



Trewince Cottage, Portscatho, Cornwall

Historic building record and watching brief



Cornwall Archaeological Unit

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The fieldwork for the watching brief was carried out by Ryan Smith.

The Project Manager was Jo Sturgess.

The views and recommendations expressed in this report are those of Cornwall Archaeological Unit and are presented in good faith on the basis of professional judgement and on information currently available.

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Cover illustration

Trewince Cottage, south-east elevation

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Abbreviations

CAU	Cornwall Archaeological Unit
CRO	Cornwall Record Office
HER	Cornwall and the Isles of Scilly Historic Environment Record
MCO	Monument number in Cornwall HER
NGR	National Grid Reference
OD	Ordnance Datum – height above mean sea level at Newlyn
OS	Ordnance Survey

1 Summary

Cornwall Archaeological Unit was commissioned by James Morford on behalf of Paul Binney to carry out historic building recording and archaeological investigation work in advance of conservation and building work at Trewince Cottage (NGR SW 86745 33850). The cottage is a Grade II listed building which lies immediately north of Trewince Manor House (Grade II*) built in the 18th century to replace an earlier medieval or post-medieval manor house.

Trewince Cottage is likely to date from the 17th or early 18th century as it appears to predate the existing manor house constructed in c1750. A total of three major construction phases have been identified as a result of this study. It seems the building was originally purpose-built as a cottage with attached stable/animal house to the north-east during phase 1. In the late 18th or early 19th century (phase 2) the whole building underwent major remodelling including roof heightening, reorganising of layout and a change of function for at least the first floor of the north-eastern end from agricultural use to domestic use. Later alterations in the 20th century (phase 3) saw the additions of a lean-to at the south-west end and a porch on the south-east front as well as small internal changes.

This 17th to 18th century cottage with attached stable/animal house is significant in that it is one of the earliest buildings to survive at Trewince.

In 2017 the 20th century lean-to at the south-west end of the building was removed and a watching brief was carried out during the excavation of footings for a new extension. The most significant feature uncovered during these works was a large rock-cut well which had lain below the extension. It seems likely that the well dates to at least the 18th century but may have much earlier origins as a water supply for the earlier house and service buildings.

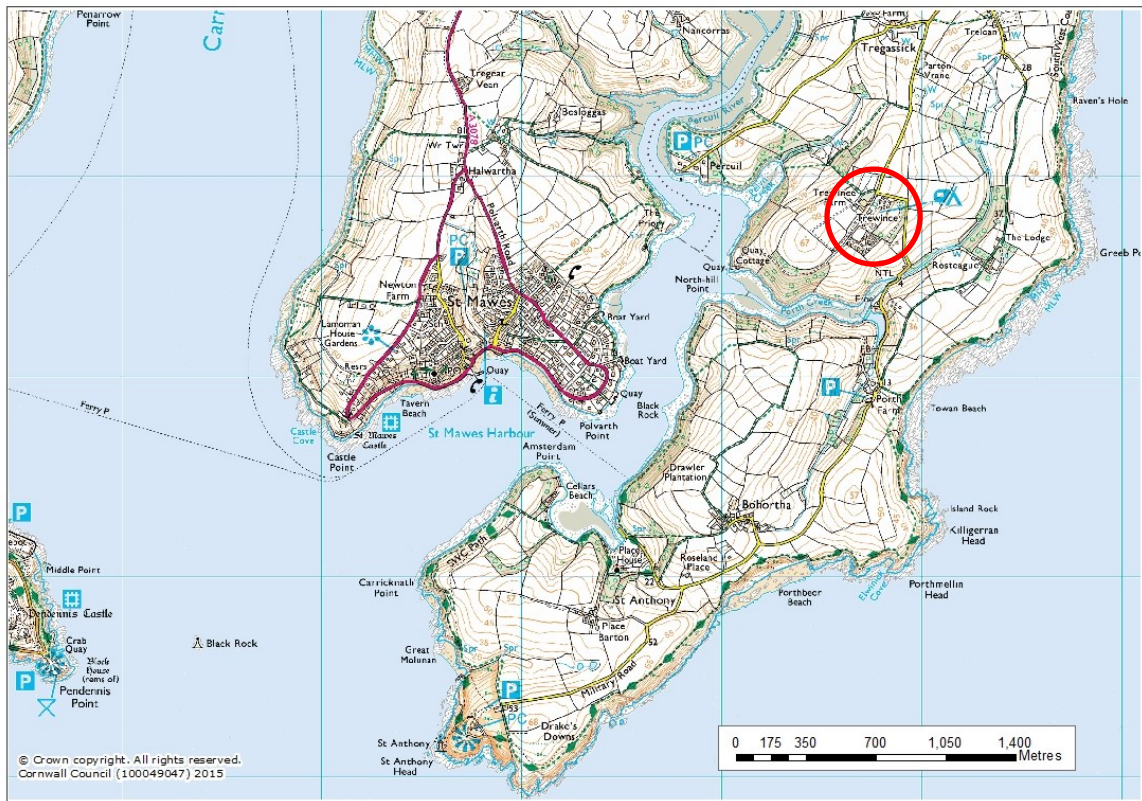


Fig 1 Location map

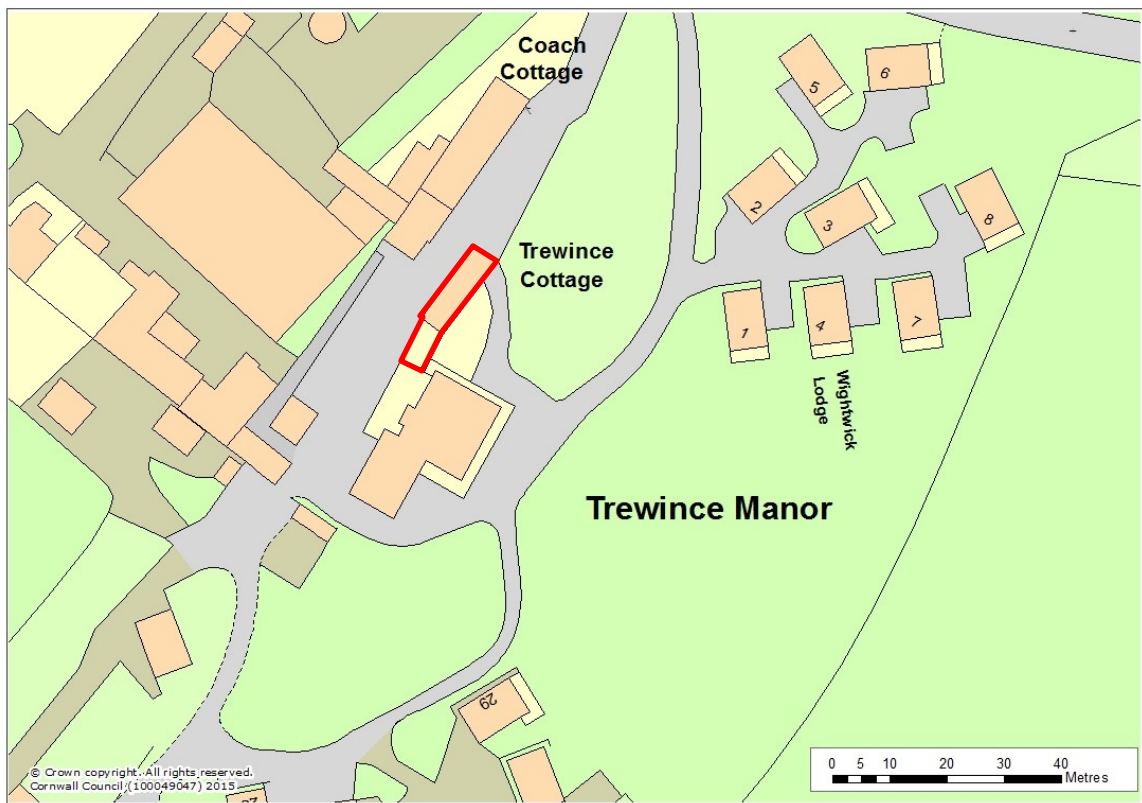


Fig 2 Site extent (highlighted in red)

2 Introduction

2.1 Project background

Trewince Cottage is a Grade II listed building located on the Roseland Peninsula to the south of the village of Gerrans within Gerrans parish at NGR SW 86745 33850. The cottage lies approximately 8m to the north of the 18th century Grade II* listed Trewince Manor (Figs 1, 2 and 6).

Trewince Cottage itself is a two storey building which is likely to date from the 17th or early 18th century. It lies at a height of 60m OD within the settlement. A planning application PA12/01323 along with a 'Historical Analysis and PPS5 Impact Assessment' was submitted by the client for the erection of an extension to the cottage and for the replacement of the porch.

Planning consent has now been given for planning application PA12/01323 by Cornwall Council. However, a condition has been placed on the application to control works which would have an impact on the significance of the cottage's historic fabric. Condition 7 states:

No development shall take place within the area to be developed until the applicant has secured the implementation of a programme of archaeological recording based on a written scheme of investigation submitted to and approved by the Local Planning Authority.

The requirements for archaeological recording during groundworks and an historic building record were set out in a brief written by Dan Ratcliffe, Historic Environment Planning Advice Office. A Written Scheme of Investigation (WSI) was prepared by Jo Sturgess, Archaeology Projects Officer (30/1/2015) in response to Dan Ratcliffe's brief, which set out the approach and methods to be employed (see Appendices 1 and 2). James Morford on behalf of Paul Binney, Trewince Manor, Portscatho commissioned Cornwall Archaeological Unit to undertake the work.

This report presents the results of the building recording undertaken.

2.2 Aims

The principal aim of the study is to gain a better understanding of the functions and historic development of the building and site. The objectives are to obtain a record of the site prior to and during renovation works.

The equivalent of a Level 2 building survey (as defined by English Heritage 2006) was produced.

The specific aims set out in the brief for the building survey are to record photographically to archive standard the:

- External elevations
- Internal elevations
- Materials, method of construction
- Architectural detailing
- Fenestration
- Internal arrangements
- Original fixtures and fittings
- Evidence of structural development and phasing.

Research questions include

- Can the date of construction be established?

- What is the original form of the fireplace?
- Has the building's plan form been altered / extended and when?

2.3 Methods

For the building recording the work comprised physical examination, and recording of features observed onto scaled architect's drawings of the standing building.

2.3.1 Desk-based assessment

During the desk-based assessment historical databases and archives were consulted in order to obtain information about the history of the site and the structures and features that were likely to survive. The main sources consulted were as follows:

- Cornwall HER
- Heritage Gateway online database
- Published histories
- Historical Analysis and PPS5 Impact Assessment
- Historic maps, including
 - Joel Gascoyne's map of Cornwall (1699)
 - Thomas Martyn's map of Cornwall (1748)
 - OS 1 inch survey (c1810)
 - parish Tithe map of Gerrans (c1841)
 - 1st and 2nd Editions of the OS 25 inch maps (c1880 and c1907)
- Modern maps

2.3.2 Fieldwork

Building recording of Trewince Cottage included the following:

- Details of exterior elevations of the walls were obtained by annotation and amendment of existing (architect's) measured elevation drawings. These details included architectural details (windows, doors, quoins and jamb stones), construction details such as changes of build, and extents of previous repairs where they could be clearly identified.
- Details of the interior rooms were obtained by annotation and amendment of existing (architect's) measured plans. These details included architectural details (windows, doors, quoins and jamb stones), panelling on walls, the presence of fireplaces, changes in construction details such as changes of build, demolition of, or the creation of doorways (or blocking of) within internal walls, and any other details where they could be clearly identified.
- A complete photographic record of the building was made. Photographs were taken with a digital camera (at a resolution of 8 million pixels or higher).
- Analysis of the building fabric was undertaken on site (recorded as notes and drawings as appropriate).

The watching brief during excavation for new footings included the following:

- Excavation of archaeological features exposed in the excavated area and plotting them onto a measured plan.
- All archaeological contexts were described to a standard format linked to a continuous numbering sequence.
- A register of photographs was maintained during the fieldwork.

- The excavated spoil was inspected for finds.

2.3.3 Post-fieldwork

All site materials were prepared for long term storage. This included:

- Finalisation of measured drawings.
- Archiving of drawings, photographs, paperwork and digital files.
- Filing of digital colour photographs and limited image editing (eg, composition, lighting) where appropriate.
- Creation of an archive report.
- Completion of the English Heritage OASIS record (online access to archaeological investigations).
- Preparation of CAU Archive Index forms.

3 Location and setting

Trewince Cottage is located approximately 8m to the north of Trewince Manor at NGR SW 86745 33850 in the parish of Gerrans (Figs 1, 2, 6 and 7). The cottage is cut into the hillside with only the upper storey exposed on the north-western side alongside the road, the full two storeys of the cottage being seen in the south-eastern elevation. The cottage lies between the 60m OD (on the north-west side) and 58m OD (on the south-east side with the ground sloping gently to the south-east.

This building is currently being renovated and in use as a dwelling.

4 Designations

Trewince Cottage is a Grade II listed building (1136292) and it lies within the curtilage of Trewince Manor which is a Grade: II* listed building. In addition, it lies within an Area of Outstanding Natural Beauty (South Coast Central: Roseland Coast to Porthpean).

The listed building description is as follows:

2 attached cottages. Early C19. Painted slatestone rubble with hipped scantle slate roof and axial brick stack. Each cottage of 1 room, double depth plan. 2 storeys. South east front has 2 window original cottage left with C20 glazed door in original opening left. 6-pane hornless sashes. Right cottage probably conversion from workshops has wide opening left with C20 3-light casement, pointed doorway right and wide window opening to first floor, possibly enlarged with C20 transomed 3-light casement. Interior not inspected. Included for group value.

5 Site history

Prehistoric activity is present within the vicinity of Trewince and is indicated by enclosures and other cropmarks which lie some 400m to the north-east of the settlement. These are likely to be Iron Age or Romano British in date (MCO50100, MCO50104, and MCO50105).

The group of four Neolithic pits referred to in The 'PPS5 Impact Assessment' (Van Sickle 2012) as being located at Trewince Farm are actually situated on the southern edge of Portscatho village some 1500m to the north east (MCO47218).

The settlement of Trewince is likely to be early medieval in date but the name is first recorded in 1381 (Gover 1948).

The OS maps of c1880 and c1909 (Figs 4 and 5) record that the present manor house lies on the site of an earlier mansion presumably dating to the medieval or early post-medieval period although the exact location and extent of this mansion is unknown (Gascoynes map of 1699, shows a large house at this location, as does Martyn's map of 1748, see Figs 7 and 8). During the 18th century the present manor house was constructed, possibly in 1750 by Stephen Johns (Polsue 1867-1873) to replace the earlier mansion (Van Sickle 2012).

Trewince Cottage is likely to have been constructed during the 18th century or earlier, and appears to pre-date the scheme which involved the rebuilding of the main house in c1750. On the Tithe map of 1841 (Fig 3) a building is shown to occupy the space between Trewince Cottage and the manor house within the area of the present yard. Parts of the walls of this building still survive including the east wall in its entirety which stylistically appears to be 18th century in date and part of the c1750s scheme. This building appears to have still been standing in c1880 (Fig 4) but had become unroofed by c1909 (Fig 5). Trewince Cottage itself appears unchanged in plan from 1841 until the present day as shown on the 1841 Tithe map (Fig 3), the 1880 OS map (Fig 4) and the c1907 OS map (Fig 5).

6 Building description

6.1 General description

The cottage is rectangular in plan measuring approximately 15.1m long by 5.2m wide externally and is aligned north-east to south-west roughly 8m to the north of Trewince Manor but on a slightly different alignment. It seems likely that the building was originally constructed as a cottage (presumably for a stable/farm manager) with an attached stable or animal house at the north end with hay loft over. The two parts of the building are separated by a chimney breast and originally there was no access internally between the two. It appears that at least the first floor of the northern end (former hay loft) was converted for domestic use during early 19th century at a time when the whole building was remodelled.

It is a two-storey building, built into a bank to the north-west with its frontage facing south-east alongside the main house. The ground floor is now divided into a bathroom, lobby, kitchen, lounge and store, with an early 19th century staircase giving access to the first floor as well as modern ladder stairs giving access to the north-east bedroom. The first floor level is divided into three bedrooms and a small landing at the top of the staircase leading up from the lounge.

The building is constructed from slatestone rubble which has been painted white on the exterior. The external walls measure approximately 0.7m in width. The original quoins are formed from slatestone rubble although later alterations and repairs have incorporated occasional granite, and rough-hewn slate blocks at the south-west, and north-east corners. Original door and window jambs are also constructed from slatestone rubble although later alterations and insertions have included brick. Original openings appear to have timber lintels although the two door openings in the northern part of the building have later inserted pointed brick arches.

The roof structure is a modern half-hipped slate roof. The entire roof was replaced in 1991 after storm damage as was the axial brick chimney stack at roof level. It appears from old photographs that the removed roof covering was also slate, but that the chimney was originally stone-built.

As a result of the current study the building is believed to be 17th or 18th century in date and probably predates the main house (c1750) since it lies in a prominent position

for a service building, it lies on a slightly different alignment to the main house and does not demonstrate that it is part of the same design scheme.

Structural evidence indicates that the building was entirely remodelled in the early 19th century when the original front door opening was converted to a window opening; a new front door opening was inserted in the location of an earlier window opening; the roof was heightened; the interior remodelled and the first floor room at the north-east end converted for domestic use.

At some time in the 20th century after the partial demolition of the adjoining building to the south-west, a small single-storey lean-to structure was added to the south-western end which now provides a bathroom and lobby.

Three main phases of construction and modification have been identified as a result of this study.

Phase 1 comprised the original two-storeyed cottage forming the south-western part of the building along with adjoining stable/animal house and hayloft located at the north-east end. This was probably constructed sometime in the 17th or early 18th century. The original stairs to the first floor of the cottage were probably located within the present kitchen.

Phase 2 occurred in the early 19th century and comprised a complete remodelling of the building. This involved insertion of a new front door opening in the location of an earlier window opening; heightening the roof to include pigeon holes in the front a rear elevations; remodelling the interior to include new internal divisions, a new staircase in the cottage end, the creation of a dairy/pantry at the south-west end, new windows and doors and conversion of the first floor room at the north-east end for domestic use.

Phase 3 spans the 20th century. After the partial demolition in the early 20th century of the service building which adjoined the cottage to the south-west a single-storey lean-to was added at this end and a door opening inserted in the original south-west wall of the cottage. The internal chimney wall was breached at first floor level to provide access from the cottage into the north-east room via inserted stairs leading from a former ground floor cupboard. Another alteration included the addition of a porch to the front door of the cottage.

6.2 Exterior south-east (Front) elevation

(See Figs 9, 10, 11, 12 and 32)

This is the front elevation of Trewince cottage. The wall of this elevation stands approximately 3.7m high at the south end, and 3.2m at the north end where the ground slopes slightly upwards.

The cottage (south-west) part of the elevation has an original blocked front door at with a phase 2 window inserted at its north-eastern end above which at first floor level is a another window opening. Both these windows are phase 2 sashes with three panes in each sash. The lack of horns on these windows suggests an early 19th century date.

To the south-west of this there were originally two window openings, one at ground floor and one at first floor. The ground floor window opening was converted to a front door opening as part of the phase 2 remodelling, and is currently the main entrance into the property. It now has a brand new concrete block-built porch replacing an earlier, probably mid to late 20th century porch in front of it. A photograph in the impact assessment (Van Sickle 2012) shows the earlier, smaller porch in front of the door. This was constructed of shillet rubble walling with a casement window, surmounted by a slate roof.

The position of the two first floor window openings suggests that they were probably dormer windows prior to the roof level being raised (in phase 2).

There is a small window opening on the ground floor to the south-west of the front door. The window is a three paned casement window and it has a timber lintel. This window provided light for a former phase 2 dairy/pantry at the south-west end of the cottage.

The original stable/animal house at the north-east end of the building has an original door opening at ground floor level. This appears to have been originally approximately 1.2m wide and 1.5m high although was altered at some point in the 19th century to a width of 0.7m and a pointed brick arch inserted to give a height of 1.8m. The doorway had a granite threshold which when lifted in the course of the current development had the fragments of a broken late 18th or early 19th century bottle beneath it. The current work has further increased the height of the door by lowering the internal floor, and dropping the threshold by some 0.5m, so the door opening is currently 2.5m high.

On the ground floor to the south-west of this door opening is a large inserted window opening. A photograph in the impact assessment (Van Sickle 2012) shows this to have once been a three light casement window with a wooden lintel in poor condition.

There is also an inserted or enlarged window opening above it at first floor level. This contains a modern three light casement window.

The area of walling between the two windows shows signs of having been rebuilt recently with shillet rubble walling pointed with cement.

There is evidence for the raising of the roof level (phase 2). This is shown by several courses of brick (at least six) some 0.5m in height running along the entire length of the building. This may have marked a transition from a thatch roof to one of slate.

At the south-western end of the cottage there is 'screening' wall 4.7m high spanning the gap between the southern end of the cottage and the manor house (see Fig 12). The south-east elevation of this wall is designed to mimic the style of the house and hide the former service building to the rear from being viewed from the garden. It is characteristically 18th century in date and is constructed from brick with a lime and earth mortar render which has been incised to create the impression of ashlar blocks and moulded to form rusticated quoins. It also contains two blind, arched doorways which may once have contained scenic paintings. The moulded quoin at the north end of this wall where it abuts the cottage stops approximately 1.5m away from the ground indicating the likely position of a former garden wall which probably screened the cottage from view. On the reverse side of the screen wall is a narrow buttress and remaining slates at the top of the wall suggest the building to the rear was a lean-to construction (Fig 18).

It is difficult to determine the build sequence between the screen wall and Trewince Cottage although it seems unlikely that a service building of this type would have been built so close to the main house and fronting the gardens as part of the c1750s scheme. In addition, the difference in alignment between the cottage and the house and screen wall indicate that the cottage is likely to have been standing before the construction of the main house.

6.3 Exterior north-east elevation

(See Figs 13 and 32)

The north-east end elevation is built into a slope with its south-east end reaching two-storeys and its north-west, roadside end reaching just below first floor level.

The original door opening giving access into the former hayloft/feed store is located in the north-western part of the elevation and has abutting granite steps leading to it. The south-east jamb of this door opening has been rebuilt and a pointed brick arch has been inserted to replace an earlier lintel as part of the phase 2 alterations when the hayloft was converted to a domestic chamber.

The north western corner of the building has been cut away to allow access for carts which were clearly once driven around this corner or pulled up alongside the door opening to unload. The upper section of the wall appears to have been rebuilt and an inserted iron tie reaching from the south-east jamb of the door opening to the south-east quoin indicates that there has been structural movement here.

6.4 Exterior north-west elevation

(See Figs 14, 15, 16 and 32)

This is the rear elevation of the building. It fronts the road into Trewince Farm. The wall of this elevation averages 2.5m in height and originally had no openings. This suggests that the cottage was not associated with the farm buildings to the north and west, since it does not face the yard. As with the front (south-east) wall, this wall too was heightened during phase 2 and now has several courses of brickwork at the top containing pigeon holes overlain by a few slate rubble courses.

Two small window openings have been inserted towards the south-west end of the elevation, probably as part of the phase 2 remodelling. One, at ground floor level provides light for the former dairy/pantry (now kitchen) and the other at first floor level gives light to the enclosed stairwell.

The north-east quoin has been cut away for vehicle access (see above) and the upper part of the south-west quoin has been rebuilt using slate and granite blocks. Abutting the south-west quoin, the later lean-to wall is constructed from slate rubble.

6.5 Exterior south-west elevation

(See Figs 17 and 32)

The south-west end elevation of the original cottage at the time of the survey was mainly obscured by a later (phase 3) single storey lean-to but the upper part of the wall was visible as slate rubble build. The lean-to had a slate roof and a concrete block built wall containing two modern windows and a modern door. This lean-to was demolished in 2017 to make way for a new, larger, south-west extension.

6.6 Ground floor interior

(See Fig 32)

Bathroom and lobby

The original external wall of the cottage at the south-west end has been breached at some point in the 20th century to insert a door opening into the lean-to structure. This small lean-to has modern wall finishes internally and no historic features evident. It is split into a lobby and bathroom.

The lean-to was removed in 2017 to make way for a new, larger extension here.

Kitchen (Figs 19 and 20)

The kitchen lies at the south-west end of the original building. It is a narrow room running the width of the cottage and separated from the lounge by a lath and plaster partition wall containing a 19th century door giving access to the lounge. It is uncertain whether this room existed as part of the original plan or if it was created during phase 2 as a dairy/pantry. It contains small window openings at either end, and the exposed first floor joists combine original hand sawn, chamfered timbers and 19th century replacement timbers.

Other areas of the kitchen are hidden behind modern furnishing and covering.

Lounge (Figs 21-25)

This room was the main kitchen and living space of the original cottage. It was originally accessed via a front door in the location of the present window in the south-

east wall at a time when the present front door opening was a window. These openings were swapped around during phase 2 when major remodelling was undertaken.

The present sash window with shutters is part of the phase 2 build dating to the late 18th or early 19th century. The present front door opening has a modern glass door replacing the removed phase 2 door.

The staircase (located in the rear southern corner of the room) also appears to have been inserted during phase 2 at a time when the newly inserted front door almost certainly would have led into a hallway and onto the stairs. The north-east partition wall of this hallway has since been removed and both the stairs and front door are open to the main living space.

The floor was covered by carpet at the time of the survey but the exposed, widely spaced joists were clearly of pre-19th century date and probably part of the original phase 1 build, having plain chamfered edges. The exposed floorboards of the first floor appear to be later and are either of 19th or 20th century date.

The north-west wall of the room contains a substantial chimney breast. The original fireplace opening is not visible and a small cast iron range has been inserted as part of the current works. Also as part of the current works the slate rubble walling to the south-east of the chimney breast, where there was once a cupboard space, has been breached to create a new door opening into the store. Within the former cupboard space an inserted 20th century staircase has been removed as part of the works which previously gave access to the north-western bedroom.

Store (Figs 25 and 26)

As part of the current works the existing floor of this room has been removed and excavated down by a depth of approximately 0.5m and a new concrete floor laid. During this work the current tenant retrieved glass bottle fragments dating to the 18th or early 19th century.

The walls of this room are rendered with a cement based mortar. In the front, south-east wall the original door opening has been narrowed during phase 2 and a phase 2 pointed brick arch replaces the earlier lintel. To the south-west of the door opening there is an enlarged or inserted window opening.

There are indications that the first floor structure has been raised and the present exposed, plain joists are probably 19th century in date.

6.7 First floor interior

(See Fig 32)

The interior of the first floor was entirely restructured when the roof was heightened during phase 2. Half hipped ceilings were inserted along with new partition walls.

South-west bedroom (Fig 27)

This bedroom is accessed via a door in a plank and muntin panel wall which separates the staircase from the both this bedroom and the central bedroom. Another plank and muntin partition wall separates this bedroom from the central bedroom and they are all part of the phase 2 design. The splayed window opening has been heightened to take the present phase 2 sash and this may have replaced an earlier dormer window.

Central bedroom (Fig 28)

The central bedroom is accessed from the stairs via a door in the south-west timber partition wall. As with the window opening in the south-west bedroom, the window opening in the front wall of this room has also been heightened during phase 2 to take the present sash.

The north-east wall is formed by the chimney breast. In the north corner a brick fireplace has been inserted, probably during phase 2, although another blocked

fireplace may exist elsewhere in the wall. In the south corner a former cupboard has been removed and the wall dividing the cottage from the former hayloft/feed store has been breached and boarded over, probably at some point in the 20th century during phase 3.

North-east bedroom above store (Figs 29-31)

This room was originally a hayloft or feed store which appears to have been converted into domestic quarters during the phase 2 remodelling in the late 18th or early 19th century. It is possible that the room was then used as a gatehouse for a period.

The original access is via an external door opening in the north-east wall (currently disused). This door opening was altered during the phase 2 remodel when a pointed brick arch was inserted to replace an earlier lintel. Also as part of the phase 2 works the wide window opening in the south-east wall was altered and heightened. This now contains a 20th century three light transomed casement window.

The room has been dry-lined with vertically set planks in the 20th century. Along the rear (north-west) wall where some of the dry lining is missing it has exposed a section of the earlier wall face which retains areas of decorative early wallpaper. This paper depicts military figures in a geometric design and is likely to date to the late 19th century. It is probably what is known as a 'sanitary' paper. Sanitary papers were designed to be washable so they were printed with water-resistant oil based pigments (rather than the water-soluble pigments commonly used for printing wallpaper at the time). They were often varnished, and as the varnish ages it turns yellow. The yellow nature of the wallpaper here suggests that it has been varnished (Gill Saunders pers. comm.) (Figs 29 and 30).

The south-east wall which contains the chimney breast has been obscured by sheets of ply-board, but this wall may contain a blocked fireplace inserted as part of the phase 2 remodelling. At the south-east end of the chimney breast the wall has been breached during the 20th century when a door opening was inserted and a staircase to give access from the lounge below.

7 Watching Brief

At the south-west end of the cottage the c1960s lean-to extension was demolished to make way for a new larger extension here (Fig 33). On 22/2/2017 the excavation for the footings of the new extension was carried within the south-west courtyard and area of the former 1960s extension (Figs 33 and 34). This was monitored by an archaeologist and all features uncovered were recorded. The excavated area measured approximately 4.26m north-east, south-west by 4.1m north-west, south-east in plan and lay at a level of approximately 1.1m below the road immediately to the north-west. Part of the former courtyard to the south-west remained untouched.

A building is shown occupying the whole of this area on the Tithe map of c1840 (Fig 3) and also on the c1880 OS map (Fig 4). By c1909 this building had been demolished and two small, square structures are shown replacing it in the north-east and south-east corners of the area (see Fig 5).

After the removal of a concrete floor within the area of the old extension and the removal of a modern slate and cement mortar yard surface (0.07m thick) a small, sub-square area of cobbles measuring 1.2m by 1m were revealed along the south-west edge of the site. The cobbles were set within a thin topsoil layer 0.08m deep and appeared fairly recent in character. Below this the natural shillet bedrock was encountered.

In the north-east corner of the site, within the eastern end of the old extension a substantial well was uncovered (Fig 35). This large well was capped with a thick reinforced concrete slab which was left *in situ*, although three small inspection holes were cut through it to view the well below. From what could be seen the well was sub-ovoid or rectangular in plan and measured 1.5m north-west, south-east by 1.85m

north-east, south-west by at least 9.2m deep. It was still filled with water and had been cut through the shillet bedrock. The upper parts of the well sides had a stone-built lining, but further down the sides were simply rock-cut. Photographs did reveal some brick-filled areas in the sides where later iron pipes (either 19th or 20th century) had been inserted to pump the water presumably to both the house and cottage. The concrete capping had metal rods supporting it from below and measured 1.8m by 1.4m. Above it there was another layer of concrete which had also been reinforced.

Excavation of the foundation trenches for the new extension revealed that the natural shillet bedrock was present immediately below the modern floor and yard surfaces.

The retaining bank adjacent to the road was also partially removed, along with the granite steps (which will be reinstated), this revealed natural shillet above the level of the courtyard indicating that the former building here (like the cottage) had been cut into the north-west slope and the area excavated down to a level of at least 0.7m below the road. In the south-east corner of the excavated area a possible pipe trench was noted leading towards the well.

No finds were recovered during the watching brief.

8 Conclusions

The results of this study have brought together a brief historic background for the building and established the major phases of construction. This 17th or 18th century cottage with attached stable/animal house is significant in that it is one of the earliest buildings to survive at Trewince and almost certainly pre-dates the c1750 house. It is a Grade II listed building associated with the Grade II* listed house.

Within the building three major phases of construction have been identified. Phase 1 represents the initial construction of the building as a cottage with attached stable/animal house with hayloft/feed store over. Phase 2, undertaken in the late 18th or early 19th century, involved the extensive remodelling of the building increasing its height, replacing and altering window and door openings and a complete redesign of the interior layout. Phase 3 covers all alterations made during the 20th century including the addition of the present lean-to at the south-west end and the recently demolished porch against the front door.

A large well uncovered during the watching brief, which is located below the floor of the south-west extension, is likely to date to at least the 18th century, if not earlier, and to have supplied water both to the cottage and service buildings, and to the main house.

9 Recommendations

Further recording should be undertaken during any future repairs or alterations. It is recommended that advice is taken from the Senior Development Officer (Historic Environment) regarding the retention of the 19th century wallpaper that survives in the north-east bedroom. As an important part of the listed building, it is recommended that the wallpaper is not removed. In addition, any other phase 1 or 2 features should also be retained.

10 References

10.1 Primary sources

Ordnance Survey, c1880. 25 Inch Map First Edition (licensed digital copy at CAU)

Ordnance Survey, c1907. 25 Inch Map Second Edition (licensed digital copy at CAU)

Ordnance Survey, 2007. Mastermap Digital Mapping

Tithe Map and Apportionment, 1841. *Parish of Gerrans* (licensed digital copy at CRO)

Gascoyne's 1699 Map of Cornwall

Martyn's 1748 Map of Cornwall

10.2 Publications

Gover, JEB, 1948. *Place-Names of Cornwall* (manuscript at RCM, Truro).

Polsue, J, 1867-1873. *Lake's Parochial History of Cornwall* Facsimile reprint 1974 by EP Publishing and Cornwall County Library.

Van Sickle, WHH, 2012. *The Cottage at Trewince Manor Gerrans, Cornwall: Historical Analysis and PPS5 Impact Assessment*. Basingstoke.

10.3 Websites

<http://www.heritagegateway.org.uk/gateway/English> Heritage's online database of Sites and Monuments Records, and Listed Buildings

11 Project archive

The CAU project number is **146462**

The project's documentary, digital, photographic and drawn archive is maintained by Cornwall Archaeological Unit, Cornwall Council, Fal Building, County Hall, Treyew Road, Truro, TR1 3AY.

English Heritage/ADS OASIS online reference: cornwall2-205893



Fig 3 Tithe Map for the parish of Gerrans, 1841. Trewince Cottage circled in red.

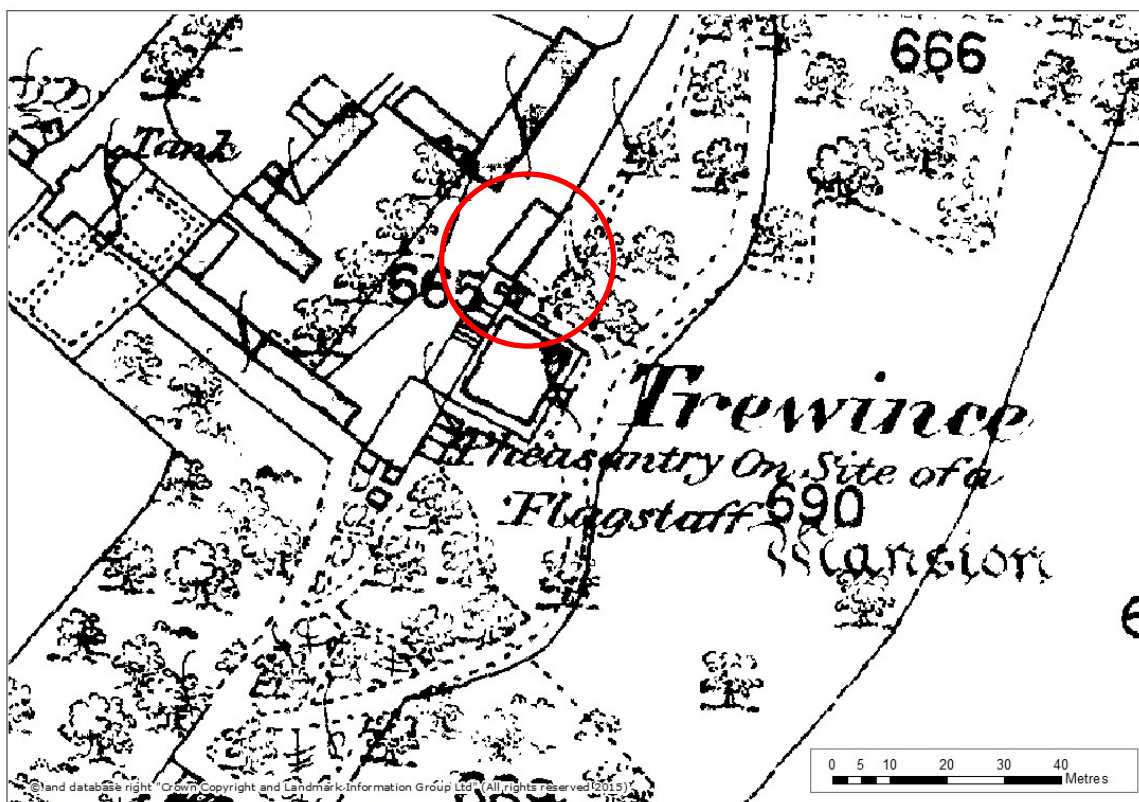


Fig 4 First Edition of the Ordnance Survey 25 Inch Map, 1880. Trewince Cottage circled in red.

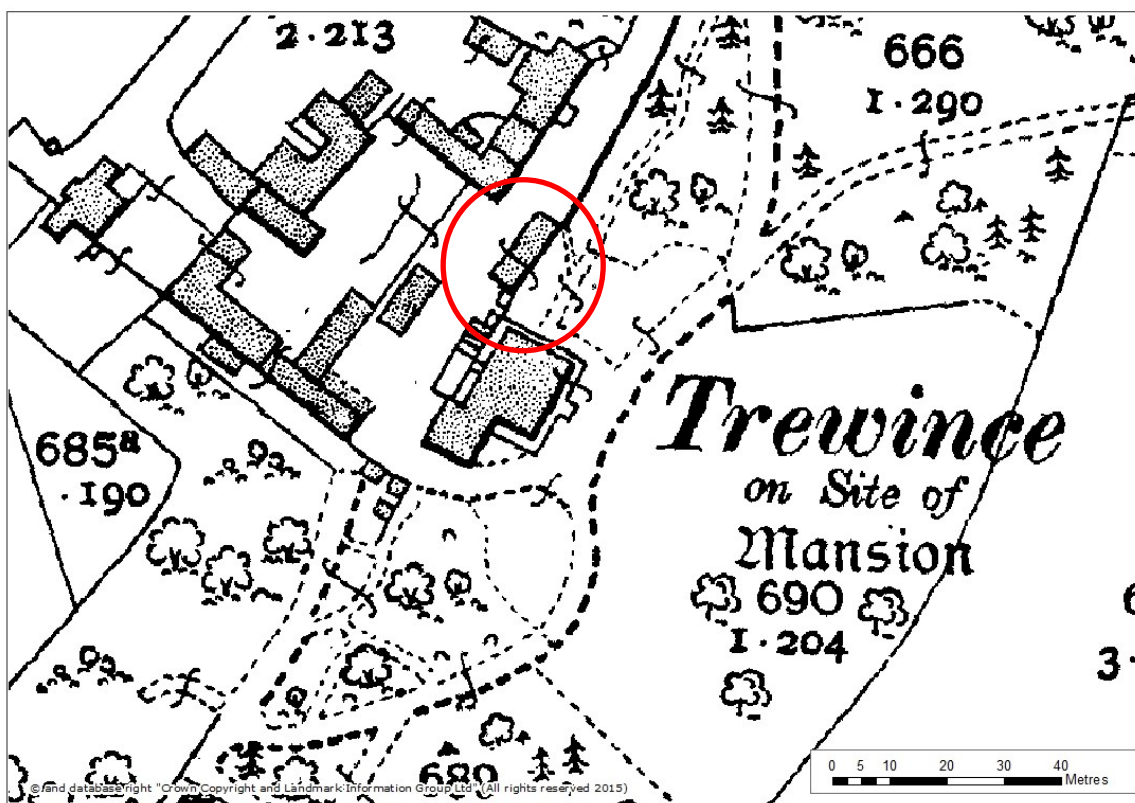


Fig 5 Second Edition of the Ordnance Survey 25 Inch Map, 1909. Trewince Cottage circled in red.



Fig 6 Aerial photograph (2005). Trewince Cottage circled in red.

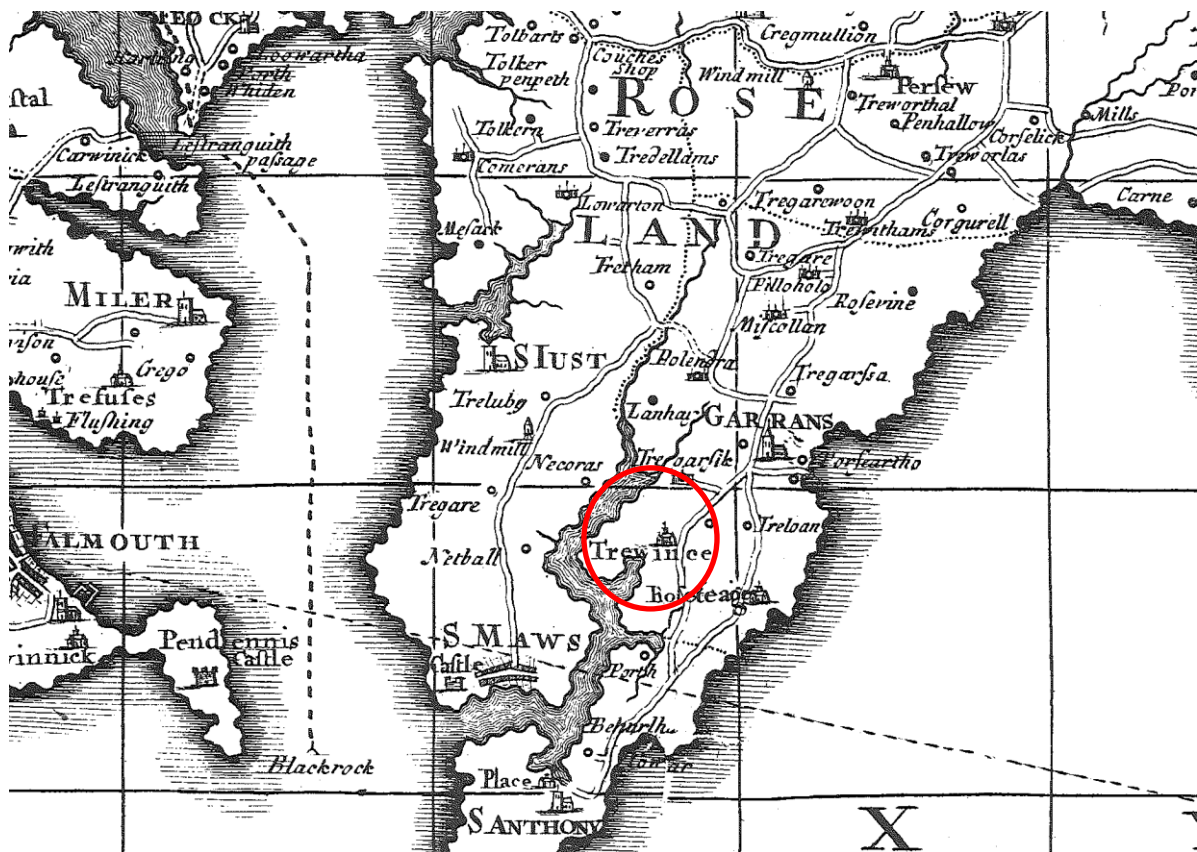


Fig 7 Gascoyne's 1699 Map of Cornwall showing Trewince House (circled in red).

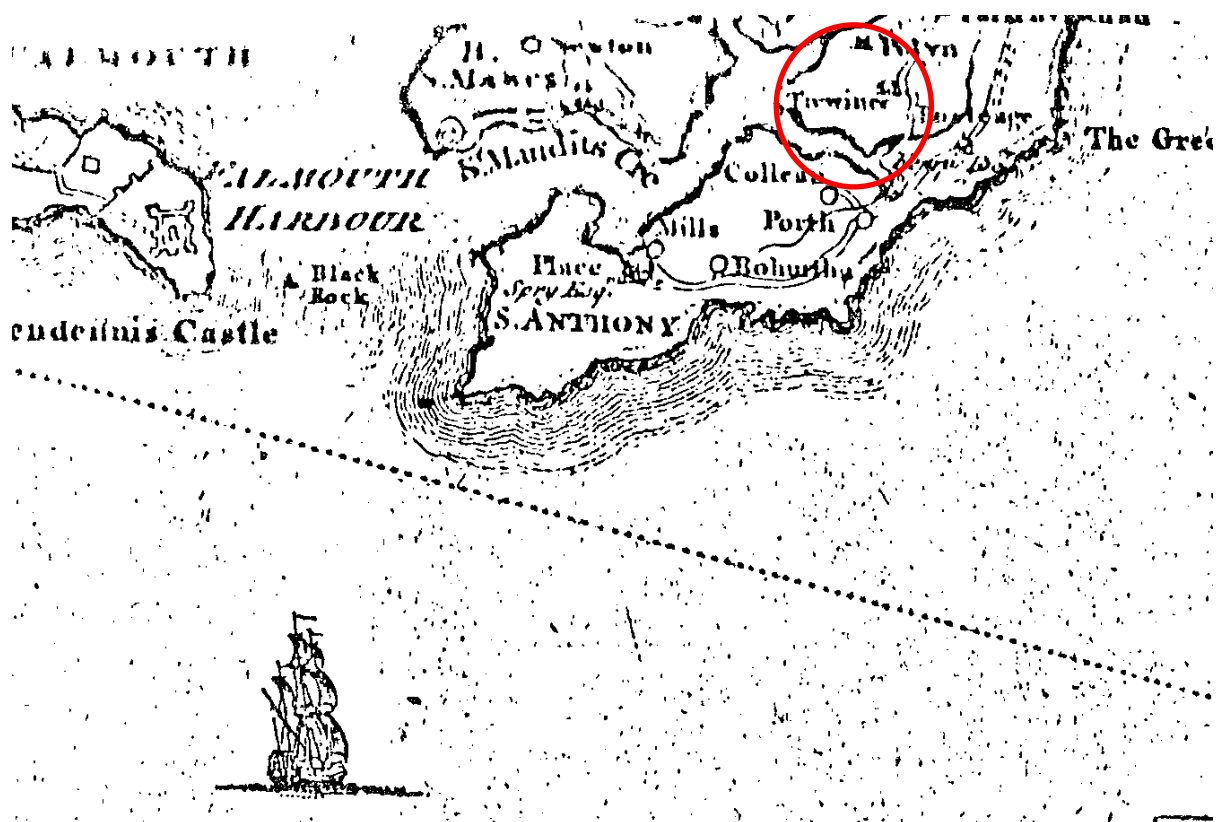


Fig 8 Martyn's 1748 map showing the settlement of Trewince (circled in red).



Fig 9 Exterior south-east elevation.



Fig 10 Exterior south-east elevation, detail of northern end.



Fig 11 Exterior south-east elevation, detail of south end.



Fig 12 Exterior south-east elevation of adjoining screen wall to the south-west.



Fig 13 Exterior north-east elevation.



Fig 14 Exterior north-west elevation looking north-east.



Fig 15 Exterior north-west elevation detail of south half (cottage).



Fig 16 Exterior north-west elevation detail of north half showing pigeon holes.



Fig 17 Exterior south-west elevation.



Fig 18 Exterior yard to south-west showing walls of former building.



Fig 19 Taken from lobby looking north-east through kitchen to lounge.



Fig 20 Kitchen (former dairy/pantry) looking south-east.



Fig 21 Lounge looking south showing front door (former window) and chamfered joists.



Fig 22 Phase 2 window in south-east wall of lounge inserted in original front door opening.



Fig 23 Lounge looking west showing phase 2 staircase and door to kitchen (phase 2 dairy/pantry).



Fig 24 Newly inserted range in lounge fireplace.



Fig 25 Newly inserted stairs breaching the chimney cupboard wall between the lounge and store.



Fig 26 Store looking south-west showing newly breached opening in chimney wall with inserted steps and reduced floor level.



Fig 27 southern bedroom looking north-east showing phase 2 plank and muntin partition wall to central bedroom.



Fig 28 Central bedroom looking south-east showing area of removed cupboard to south-east of chimney breast.



Fig 29 Northern bedroom looking west showing area of exposed probable early 19th century painted wall plaster overlain with 20th century planked panelling.



Fig 30 Detail of painted plaster showing bosses and cartouches with figures.



Fig 31 Northern bedroom looking south-east with widened 20th century window.

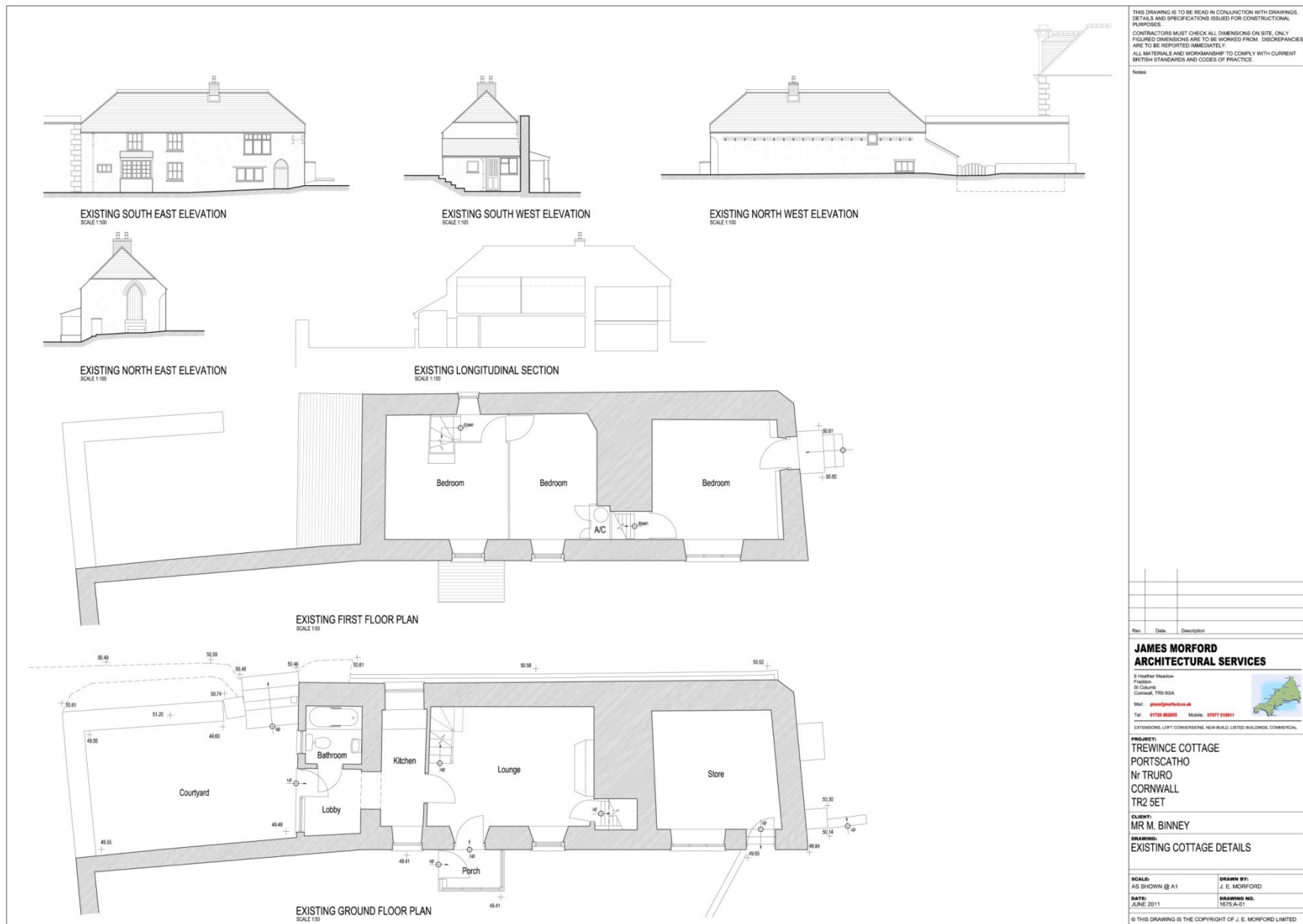


Fig 32 Elevations and plans of the existing building.

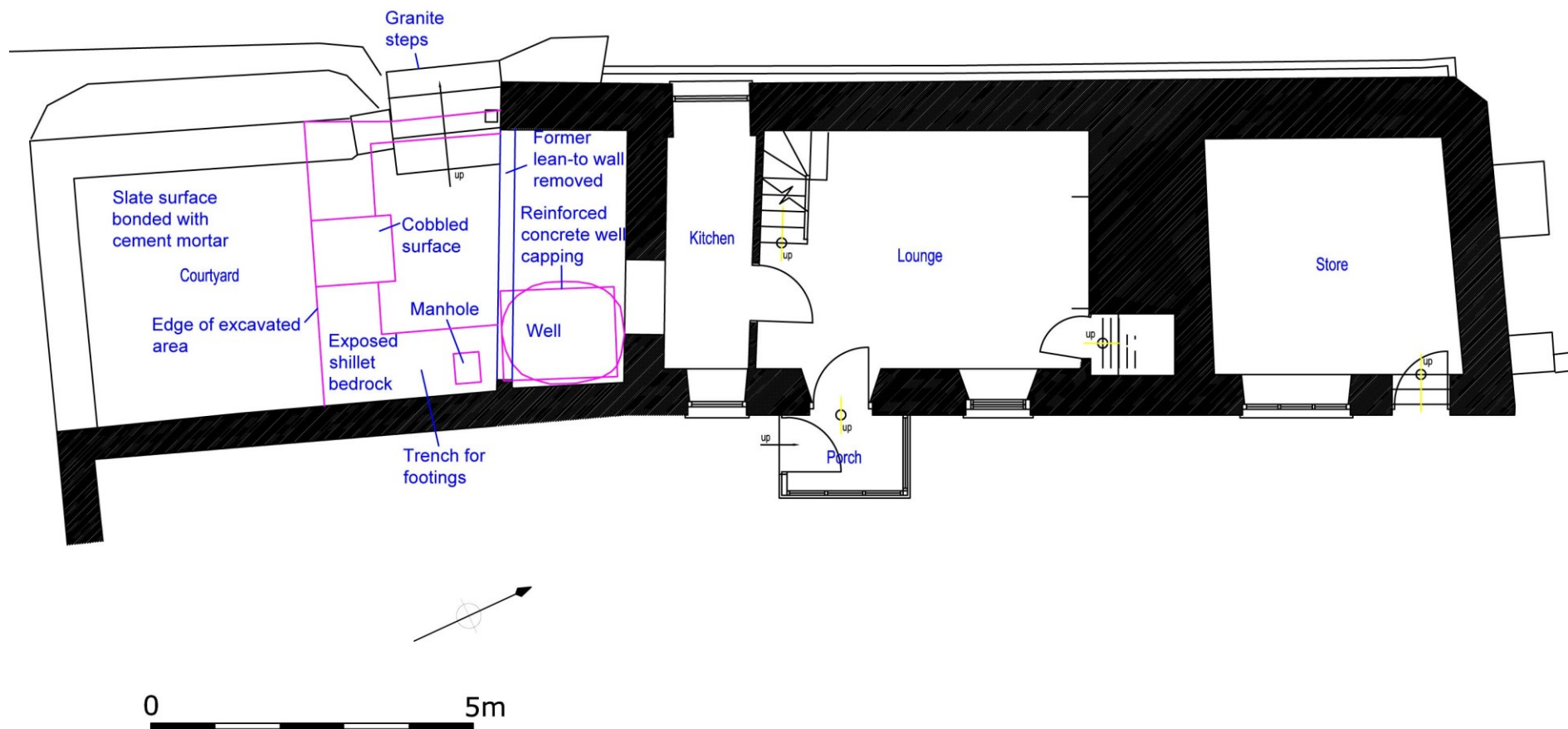


Fig 33 Plan of watching brief area.



Fig 34 Watching brief area looking east.



Fig 35 Well capping looking north-east.

12 Appendix 1: Brief

BRIEF FOR BUILDING AND ARCHAEOLOGICAL RECORDING

Address: Trewince Cottage, Gerrans CP, Cornwall

Date: Trewince Cottage, Portscatho, Truro, Cornwall, TR2 5ET

Applicant:

Agent:

Historic Environment Planning Advice Officer: Dan Ratcliffe, Address. Cornwall Council, Historic Environment Service, Kennall Building, Old County Hall, Truro, TR1 3AY

Local Planning Authority Officer:

This brief is only valid for six months. After this period the Historic Environment Planning Advice Officer should be contacted. Any written scheme of investigation (WSI) resulting from this brief shall only be considered for the same period. The contractor is strongly advised to visit the site before completing their WSI as there may be implications for accurately costing the project.

Contractors Written Scheme of Investigation

No ground works are to be undertaken until the Historic Environment Planning Advice Officer and the Local Planning Authority has approved the contractor's written scheme of investigation.

1. Introduction

This brief has been written by the Historic Environment Planning Advice officer. It sets out the minimum requirements for building and archaeological recording at the above site to discharge condition 7 placed on the development.

2. Site Location and Description

Trewince Cottage (GII) lies to the north of the Georgian GII* Trewince Manor, on the Roseland Pensinsular to the south of Gerrans. It is a two storey building comprising cottage and store. This application is for the erection of an extension.

3. Planning Background

Planning application PA12/01323 was submitted on the 11th February. Application PA12/01323 was for the "the erection of extension and replacement porch" This application has been approved subject to 8 conditions. Condition 7 states: "No development shall take place within the area to be developed until the applicant has secured the implementation of a programme of archaeological recording based on a written scheme of investigation submitted to and approved by the Local Planning Authority."

The applicant, their agents and any subcontractors should note that where there are other conditions requiring satisfaction in advance of the commencement of works on site; it is the responsibility of the applicant to liaise with the planning officer concerned to ensure that the timetabling of these works is managed .

4. Historic Building/Structure Background

The listing description of the building is as follows.

SW 83 SE GERRANS

5/25 Cottages at approx 8 m north of

- Trewince House

GV II

2 attached cottages. Early C19. Painted slatestone rubble with hipped scantle slate roof and axial brick stack. Each cottage of 1 room, double depth plan. 2 storeys. South east front has 2 window original cottage left with C20 glazed door in original opening left. 6-pane hornless sashes. Right cottage probably conversion from workshops has wide opening left with C20 3-light casement, pointed doorway right and wide window opening to first floor, possibly enlarged with C20 transomed 3-light casement.

Interior not inspected. Included for group value.

Listing NGR: SW8674733854

The applicant's 'Historical Analysis and PPS5 Impact Assessment' submitted alongside the application considers that contrary to the Listing description there is no evidence for the current building having been two cottages of double depth. In fact the plans suggest a single two storey cottage of single depth which may have been extended to the north to form a store at ground level and extra living accommodation above. However this interpretation is fairly speculative and this recording exercise should attempt to clarify the building sequence.

Historic maps, particularly the Tithe Map of 1841 suggests that a building of similar dimensions previously existed between this building and Trewince Manor on a similar footprint to that of the planned extension.

5. Archaeological Background

The 'PPS5 Impact Assessment' notes that "Trewince Manor lies in part of the longest settled area of England, with Iron Age or Romano-British remains nearby, and an important Neolithic site discovered in 2003 at Trewince Farm. The estate itself was first recorded by name in 1381, and has been continually occupied since that date." (Van Sickle 2012, 4). The HER does not record the Trewince Farm Neolithic site and it is assumed that this unreferenced fact is based on local orally supplied information. There are recorded 'crop-marks' of enclosures and pits 300m NE of the site which would support an interpretation of a late prehistoric to RB date and the 1381 documentary evidence of the placename is also recorded on the HER.

The development history of the site means that it is unlikely that groundworks for the extension will disturb significant stratified prehistoric deposits although they are likely to disturb foundations of the buildings shown on the 1841 mapping and may contain datable evidence for the medieval – postmedieval evolution of the Trewince Manor site.

6. Requirement for work

6.1 Building Recording

The site specific aims are to record photographically to archive standard the:

- External elevations
- Internal elevations
- Materials, method of construction
- Architectural detailing
- Fenestration
- Internal arrangements
- Original fixtures and fittings
- Evidence of structural development and phasing.

Research questions include

- Can the date of construction be established?
- What is the original form of the fireplace?
- Has the building's plan form been altered / extended and when?

6.2 Archaeological Recording

Ground works may disturb buried archaeological remains. It is therefore important that a suitably qualified archaeologist(s) is present during the ground works in order to identify and record any features of interest.

The general site specific aims are:

- To establish the presence/absence of archaeological remains
- To determine the extent, condition, nature, character, date and significance of any archaeological remains encountered
- To record any archaeological remains
- To identify any artefacts relating to the occupation of the site

Research questions include

- What were the dates of construction and demolition of the building on the site of the new extension?
- What evidence survives for the type / status of occupation of the building?
- Is there evidence for medieval or earlier occupation of the site?

7. General Methodology

- 7.1 All stages of the investigation shall be supported by a written scheme of investigation.
- 7.2 The contractor is expected to follow the code of the Institute for Archaeologists (IfA) and/or the code of the Institute of Historic Building Conservation (IHBC).
- 7.3 Details including the name, qualifications and experience, of the site director and all other project personnel (including specialist staff) shall be included within the written scheme of investigation.
- 7.4 All the latest Health and Safety guidelines shall be followed on site.
- 7.5 The IfA's Standards and Guidance should be used for additional guidance in the production of the written scheme of investigation, the content of the report and the general execution of the project.
- 7.6 Terminology will be consistent with the English Heritage Thesaurus.

8. Building Recording Methodology

- 8.1 Prior to the commencement of on site works the contractor should familiarise themselves with the site by examining the information held by the Cornwall and Scilly Historic Environment Record and the Cornwall Records Office at Truro and the Cornwall Centre at Redruth, where appropriate.
- 8.2 Details of how all buildings and structures are surveyed and recorded shall be provided. The site plan will be tied to the national grid.
- 8.3.1 The photographic record shall be a Level 2 Record to archive standard of the existing buildings and structures. This should include both external and internal coverage with black and white prints and negatives. Colour photography may be utilised for general shots and where it is appropriate for detail shots (negatives or CD shall be included). For both general

and specific photographs, a photographic scale shall be included. In the case of detailed photographs a north arrow will be included. The photographic record shall be accompanied by a photographic register detailing as a minimum, feature number, location and direction of shot.

- 8.3.2 Recording should be undertaken both before works and at selected points during 'opening up' works, including when the modern fireplace has been removed and when floor levels internally have been removed and/ or when any internal finishes have been removed in areas which may clarify the construction sequence of the building.

9. Archaeological Recording Methodology

- 9.1 Prior to the commencement of on site works the contractor should familiarise themselves with the site by examining the information held by the Cornwall and Scilly Historic Environment Record and the Cornwall Records Office, where appropriate.
- 9.2 An archaeologist shall be present during all ground works associated with the development. A toothless ditching bucket can be used for the removal of any overburden until the first archaeological horizon is exposed. This will then be hand cleaned and recorded as appropriate.
- 9.3 Any surviving remains which will be disturbed or destroyed by the development shall be archaeologically excavated and recorded.
- 9.4 Details of how all archaeological contexts and artefacts will be excavated, surveyed, recovered and recorded shall be provided. The site will be tied into the national grid.
- 9.5 Details of the site planning policy shall be given in the written scheme of investigation. The normal preferred policy for the scale of archaeological site plans is 1:20 and sections 1:10, unless circumstances indicate that other scales would be more appropriate.
- 9.6 The photographic record shall consist of photographs in both black and white prints and colour photography with negatives (and CD if appropriate). For both general and specific photographs, a photographic scale shall be included. In the case of detailed photographs a north arrow will be included. The photographic record shall be accompanied by a photographic register detailing as a minimum, feature number, location and direction of shot.
- 9.7 If significant archaeological deposits are exposed, all works must cease and a meeting convened with the client and the Historic Environment Planning advice officer to discuss the most appropriate way forwards.

10. Finds

- 10.1 All finds will be retained from each archaeological context excavated.
- 10.2 All finds, where appropriate, shall be washed.
 -
 - 10.3 All pottery, and other finds where appropriate, shall be marked with the site code and context number
 - 10.4 The written scheme of investigation shall include an agreed list of specialist consultants, who might be required to conserve and/or report on finds, and advise or report on other aspects of the project including environmental sampling.
 - 10.5 The requirements for conservation and storage shall be agreed with the appropriate museum prior to the start of work, and confirmed in writing to the Historic Environment Planning Advice Officer.

- 10.6 Finds work should be to accepted professional standards and adhere to the Institute for Archaeologists *Guidelines for Finds Work*.
- 10.7 Environmental sampling should be guided by *Environmental Archaeology* (English Heritage Centre for Archaeology Guidelines. 2001/02).
- 10.8 Other English Heritage guidance that may be helpful includes *Geoarchaeology* (2004) and *Archaeometallurgy* (2001).
- 10.9 The English Heritage Advisor for Archaeological Science will be able to provide archaeological science advice if required (Vanessa Straker 0117 975 0689).

11. Human Remains

- 11.1 Any human remains which are encountered must initially be left in situ and reported to the Historic Environment Planning Advice Officer and the appropriate authorities. If removal is necessary this must comply with the relevant National Government regulations.
- 11.2 If human remains are not to be removed their physical security must be ensured, preferably by back filling as soon as possible after recording.
- 11.3 If human remains are to be removed this must be done with due reverence and in accordance to current best practice and legal requirements. The site must be adequately screened from public view. Once excavated, human remains must not be exposed to public view.

12. Results

- 13.1 The full report including all specialist assessments of artefact assemblages shall be submitted within a length of time (but not exceeding six months) to be agreed between the applicant and archaeological contractor, Cornwall County Council Historic Environment Record and the local museum. A further digital copy shall be supplied on CD-ROM preferably in 'Adobe Acrobat' PDF format.
- 13.2 The archaeological contractor will undertake the English Heritage/ads online access to the index of archaeological investigations (OASIS).
- 13.3 This report will be held by the Cornwall and Scilly Historic Environment Record and made available for public consultation.
- 13.4 The report must contain:
- A concise non-technical summary of the project results.
 - The aims and methods adopted in the course of the investigation
 - A discussion of archaeological findings in terms of both the site specific aims and the desk based research
 - Location map, a drawing showing those areas examined as part of the archaeological recording, and copies of any archaeological and building plans and sections. All plans shall be tied to the national grid.
 - All specialist reports or assessments
 - A summary of the archive contents and date of deposition
 - A context register with brief descriptions shall be included as an appendix

- A copy of the brief and the approved written scheme of investigation will be included as an appendix
- 13.5 A contingency shall be made within the costs for full publication in an appropriate journal. The Historic Environment Planning Advice Officer will notify the contractor of such a need within four weeks of receipt of the report.

14. Archive Deposition

- 14.1 An ordered and integrated site archive will be prepared in accordance with: *Management of Research Projects in the Historic Environment (MoRPHE) English Heritage 2006* upon completion of the project. The requirements for archive storage shall be agreed with the Royal Cornwall Museum. Please check the accessioning and deposition information on the Royal Cornwall Museum website and fill in the 'Notification of Fieldwork' form. Once this has been accepted an accession number will be provided by the museum.

<http://www.royalcornwallmuseum.org.uk/policies/>

- 14.2 If the finds are to remain with the landowner a full copy of the documentary archive shall be housed with the Cornwall County Record Office and with the Courtenay Library of the Royal Institution of Cornwall.
- 14.3 The archive including a copy of the written report shall be deposited with the Royal Cornwall Museum within two months of the completion of the full report and confirmed in writing with the Historic Environment Planning Advice Officer.
- 14.4 Where there is only a documentary archive this will be deposited with the Cornwall Record Office as well as the Courtenay Library of the Royal Institution of Cornwall.
- 14.5 A summary of the contents of the archive shall be supplied to the Historic Environment Planning Advice Officer.
- 14.6 Only on the completion of 11.1 to 11.4 (inclusive) will there be a recommendation for the discharge of the archaeological condition.

• 15. Monitoring

- 15.1 The Historic Environment Planning Advice Officer will monitor the work and should be kept regularly informed of progress.
- 15.2 Notification of the start of work shall be given preferably in writing to the Historic Environment Planning Advice Officer at least one week in advance of its commencement.
 - 15.3 Any variations to the written scheme of investigation shall be agreed with the Historic Environment Planning Advice Officer, preferably in writing, prior to them being carried out.

13 Appendix 2: Written Scheme of Investigation

Trewince Cottage, Portscatho: Written Scheme of Investigation for archaeological recording and historic building record

Client: Paul Binney
Client contact: James Morford
Client tel: 01726 862855
Client email: paulbinneymail@btinternet.com

Project background

Trewince Cottage is a Grade II listed building located on the Roseland Peninsula to the south of Gerrans in Gerrans parish at NGR SW 86745 33850. The cottage lies approximately 8m to the north of the 18th century Grade II* listed Trewince Manor.

Trewince Cottage itself is a two storey building (assumed to date to the early 19th century) comprising cottage and store. It lies at a height of 60m OD within the settlement. A planning application PA12/01323 along with a 'Historical Analysis and PPS5 Impact Assessment' was submitted by the client for the erection of an extension to the cottage and for the replacement of the porch.

Planning consent has now been given for planning application PA12/01323 by Cornwall Council. However, a condition has been placed on the application to control works which would have an impact on the significance of the cottage's historic fabric. Condition 7 states:

No development shall take place within the area to be developed until the applicant has secured the implementation of a programme of archaeological recording based on a written scheme of investigation submitted to and approved by the Local Planning Authority.

The requirements for archaeological recording during groundworks and an historic building record were set out in a brief written by Dan Ratcliffe, Historic Environment Planning Advice Officer, prior to the production of this Written Scheme of Investigation (WSI) which sets out the approach and methods to be employed.

Site history

Prehistoric activity is present within the vicinity of Trewince and is indicated by enclosures and other cropmarks which lie to the north-east of the settlement and are likely to be Iron Age or Romano British in date. Other prehistoric activity in the area (although much further afield on the southern edge of Portscatho village) includes a group of four Neolithic pits (MCO47218) referred to wrongly in The 'PPS5 Impact Assessment' as being located at Trewince Farm.

The settlement of Trewince is likely to be early medieval in date but the name is first recorded in 1381. The OS maps of c1880 and c1907 record that the present manor house lies on the site of an earlier mansion presumably dating to the medieval or early post-medieval period, although the exact location and extent of this mansion is unknown.

During the 18th century the present manor house was constructed to replace the earlier mansion.

Trewince Cottage is thought to have been constructed during the early 19th century immediately to the north of the house. On the Tithe map of c1840 a building is shown to occupy the space between Trewince Cottage and the manor house within the area of

the present yard. Although this building had been demolished by c1907 both the manor house and cottage remain *in situ* with their historic fabric for the most part intact.

Project extent

The project extent includes the site of the cottage and area of the yard to the south.

Aims and objectives

The principal aim of the study is to gain a better understanding of the functions and historic development of the building and site. The objectives are to obtain a record of the site prior to and during renovation works.

The equivalent of a Level 2 building survey (as defined by English Heritage 2006) will be produced.

The specific aims set out in the brief for the building survey are to record photographically to archive standard the:

- External elevations
- Internal elevations
- Materials, method of construction
- Architectural detailing
- Fenestration
- Internal arrangements
- Original fixtures and fittings
- Evidence of structural development and phasing.

Research questions include

- Can the date of construction be established?
- What is the original form of the fireplace?
- Has the building's plan form been altered / extended and when?

The specific aims set out in the brief for archaeological recording are:

- To establish the presence/absence of archaeological remains
- To determine the extent, condition, nature, character, date and significance of any archaeological remains encountered
- To record any archaeological remains
- To identify any artefacts relating to the occupation of the site

Research questions include

- What were the dates of construction and demolition of the building on the site of the new extension?
- What evidence survives for the type / status of occupation of the building?
- Is there evidence for medieval or earlier occupation of the site?

Working methods

All recording work will be undertaken according to the Chartered Institute for Archaeologists *Standards and Guidance for Archaeological Investigation and Recording*. Staff will follow the CIfA *Code of Conduct* and *Code of Approved Practice for the*

Regulation of Contractual Arrangements in Archaeology. The Chartered Institute for Archaeologists is the professional body for archaeologists working in the UK.

Desk-based assessment

A desk-based assessment will be carried out to inform the fieldwork stage. This will comprise:

- Published source
- Historical Analysis and PPS5 Impact Assessment
- Historic maps, including
 - Joel Gascoyne's map of Cornwall (1699)
 - Thomas Martyn's map of Cornwall (1748)
 - OS 1 inch survey (c1810)
 - parish Tithe maps (c1840)
 - 1st and 2nd Editions of the OS 25 inch maps (c1880 and c1907)
- Modern maps

Fieldwork: building survey

The equivalent of a Level 2 building survey (as defined by English Heritage 2006) will be produced. Archaeological recording will include architectural features and details of sub-surface elements. Measured information and detail, as appropriate, will be added to copies of existing contractors drawings (to be supplied to CAU by the client).

Analysis of the fabric will be undertaken on site (recorded as notes) to allow a description to be written up at the archive stage.

Photographic recording will include colour photography using a digital SLR camera (with a resolution of 10 million pixels or higher).

CAU follows English Heritage guidance on digital image capture and file storage (2014).

The photo record will comprise:

- General views.
- Examples of structural and architectural detail.

Methodology for the archive standard photography is set out as follows:

- Photographs of details will be taken with lenses of appropriate focal length.
- A tripod will be used to take advantage of natural light and slower exposures.
- Difficulties of back-lighting will be dealt with where necessary by balancing the lighting by the use of flash.
- A metric scale will be included in all views, except where health and safety considerations make this impractical.

Fieldwork: excavation

The archaeological excavation will comprise an area excavation within the footprint of the proposed extension and area of new porch to record surviving below-ground features and establish locations and the nature of preservation.

The areas will be stripped by a machine with toothless bucket and any significant archaeological features exposed in the excavation area will be carefully excavated by hand and archaeologically recorded.

During the archaeological recording the archaeologist will identify and record any archaeological features that are revealed in the excavated area; the level of recording will be appropriate to the character/importance of the archaeological remains.

Where necessary the detailed archaeological recording may include:

- Excavation of archaeological features exposed in the excavated area and plotting them onto a base map.
- Production of plans and section drawings of the excavated features and recording of features using a continuous numbering system.
- Retrieval of artefacts.

Recording: general

- A location plan will be made, plotting the excavated areas/features onto the existing building plan.
- The location of features recorded during the works will be plotted on drafting film. Plans and sections will be created where appropriate.
- All archaeological contexts will be described to a standard format linked to a continuous numbering sequence. All contexts recorded will be recorded via the medium of HE pro forma context recording sheets.
- Registers of drawings, photographs, finds and contexts, samples will be maintained during the fieldwork.
- The excavated spoil will be carefully inspected for finds.
- Samples will be collected where necessary.

Site planning policy

- Site drawings (plans, sections, locations of finds) will be made by pencil (4H) on drafting film; all plans will be linked to the prepared location map and to the national grid; all drawings will include standard information: site details, personnel, date, scale and north-point.
- Site plans will be drawn at 1:20 and sections at 1:10, unless circumstances indicate that other scales would be more appropriate.

Photographic record

- The photographic record will consist of prints in black and white together with the negatives. Digital photography will be used for report illustration.
- For both general and specific photographs, a photographic scale will be included.
- In the case of detailed photographs a north arrow will be included if appropriate.
- The photographic record will be accompanied by a photographic register detailing as a minimum, feature number, location and direction of shot.

Finds

- Significant finds will be retained from each archaeological context excavated. The collection policy will be reviewed during the excavation.
- All retained finds, where appropriate, will be washed.
- Retained finds where appropriate, will be marked with the site code and context number.
- The requirements for conservation and storage will be agreed with the appropriate museum.
- Finds work will be to accepted professional standards and adhere to the Institute for Archaeologists' *Guidelines* (IFA 2001b).

Creation of site archive

To include:

- Digital colour photographs (stored according to HER guidelines and copies of images made available to the client).

- Black and white photographs (stored according to HER guidelines)
- A detailed site/building description.
- Preparation of finished drawings.
- Completion of the English Heritage/ADS OASIS online archive index.

Archive report

A written report will include:

- Summary
- Project background
- Aims and objectives
- Methodology
- Location and setting
- Designations
- Site history
- Archaeological results
- Chronology/dating evidence
- Significance
- Conclusions
- References
- Project archive index
- Supporting illustrations: location map, historic maps, plans, elevations/sections, photographs
- Appendices including context register, Specialist reports, brief and WSI

A paper copy and a digital (PDF) copy of the report, illustrations and any other files will be held in the Cornwall HER. Paper copies of the report will be distributed to the client, to local archives and national archaeological record centres.

Archive deposition

An index to the site archive will be created and the archive contents prepared for long term storage, in accordance with CAU standards.

The archiving will comprise the following:

1. All correspondence relating to the project, the WSI, a single paper copy of the report together with an electronic copy on CD, stored in an archive standard (acid-free) documentation box.
2. A2 drawn archive storage (plastic wallets for the annotated record drawings).
3. The project archive will be deposited initially at ReStore PLC, Liskeard and in due course (when space permits) at Cornwall Record Office.
4. Digital data will be stored on the Cornwall Council network which is regularly and frequently backed up.

CAU uses the following file formats for stored digital data:

DOCX Word processed documents

XLSX Spreadsheets

PDF Exports of completed documents/reports/graphics

JPG Site graphics and scanned information

DNG or TIF	Digital photographs
DWG	AutoCAD drawings, measured surveys
MXD	ArcView GIS (electronic mapping) data
AI	Adobe Illustrator graphics

Timetable

The study is anticipated to be commenced during February 2015. CAU will require at least three weeks' notice before commencement of work, in order to allocate field staff and arrange other logistics.

The archive report will be completed within 3 months of the end of the fieldwork. The deposition of the archive will be completed within 3 months of the completion of the archive report.

Monitoring and Signing Off Condition

Monitoring of the project will be carried out by the Senior Development Officer (Historic Environment). Where the SDOHE is satisfied with the archive report and the deposition of the archive written discharge of the planning condition will be expected.

1. The SDOHE will monitor the work and should be kept regularly informed of progress.
2. Notification of the start of work shall be given preferably in writing to the SDOHE at least one week in advance of its commencement.
3. Any variations to the WSI will be agreed with the SDOHE, in writing, prior to them being carried out.
4. If significant detail is discovered, all works must cease and a meeting convened with the client and the SDOHE to discuss the most appropriate way forward.

Monitoring points during the study will include:

- Approval of the WSI
- Completion of fieldwork
- Completion of archive report
- Deposition of the archive

References

- English Heritage, 2006. *Understanding Historic Buildings: A guide to good recording practice*. English Heritage, Swindon
- English Heritage, 2007. *Understanding the Archaeology of Landscapes: A guide to good recording practice*. English Heritage, Swindon
- English Heritage, 2014. *(Draft) Guidance note on Digital Image Capture and File Storage*. English Heritage, Swindon