pl. 15 Stone wall in cash office, looking south

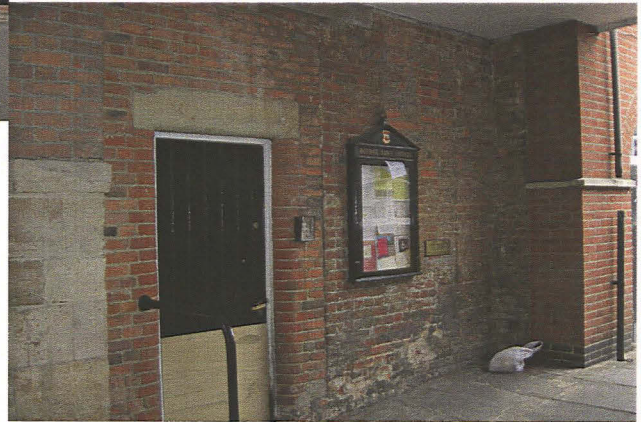


Pl. 16 Pintle on stone pillar between cash office and main office

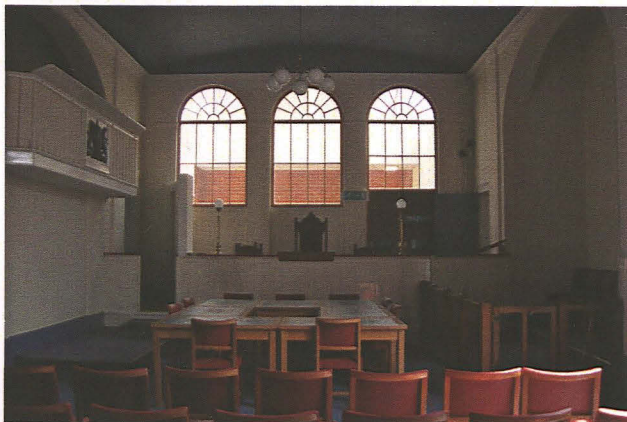




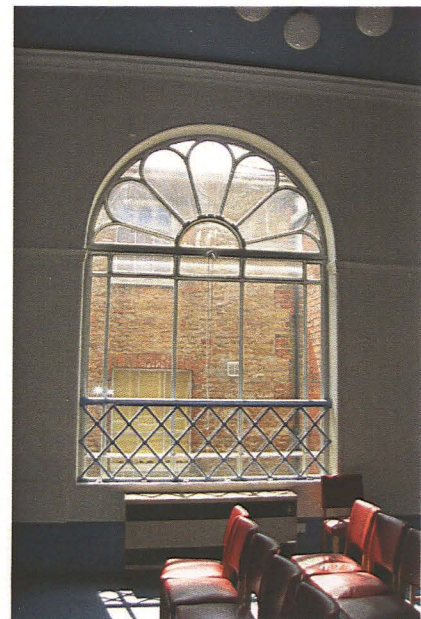
Pl. 17 Bourne Town Hall front elevation showing chimney stack



Pl. 18 Rear entrance inserted into blocked arch at rear of covered market.

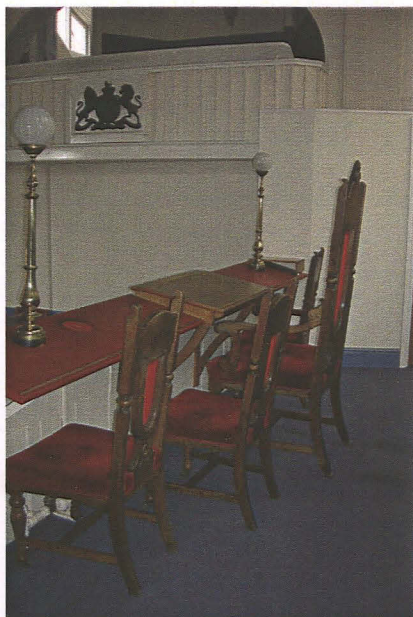


Pl. 19 The courthouse, looking east

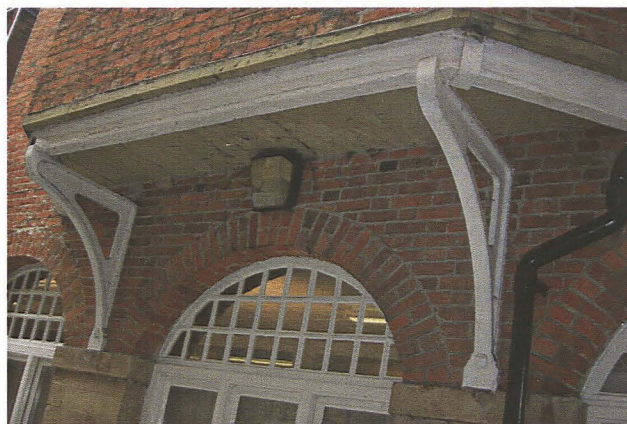


Pl. 20 The courthouse, window in east wall, looking east





Pl. 21 The bench



Pl. 22 The jettied jury area



Pl. 23 The courthouse showing the subscription board at the west end above the inserted partition



Pl. 24 The gallery on the north side of the courthouse





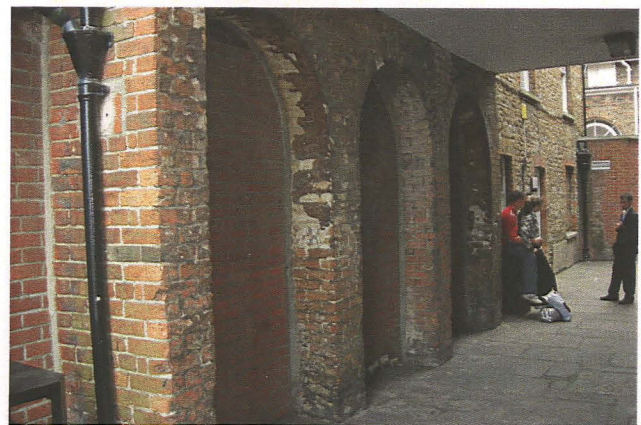
Pl. 25 Modern screen at the north side of the bench



Pl. 26 Retiring room built over the alley on the south side of the town hall, looking west

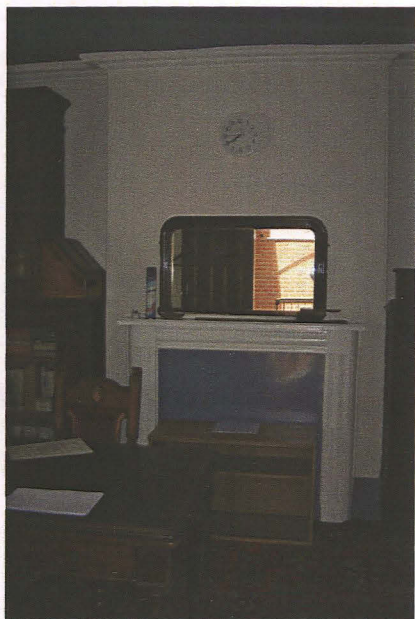


Pl. 27 Retiring room, looking east, note the rebuilt area below the window.



Pl. 28 Blocked arches below the south wall of the retiring room

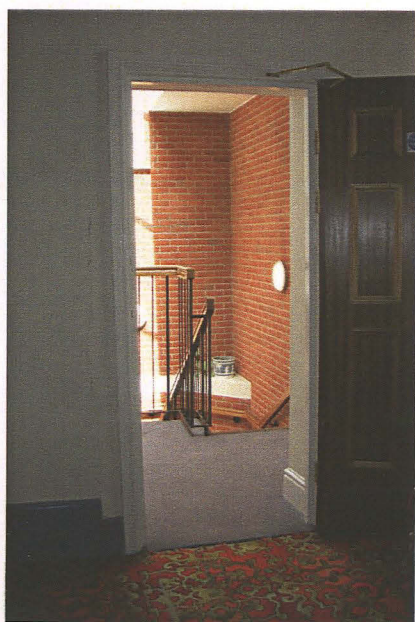




Pl. 29 Retiring room, fireplace in the south wall



Pl. 30 Retiring room, double door into the courthouse



Pl. 31 Retiring room, inserted door into the extension



Pl. 32 Waiting area showing modern partition and doors, looking east

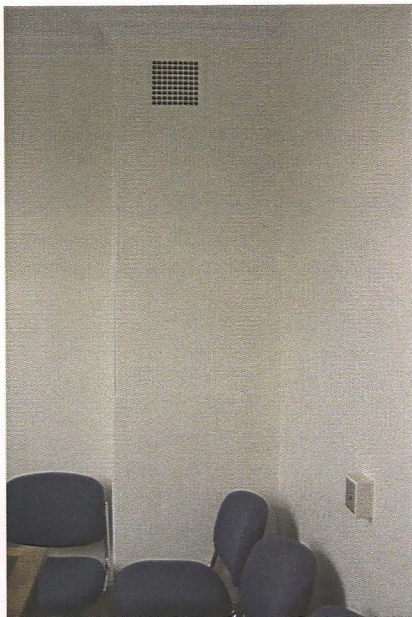




Pl. 33 Waiting area, secure lobby on west side



Pl. 34 North side of building, corridor looking east showing access through brick cross wall.

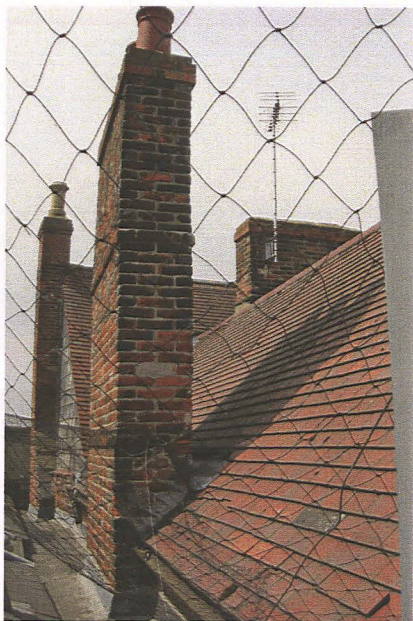


Pl. 35 Chimney breast in Room J



Pl. 36 Chimney breast in Room I

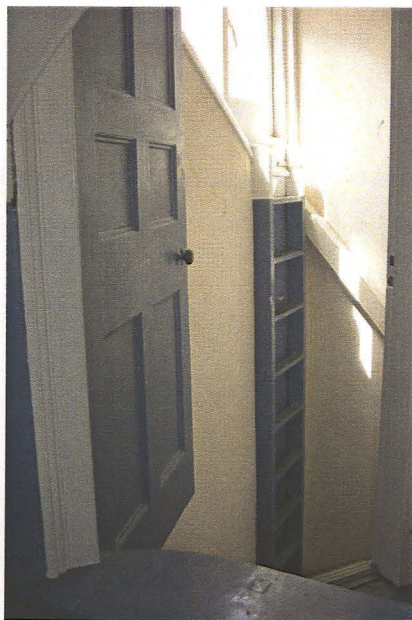




Pl. 37 Chimney stacks on roof, looking west



Pl. 38 Stair to gallery, looking west



Pl. 39 Top of gallery stair, showing wood ladder access to roof



Pl. 40 Gallery looking east

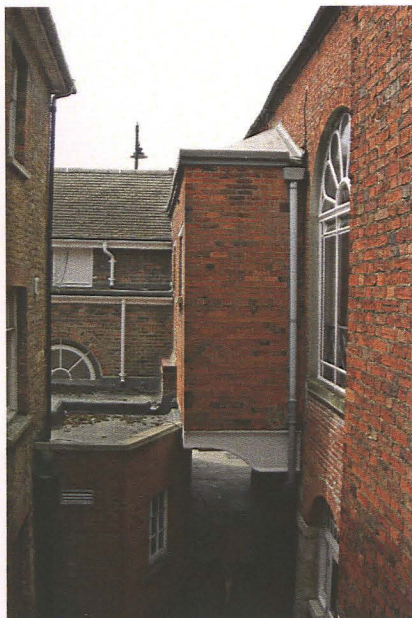




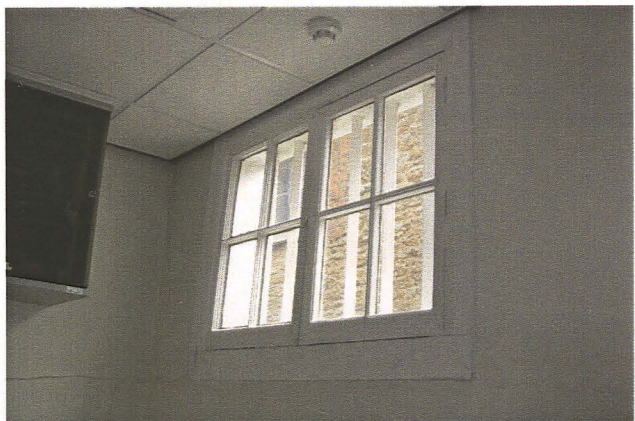
Pl. 41 Gallery showing boarded rail



Pl. 42 Access to IT room, men's WC and clock room in southwest corner of the Waiting Area



Pl. 43 South extension view from the retiring room, looking west



Pl. 44 Barred window of former men's cell in south wall of kitchen



Postbook Ref:	275527
Officer Dealing:	Mark Sarah Gundy
Date Reply Required:	
Date Replied Via:	acknowledged receipt 13/10/08
CRM Transaction No.	

