



Redruth Buttermarket Historic Building
Record and Watching Brief



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Cornwall Archaeological Unit

Cornwall Council

New Lodge, Penmount, Truro, Cornwall, TR4 9AA

Tel: (01872) 323603

Email: enquiries@cau.org.uk Web: www.cau.org.uk

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The fieldwork was undertaken by Jo Sturgess and Connor Motley.

The Project Manager was Jo Sturgess.

The views and recommendations expressed in this report are those of Cornwall Archaeological Unit and are presented in good faith on the basis of professional judgement and on information currently available.

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Cover illustration:

Mining Exchange fronting Alma Place, taken in 2023.

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Abbreviations

ACSS	Archive and Cornish Studies Service, Kresen Kernow
ADS	Archaeology Data Service
CAU	Cornwall Archaeological Unit
CIFA	Chartered Institute for Archaeologists
HE	Historic England
HER	Cornwall and the Isles of Scilly Historic Environment Record
MCO	Monument number in Cornwall HER
NGR	National Grid Reference
OD	Ordnance Datum – height above mean sea level at Newlyn
OS	Ordnance Survey

1 Summary

Cornwall Archaeological Unit was commissioned by Trevor Humphreys on behalf of Redruth Revival Community Interest Company to carry out a programme of archaeological work at Redruth Buttermarket. The site lies at the junction of Station Hill and Alma Place in Redruth at NGR: SW 69950 41945 and comprises a complex of adjoining Grade II Listed Buildings set around a central courtyard. Apart from the market buildings the site includes the former Redruth Mining Exchange, a former office belonging to the purser of Wheal Peevor and associate extensions.

In 2021 Redruth Revival Community Interest Company applied for Planning and Listed Building Consent (Application numbers: PA21/09197 and PA21/09198) to revitalise the Buttermarket along with the Mining Exchange and Wheal Peevor purser's office, to create a new public venue and food hall to support local businesses and host cultural events.

The alteration works involved: conservation repairs, demolition of internal partitions on the lower and upper floors, modern suspended ceilings and a freestanding cafe structure; demolition of the extensions to the Wheal Peevor purser's office, to make way for a new open plan, double volume food hall; demolition of staircases; provision of new staircases and two new lifts; provision of new WCs; conservation of existing market stalls and provision of new stall units; creation of an accessible route into Wheal Peevor purser's office to enable an accessible route through to the Mining Exchange. These works were completed in 2024.

Conditional Planning Consent for PA21/09197 was granted, and the Senior Development Officer (Historic Environment), Cornwall Council (SDOHE), requested that archaeological works are undertaken to fulfil Conditions 7 and 8.

Thirteen major construction phases for the buildings were identified. In brief, they are as follows:

Phase 1 (1825-6). This is when the market buildings were first constructed on the site. The market house on the south east side of the courtyard dates to this period with later alterations.

Phase 2 (between 1855 and 1874). The phase 1 market stalls to the west were demolished and a new two-storey ranges built to extend the courtyard westwards. The south east and south west colonnaded ranges survive from this period with later alterations.

Phase 3 (1877-79). The phase 1 ranges to the north west and north east were removed and a new double height covered market range built to the north west. This building still survives with later alterations

Phase 4 (1880). The Mining Exchange was constructed within the north east end of the north west covered market range, fronting Alma Place.

Phase 5 (c1883). Wheal Peevor purser's office was built adjoining the Mining Exchange and also fronting Alma Place.

Phase 6 (1884). The roof of the Market House was heightened and renewed.

Phase 7 (c1900). The ground floor of the Market House was converted as a printing works and the open arcade infilled.

Phase 8 (1922). An extension was made to the rear of the Mining Exchange to create office and cloakroom space for the Redruth Market Company within the phase 3 covered market.

Phase 9 (1930s or 40s). The upper floors of the phase 2 south east and south west ranges were converted for use as a residential flat.

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Phase 10 (1960s). A two-storey extension was added to the rear of Wheal Peevor purser's office and the door openings which had given access through to the meat market to the north of the courtyard were blocked.

Phase 11 (1977). A second two-storey extension was added to the phase 10 extension to the rear of Wheal Peevor purser's office.

Phase 12 (1990s). The buildings underwent a programme of alterations including reroofing of the south east and south west ranges.

Phase 13 (2000-2024). Alterations included reopening one of the door openings to the meat market, resurfacing the courtyard and reroofing the covered market area.

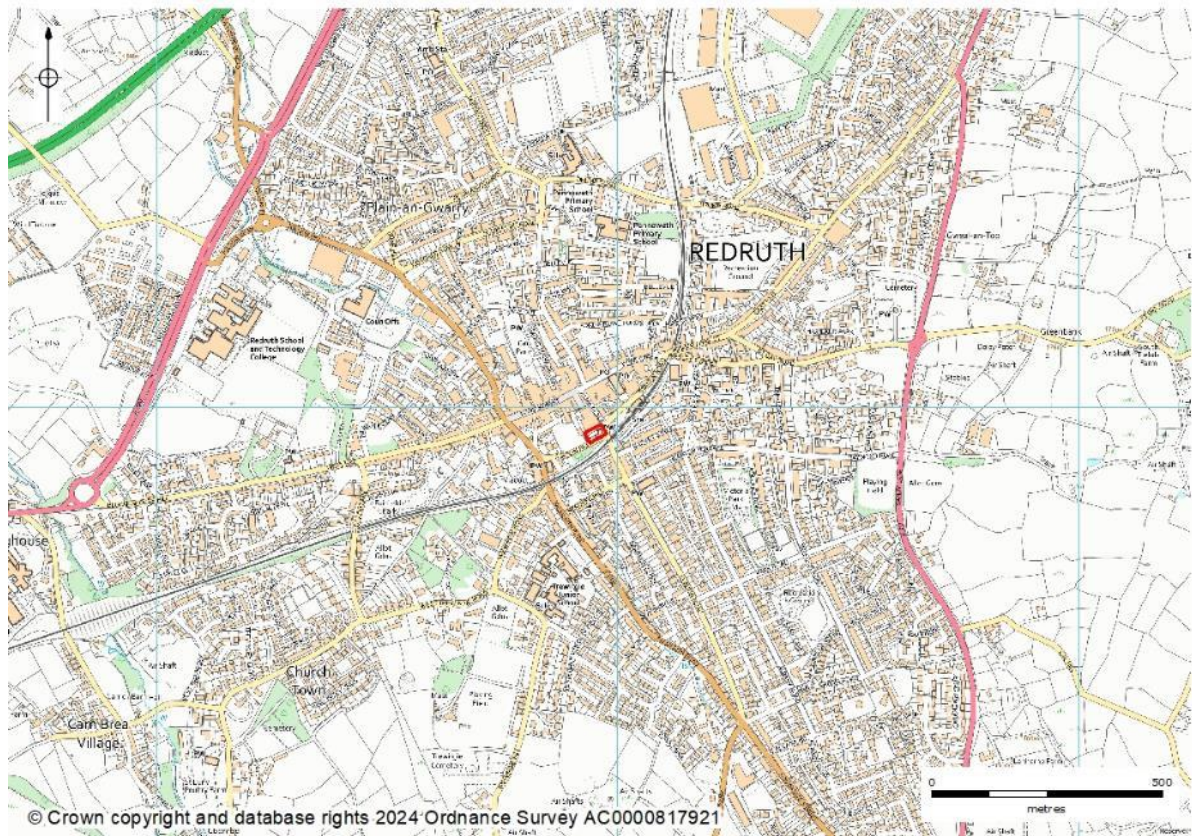


Fig 1 Map showing the location of the site outlined in red.

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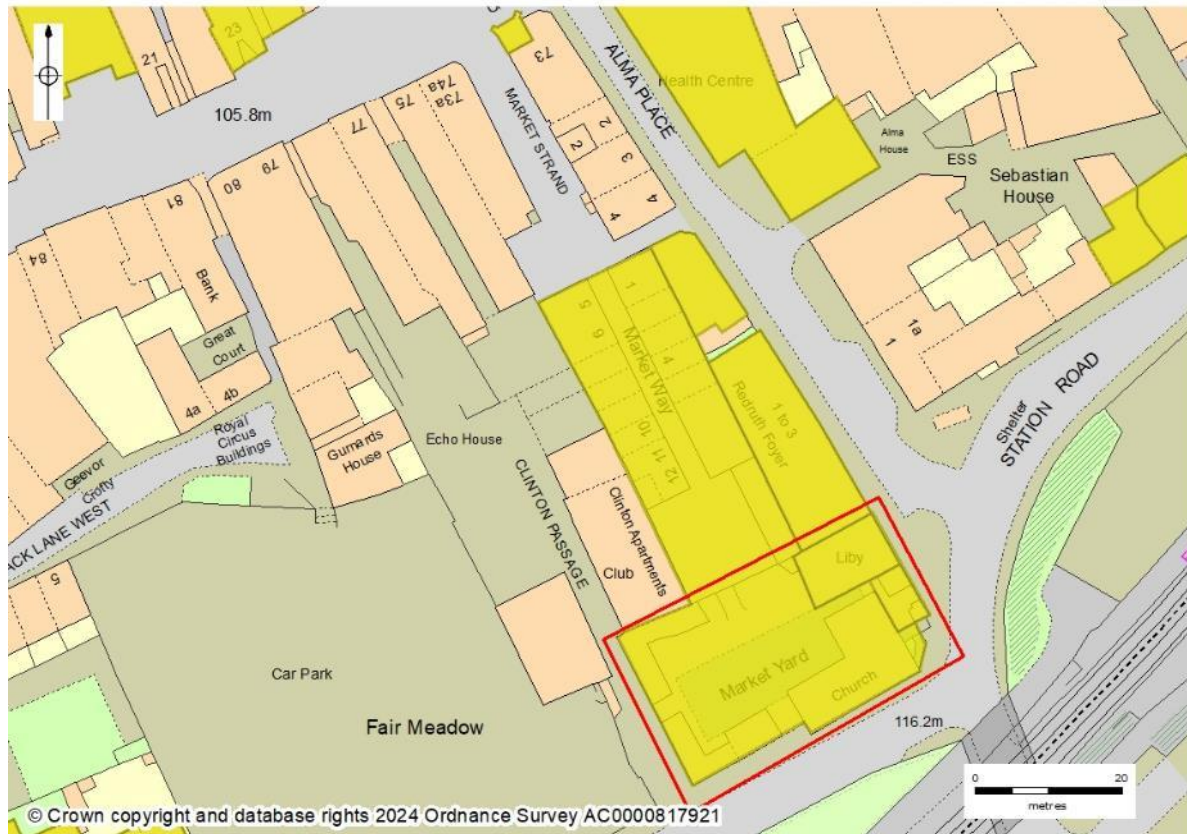


Fig 2 Extent of the study area outlined in red with Listed Buildings shaded in yellow.

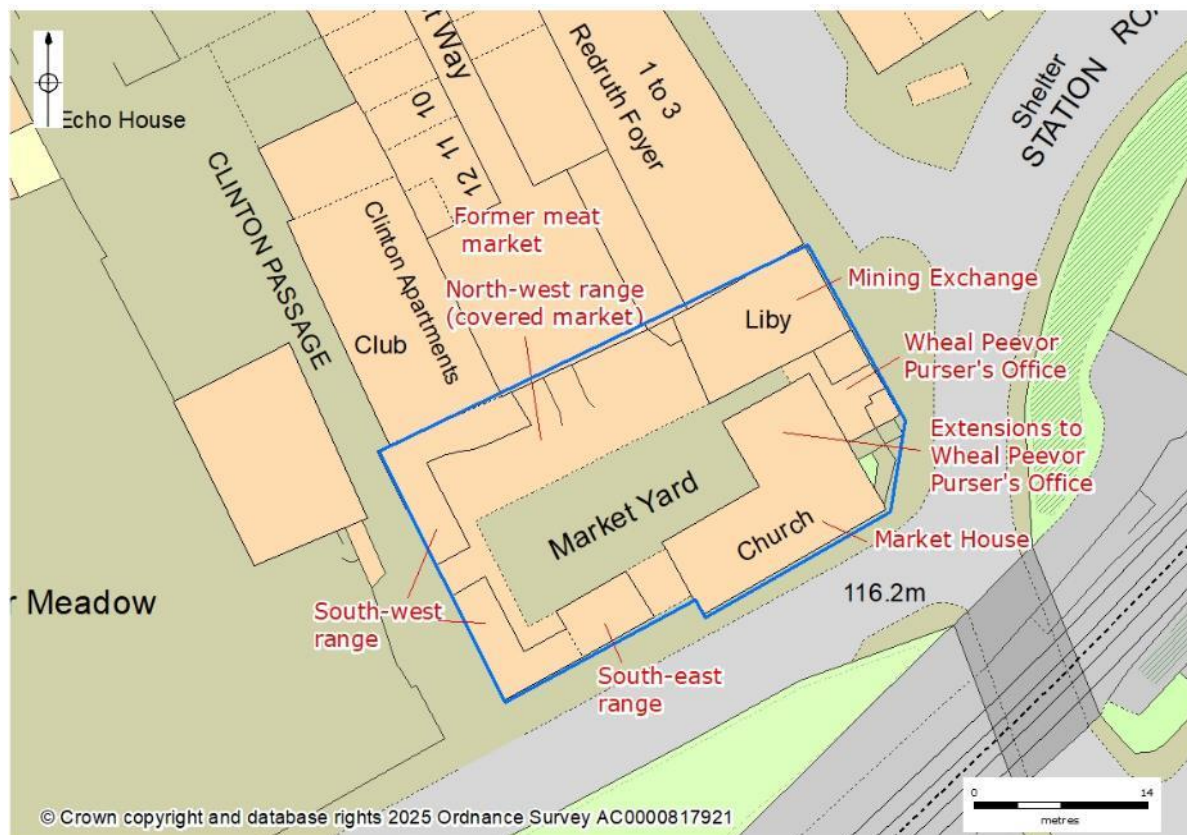


Fig 3 Location of buildings within the courtyard complex with the study area outlined in blue.

2 Introduction

2.1 Project background

In 2017 the Buttermarket buildings and Mining Exchange were bought by the Redruth Revival Community Interest Company, who also acquired Wheal Peevor purser's office in 2021.

The project to revive Redruth Buttermarket was initiated by Redruth Revival Community Interest Company who wanted to create a new public venue and food hall to support local businesses and host cultural events. In 2021 Redruth Revival CIC applied for Planning and Listed Building Consent (Application numbers: PA21/09197 and PA21/09198) for extensive works to the buildings, including the following: conservation repairs, demolition of internal partitions on the lower and upper floors, modern suspended ceilings and a freestanding cafe structure; demolition of extensions to Wheal Peevor purser's office, to make way for a new open plan, double volume food hall; demolition of staircases; provision of new staircases and two new lifts; provision of new WCs; conservation of existing market stalls and provision of new stall units; creation of an accessible route into Wheal Peevor purser's office to enable an accessible route through to the Mining Exchange.

As part of the pre-application work Historic England were commissioned to undertake a Historic Building Investigation (Roethe 2021) to support the application for Planning and Listed Building Consent.

Conditional Planning and Listed Building Consent were granted (Application numbers: PA21/09197 and PA21/09198) in 2021. Conditions 7 and 8 of the Planning Consent were as follows:

Condition 7

A) No redevelopment shall take place until a programme of archaeological and historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions, and:

- 1. The programme and methodology of site investigation and recording*
- 2. The programme for post investigation assessment*
- 3. Provision to be made for analysis of the site investigation and recording*
- 4. Provision to be made for publication and dissemination of the analysis and records of the site investigation*
- 5. Provision to be made for archive deposition of the analysis and records of the site investigation*
- 6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation*

B) No redevelopment shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The Buttermarket Food Hall shall not be in use until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the Written Scheme of Investigation approved under condition (A) and the provision made for analysis, publication and dissemination of results and archive deposition has been secured.

D) The archaeological and historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.

Reason: To ensure that provision is made to record finds of archaeological interest in accordance with the aims and intentions of Policy 24 of the Cornwall Local Plan Strategic Policies 2010-2030 and paragraph 205 of the National Planning Policy Framework 2021. A pre-commencement condition is necessary in this instance due to the need to ensure

that a programme and methodology of site investigation and recording of archaeological and historical features is undertaken before physical works commence on site.

Condition 8

Prior to the commencement of the development hereby permitted the applicant shall submit details of a programme for the recording and analysis of the buildings, known as a Historic Recording Report, in accordance with Level 4 of the document by Historic England titled 'Understanding Historic Buildings: A Guide to Good Recording Practice' published 16 March 2016 (or any subsequent revised publication by Historic England). No development (including demolition) shall take place until the submitted programme has been approved in writing by the Local Planning Authority and the development shall be undertaken in accordance with the details hereby approved.

Reason: To ensure that provision is made to record the historical interest of the designated heritage asset in accordance with the aims and intentions of paragraph 205 of the National Planning Policy Framework 2021 and Policy 24 of the Cornwall Local Plan Strategic Policies 2010-2030. No demolition or further construction works should proceed until the existing building within the site have been recorded in an appropriate fashion to ensure that a record of the historical features of the site have been adequately recorded.

The Senior Development Officer (Historic Environment), Cornwall Council (SDOHE), requested that the following archaeological works were undertaken to fulfil Conditions 7 and 8:

- a) A Historic building record to Historic England's Level 4.
- b) A watching brief undertaken during all alteration works to the buildings (the results to be added to the Historic building record).
- c) An interim statement on the findings of the of the historic building record once all associated fieldwork has been completed.
- d) An archaeological watching brief to be undertaken during any groundworks associated with the development, including drilling of boreholes, the digging of service trenches, the alteration of ground levels and lifting of cobbled/granite paviour floors etc.
- e) An archive report to be produced containing the results of the historic building record and watching briefs.
- f) An assessment to be made following completion of the work as to the merits of presenting the results to a wider audience.

CAU were then commission by Trevor Humphreys of behalf of Redruth Revival Community Interest Company to undertake the Historic Building Record and watching briefs.

The requirements and methodology for the Historic Building Record and watching briefs are outlined in the Written Scheme of Investigation (WSI) prepared by CAU (see Appendix 4).

As part of the project a photographic archive record was made (see Appendix 2 and Figs 197 and 198).

2.2 Project extent

The extent of the site is shown in Figures 2 and 3 and includes all the buildings set around the southern courtyard of the 19th century market site. It includes the Market House (also known through its history as 'Corn Market', 'Auction House', 'Pork Market', 'Printing works' and 'Church'), the south east range, the north east range including the former Wheal Peavor purser's office, the Wheal Peavor purser's office extensions, the north west range including the former Mining Exchange, the Mining Exchange extension and the covered market area, the central courtyard and immediate environs of the complex. See Figure 3 for building locations.

2.3 Location and setting

The site is located in the centre of Redruth at NGR: SW 69950 41945. It lies to the south of Fore Street, at the junction of Alma Place and Station Hill, just to the south west of Redruth railway station. The complex of generally two-storey buildings is set around a rectangular courtyard and was originally part of a larger market complex which stretched northwards towards Fore Street where the meat market stalls were located. The Buttermarket courtyard is accessed from four directions: from Fore Street through Market Way (an arcade of independent shops, formerly the Meat Market), from Fair Meadow carpark to the west, from Station Hill to the south and from Alma Place to the east. Fair Meadow carpark to the west was associated with Redruth's market from an early date, being the site used for annual fairs. In the 19th century it became the site of the cattle market, and the annual fairs were still held here.

The Buttermarket, like much of Redruth's Town Centre, occupies a site with steep topography sloping down from the north east to the south west. The upper storeys of the buildings on the north west side of the courtyard are accessed from street level in Alma Place, with the lower floor and market courtyard a storey lower and approximately level with Market Way and the connection to Fore Street. Fair Meadow Carpark is a flight of steps lower than the Buttermarket courtyard. Ground level in the courtyard area lies at approximately 113.5m OD, although the yard surface does slope gently down from north east to south west.

2.4 Designations

Redruth Buttermarket is located within the Redruth Conservation Area and within the Camborne and Redruth Mining District World Heritage Site area.

The Buttermarket (which includes the old meat market to the north and the buildings around the courtyard to the south) is a Grade II Listed Building (List Entry Number: 1475141). The former Mining Exchange and Wheal Peevor purser's office are also Grade II Listed Buildings and are listed separately (List Entry Number: 1161540 and 1142584). Full Listed Building description can be found in Appendix 3.

3 Site history

The following text (although altered and with further information added) has been taken from *The Buttermarket, Market Strand, Station Hill and Alma Place, Redruth, Cornwall, Historic Building Investigation* (Historic England, J Roethe, 2021).

3.1 Medieval period - early 19th century

During the medieval period the settlement of Redruth did not develop near its parish church of St Euny, which may have been founded as early as the 6th century, but about 1km to the north east of it (Newell 2004, 13). The settlement at this time shifted its focus to the crossing of the river Red and the junction of two major land routes (now West End/Fore Street and Chapel Street/Penryn Street) (Beacham and Pevsner 2014, 467).

Redruth was part of the manor of Tehidy. The Basset family gained possession of the manor of Tehidy in around 1150, through marriage into the De Dunstanville family, who had owned the manor from at least 1100 (Parkes 2011, 26). The manor continued to be held by the Bassets up until the early 20th century.

In 1333, King Edward III granted a charter for a market and a fair at Redruth to William Basset, the lord of the manor of Tehidy (Peter 1894, 153; Roethe 2021, 4). The market was to be held twice a week, on Tuesdays and Saturdays. The fair took place twice a year: on Michaelmas Day (29 September) and the following three days, and on the eve of the feast of 'St Peter in Chains' (1 August) and the following three days (Roethe 2021, 4). The medieval market was held in Fore Street and the medieval fair is thought to have been held on Fair Meadow, (now the carpark immediately west of the Buttermarket,

which was also used as a cattle market in the 19th century). The markets and fairs continued to be held with several new charters issued over the centuries (Roethe 2021, 4).

The earliest known market house in Redruth was a timber-framed building with a steeply pitched, thatched roof, probably of post-medieval date (Roethe 2021, 4). It was located in Middle Row which comprised a cluster of buildings in the centre of Fore Street, close to the junction with Alma Place (see Fig 4 for location). The market house along with Middle Row were demolished in 1795 to allow a better flow of traffic in Fore Street (Market lease of 2 March 1795 quoted in Michell 1978, 61). The historian CS Gilbert stated in 1817: 'Redruth town was greatly improved about twenty years ago, when the Market House, which greatly interrupted the traffic, together with several other old buildings, were taken down, and the principal street, being laid open, is now very commodious. It contains several inns and shops, which enjoy an excellent trade' (Michell 1978, 61).

Following the demolition of the old market house, the market is said to have moved to Market Strand and to a new building on the site of the later meat market building (Michell 1978, 61). According to Linda Beskeen, John Buller leased the market in 1795 to James Jenkins and a note of 1801 certified that he had rebuilt the market in the agreed time and manner: 'to pull down and remove all part of the market house which now stands in the Fore Street of the town of Redruth...and erect and rebuild the same in and upon the Receps [recess?] next thereto according to the full dimensions of the building so to be pulled down...' (Information from Linda Beskeen, 21 November 2020). The new building had glazed windows, as the churchwardens were paying for setting glass in the market house in March 1805 (Michell 1978, 61). No further details are known about this market house (Roethe 2021, 4), but it was clearly built to similar dimensions of the old market house and on a nearby spot possibly adjoining the clock tower on the south side of Fore Street. An 1825 plan (Fig 5) shows the site prior to the construction of the later (1825-6) market buildings.



Fig 4 Extract from the Plans of the Manor of Redruth 1794, drawn by Robert Ballment showing the location of the early market house in the centre of Fore Street (Kresen Kernow, X293/18).

3.2 New market buildings constructed in 1825-6

In September 1823 Sir Francis Basset (1757-1835), 1st Baron de Dunstanville and Basset, paid James Buller 'for the purchase of Redruth Market £1,000' (Michell 1978, 89; Kresen Kernow, AD788/47). This appears to refer to the market rights, as well as the site and any extant buildings. In September 1825, Sir Francis Basset also acquired the Fair Meadow from the Reverend Walker, uniting the market and fair in the ownership of the Basset family (Kresen Kernow, AD788/47).

A plan of 1825 showing the landownership and the location of mine setts in the vicinity of the town centre depicts the site of the future market buildings, just prior to their construction (Fig 5). The site lay within at least two former, rear burgage/garden plots of buildings fronting the south side of Fore Street.

In the spring of 1825, Sir Francis Basset initiated the construction of new market buildings at the southern end of the plot. At that time the Royal Cornwall Gazette advertised the tender for a new market house: 'To Carpenters and Masons. Notice is hereby given that tenders will be received for getting by contract, the building of a new Market-House in the town of Redruth. Agreeable to a plan and specification of the Work now lying for Inspection at Mrs Bray's, the White Hart Inn, in the said town, on or before Monday, the 18th instant; and that such Tenders may be addressed to Mr Reynolds, Trevenson' (Royal Cornwall Gazette, 9 April 1825) 'Mr Reynolds' was William Reynolds of Trevenson Park, Steward for Lord de Dunstanville - Sir Francis Basset (Tangye 1984, 44). By August 1826, the work appears to have been well advanced, and the Royal Cornwall Gazette reported: 'The new market-place at Redruth is in a state of forwardness, so that the removal of the serious nuisance created by holding the market in the street, will speedily be removed [sic]. The stalls for the butchers are finished and on Tuesday the persons who are to occupy them were, we understand, treated with a substantial dinner, &c. at the cost of Lord de Dunstanville, on whose estate the new market is built.' (Royal Cornwall Gazette, 19 August 1826). The Basset family's estate accounts reportedly include an entry for paying 'an account of Building a new market house at the Market Place at Redruth' for £2,000, which was paid on 13 September 1826. Smaller sums were paid in the following years: £507 11s 11d in 1827 and £116 18s 9d in 1828 (Michell 1978, 94).

The new 1825-6 market buildings were constructed in an L-shaped plan entered from a newly made access lane on the south side of Fore Street, immediately west of the clock tower. They comprised a series of single-storey stalls along either side of a passage leading southwards along the former burgage/garden plots to a rectangular courtyard at the southern end which backed onto an existing Baptist's chapel that had been built in c1806 fronting Treruffe Lane (now Alma Place). The rectangular courtyard was lined with further stalls as well as the surviving two-storey market house occupying the southern perimeter. The new layout is shown on the Tithe map (Fig 6) and in more detail on two maps dating to the mid 1850s (Figs 7 and 8).

By 1829 there were 30-40 butchers operating from the market (Michell 1978, 101). The two-storey market house on the south side of the courtyard had an open, arcaded front at ground floor level where market goods were sold. An article in the Cornish Telegraph in 1878 refers to this building as the 'old corn market' stating that it 'has been turned into and forms part of the butter-market' (Cornish Telegraph, 9 July 1878). On the floor above the arcaded market house there was a large, single room which appears to have been leased throughout the 19th century to various organisations for meetings, talks, auctions, etc, for example in 1838 it was used by the Wesleyan Association for services (Michell 1978, 113) and in 1878 by the Total Abstinence Society for talks and meetings (Cornish Telegraph 9, July 1878).

In 1838, D Gilbert described the Friday market as being 'supplied in great abundance with everything that can be wanted in the ordinary concerns of life. Large quantities of fish, of pork and of home manufactures, especially of shoes, are brought from Penzance market... The long street of Redruth is scarcely adequate to contain the people who come from all these populous mining districts, although a new and spacious market has been constructed... on the south side of the main street, in which all the standings were

previously fixed' (Michell 1978, 114). The 1825-6 market is shown schematically, but not in detail, on the Tithe map of 1841 (Fig 6). Although this map does not show details of the building ranges, it is most likely that the 1825-6 market buildings had been completed in the 1820s. By 1841, the market and the fair meadow were owned by Frances Basset (1781-1855), daughter and heir of Sir Francis, who leased them to James Eathorne (The National Archives, IR29/6/165). The occupiers were George Harris and John Charles Lanyon, a merchant.

The 1825-6 market buildings are shown in more detail on the Board of Health map of 1854-5 (Fig 7) and an 1855 Plan of the town of Redruth reduced from a map produced by the Board of Health (Fig 8). A narrow and slightly tapering lane, entered through a gate and lined with open-sided colonnades for the market stalls, led to a courtyard to the south, whose south side was partly formed by a two-storey market house. The footprint of the whole market was L-shaped, and to the north east its site bordered onto that of a Baptist chapel of about 1806 facing Treruffe Lane (later Alma Place) (Johns, Berry and Gossip 2001, 13). The parallel ranges of colonnades north of the courtyard were single-storey only; it is not clear if the original courtyard ranges, apart from the two-storey market house, were also of single-storey height or taller.

Despite the new market building, market stalls continued to be set up in Fore Street, much to the chagrin of Lord de Dunstanville. In 1829, he was thought to have instigated a summons for three people for erecting stalls in the street (Michell 1978, 101). These may have been the same three men who in 1834 were indicted, but found not guilty, at the Cornwall Quarter Sessions 'for obstructing the King's high-way, by erecting stalls in the street of Redruth, on market days' (Royal Cornwall Gazette 11, January 1834). However, this custom continued at least into the late 19th century, when it appears to have been boosted by the demise of the market at nearby St Day (Tangye 1988, 31). In 1888, the Royal Commission on Market Rights and Tolls visited Redruth and found that the practice of street trading, by renting space in front of houses and shops from their owners, had been growing recently: 'This practice [of street selling] has grown in recent years; it used to be only in Fore Street. There is scarcely any other street in which it does not go on to some extent. It goes on in Green Lane, for instance' (Royal Commission 1888, vol. 1, 393).



Fig 5 1825 plan of Pedn-an-drea and Wheal Sparnon Mine Sett, surveyed by Richard Thomas of Falmouth. The approximate site of the present market courtyard is outlined in red (Kresen Kernow, MRO/R119B).

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Fig 6 Tithe map for the parish of Redruth, 1841. The approximate site of the present market courtyard is outlined in red.

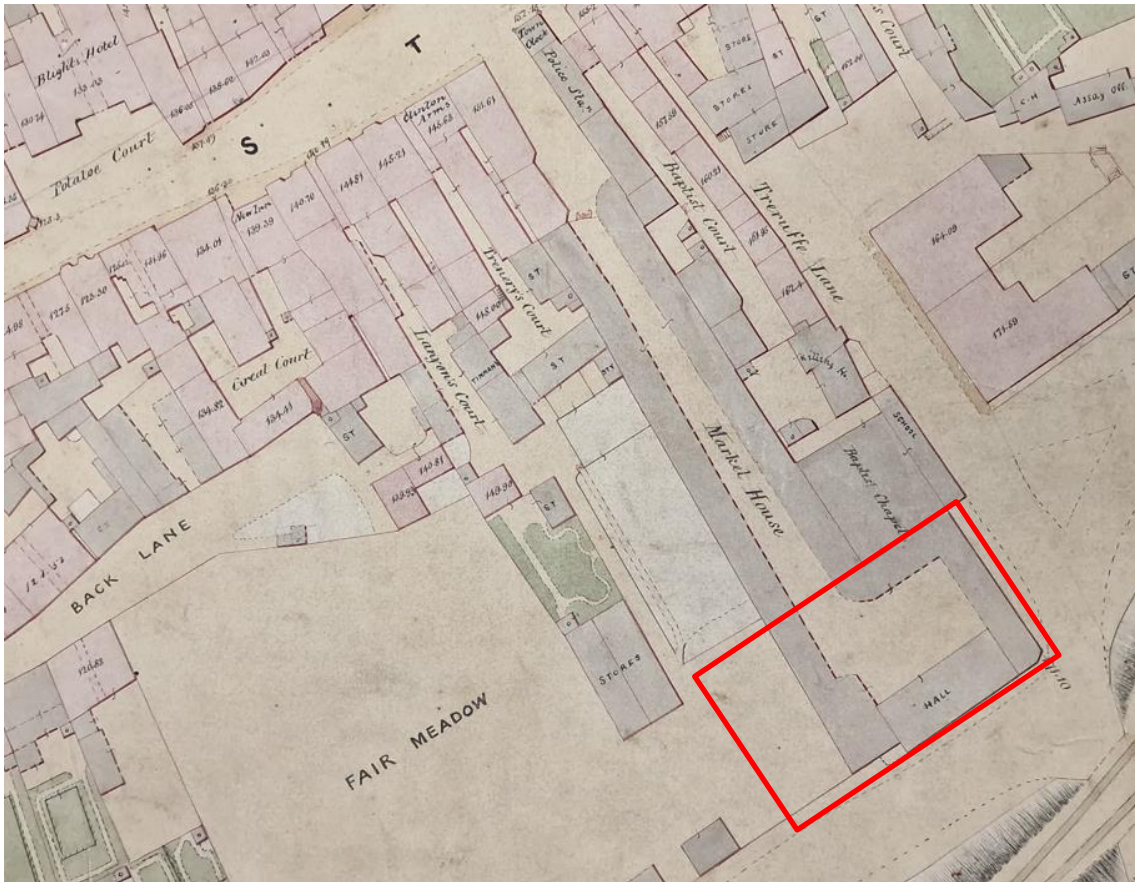


Fig 7 Detail of the Board of Health plan of 1854-5, R Symons and Son, surveyors of Truro. The approximate site of the present market courtyard is outlined in red.

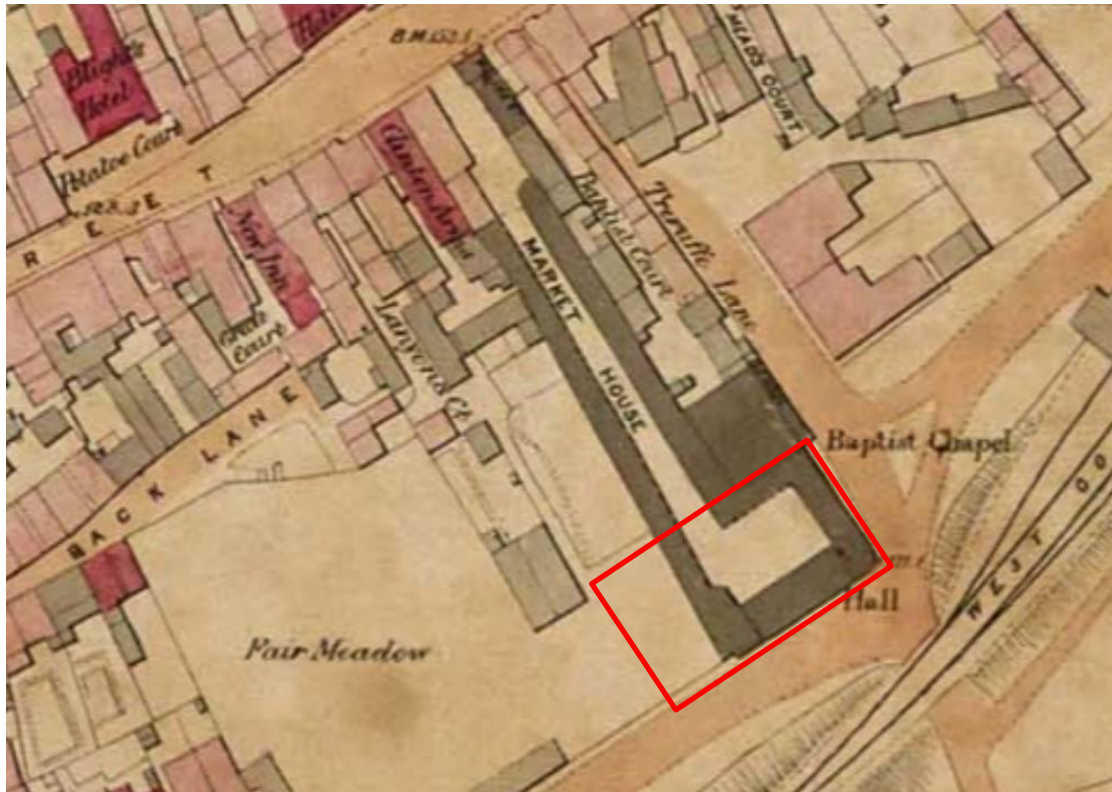


Fig 8 1855 Plan of the town of Redruth reduced from a map produced by the Board of Health. Surveyed by R Symons and Son, surveyors of Truro (Kresen Kernow, LEE/1/17). The approximate site of the present market courtyard is outlined in red.

3.3 Mid 19th century extension of the courtyard

At some point between 1855 and 1874, the courtyard at the south end of the market was extended to the south west, resulting in an inverted T-plan rather than the former L-plan. It seems likely that the extension happened early on within this timeframe, possibly in the late 1850s. It may well have been prompted by the economic peak of the local mining industry in the 1850s and the construction of a new and more central railway station in 1852 and its connection to the national railway network in 1859 (Newell 2004, 18). Both affected the local economy and by extension also the market (Roethe 2021, 9). In 1856 the market along with its tolls and also the fair meadow and fair tolls were offered for sale by auction (West Briton and Cornwall Advertiser, 11 July, 1856). However, the plots do not appear to have been sold at this time, remaining in the ownership of the Bassets. However, it seems possible that the extension of the market may have been made soon after this in order to upgrade the market buildings.

The alterations at this time involved the removal of the existing stalls on the south east and south west sides of the southern courtyard, enlarging the courtyard to the south west and constructing the existing two-storey south west and south east ranges along with a single-storey range of stalls on the north west side of the new section of courtyard.

The new extension of the market is first shown on an undated plan of the market and Fair Meadow (Fig 9) and a plan of the manor of Tehidy dated 1874 (Fig 10). The 1874 plan shows the perimeter colonnades subdivided with stalls, which ran around the sides of the courtyard, and along both sides of the northern approach. The ones along the northern approach are labelled 'butchers' stalls'. The existing steps at the centre of the south west courtyard range are shown giving access to the Fair Meadow, the existing cart access through the south east range which leads to Station Hill is also shown, as are the centrally set steps in the north east range which led up to Treruffe Lane (now Alma Place). These steps did not survive later alterations in the 1880s.

In 1866 John Doidge's Directory of Redruth describes the market as 'a commodious market-place, built at the expense of the late Lord de Dunstanville, for the sale of corn,

meats, butter, poultry, eggs &c' (Doidge 1866, ix). In addition, the Redruth Rifle Corps kept their arms 'in a room in the market place' (Doidge 1866, xxi). This additional use as an armoury continued at least into the early 1880s (Roethe 2021, 9). In 1883, Kelly's Post Office Directory mentioned that the Duke of Cornwall's (1st) Rifle volunteers (H company) had their armoury in the market (Kelly & Co 1883, 1002).



Fig 9 Undated, mid 19th century plan of the market and Fair Meadow stamped 'F MICHELL, 18 FORE STREET, REDRUTH, CORNWALL' (Kresen Kernow, AD2753/P/137). The site of the market courtyard is outlined in red.

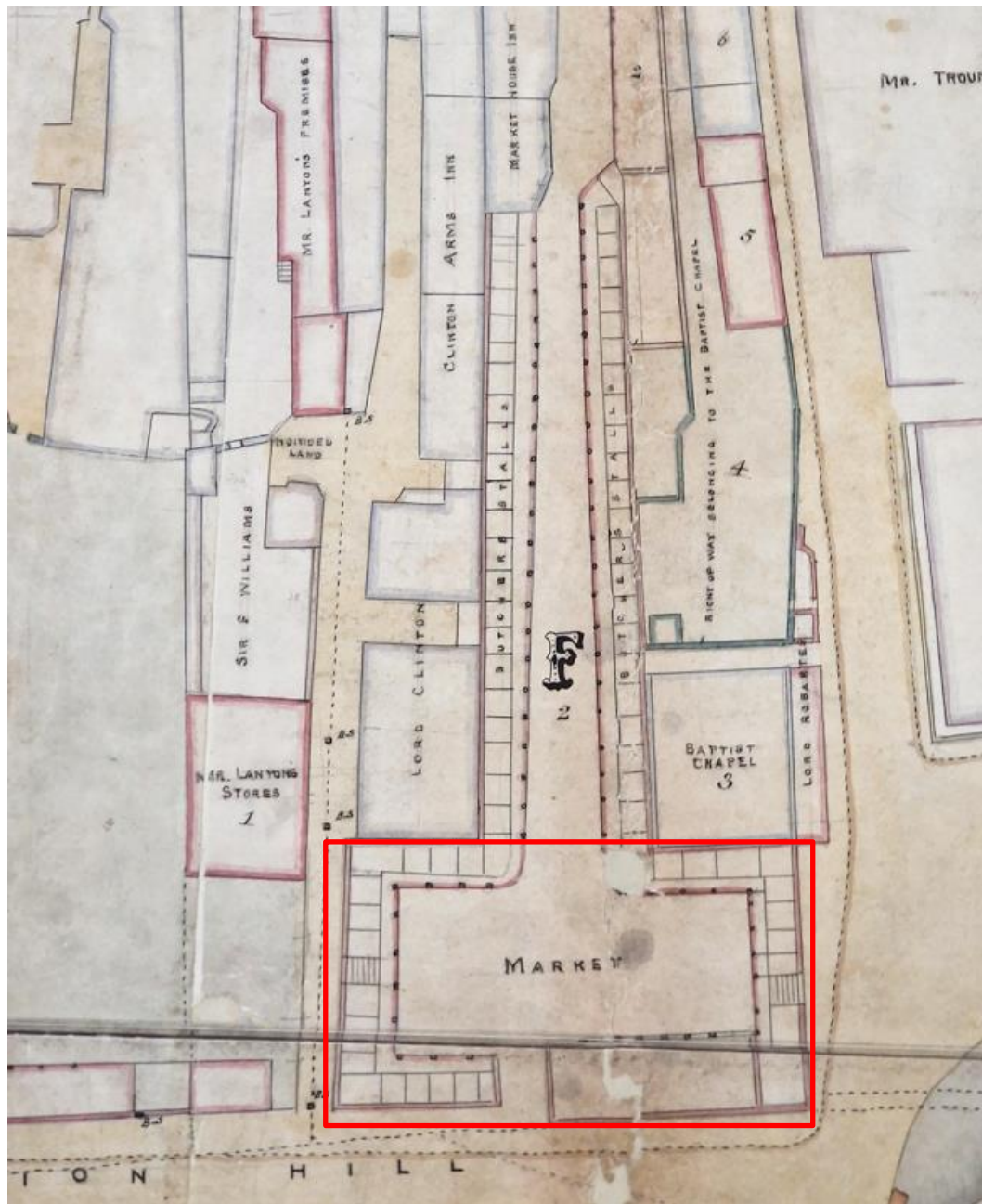


Fig 10 Detail of a plan of part of the manor of Tehidy, surveyed by James Henderson of Truro, June 1874. (Kresen Kernow, Library collection, 912.42376). The site of the market courtyard is outlined in red.

3.4 Remodelling and new market buildings 1877-79

In 1877, the West Briton newspaper reported that 'the rebuilding of the long talked of market house was commenced on Monday last' (Michell 1978, 176). This improvement of the market facilities was undertaken by Gustavus Lambert Basset and was said to have cost £2,500 (Kelly & Co 1883, 1001). The proposals were discussed between Mr Basset, via his steward John L Bolden, and the Local Board of Health from early 1877 (Royal Cornwall Gazette 23 February 1877).

The alterations to the market at this time involved removing the northern part, which had been occupied by single-storey stalls lining either side of an unroofed, linear passage, and replacing it with a two-storey, roofed, meat market building lined with stalls on either side, along with a central linear island of stalls and two linear passages. The north west

and north east ranges of the southern courtyard had been occupied by single-storey stalls which were also demolished at that time. The north west range was replaced with a wider, double height, open-sided covered market area and a new arrangement of steps were added on the north east side giving access to Alma Place.

This campaign of improvements to the market took place at the same time as the demolition of the adjoining Baptist Chapel along with all the buildings to the north of it fronting Treruffe Lane. This was undertaken in order to widen Treruffe Lane, which at that time was renamed as Alma Place in honour of the victory at the Battle of Alma in 1854 during the Crimean War.

The first stage of the redevelopment appears to have been the road widening, including the demolition of the Baptist Chapel and the north east range of single-storey stalls around the southern courtyard. An undated photograph from the 1870s shows the southern courtyard from Alma Place following demolished of the Baptist's chapel and the north east range of stalls, but prior to the construction of the new meat market building to the north and new north west range of the courtyard (Fig 11). The photo shows that the butchers' stalls to the north of the courtyard were single-storey covered stalls prior to the alterations. The two-storey market house of 1825-6 still had an open arcade at ground floor level at this time and it also had a central cross-gable on the north west elevation and a tall first-floor door opening at first floor level on the north east elevation.

The next stage of the redevelopment is shown on the first edition OS map (surveyed in 1877, Fig 13) and the OS town plan published in 1879 (Fig 12) which show the new meat market building on the site of the former northern stalls and the new double-height covered market area on the north west side of the southern courtyard. The new north west range continued across the site of the later Mining Exchange of 1880. The site to the south of this new range, the later site of the Wheal Peavor purser's office, was occupied by a new arrangement of steps leading down from Alma Place to the level of the courtyard and also up to the first floor door opening to the room over the market house. The buildings forming the three sides of the southern courtyard are depicted as open and supported on columns. A dotted line on the north side of the two-storey market house (labelled 'pork market') confirms that the arches of the ground-floor arcade were still open facing the courtyard at this time.

An article in the Cornish Telegraph in 1878 refers to the two-storey market house as the '*old corn market*' stating that it '*has been turned into and forms part of the butter-market. The Total Abstinence Society has had the place [first floor] granted them by Mr A Lanyon, the lease, for the purpose of holding their meetings therein.*' (Cornish Telegraph 9 July 1878).

In the mid-late 19th century, the pork market is said to have been the main place for buying and selling pork in West Cornwall. According to local historian Frank Michell, the pork market opened at 6am, dead pigs were brought to the market from all over West Cornwall and hung on the ground floor of the '*market hall*' (i.e., the arcaded market house). They were weighed, sold and many were taken away by train (Michell 1978, 197). It is possible that the function of the pork market became absorbed into the new meat market soon after the latter's completion (Roethe 2021, 13).

It is not known who designed the new meat market building. According to the local historian Linda Beskeen the architect James Hicks (1846-96), then the main architect in Redruth, is the most likely candidate (information from Linda Beskeen, 21 November 2020). Hicks designed many of the new buildings in Alma Place, including the slightly later Mining Exchange, the Redruth & District Savings Bank (Bain & Field's Bank), the Post Office and the Coffee Tavern (also known as the Lamb & Flag); the Wheal Peavor purser's office has also been attributed to him. In Station Road there are two similar single-storey offices with central pediments, which are also attributed to Hicks: the offices of Abbott & Wickett of 1880 and the offices of the Malayan Tin Dredging Company of 1891 (NHLE, numbers 1309843 and 1328169). By the time the c1877 meat market was built, Hicks had already designed several buildings for Alfred Lanyon, the lessee of the market, including the remodelling of Tolvean, Lanyon's house, in 1870 (Perry and Schwartz 2001, 66). Hicks worked in a wide range of architectural styles, and it is difficult

to identify any characteristics of his style for certain in any of the remaining fabric of the meat market (Roethe 2021, 13).

Alternatively, the meat market may have been designed by someone working for the site owner Gustavus L. Basset of Tehidy. The minutes of the Local Board of Health do not mention the author of the plans for the 'new market house' which Mr Bolden first showed the Board in April 1877 (Kresen Kernow, DCCR/90, page 80). The surveyor James Henderson of Truro, who had also surveyed and drawn the 1874 plan of the manor of Tehidy (Fig 10) for Basset, prepared a design for a new clock tower in May 1877 (which remained unexecuted) and a drainage plan for the market in January 1878 (Kresen Kernow, DCCR/90, page 89).

Another plan of the manor of Tehidy dated 1889 (Fig 14) shows the internal layout of the new meat market. It had a rectangular plan with two internal aisles lined with stalls along the outer walls and along a central block. Later aerial photos (Figs 18-21) show that as constructed its roof consisted of two hipped and clerestoried ranges, which were supported on a central spine of cast-iron columns (Johns, Berry and Gossip 2001, figure 19). It was entered from Market Strand to the north through one arched opening; two arched openings led into the market courtyard to the south. The new north west range of the southern courtyard is shown as two separate sections on either side of the entrances. Earlier maps had presumably shown them as one continuous structure because of the continuous roof over the two sections. According to this 1889 plan, the westernmost arches in the north west elevation of the two-storey market house of 1825-6 had been blocked. The plan also shows a short internal subdivision at the eastern end of the market house building and a narrow entrance in the north east elevation. The plan also appears to show a row of additional stalls north of the meat market building, on the east side of Market Strand, but it is not clear if they were formally part of the market complex.



Fig 11 Photograph taken in the 1870s following the demolition of the Baptist's chapel (Kresen Kernow, corn02860).

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Fig 12 OS town plan for Redruth (surveyed in 1878, published in 1879). The site of the market courtyard is outlined in red.

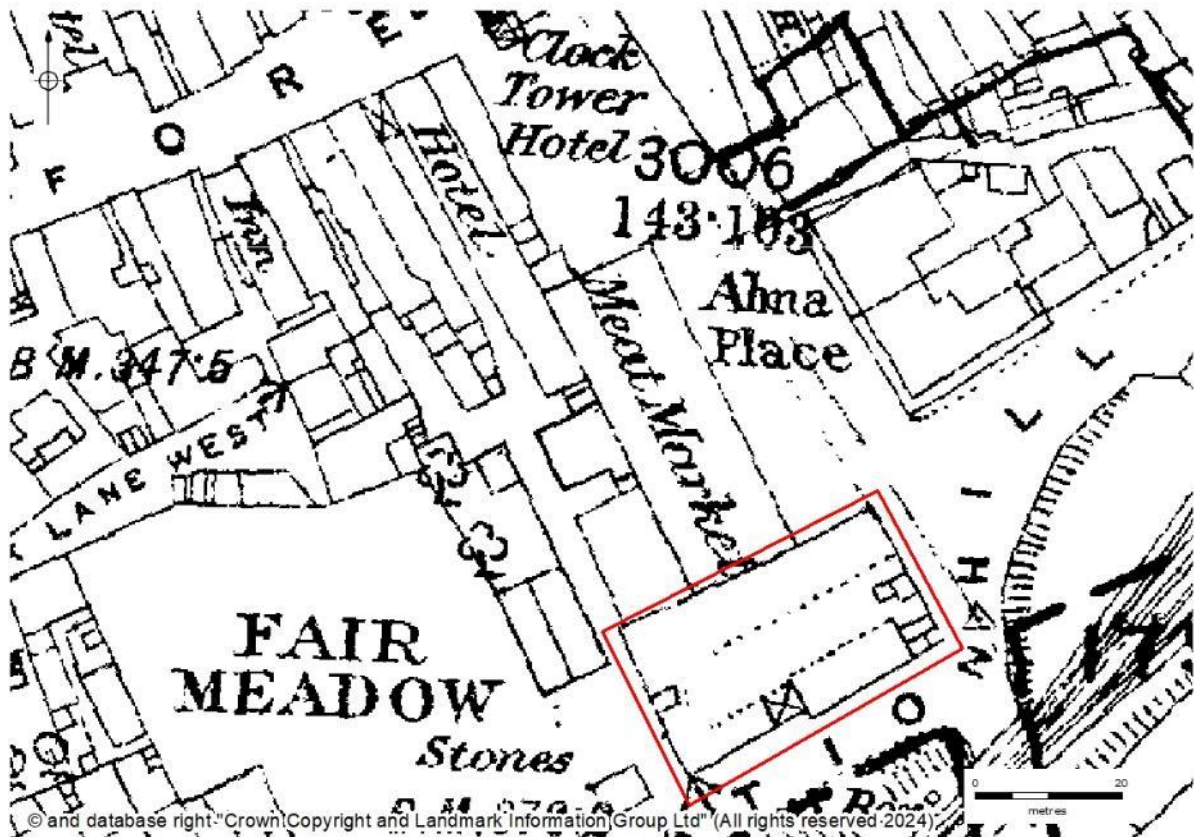


Fig 13 First Edition OS map of 1878. The site of the market courtyard is outlined in red.

3.5 Construction of new buildings fronting Alma Place 1879-1883

Further building works were undertaken on Alma Place between 1879 and 1880, culminating in the construction of a row of new public buildings adjoining the north east side of the market. These included (from south to north) the Mining Exchange, the Redruth and District Bank, a post office and a coffee tavern (the Lamb and Flag).

In May 1879 plans were presented by Mr DW Bain to the Redruth Local Board 'for the erection a post office and bank buildings adjoining the market house' (West Britain and Cornwall Advertiser, 15 May, 1879). In July 1879 it was reported that it was also proposed to build a coffee tavern here to be run by the Teetotal Society, and that Mr Hick's plans and estimates had been approved by Mr Basset who had granted a lease on the land (Cornish Telegraph, 22 July, 1879).

Both the bank and the post office were under construction in early 1879 and the post office opened in July 1880 (Cornubian and Redruth Times, 16 January 1879, 4; Cornubian and Redruth Times 25 July 1880, 4). The foundation stones for the Coffee Tavern, also known as the Lamb & Flag (a reference to Redruth's tin smelting stamp), were laid in December 1879 and the building opened in May 1880 (Cornish Telegraph, 19 May 1880, 7).

In January 1880 a number of men organised a meeting at which a decision was made to form The Redruth Mining Exchange Company. Amongst the founding members and directors of the company were Mr DW Bain and Mr TW Fields (founders of the new bank), Mr A Lanyon (leaseholder of the market buildings), and Mr T Pryor (purser of Wheal Peevor) (The Cornishman, 20 May 1880, 3). A decision was rapidly made to build a room for members of the Redruth Mining Exchange Company to meet and discuss sales of stocks and shares.

As a result of this, in 1880, the Mining Exchange was built (for member's use only) at first floor level inside the existing north west range of the market courtyard (which had only been built three years earlier) and next door to the new bank. Construction started in February 1880, and it opened in May 1880 (The Cornishman, 20 May 1880, 3). The work involved heightening this end of the range, adding a new frontage to the existing building and inserting a new floor and internal walls and ceiling.

Newspaper articles from 1880 describe the new Mining Exchange when newly built:

'an attractive little building of one storey. It consists of one large main room for the transaction of mining business, with a cloak-room in the rear and other conveniences. In the main room provision is made for a refreshment stand, which will be supplied from the coffee tavern adjoining, but not with intoxicating liquor. The frontage of the building is very striking. In the centre is a spacious doorway ornamented with Corinthian pillars and carved caps. Very neatly carved patras are also inserted in the panels around the arch, and over the door is a projecting panel on which the words "Mining Exchange" are carved.' (Cornubian and Redruth Times 1880, 4).

'one large room, 40 feet by 25 feet, well lighted and ventilated, and furnished with six large tables and that number of chairs. A lavatory and other conveniences are in connection with the building, and refreshments will be supplied by Mr. Edwards, of the Coffee Tavern. The hours are from 9 a.m. to 10 p.m.... The builders of the Exchange were Messrs Grey and Tamlyn, and the architect Mr. James Hicks (Redruth,) and upon their exertions reflects the greatest credit upon their abilities. The gas-fittings were supplied by Redruth Gas Company and the furniture by Messrs W. Wales and Messrs. Dungey Bros.' (Cornishman 1880, 3).

Following the completion of the Mining Exchange it seems that Thomas Pryor, one of the founding members of the Mining Exchange Company, and also the purser and main owner of Wheal Peevor and other mines, took the opportunity to build himself an office immediately to the south of the Mining Exchange. Thomas Pryor was a keen dealer in mine stocks and shares, and having an office so close to the Exchange must have given

him an advantage. His new office (now known as Wheal Peevor purser's office) had been completed by 1883 (Kelly 1883, 1006). It was constructed as a first floor room over the north east end of the market courtyard in the location of former steps which had led down from Alma Place into the market courtyard. The entrance to the new office was at street level on Alma Place.

The 1889 plan (Fig 14) shows the new buildings constructed between 1879 and 1883 on the west side of Alma Place. From south to north, they are labelled 'office' (Wheal Peevor purser's office), 'Mining Exchange', 'Redruth & District Bank', 'Post Office' and 'Lamb and Flag Eating tavern' (coffee tavern). Although the plan labels the Mining Exchange and neighbouring office, the drawing depicts the ground floor level below these in the market courtyard, rather than the rooms over.

3.6 The buildings from 1884 to 1899

Further, more minor, alterations to the buildings followed in the mid-late 1880s. On 31 May 1884, the carpenter Richard Nettle of Camborne, and the mason WH Gray of Redruth signed a contractors' agreement with the Tehidy Estate for creating a new roof for the 'Butter Market' (Kresen Kernow, TEM/1/335). This involved 'the completion of [a] new roof and raising walls three feet and launders [i.e., gutters] ... for the price or sum of £87'. This document almost certainly refers to the market house. An article in the Cornish Telegraph in 1878 refers to the two-storey market house as the 'old corn market' stating that it 'has been turned into and forms part of the butter-market'. The market house previously had a hipped roof which included a cross gable roof towards the courtyard (see Fig 11), which at that time was replaced by a new hipped roof at a higher level, built on new raised sections of first floor walls which were built up using stone rubble on either side of the former cross gable. The reason for raising the roof height in 1884 remains unknown.

In 1886, Gustavus Lambert Basset sold the market buildings, the Fair Meadow and the rights to the market and fairs to Alfred Lanyon, who had previously leased it for many years (Royal Commission 1889, 391-2). Alfred Lanyon was the son of John Charles Lanyon who was one of the occupiers of the market listed in the 1841 Tithe Apportionment. Before the purchase Alfred Lanyon had asked the auctioneer John Thomas to value the market buildings and related properties. The valuation of April 1886 includes a brief description of the market complex, listing 'the Meat Market, Pork Market, Buttermarket', and the associated properties like the De Dunstanville Arms pub and the shops and premises in Alma Place (Kresen Kernow, AD788/3). The valuation also took into account any factors which could affect their worth, including the benefit of the vicinity of the railway station, the local spending power and its dependence on the 'fluctuating' mining industry, the potential for increasing the cattle market facilities, and the need to invest in 'some frontages for building'. Thomas valued the properties at over £11,000 but proposed deducting £375 for repairs: 'considering the great roof area and that a good deal of it has skylights the deduction for repairs is, I feel, anything but excessive' (Kresen Kernow, AD788/3).

In October 1888, Arthur J. Ashton, Assistant Commissioner, visited Redruth on behalf of the Royal Commission on Market Rights and Tolls and took evidence on the state of the market and fair. Ashton's summary describes the cattle market held in the Fair Meadow, the 'general market' and 'pannier market' which were held in separate covered buildings, and a street market held on Saturdays. He concluded: 'The general market is not quite full but is very prosperous. This is about the best butchers' market in Cornwall' (Royal Commission 1889, 391). Ashton estimated that Lanyon took about £1,100 each year from rents, tolls and 'stallage'; the latter is a tax or toll for erecting a stall at a market or fair (Royal Commission 1889, 391). Some of the rents were for adjoining buildings; for example, the post office and bank in Alma Place had to pay five shillings a year rental for their south and west walls and another five shillings rental for ventilation and water pipes (Johns, Berry and Gossip 2001, 15). Alfred Lanyon described several covered markets (general, butchers', poultry and pork) but it is unclear which parts of the buildings these occupied. He also reflected on the change in produce sold at the market over time:

'The fact is that there is no corn market. I remember when the corn market was a very important item in the revenue of the market, but I do not suppose that anything has been collected from corn for the last five years... There was a time when there was no such thing as a butter market; it was a corn market, and the premises, which were then used as a corn market, are now used as a poultry and butter market, because a considerable trade has been developed in farm produce, which 30 years ago was an unknown business. ... No butter or poultry was brought to the market formerly... There is no fish market in my market, but I have no objection to fish coming into the market. The fish comes to Redruth, and they sell it upon stands in the street.' (Royal Commission 1889, 392-3).

For the transport of the goods and produce the market's vicinity to the railway station was crucial. When showing the assistant commissioner around the pork market Lanyon stated that *'by the 5.30 train all these 200 carcasses will be sent away to Plymouth'* (Royal Commission 1889, 396). Lanyon and the other men who gave evidence made a careful distinction between the 'official', chartered market held on Fridays, and the unofficial street market on Fridays, Saturdays and Tuesdays. James Hicks, who seems to have attended in his capacity as a prominent local citizen rather than as architect, explained at the inquiry the rise in popularity of the Saturday market: *'The Saturday market has arisen chiefly from this cause, that formerly the miners were paid on a Friday, and they came into the market on a Friday but the pay-day was changed from Friday to Saturday, and then they came on the Saturday instead, and the market on the Saturday has grown in consequence of the men, after receiving their pay, coming into the town.'* (Royal Commission 1889, 395). The Royal Commission's published account includes few details about the actual buildings. Lanyon only stated that: *'We have spent a large sum of money in the last few years, and improved the premises. The market has grown considerably in the last 10 years'*. (Royal Commission 1889, 393).

One effect of the Royal Commission's inquiry was to start local debates about the potential benefits of public ownership of the market. One of the first discussions at a meeting of the Local Board took place in December 1887 but the debate continued in the columns of the local newspapers into the early 20th century (Cornubian and Redruth Times, 30 December 1887, 7; Roethe 2021,17).

In November 1892, the architect James Hicks prepared plans for *'proposed additions to [the] market house'* (Kresen Kernow, X44/2, Fig 15). According to Linda Beskeen, these were for a proposed public hall above the market, which however remained unbuilt (information from Linda Beskeen, 21 November 2020). The proposed ground-floor plan shows three new staircases, including one in the courtyard, which would have led up to the upper floor over the meat market area to the north. According to this plan, the lower ground floor under the Mining Exchange was then in use as a 'Wholesale Meat Market' and the floor under the Wheal Peevor purser's office as 'Weighing Place'. The stalls in the south west range of the courtyard are labelled 'packing places'. The 'Refreshment Rooms' to the west of the meat market are the buildings in Clinton Passage now known as the Clinton Social Club. (Roethe 2021,17).

In the mid 1890s the mining industry in Cornwall crashed, with the price of tin and mining shares plummeting to an all-time low. In 1897 winding up orders were made for Wheal Peevor and West Peevor which had been amongst the richest mines in the 1880s (West Briton and Cornwall Advertiser, 24 April 1902). Following the closure of Wheal Peevor, Thomas Pryor continued to work from his office on Alma Place but concentrated his efforts on being a stocks and shares broker until his death in 1910 (Royal Cornwall Gazette, 4 August 1910).

Redruth Buttermarket Historic Building Record and Watching Brief

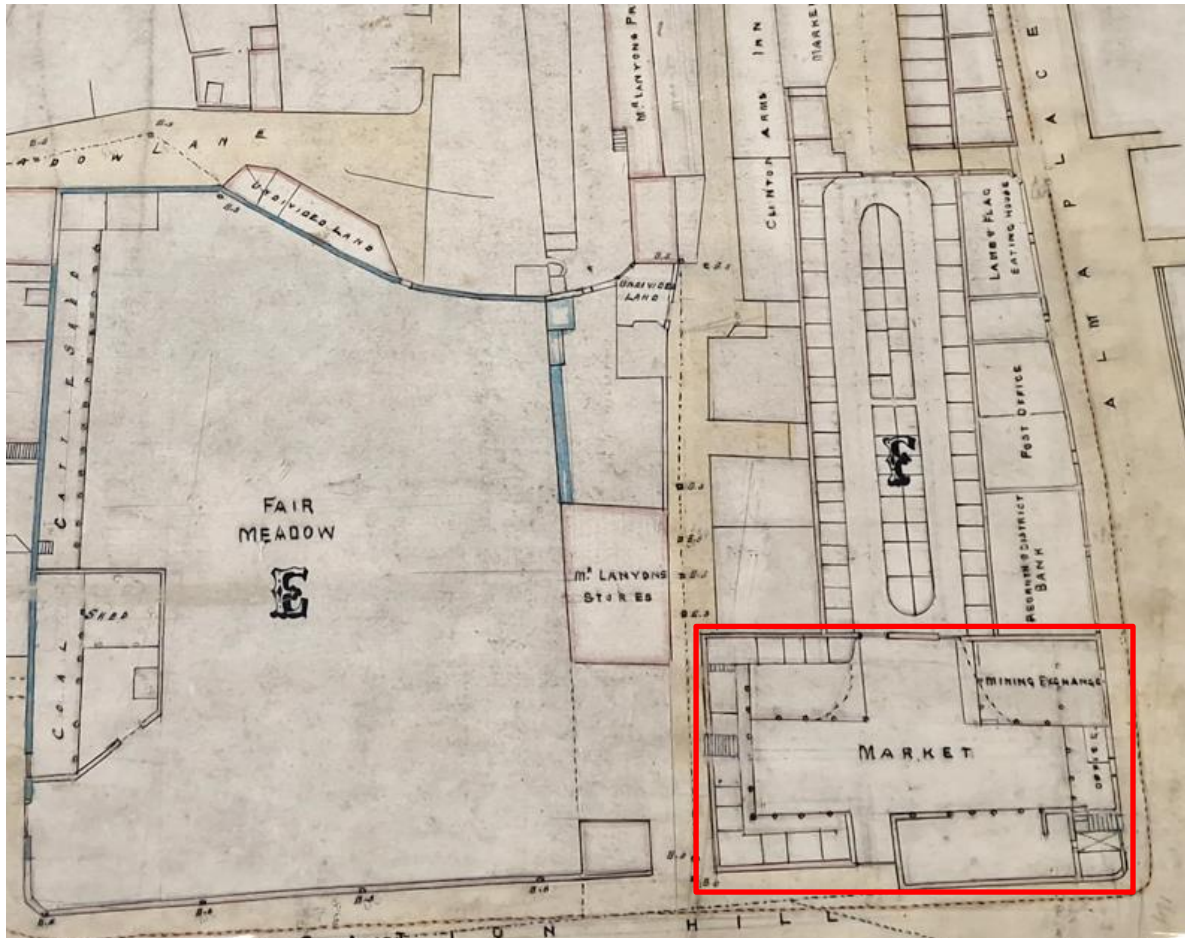


Fig 14 Detail of a plan of part of the manor of Tehidy, revised by William Brenton of Redruth, June 1889. (Kresen Kernow, Library collection, 914.2376). The site of the market courtyard is outlined in red.

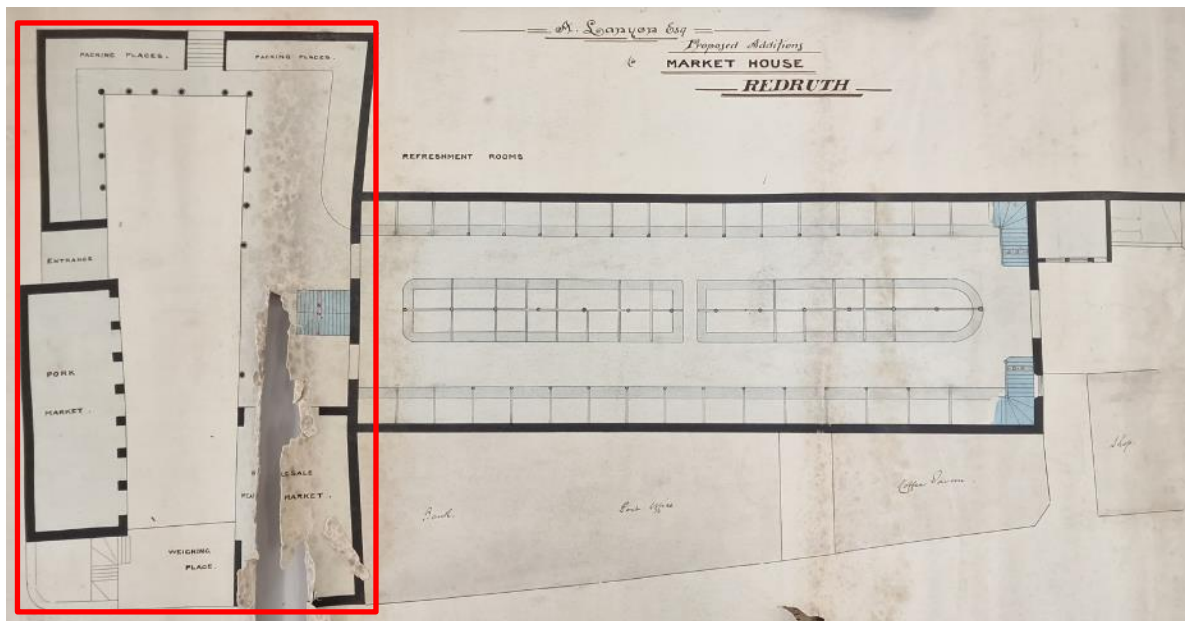


Fig 15 Ground floor plan of proposed but unexecuted additions to the market, November 1892, James Hicks (Kresen Kernow, X44/2). The site of the market courtyard is outlined in red.

3.7 Early 20th century

By 1901, the two-storey market house on the south side of the courtyard had ceased to be used for market purposes. Its upper floor was in occasional use for auction sales, and its ground floor was used as printer's workshop by the local printing and stationery company P. R. Earle & Co. The entry in Kelly's Post Office Directory of 1902 reads: '*P.R. Earle & Co., stationers and printers, Fore Street and Station Hill*' (Kelly 1902, 284). The address on Station Hill refers to the market house which was then accessed from Station Hill where a door opening had been inserted at that time. In earlier editions of the directory, up to and including 1897, the company was based only at 71 Fore Street, so it appears to have moved to the market house between 1897 and 1901 (Kelly 1897, 276). In 1901, a detailed inventory of the market buildings '*and [the] businesses carried on therein*' was prepared by the Liverpool and London and Globe Insurance Company, for the purposes of fire insurance (Kresen Kernow, AD788/6). Like the 1886 valuation, this encompassed all the buildings in Alfred Lanyon's ownership, including buildings in Alma Place and various sheds and stables. As the reference plan does not survive, it is difficult to identify some of the individual buildings referred to. However, it seems certain that entry no. 1 refers to the two-storey market house, no. 2 to the rest of the buildings around the courtyard and no. 3 to the meat market to the north. The relevant entries are:

'£300 on the Building of the Butter Market and Workshop and Office in tenure of Earle and Company, Printers, communicating situate [sic] Station Hill, Redruth aforesaid and marked No. 1. Said Market is occasionally used for Auction Sales and the Workshop contains a gas engine...for working two printing machines. One well secured stove standing on concrete floor...is allowed therein for warmth. A little paper polling is done but no paper bags, envelopes, or cardboard boxes made and no bookbinding done therein. £450 on the Building of the Butter, Poultry, and General Markets and Refreshment Room, including the Market Stalls and Weighing House communicating with each other and last marked No. 2 and partly Timber built. The ground floor extends under the Mining Exchange and Offices occupied by Mr Pryor [Thomas Pryor, the Wheal Peevor purser] to which this Insurance does not extend. £1,500 on the Building of the Meat Market and Stalls communicating with last, marked No. 3. £40 on the Building of the Mess Room and Domestic Offices communicating occupied by the Market Keeper adjoining last and marked No. 4.' (Kresen Kernow, AD788/6).

It is not clear which building or space the entry for building no. 4 refers to. The most obvious candidate is the small unit in Market Strand, just to the north of the meat market (see Figs 12-15), which appears to have been built at the same time as the meat market in the late 1870s.

The second edition OS map of c1907 (Fig 16) shows the market complex shortly after the turn of the century following the construction of the Mining Exchange and Wheal Peevor purser's office, although only the ground floor level in the market courtyard below is shown. An OS map of c1912 (Fig 17), however, indicates the locations of Mining Exchange and Wheal Peevor purser's office.

Around the turn of the 20th century, the debate about whether the market should become public property was revived and in 1902, the Redruth Chamber of Commerce passed a resolution recommending that the Urban District Council acquire the market. Their report stated: '*We are told that the market is not in the state it was ten or twelve years since, it is not now half of what it was then.*' (Cornubian and Redruth Times, 17 October 1902, 5). However, although Alfred Lanyon, the market's owner, was willing to sell the market, this proposal did not come to anything.

Lanyon died on 5 March 1915 (West Briton, 11 March 1915, 4). A few years later, his executors offered the market and fair for sale to Redruth Urban Council but in April 1919 they withdrew their offer, presumably because the Council were not in a position to accept it (The Cornishman, 16 April 1919, 2; Kresen Kernow, AD788/47). They were next offered to the Redruth Chamber of Commerce which formed a limited liability company, the

Redruth Market Company (later Redruth Market Ltd), which was incorporated on 18 January 1920 and acquired the market for £3,000 (Michell 1978, 214; Kresen Kernow, AD788/47; West Briton 1 April 1920, 6).

Before the sale, both parties jointly sought legal opinion on the extent of the market rights and whether they constituted a monopoly on markets in the parish. The resulting report by Arthur Underhill of Lincolns Inn Fields found that *'of late years many butchers' shops have been opened in the town and the Market House has been less occupied'*. He also observed that *'four of the stalls seem to have been sold in fee simple, [and] that the upper part of the market house appears to be a separate freehold owned by third parties'* (Kresen Kernow, AD788/47). The latter note probably refers to the upper floors of the Mining Exchange and the Wheal Peevor purser's office. A meeting of the newly formed Redruth Market Company (later Redruth Market Ltd) in March 1920 considered plans for alterations to the Fair Meadow and to adapt the 'market hall' for use as a corn exchange (West Briton 1 April 1920, 6). Clearly the use of the 'market hall' (market house did not change) it continued in use as a printing works throughout the 20th century.

In the early 1920s the chairman of directors of the Redruth Mining Exchange Company was Mr James Wickett of Messrs Abbott and Wickett (stock and shares brokers) (Daily Record, 19 January 1922). Following his death in 1922 the Mining Exchange closed, and the Redruth Mining Exchange Company Ltd was liquidated (Cornish Post and Mining News, 20 May 1922). The Mining Exchange building was sold by its remaining directors by auction and was purchased by the Redruth Market Company in 1922 (Cornubian and Redruth Times, 25 May 1922). Following their acquisition of the building, and in the same year, the Redruth Market Company added the existing first floor extension to the rear of the Mining Exchange in the former covered market area in the north west range of the courtyard (Cornubian and Redruth Times, 7 September 1922).

On aerial photos of 1924 and 1928 the market buildings appear largely unaltered in their external form and footprint since the 1880s (Figs 18-21). One notable change is the insertion of first-floor rooms at the north east end of the north west courtyard range, adjoining the rear of the Mining Exchange (see Figs 18-20). These first floor rooms were added in 1922 following the acquisition of the market by the Redruth Market Company. Another is the hipped roof on the market house added in the 1880s and an inserted chimneystack for the printer's added in c1900, (Figs 20 and 21). By the time the aerial photograph of 1928 was taken, the replacement 1880s roof of the market house was painted with lettering to advertise 'Moons Pianos, Plymouth & Truro' to passing railway passengers. The photograph also shows the open lower ground floor under the Mining Exchange, which was still used as part of the market (Roethe 2021, 21).



Fig 16 c1907 OS map. The site of the market courtyard is outlined in red.

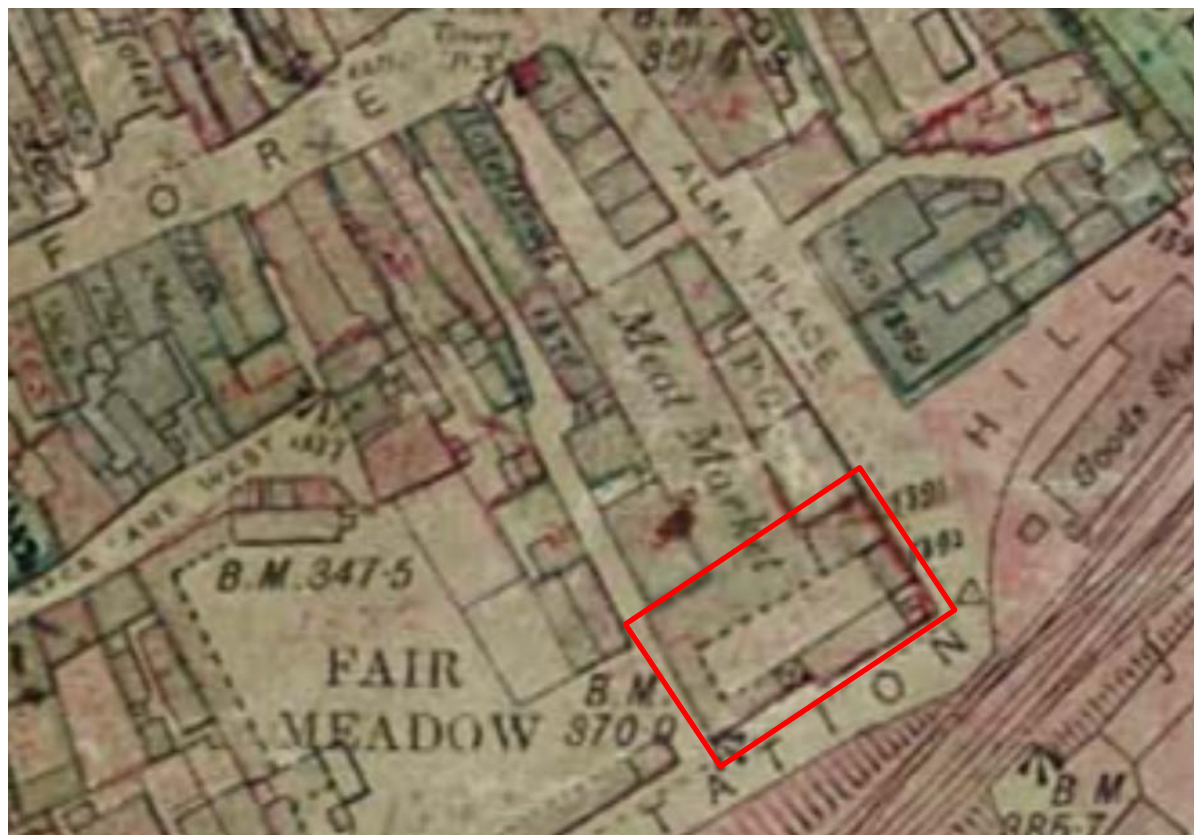


Fig 17 c1912 Ordnance Survey Map, Cornwall sheet LXIII.7 (Kresen Kernow, DV/5/123). The site of the market courtyard is outlined in red.

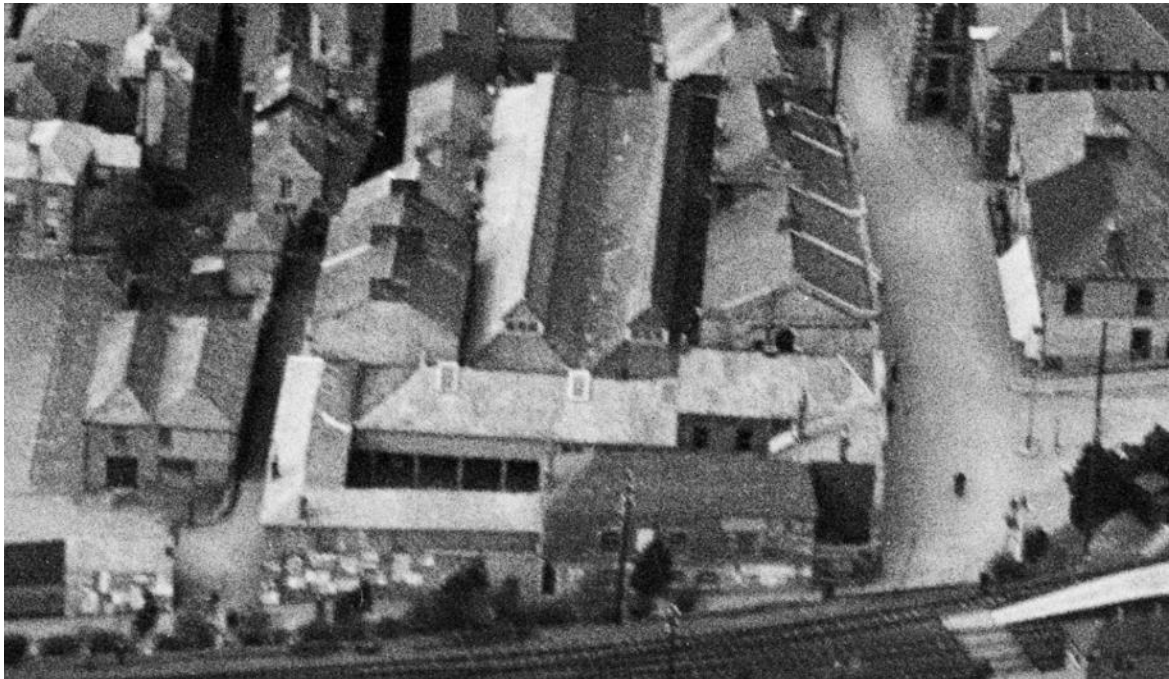


Fig 18 Aerial photograph taken in 1924 (www.britainfromabove.org.uk EPW009904A).



Fig 19 Aerial photograph taken in 1924 (www.britainfromabove.org.uk EPW009905).



Fig 20 Aerial photograph taken in 1928 (www.britainfromabove.org.uk EPW021734).



Fig 21 Aerial photograph taken in 1928 (www.britainfromabove.org.uk EPW021733).

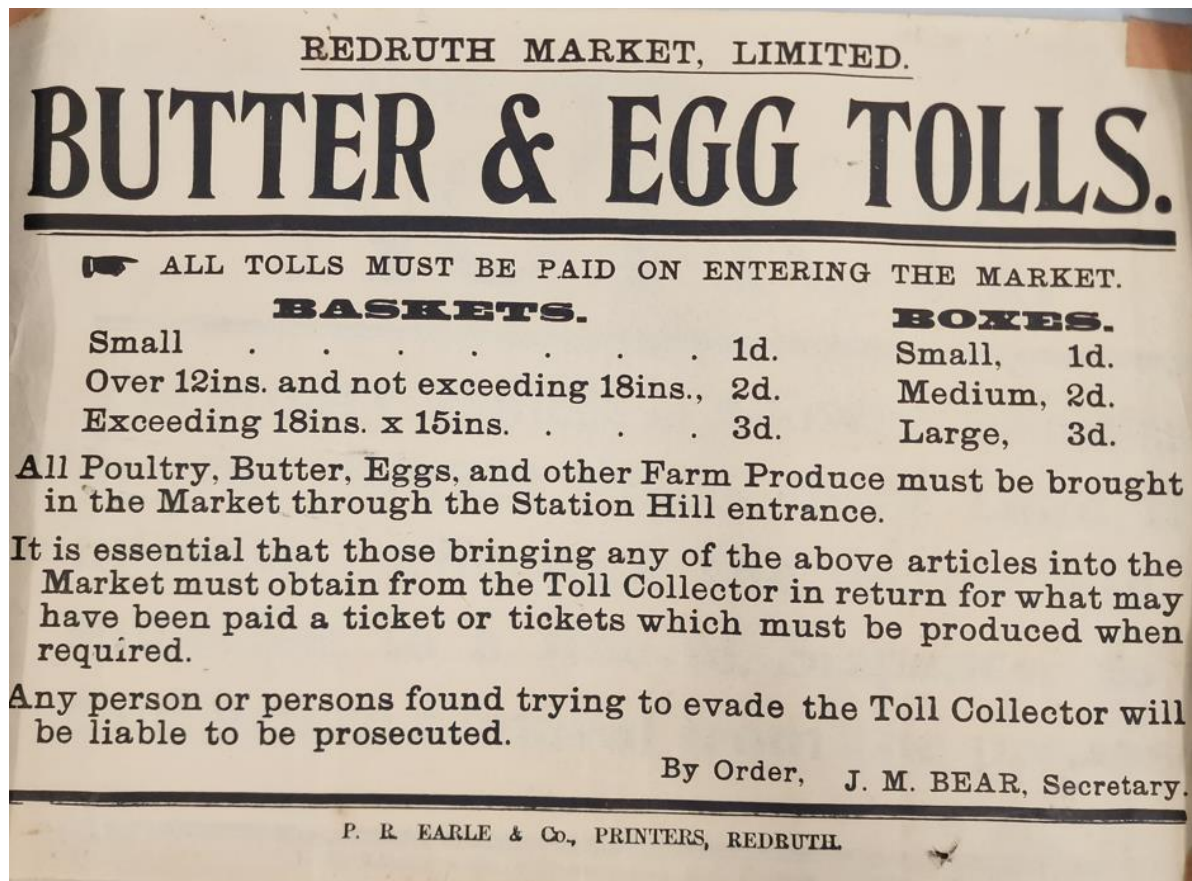


Fig 22 Early-mid 20th century market poster (post-1920) printed by PR Earle and Co (Kresen Kernow ref: AD2839/B/12).

3.8 c1930-1977

In the mid 20th century there were a number of alterations and extensions made to the market buildings. In the 1930s or 1940s the market stalls on the first floor of the south west and south east ranges of the courtyard were removed, and the space converted as a residential flat. This flat was in use by 1950, as shown by an inserted toilet window in the south west elevation on an aerial photograph taken in 1950 (Fig 23) and evidenced by the tiled fireplaces of this period (replacing the earlier mid 19th century fireplaces). It is likely that at the same time a room (possibly an office for toll collections) was created at ground floor level in the south east range, just to the south west of the cart opening onto Station Road. This involved the removal of two columns and construction of concrete block-built walls in the colonnade. This room is shown on the 1967 OS map (Fig 24).

In 1931, the De Dunstanville Hotel (formerly the 'De Dunstanville Arms' and also known as the 'Market Inn') at the corner of Fore Street and Market Strand (see Fig 12) was demolished, together with some 'old market buildings' to make way for the new Burton's shop at 73-74 Fore Street (Michell 1978, 218). According to the local historian Frank Michell, at the same time some redundant 'pillars of the market' were moved to Penventon (now the Penventon Park Hotel, Redruth), the former residence John Penberthy Magor (one of the founding members of the Redruth Brewery Company) and later of Sir Arthur Carkeek (Michell 1978, 218). It is not clear where these columns came from, but they may have been the two that were removed in the south east range of the courtyard when the new room was inserted.

Two reused granite Tuscan columns reported to have come from the market, and which match those surviving in the market courtyard were located at Chymbbla House (a former fuse factory which was later taken on by Redruth Brewery as offices). This building lies immediately north of the brewery site (now Kresen Kernow), and close to Penventon.

The building was photographed by CAU in 2005 (Fig 28) when the columns were still *in situ* supporting a portico. They may have been the two that were removed from the south east range of the market courtyard when the new room was inserted.

At some point in the 1960s and certainly by 1967, a shallow, two-storey extension had been built behind the former Wheal Peevor purser's office. On the OS map of 1967 (Fig 24) this is shown as an extension associated with the market house, which is labelled 'printing works'. In fact, its use appears to have been split horizontally, with the lower ground floor used in conjunction with the printing works, and the upper ground floor used as an auction house by the auctioneers and estate agents (Richards, Son and Murdoch) who then occupied the Wheal Peevor purser's office in Alma Place (information from Ross Williams, 9 December 2020). This split use was certainly in place ten years later, when another extension was proposed (Planning Application number W2/76/01289/F). As part of the 1960s extension the area under Wheal Peevor purser's office was maintained as part of the market, retaining access between the courtyard and the steps up to Alma Place.

At some point in the mid 20th century (at least by 1966) the meat market to the north ceased trading because of the lack of traders and the increased costs, and the building was sold and repurposed as Dowty's furniture and carpet warehouse. According to Frank Michell, the Redruth Market Company sold the meat market in 1958 to Dowty's, although he does not cite a source (Michell 1978, 176, 224). Dowty's, however, only started advertising its business at the old meat market site in local newspapers in 1966 (West Briton and Cornwall Advertiser, 5 May 1966). As part of the conversion of the meat market in the c1960s, the granite floor was covered in concrete and an additional floor was inserted, supported on steel joists (Johns, Berry and Gossip 2001, 14). At this time the two door openings giving access through to the courtyard were blocked and the market from that time onwards was reduced to the courtyard area.

In 1976, there were two planning applications for the site: in September, an application for the erection of an extension in the market courtyard was refused because of concerns that it would represent an overdevelopment (Planning Application number W2/76/00040/F). In January 1977, a revised application for the erection of a two-storey extension to the printing works (the two-storey market house), paper store and estate agent's office (the former Wheal Peevor purser's office) was approved (Planning Application number W2/76/01289/F). This extension was added behind the earlier 1960s extension to Wheal Peevor purser's office.

It seems likely that the area underneath the former Wheal Peevor purser's office was converted at this time (or soon after), as ground floor rooms with a staircase inserted to connect them with the auctioneer and estate agent's offices above.

In the mid-late 20th century, the ground floors of the ranges around the courtyard continued to be used for market trading (with the exception of the market house and area below Wheal Peevor purser's office). A Saturday market which had started in the Fair Meadow in 1971 later moved into the market courtyard (Michell 1978, 225). Continued market trading is shown in undated photographs taken in c1980 (Figs 25-27).



Fig 23 Aerial photograph taken in 1950 (www.britainfromabove.org.uk EAW033647).

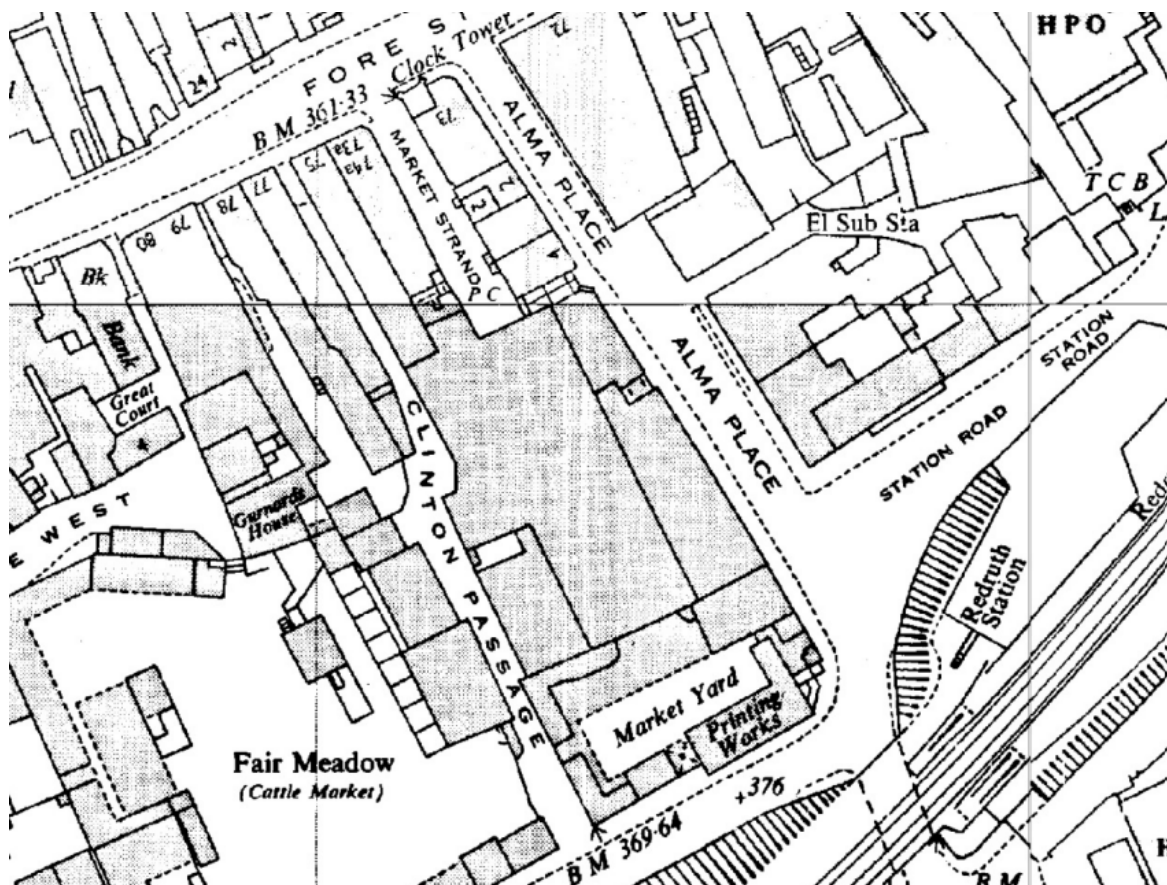


Fig 24: Detail of the OS map (1:1250), published in 1967.

3.9 Late 20th century to present

On 10 September 1982, a fire broke out in Dowty's warehouse in the former meat market and spread to the buildings on the west side of Alma Place. The meat market building was completely gutted, leaving only the outer walls, as were the former bank and post office in Alma Place (Johns, Berry and Gossip 2001, 14, 18). The small structure on the west side of Market Strand and just to the north of the meat market, which may have

been the market keeper's offices, was also destroyed. In 1985, Charville Estates Ltd purchased the site of the burnt-out buildings, but their initial proposal for a medium-sized supermarket and five shop units did not materialise (Johns, Berry and Gossip 2001, 26). In 1992, the Town Centre Strategy for Redruth recommended the use of the Alma Place buildings for a Redruth Heritage Centre (Johns, Berry and Gossip 2001, 26). Following the offer of an HLF grant for £600,000 in 1998, full planning permission was granted in May 1999 for the design by the architects Hocking & Newton Planning Application number W2/PA99/H0015). In early 2000, the buildings were researched, a photographic record was made, three trial trenches inside the former meat market excavated, and the floors recorded by CAU (Johns, Berry and Gossip 2001). Work on site started in February 2000 and the buildings opened in October 2001 (Johns, Berry and Gossip 2001, 26). The new design did not attempt to recreate the 1870s building but instead included a ground-floor arcade of shop units on either side of a central corridor with a larger covered space beyond and a first floor with offices. The historic outer walls were preserved as far as possible, albeit with some changes to the openings in the north and south walls. The former bank and post office were converted to the Cornwall Centre containing the Cornish Studies Library, and the new building on the site of the former meat market was used for independent shops and offices above. The buildings are now owned by Redruth Town Council. As part of this development, the eastern one of the two door openings that had led from the meat market into the southern courtyard, and which had been blocked in the c1960s, was reopened.

In 1989, the Redruth Market Company sold the Fair Meadow to the local council and the last cattle market was held there in February that year (West Briton and Cornwall Advertiser, 26 January 1989, 3). The proceeds from the sale enabled them to undertake a programme of refurbishment in market courtyard in 1997 and in the following few years. An article in the West Briton and Cornwall Advertiser, 20 March 1997, reported that new slate roofs were being added, the buildings were being repointed, and the gates to the south west were being renovated by Graham Collier of Cornish Gates, Lanner, along with works to the cattle market carpark and its gates. The article also mentioned that English Heritage had said that funding might be available to re-cobble the courtyard (West Briton and Cornwall Advertiser, 20 March 1997, 5).

In 1996, Conservation Area Consent had been granted for re-roofing and alterations to the market courtyard (Planning Application number W2/PA96/C0028). The works in 1997 (some also recorded in the newspaper article) included replacing the roof covering and replacing some rafters on the south east and south west colonnaded ranges, replacing some of the capitals on the Tuscan columns in the south east and south west ranges with moulded concrete capitals, replacing the lintel over the cart opening in the south east elevation of the south east range with concrete, adding a new downpipe on this elevation, repointing works and renovating or replacing the iron gates to the south west.

During this time, concrete pillars were inserted below the 1920s Mining Exchange extension in the north west range. These pillars either replaced or encased the 1922 steel support girders (shown in photographs of c1980, Figs 25-27). At the same time the beams and area on the underside of this extension were also encased in concrete and a staircase was inserted giving access to the rooms above. The concrete pillars and staircase are shown as existing on a 1996 elevation drawing associated with Planning Application W2/PA96/C0028. The modern shop unit under the 1922 first floor extension of the Mining Exchange may also have been inserted at this time.

At some point during this period two new RSJs were inserted below the Mining Exchange to support the floor.

Some commercial activity continued in the courtyard units in the 1990s, in addition to a Saturday market of stalls. Although there were several grand redevelopment designs for the cattle market site, none of them came to fruition and the site was used from then onwards as a carpark.

At some point after 1997 the courtyard was re-cobbled and paved, leaving most of the historic cobbled surfaces intact, directly below it.

For most of the 20th century many of the buildings had been in a variety of alternative uses. Following the death of Thomas Pryor in 1910, Wheal Peevor purser's office became an optician's shop and by the early 1950s it had become the auctioneer and estate agent's office of Richards, Son and Murdoch who still occupied the property until recently. Following the closure of the Mining Exchange in 1922 and its acquisition by the Redruth Market Company, the building was used as office space. Later the Mining Exchange was leased out by the Redruth Market Company and used as a day centre for the elderly between 1983 and 1997 (West Briton, 1 May 1997). After 1997 it was leased for use as an Age Concern shop, and in 2001 it became a housing and council advice office (Planning Application number: W2/PA01/00755/F).

The printers (later known as Earles Press) still occupied the ground floor of the market house up until at least 1989 (West Briton and Cornwall Advertiser, 27 April 1989). However, after a period of disuse, in 2001 planning permission was granted for the conversion of the ground floor of the market house to a place of worship for the Emmanuel Full Gospel International Church (Planning Application number W2/PA01/00581/F). More recently, the ground floor of the building was in use as a hairdresser's salon, while the upper floor was used as an auction house, artist's studio and exhibition space.

In 2017, the market buildings and Mining Exchange were bought by Redruth Revival Community Interest Company and in the following year Redruth Market Ltd (formerly Redruth Market Company) was formally dissolved (Companies House, 'Redruth Market Limited, company number 00162868'). Redruth Revival Community Interest Company went on to acquire Wheal Peevor purser's office in 2021.

In 2021 the covered market area in the north west range was given a new intermediary roof covering, replacing the earlier (probably 1920s) corrugated asbestos sheets which were leaking (Planning Application number: PA20/10606).



Fig 25 Photograph of the covered market area taken in c1980 (Kresen Kernow ref: AD2828/B/70 153-9).



Fig 26 Photograph of the covered market area, the Mining Exchange and 1977 extension to Wheal Peevor purser's office taken in c1980 (Kresen Kernow ref: AD2828/B/70 153-10).



Fig 27 Photograph of the covered market area, the Mining Exchange, the 1977 extension to Wheal Peevor purser's office and the Market House taken in c1980 (Kresen Kernow ref: AD2828/B/70 153-11).



Fig 28 Chymbbla House to the north of Kresen Kernow (former 19th century safety fuse works owned by Alfred Lanyon) taken in 2005, showing two granite Tuscan columns taken from the market in the c1930s and reused in the portico.

4 Historic development of the buildings

(See phase plans, Figs 29 and 30).

Phase 1: New market of 1825-26

In the spring of 1825, Sir Francis Basset initiated the construction of a new, larger market on a new site lying within the burgage or garden plots of properties fronting Fore Street. In April 1825 an invitation to tender for the building work of the 'new Market-House' was advertised in the Royal Cornwall Gazette (Royal Cornwall Gazette, 9 April 1825). By August 1826, the work appears to have been well advanced, and the Royal Cornwall Gazette reported: *'The new market-place at Redruth is in a state of forwardness, so that the removal of the serious nuisance created by holding the market in the street, will speedily be removed [sic]. The stalls for the butchers are finished and on Tuesday the persons who are to occupy them were, we understand, treated with a substantial dinner, &c. at the cost of Lord de Dunstanville, on whose estate the new market is built.'* (Royal Cornwall Gazette 19 August 1826). The Basset family's estate accounts reportedly include an entry for paying *'an account of Building a new market house at the Market Place at Redruth'* for £2,000, which was paid on 13 September 1826. Smaller sums were paid in the following years: £507 11s 11d in 1827 and £116 18s 9d in 1828 (Michell 1978, 94). The new 1825-6 market buildings were constructed in an L-shaped plan entered from a newly made access lane on the south side of Fore Street, immediately west of the clock tower. They comprised a series of single-storey stalls along either side of a passage leading southwards along the former burgage/garden plots to a rectangular courtyard at the southern end which backed onto an existing Baptist's chapel that had been built in c1806 fronting Treruffe Lane (now Alma Place). The rectangular courtyard was lined with further stalls as well as a two-storey market house occupying the southern perimeter. The two-storey market house had an open arcade at ground floor level and a central cross-gable on the north west elevation. The new layout is shown on two maps dating to the mid 1850s (Figs 7 and 8).

The two-storey market house on the south side of the courtyard is the only surviving phase 1 building, although the retaining wall on the north east side of the courtyard (below the Alma Place frontages) also appears to date to this period.

Phase 2: extension of the courtyard 1855-1874

At some point between 1855 and 1874, the courtyard at the south end of the market was extended to the south west, resulting in an inverted T-plan rather than the former L-plan. It seems likely that the extension happened early on within this timeframe, possibly in the late 1850s. It may well have been prompted by the economic peak of the local mining industry in the 1850s and the construction of a new Redruth railway station in 1852 just to the north east of the site.

The alterations at this time involved the removal of the existing phase 1 stalls on the south east and south west sides of the southern courtyard, enlarging the courtyard to the south west and constructing the existing two-storey south west and south east ranges along with a single-storey range of stalls on the north west side of the new section of courtyard.

The new extension of the market is first shown on an undated plan of the market and Fair Meadow (Fig 9) and a plan of the manor of Tehidy dated 1874 (Fig 10). The 1874 plan shows the perimeter colonnades subdivided with stalls, which ran around the sides of the courtyard, and along both sides of the northern approach. The ones along the northern approach are labelled '*butchers' stalls*'.

The existing two-storey south east and south west colonnaded ranges in the courtyard date to this period including the main cart entrance to the south east and stepped pedestrian entrance to the south west.

Phase 3: remodelling work in 1877-79

In 1877, the West Briton newspaper reported that '*the rebuilding of the long talked of market house was commenced on Monday last*' (Michell 1978, 176). This improvement of the market facilities was undertaken by Gustavus Lambert Basset and was said to have cost £2,500 (Kelly & Co 1883, 1001).

The alterations to the market at this time involved removing the northern part, which had been occupied by phase 1 single-storey butchers' stalls lining either side of an unroofed, linear passage, and replacing it with a two-storey, roofed, meat market building lined with stalls on either side, along with a central linear island of stalls and two linear passages. The north west and north east ranges of the southern courtyard had been occupied by single-storey phase 1 and phase 2 market stalls which were also demolished at that time. The north west range was replaced with a wider, double height, open-sided covered market area and a new arrangement of steps were added on the north east side giving access to Alma Place.

This campaign of remodelling of the market took place at the same time as the demolition of the adjoining Baptist Chapel to the north west of the courtyard along with all the buildings to the north of it fronting Treruffe Lane. This was undertaken in order to widen Treruffe Lane, which at that time was renamed as Alma Place in honour of the victory at the Battle of Alma in 1854 during the Crimean War.

The first stage of the redevelopment appears to have been the road widening, including the demolition of the Baptist Chapel and the north east range of single-storey stalls around the southern courtyard. An undated photograph from the 1870s shows the southern courtyard from Alma Place following demolished of the Baptist's chapel and the north east range of phase 1 stalls, but prior to the construction of the new meat market building to the north and new north west range of the courtyard (Fig 11). The photo shows that the phase 1 butchers' stalls to the north of the courtyard were single-storey covered stalls prior to the alterations.

The next stage of the redevelopment is shown on the first edition OS map (surveyed in 1877, Fig 13) and the OS town plan published in 1879 (Fig 12) which show the new meat market building on the site of the former northern stalls and the new double-height covered market area on the north west side of the southern courtyard. The new north

west range continued across the site of the later Mining Exchange at the same level; but this end of the range already had an upper floor prior to the construction of the Mining Exchange in 1880. The site to the south of this new range, the later site of the Wheal Peevor purser's office, was occupied by a new arrangement of steps leading down from Alma Place to the level of the courtyard and also up to the first floor door opening to the room over the market house. The buildings forming the three sides of the southern courtyard are depicted on the town plan (Fig 12 as open and supported on columns. A dotted line on the north side of the two-storey market house (labelled 'pork market') confirms that the arches of the ground-floor arcade were still open facing the courtyard at this time. It seems likely that a new water tank (revealed during the watching brief) was added below ground on the north west side of the courtyard at this time.

An article in the Cornish Telegraph in 1878 refers to the two-storey market house as the 'old corn market' stating that it 'has been turned into and forms part of the butter-market. The Total Abstinence Society has had the place [first floor] granted them by Mr A Lanyon, the lease, for the purpose of holding their meetings therein.' (Cornish Telegraph 9 July 1878).

Phase 4: Construction of the Mining Exchange 1880

Following the completion of the phase 3 remodelling of the market buildings, the north east end of the newly finished north west courtyard range was remodelled in 1880 to accommodate the Redruth Mining Exchange Company on its upper floor (accessed from Alma Place).

In 1879 work had begun on the construction of new public buildings fronting Alma Place adjoining the north east side of the market. These included (from south to north) the Redruth and District Bank, a post office and a coffee tavern (the Lamb and Flag).

During the construction of these new public buildings in January 1880 a number of men organised a meeting at which a decision was made to form The Redruth Mining Exchange Company. Amongst the founding members and directors of the company were Mr DW Bain and Mr TW Fields (founders of the new bank), Mr A Lanyon (leaseholder of the market buildings), and Mr T Pryor (purser of Wheal Peevor) (The Cornishman, 20 May 1880, 3). A decision was then rapidly made to build a room for members of the Redruth Mining Exchange Company to meet and discuss sales of stocks and shares.

As a result of this, in 1880, the Mining Exchange was built (for member's use only) at first floor level inside the existing north west range of the market courtyard (which had only been built three years earlier) and next door to the new bank. Construction started in February 1880, and it opened in May 1880 (The Cornishman, 20 May 1880, 3). The work involved heightening the building at this end but reusing the phase 3 roof structure, adding a new frontage to the existing building, adding internal walls and ceiling and heightening the earlier floor level by removing the old floor structure and inserting a new one. The area adjoining the market courtyard below the Mining Exchange was also remodelled at this time as a consequence of inserting a replacement upper floor, and it was then used as a wholesale meat market.

Newspaper articles from 1880 describe the new Mining Exchange when newly built:

'an attractive little building of one storey. It consists of one large main room for the transaction of mining business, with a cloak-room in the rear and other conveniences. In the main room provision is made for a refreshment stand, which will be supplied from the coffee tavern adjoining, but not with intoxicating liquor. The frontage of the building is very striking. In the centre is a spacious doorway ornamented with Corinthian pillars and carved caps. Very neatly carved patras are also inserted in the panels around the arch, and over the door is a projecting panel on which the words "Mining Exchange" are carved.' (Cornubian and Redruth Times 1880, 4).

'one large room, 40 feet by 25 feet, well lighted and ventilated, and furnished with six large tables and that number of chairs. A lavatory and other conveniences are in connection with the building, and refreshments will be supplied by Mr. Edwards, of the Coffee Tavern. The hours are from 9 a.m. to 10 p.m.... The builders of the Exchange were Messrs Grey and Tamlyn, and the architect Mr. James Hicks (Redruth,) and upon their

exertions reflects the greatest credit upon their abilities. The gas-fittings were supplied by Redruth Gas Company and the furniture by Messrs W. Wales and Messrs. Dungey Bros.' (Cornishman 1880, 3).

Phase 5: c1883 construction of Wheal Peevor Purser's Office

Following the completion of the Mining Exchange it seems that Thomas Pryor, one of the founding members of the Mining Exchange Company, and also the purser and main owner of Wheal Peevor and other mines, took the opportunity to build himself an office immediately to the south of the Mining Exchange. Thomas' new office (now known as Wheal Peevor purser's office) had been completed by 1883 (Kelly 1883, 1006).

It was constructed at that time as a first floor room over the north east end of the market courtyard in the location of the former phase 3 steps which were removed at that time but had led down from Alma Place into the market courtyard. The entrance to the new office was at street level on Alma Place where a new frontage was added. The area adjoining the courtyard below the office was then used as a weighing area, open to the courtyard, with the office above supported on cast iron columns.

As part of the works a new flight of granite steps were built on the south side of the office so that the market courtyard could still be accessed from Alma Place. The insertion of these steps meant that the phase 1 door opening at ground floor level in the north east wall of the Market house was blocked at this time.

Phase 6: 1884 heightening and reroofing of the Market house

On 31 May 1884, the carpenter Richard Nettle of Camborne, and the mason WH Gray of Redruth signed a contractors' agreement with the Tehidy Estate for creating a new roof for the 'Butter Market' (Kresen Kernow, TEM/1/335). This involved *'the completion of [a] new roof and raising walls three feet and launders [i.e., gutters] ... for the price or sum of £87'*. This document refers to the market house which had previously had a hipped roof including a cross gable facing towards the courtyard (see Fig 11). In 1884 the roof was replaced by a new hipped roof at a higher level, built on new raised sections of first floor walls 3ft (c0.9m) high which were built up using stone rubble. The reason for raising the roof height in 1884 remains unknown.

It seems likely that as part of the alterations at this time, new granite steps were added at Alma Place level, giving access into the first floor of the market house, and the door opening here altered with a segmental granite arch added and new double doors.

Phase 7: c1900 conversion of the market house to printers

At some point between 1897 and 1901 according to Kelly's Post Office Directory (1897 and 1902) and an inventory of the market buildings undertaken in 1901 (Kresen Kernow, AD788/6), the ground floor of the market house was leased out and converted for use as a printing works for P. R. Earle & Co. In editions of the directory, up to and including 1897, the company was based only at 71 Fore Street, whereas in 1902 it reads: *'P.R. Earle & Co., stationers and printers, Fore Street and Station Hill'* (Kelly 1902, 284). The inventory of the market buildings undertaken in 1901 describes the *'Workshop and Office in tenure of Earle and Company, Printers...the Workshop contains a gas engine...for working two printing machines. One well secured stove standing on concrete floor...is allowed therein for warmth.'* Whilst also stating that the upper floor was occasionally used for auction sales.

At this time the alterations included inserting a door opening in the south west elevation of the market house so that the printing works could be accessed separately from Station Hill, blocking up the arches of the arcade facing the market courtyard by inserting windows, blocking the arched door opening in the south west wall, adding a lobby and office at the south west end, adding a fireplace for a stove and chimney stack at the south west end, and inserting five pairs of cast iron columns to support the beams of the first floor structure. The cast-iron columns have the maker's inscription 'W. Visick & Sons, Devoran'. Visick & Sons was a foundry established by Walter Visick (c1852-1934), which moved in 1894 from Veto Works at Bissoe to 'Old Basset's Foundry' near Devoran (Royal Cornwall Gazette, 22 November 1894).

At some point in the early 20th century a small extension was added to the rear of Wheal Peevor purser's office for use as a WC.

Phase 8: 1922 extension of the Mining Exchange

The Redruth Market Company (later Redruth Market Ltd) was formed in 1920 and acquired the market in the same year (Michell 1978, 214; Kresen Kernow, AD788/47; West Briton, 1 April 1920, 6).

Following the death James Wickett (the chairman of directors of the Redruth Mining Exchange Company) in 1922 the Mining Exchange closed, and the Redruth Mining Exchange Company Ltd was liquidated (Cornish Post and Mining News, 20 May 1922). The Mining Exchange building was sold by its remaining directors by auction and was purchased by the Redruth Market Company in 1922 (Cornubian and Redruth Times, 25 May 1922).

Following their acquisition of the building, and in the same year, the Redruth Market Company added the existing first floor extension to the rear of the Mining Exchange in the former covered market area in the north west range of the courtyard (Cornubian and Redruth Times, 7 September 1922).

The alterations at this time included adding first floor rooms to create new offices within the existing phase 3 north range covered market area, inserting windows in the south east elevation, inserting iron/steel beams and upright girders below to support the new floor and inserting a new door opening to give access from the former Mining Exchange through to the new rooms. It also seems likely that this part of the north west range had a new roof covering added at this time comprising corrugated asbestos cement sheeting with roof lights added (see Figs 18 and 20). Access into the new rooms at this date appears to have been through the Mining Exchange only.

Phase 9: 1930s-1940s creation of a flat in the south east and south west ranges

In the 1930s or 1940s the market stalls on the first floor of southern part of the south west range and western part of the south east range of the courtyard were removed, and the space converted as a residential flat. This flat was in use by 1950, as shown by an inserted toilet window in the south west elevation on an aerial photograph taken in 1950 (Fig 23) and evidenced by the tiled fireplaces of this period (replacing the earlier mid 19th century fireplaces).

Prior to the alterations the first floor in this area of the two ranges had been lined with market stalls along its outer walls but also contained two separate rooms with fireplaces and a passage over the colonnade lit by continuous windows overlooking the courtyard. The stalls had been accessed via a staircase in the south east range and another which survives in the south west range.

Alterations in the 1930s or 40s included the removal of the existing market stalls at first floor level the insertion of a new staircase and front door in the south west range to give separate access to the flat, insertion of new window openings in the south east wall and also a new small window to light a WC in the south west wall, reducing the size of the original window openings in the south west wall and replacing the windows, replacement of the two mid 19th century fire surrounds with tiled surrounds, removal of the staircase in the south east range and insertion of new room partitions, ceilings, bathroom, WC and kitchen etc.

It is likely that at the same time a room (possibly an office for toll collections) was created at ground floor level in the south east range, just to the south west of the cart opening onto Station Road. This involved the removal of two existing columns and construction of concrete block-built walls in the colonnade. The room is shown on the 1967 OS map (Fig 24). The two removed columns may be those relocated to Chymbbla House (Fig 28).

Phase 10: 1960s extension of Purser's Office and blocking of doors to the meat market

At some point in the 1960s and certainly by 1967, a shallow, two-storey, concrete block-built extension was constructed adjoining the rear of the former Wheal Peevor purser's office and south east side of the small early 20th century WC extension of the office. On the OS map of 1967 (Fig 24) the 1960s extension is shown as an extension associated with the market house, which is labelled 'printing works'. In fact, its use appears to have been split horizontally, with the lower floor used in conjunction with the printing works, and the upper ground floor used as an auction house by the auctioneers and estate agents (Richards, Son and Murdoch) who occupied the Wheal Peevor purser's office in Alma Place at that time. The area below Wheal Peevor purser's office remained as it was, and access to it, and to the 1883 steps up to Alma Place was maintained.

At some point in the mid 20th century (at least by 1966) the meat market to the north ceased trading because of the lack of traders and the increased costs, and the building was sold and repurposed as Dowty's furniture and carpet warehouse. According to Frank Michell, the Redruth Market Company sold the meat market in 1958 to Dowty's, although he does not cite a source (Michell 1978, 176, 224). Dowty's, however, only started advertising its business at the old meat market site in local newspapers in 1966 (West Briton and Cornwall Advertiser, 5 May 1966). At this time the two door openings giving access from the former meat market through to the courtyard were blocked and the market from that time onwards was reduced to the courtyard area.

Phase 11: 1977 extension of the phase 10 extension

In January 1977, a planning application for the erection of a two-storey extension to the printing works (the two-storey market house), paper store and estate agent's office (the former Wheal Peevor purser's office) was approved (Planning Application number W2/76/01289/F). This concrete block-built extension was added against the earlier 1960s extension.

It seems likely that the area directly below the former Wheal Peevor purser's office was converted at this time (or soon after, possibly in phase 12), as ground floor rooms for the auctioneer and estate agent's offices above. As part of these works a passage was created at ground floor level immediately north east of the 1960s extension, maintaining the access between the courtyard and the steps up to Alma Place. On the north east side of the open passage, ground floor rooms were created under Wheal Peevor purser's office and a staircase inserted here to give access to the office above.

Phase 12: 1990s alterations and reroofing of the south east and south west ranges

In 1989, the Redruth Market Company sold the Fair Meadow to the local council and the last cattle market was held there in February that year (West Briton and Cornwall Advertiser, 26 January 1989, 3). The proceeds from the sale enabled them to undertake a programme of refurbishment in market courtyard in 1997 and in the following few years. An article in the West Briton and Cornwall Advertiser, 20 March 1997, reported that new slate roofs were being added, the buildings were being repointed, and the gates to the south west were being renovated by Graham Collier of Cornish Gates, Lanner, along with works to the cattle market carpark and its gates. The article also mentioned that English Heritage had said that funding might be available to re-cobble the courtyard (West Briton and Cornwall Advertiser, 20 March 1997, 5).

In 1996, Conservation Area Consent had been granted for re-roofing and alterations to the market courtyard (Planning Application number W2/PA96/C0028). The works in 1997 (some also recorded in the newspaper article) included replacing the roof covering and replacing some rafters on the south east and south west colonnaded ranges, replacing some of the capitals on the Tuscan columns in the south east and south west ranges with moulded concrete capitals, replacing the arch over the cart opening in the south east elevation of the south east range with a concrete lintel, adding a new downpipe on this elevation, repointing works and renovating or replacing the iron gates to the south west.

At some point prior to 1996, concrete pillars were inserted below the 1920s Mining Exchange extension in the north west range. These pillars either replaced or encased the 1922 steel support girders (shown in photographs of c1980, Figs 25-27). At the same

time the beams and area on the underside of this extension were also encased in concrete and a staircase was inserted giving access to the rooms above. The concrete pillars and staircase are shown as existing on a 1996 elevation drawing associated with Planning Application W2/PA96/C0028. The modern shop unit under the 1922 first floor extension of the Mining Exchange may also have been inserted at this time or possibly slightly later. At some point during this period two new RSJs were inserted below the Mining Exchange to support the floor.

At some point after 1997 (possibly in 2000) the courtyard was re-cobbled and paved, leaving most of the historic cobbled surfaces intact, directly below it.

Phase 13: 2000-2024 reopening door to the meat market site and reroofing the covered market

In 2000 the meat market to the north of the site was redeveloped following a fire in the 1980s. As part of the redevelopment, the south western door opening in the north west wall of the courtyard (dating to the 1870s) was reopened to connect the two parts of the market once again. The north east door opening in this wall remained blocked. It seems likely that at this point new gates were made for the opening into Market Way and also for the opening leading to the Fair Meadow carpark in the south west range. It is possible that the courtyard was re-surfaced with stone setts and concrete paving in 2000, although this may have happened in the late 1990s.

In 2017, the market buildings and Mining Exchange were bought by Redruth Revival Community Interest Company and in the following year Redruth Market Ltd (earlier Redruth Market Company) was formally dissolved (Companies House, 'Redruth Market Limited, company number 00162868'). Redruth Revival Community Interest Company went on to acquire Wheal Peevor purser's office in 2021.

In 2021 the covered market area in the north west range was given a new intermediary roof covering, replacing the earlier (probably 1920s) corrugated asbestos sheets which were leaking (Planning Application number: PA20/10606).



Fig 29 Ground (lower) floor phase plan.



Fig 30 First (upper) floor phase plan.

5 Building descriptions including watching brief results

5.1 Exterior outer elevations.

These outer exterior elevations include the north west elevation facing Market Way, the north east elevation facing Alma Place, the south east elevation facing Station Hill and the south west elevation facing Fair Meadow carpark.

5.1.1 North west elevation (facing Market Way)

(Figs 31-32).

The north west elevation is only visible from the interior of Market Way (the former meat market redeveloped in 2000). The elevation comprises a section of walling built as part of the late 1870s remodelling work, dividing the meat market from the courtyard Buttermarket.

The wall is constructed from randomly coursed slatestone rubble and has been heavily repointed with cement mortar in c2000. There are two equally spaced large door openings with four-centred arches, which once gave access from the Buttermarket into the meat market to the north. Both door openings originally aligned with two parallel, cobbled passages in the meat market which were lined on either side with butchers' stalls. Both door openings were blocked in the c1960s when the meat market was converted as Dowty's furniture and carpet shop. The door opening to the north east is blocked and the blocking was rendered, with a concrete seat inserted against it in c2000. Both of the four centred arches have dressed granite voussoirs and a keystone, and the jambs of both openings are also formed by dressed granite blocks. There is a modern, iron sliding gate in front of the south west opening inserted in c2000. The south west end of the elevation is also visible where it meets the return wall of the meat market. Here there is a dressed granite quoin.

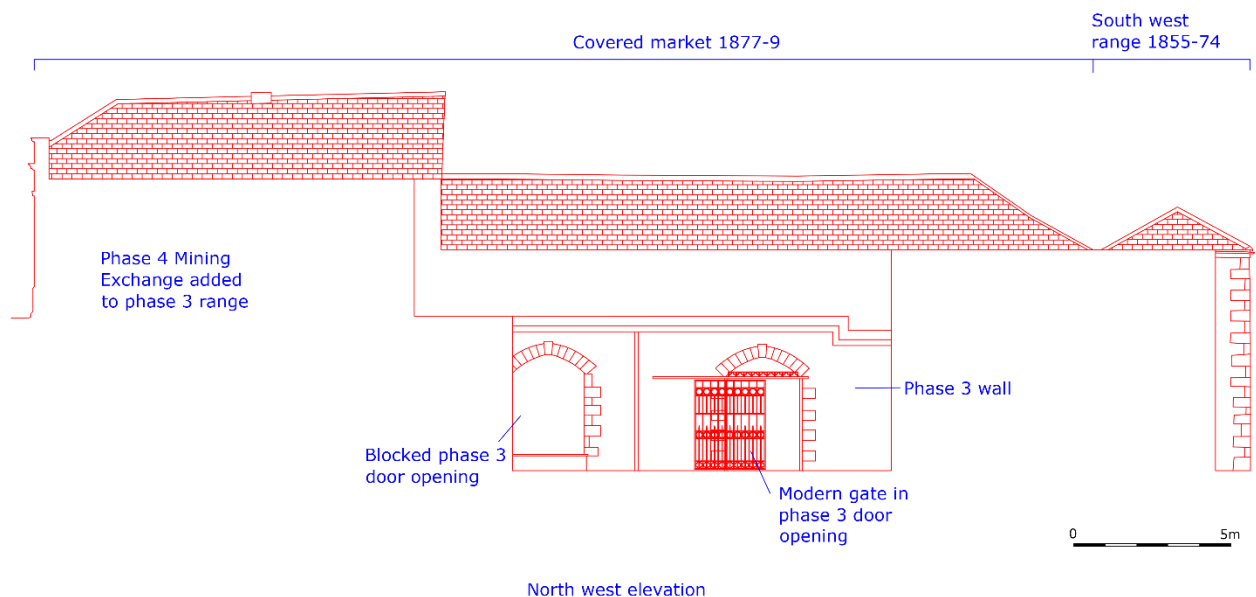


Fig 31 North west elevation (facing Market Way).



Fig 32 North west elevation inside Market Way.

5.1.2 North east elevation (facing Alma Place)

(Figs 33-36).

The north east elevation of the courtyard complex comprises three buildings: the market house to the south east, the Wheal Peevor purser's office in the centre, and the Mining Exchange to the north west. These are described separately below.

Market house

The north east hip end elevation of the market house has two phases of construction. The lower, original phase 1, part of the wall is constructed from randomly coursed squared stone rubble bonded with an earth mortar and later repointed with a cement mortar. The upper part of the wall (approximately 1m high) was added in 1884 (phase 6) to heighten the building. It is constructed from smaller randomly coursed stone rubble later repointed with a cement mortar.

In the centre of the elevation there is a double door opening with a segmental dressed granite arch and dressed granite jambs. This was added in 1884 when the building was heightened. It contains a pair of late 19th century (1884) timber doors with an iron ring handle. The door frame is chamfered with runout stops and is of the same date. Modern brackets for flower baskets are attached to the wall on either side of the door opening. The granite steps which lead up to the doors also appear to date to phase 6. Some of steps are reused stones, indicated by drilled holes for railings to be fitted. Attached to the wall to the south east of the door opening there is a 19th century iron handrail and attached to the north west side of the steps there are 19th century iron railings. At the top of the wall in line with the jambs of the door opening there are two pairs of perforated bricks used as ventilators. The quoin at the south east end of the elevation is constructed from granite blocks and there is a modern downpipe next to it. The soffit and gutter are also modern replacements (probably added in the 1990s, phase 12).

Adjoining the north west side of the flight of steps up to the market house is another flight of granite steps leading down to the market courtyard level. These steps were added in c1883 when Wheal Peevor purser's office was built to replace the steps that had

been located on the site of the office. The steps dog-leg where they butt up against the north west end of the north east elevation of the market house. Here there is a phase 1 blocked door opening with granite segmental arch and jambs which originally led through to the arcade on the ground floor of the market house. The stone rubble blocking material was clearly inserted along with the steps in c1883. The north west quoin of the market house is also constructed from granite. The blocked, arched door opening is directly opposite another identical blocked door opening in the south west elevation of the market house. The elevation of the market house has remnants of whitewash in this area at ground floor level.



Fig 33 North east elevation of the market house facing Alma Place with entrance to first floor.

Wheal Peevor purser's office

The central part of the north east elevation was constructed as Wheal Peevor purser's office in c1883. James Hicks has been attributed by many as its architect, as he was responsible for the other buildings in Alma Place around the same time.

A short section of stone walling adjoining the south east side of the building, with ashlar granite pier and pyramidal cap, may have been added slightly earlier, in the late 1870s. It is bonded with lime mortar and in front of this section of wall there is a historic road sign.

The frontage of Wheal Peevor purser's office is constructed from randomly coursed slatestone rubble with ashlar granite pointed with cement mortar. The elevation is symmetrical and has three bays and a stone rubble plinth. In the centre of the elevation is a round arched door opening with a fluted keystone painted black, pilasters on either side, and granite steps leading up to it. The door opening contains modern, replacement double doors in a timber frame and there is a round two light transom light above them. At the top of the elevation is a parapet wall which hides a mono-pitch roof behind it. Above the middle bay is a panelled entablature with a central roundel and above this again a pediment with scrolled and fluted decoration painted black and topped with a granite finial. The outer bays of the front elevation have granite corner pilasters and are filled with large mullion and transom windows. The windows each have four lights, the taller lower lights containing one over one sash windows with horns, and the upper lights

having square fixed panes. Both openings have sloped granite sills. The windows are contained in an arch with fluted keystones, painted black. Within the round arches there are decorative floral motifs carved in a dark grey coloured stone. Above the south east window there is a historic street sign for Alma Place. Most of the granite has been painted white apart from the plinth and steps. Above the door and windows there is a moulded cornice below the parapet wall. Attached to the pilaster at the north west end of the frontage there is a blue plaque giving the names of the Mining Exchange and Wheal Peevor purser's office. There are modern brackets for hanging baskets attached to all the main pilasters.



Fig 34 Frontage of Wheal Peevor purser's office on Alma place.

Mining Exchange

At the north west end of the north east elevation and adjoining Wheal Peevor purser's office is the Mining Exchange. The existing frontage was built in 1880 when the Mining Exchange (designed by James Hicks) was added as a conversion within the first floor of the north west range of the market courtyard which had been constructed in c1877.

The 1880 frontage, like Wheal Peevor purser's office, has three bays. It has a low ashlar granite plinth. The lower part of the elevation, between the plinth and the window sills is constructed from squared slatestone which has been repointed with cement mortar. The upper part of the elevation is constructed from red brick bonded with lime mortar. The dressings around the window and door openings, and other architectural details are constructed from a fine grained stone (possibly Portland stone). The central door opening has a round arch with two granite steps leading up to it and has a limestone/Portland stone architrave with set-in colonettes with foliate capitals. The arch has carved foliate panels in the soffit, a raised keystone above and plain pilasters on either side. In the arch there is a two-pane transom light. The original 19th century double doors each have six panels. The left door contains an inserted a modern letterbox and the right has a brass doorknob. In each of the outer two bays there is a large round arched, eight light window. The two lights in the arches are bottom opening casements. The reveals and arches of the windows have roll mouldings, plain keystones and sloped windowsills. Above the windows and door there is a moulded cornice, with the central bay also containing dentil moulding at the base of the cornice. Above the cornice there is a parapet wall containing

a carved blind balustrade either side of the central bay where there is a recessed panel inscribed 'MINING EXCHANGE.'. Above this there is a segmental pediment with a ball finial on top. Within the pediment is the crest of the Duchy of Cornwall (15 bezants) and the inscription 'ONE AND ALL'.



Fig 35 Frontage of the Mining Exchange on Alma Place.

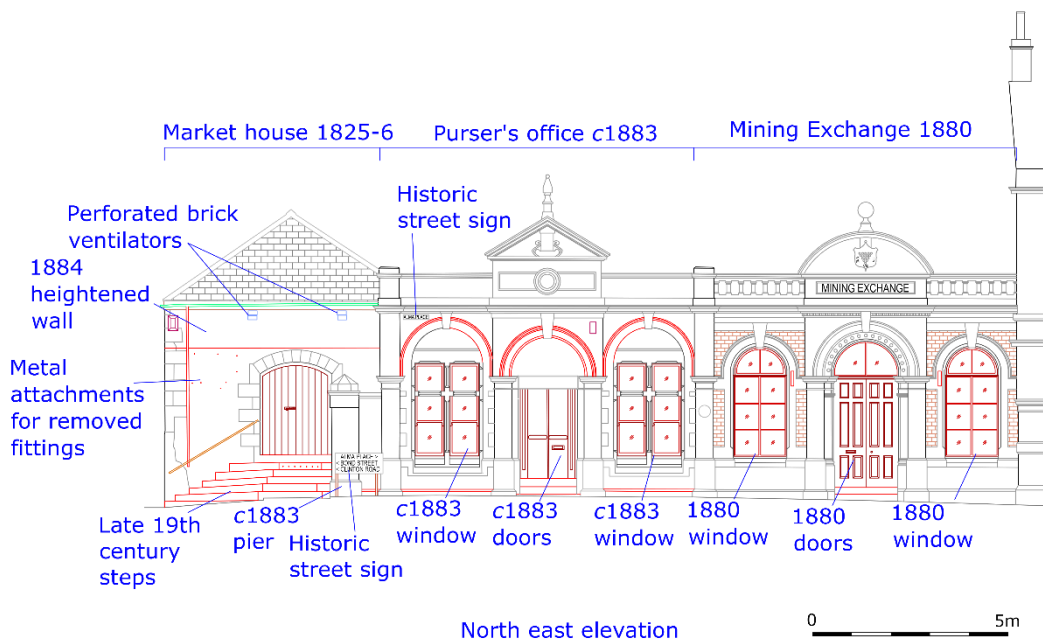


Fig 36 North east elevation (facing Alma Place).

5.1.3 South east elevation (facing Station Hill)

(Figs 37-41).

The south east elevation overlooks Station Hill and comprises the side elevation of the phase 5 Wheal Peevor purser's office to the north east, the phase 1 market house and, the mid 19th century south east range of the market courtyard. The downpipes on the south east elevation are all modern and there are several modern brackets for hanging basket.

Wheal Peevor purser's office

The south east, side elevation of Wheal Peevor purser's office was constructed in c1883. The wall is covered with an original cement stucco render. Against the lower part of the wall there is a flight of contemporary granite steps leading down to a segmental arched door opening with brick arch and jambs at the south west end of the wall, which when first built gave access into the market courtyard. It now gives access to a concrete block-built passageway between extensions which leads to the courtyard.

In front of the steps leading down to the courtyard, there are granite steps leading up to the first floor of the market house. To protect from the drop between the two sets of steps, there are 19th century iron railings and a modern iron gate. The gate is fitted to a granite pier at the end of a short section of walling which projects south east from the frontage of Wheel Peevor purser's office.



Fig 37 South east elevation of Wheal Peevor purser's office.

Market house

The market house is constructed on a slope leading down to the south west. The south east elevation at ground floor level is cement rendered and there is a moulded cornice at the top of the cement rendered area. This appears to have been added in c1900 when the ground floor of the building was converted as a printing works. At this time a door opening was inserted at the south east end of the south west elevation, but at some point later in the 20th century, the door opening was altered to cross the corner of the building

at an angle with a large, moulded cornice added above the door. This opening now contains a modern UPVC door. There are four short segmental arched window openings at ground floor level which were also inserted in c1900 as part of the printing works conversion. The two window openings to the north east (uphill) are shorter than the other two. The openings have concrete sills and were covered over with modern signage for the former hair salon. However, during the watching brief it was revealed that the c1900 windows remained *in situ* behind the boarding. Above the windows there was a long modern sign for the former gospel church but when it was removed it revealed the signage for the c1900 printing works in raised cement lettering reading 'EARLES - PRINTING WORKS'. Prior to c1900 there would not have been any openings at ground floor level in this elevation.

The first floor of the south east elevation is exposed randomly coursed slatestone rubble with very heavy, later cement repointing and dressed granite quoins at either end of the wall. There are two phases of walling here: the lower part up to a level with the tops of the window lintels is the original phase 1 wall, and above this is the walling added in 1884 (phase 6) when the building was heightened. There are three original (phase 1) rectangular window openings in the lower part of the first floor wall. These have granite lintels and jambs with slate sills. All three windows were either partially or completely boarded over but all contained nine-pane Crittall windows with the top three panes being opening casements. These windows are replacements and date either to when the building was heightened in the 1880s or to c1900 when the printing works was added. In the heightened section at the top of the wall there are perforated bricks used as ventilators. There would have been seven sets of bricks but those above the north east window have been removed. The hipped, slate covered roof retains its 1884 ceramic ridge tiles, some of which are crested and there are also three domed ridge ventilators of the same date.



Fig 38 South east elevation of the market house.



Fig 39 South east elevation of the market house showing Earles printing works sign.

South east range

The south east range was built as part of an extension to the courtyard in the mid 19th century (phase 2). The south east elevation of this building is constructed from randomly coursed rubble bonded with a yellow/beige earth mortar and was repointed with cement mortar probably in the 1990s. It has a dressed granite quoin at the south west end and a narrow rubble plinth. At the north east end of the elevation there is a phase 2, wide cart/waggon opening adjoining the phase 1 market house, built for market traders to bring their waggons into the courtyard. The opening has a dressed granite jamb on the south west side. The lintel is an RSJ covered with cement mortar which was added in 1997, replacing the phase 2 brick arch. The top part of the south west jamb retains part of the brickwork for the earlier arch. There are now modern decorative metal gates in the opening, added in c2000 which replace an earlier, timber sliding gate. At ground level to the south west of the opening there are protruding granite blocks which would have held an iron rail for the sliding gate.

At first floor level there are three window openings, and also what appears to be an original window opening which is blocked with stone rubble to the north east of them. The two window openings to the south west are probably also original but were blocked (like the one to the north east) by the early 20th century. They were reopened in the 1930s or 40s when a residential flat was created here, and the present four-pane sash windows with horns were added. To the north east of these two windows openings a new window was inserted in the 1930s or 40s which contains a four-pane sash window of the same date.

The slate roof covering with ceramic ridge tiles is a 1997 replacement. The brick chimney stack towards the south west end of the roof appears original.



Fig 40 South east elevation of the south east range.

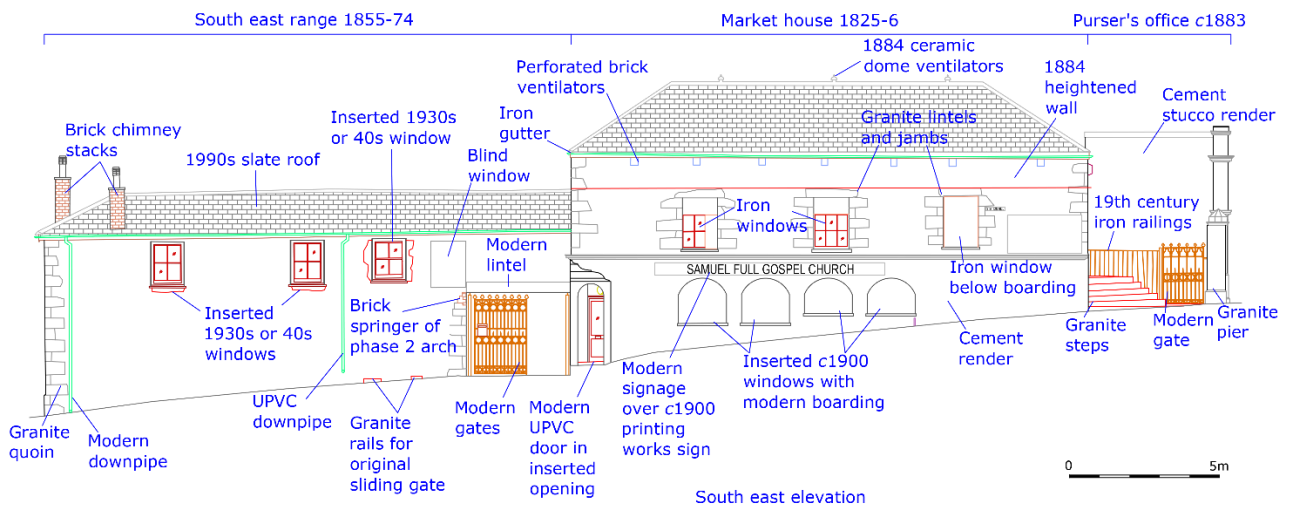


Fig 41 South east elevation (facing Station Hill).

5.1.4 South west elevation (facing Fair Meadow carpark)

(Figs 42-43).

The south west elevation comprises the south west range only and was built in the mid 19th century during phase 2. It is constructed from randomly coursed slatestone and granite rubble bonded with a yellow/beige earth mortar and has been repointed (possibly

in the late 19th century) with cement mortar in swirled design. The original narrow plinth has also been repointed, probably in the 1990s. The elevation has dressed granite quoins. The pedestrian entrance into the market courtyard from Fair Meadow carpark is set just to the north west of centre in the elevation and contains a wide flight of granite steps leading up to the courtyard level. The opening has a brick basket arch with a rusticated keystone and dressed granite jambs. In the north west jamb, there is an iron pintle for an original gate, but the hung gate had been replaced with a sliding timber gate by the early 20th century. The present decorative metal sliding gate is a c2000 replacement. On the wall to the north west of the opening there is a modern stench pipe serving the residential flat at first floor level. Near the north west end of the elevation there is a modern aluminium downpipe and in the north west quoin there is a hole for a gate bolt, and a kickstone at the base which may be the reused base of a column.

At first floor level there are two original blind windows to the north west and four window openings to the south east of these. Three of these four window openings are original but have been shortened slightly to take the replacement 1930s or 40s four-pane sash windows with horns that they contain. The other, smaller window opening was inserted to light a WC when the residential flat was created in the 1930s or 40s. It contains a two-pane sash window.

The slate roof covering and ceramic ridge tiles were replaced in 1997. The brick chimney stack towards the south east end appears to be original.

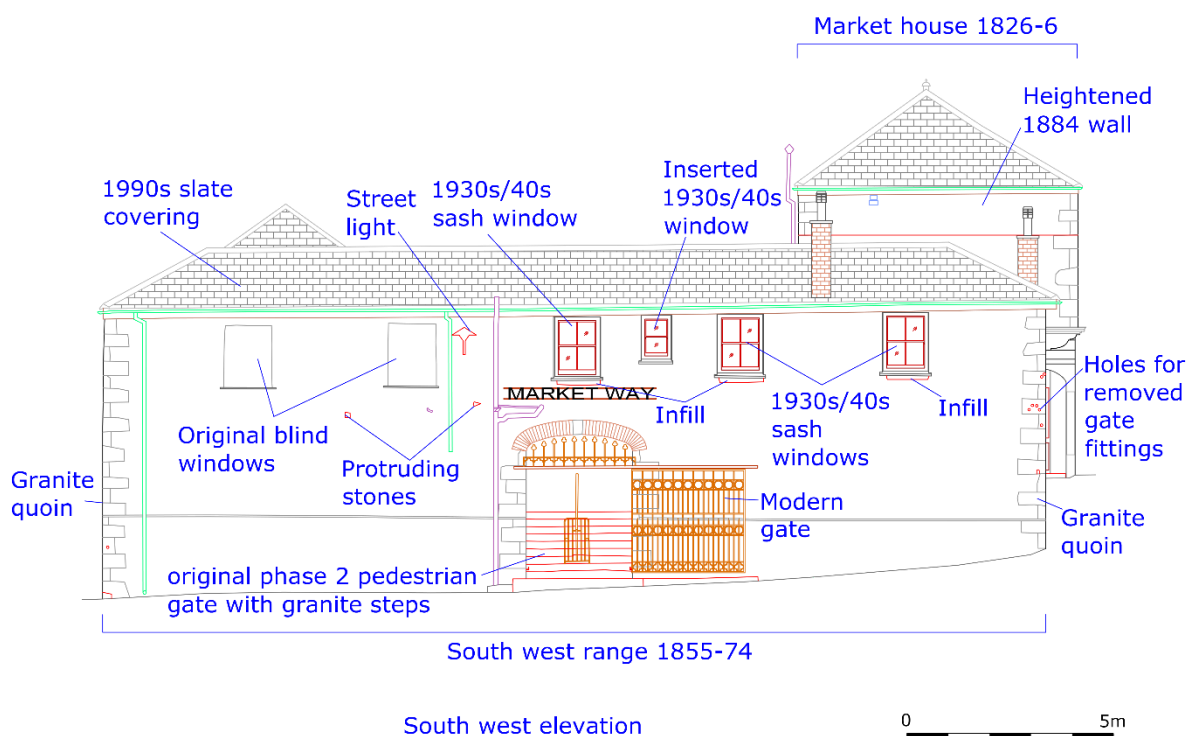


Fig 42 South west elevation (facing Fair Meadow carpark).



Fig 43 South west elevation of the south west range.

5.2 Exterior courtyard elevations

These elevations include the north west, north east, south east and south west elevations facing the Buttermarket courtyard.

5.2.1 North west elevation (courtyard)

(Figs 44-48).

This elevation comprises the side walls of the two extensions to Wheal Peavor purser's office, the frontage of the phase 1 market house and the phase 2 south east range to the south west.

Extensions to Wheal Peavor purser's office

The extensions were added to the rear of Wheal Peavor purser's office in the 1960s and 1970s. The north west side elevations of the extensions is cement rendered concrete blockwork. The 1960s extension has a flat roof and 1970s extension is gabled. At ground floor level there is a modern timber door giving access into both extensions. The walling to the north east of the door is not rendered and is exposed concrete blockwork. At the north east end of the wall there is a passage giving access to the c1883 granite steps up to Alma Place in the east corner of the site. At first floor there are two windows, both have two large panes and a top opening casement. There are modern downpipes and stench pipes between the two window openings.



Fig 44 North west elevation of extensions to Wheal Peevor purser's office.

Market house

The front elevation of the phase 1 market house was built to a higher specification than the rear and sides of the building where the walls are stone rubble-built. The frontage facing the courtyard is constructed from ashlar granite blocks bonded with an earth and lime mix mortar and repointed later with cement mortar. Originally, the frontage of the building would have had an arcade at ground floor level of seven identical arches, each with granite keystones, voussoirs, jambs, and imposts. However, subsequent extensions of Wheal Peevor purser's office in the 1960s and 70s had obscured nearly half of the elevation of the market house.

Prior to the demolition of the extensions, the central and south western three arches were visible. The arches were all blocked in c1900 when the ground floor was converted as a printing works, infilling them with a series of windows. The window and infill were removed from the middle arch at some point in the mid-late 20th century and replaced with glazed timber double doors. The three arches to the south west still contain the c1900 six light mullion and transom windows. Each light has four panes of glass. The central light at the top is a bottom opening casement. The windows have concrete sills and below the windows the arches are infilled brickwork bonded with cement mortar.

At first floor level there would have been three original rectangular window openings, however, the extension of the purser's office has meant that the window to the north east is now obscured. The central and south west windows contain replacement late 19th or early 20th century nine-pane Crittall windows, with the top three lights being bottom opening casements. The window openings have granite sills and lintels.

When the market house was originally built in 1825-6, the frontage had a central cross gable containing a single window opening. The market house was heightened by approximately 1m and the roof replaced with a simpler hipped roof structure in 1884, and at this time the original ashlar granite cross gable walling was lowered. At this time stone rubble walling was added to heighten the wall and the top half of the gable

(including the top half of the window opening) were removed and the remaining lower half of the window opening filled with timber louvres. At the base of the heightened wall to the south west of the former gable, there are two sawn off timbers with sockets. The purpose of these timber is unclear, but they may be the remains of a canopy or the ends of the original tie-beams of the roof. At the top of the heightened section of wall there are several pairs of perforated bricks used as ventilators.

During the renovation, the 1960s and 1970s extensions on the rear of the Wheal Peevor purser's office were demolished, temporarily revealing the market house frontage in full. This revealed that all seven arches of the arcade remain intact, along with the third window at first floor, which retained a Crittall window contemporary with the other two windows. It also revealed that the heightened section on the north east side is a mirror image of the south west, with two sawn off timbers at the base and three pairs of perforated brick ventilators at the top.



Fig 45 North west elevation of the market house.



Fig 46 North west elevation of the market house fully exposed during the watching brief.

South east range

The south east range was constructed in the mid 19th century (phase 2) adjoining the south west end of the phase 1 market house. Where the two buildings join, there is a wide cart opening at ground floor level giving access from Station Hill. The south west side wall of the opening is built from randomly coursed stone rubble with heavy, later cement repointing and has dressed granite quoins. The north east side of the opening is the south west elevation of the market house. The ceiling of the opening comprises timber joists and the floorboards of the room above which are whitewashed. On the timber lintel over the opening in the north west elevation, there is a painted notice which reads: 'NOTICE. ANY PERSONS LEAVING ANY EMPTY WAGON or CART in THE MARKET PLACE WILL be SUBJECT TO A FINE OF 6' BEFORE THEY WILL BE ALLOWED TO REMOVE THE SAME.'

The whole of the ground floor of the north west elevation to the south west of the cart opening would originally have contained a row of market stalls with a staircase at the north east end which were set back behind a colonnade of granite Tuscan columns. However, the north eastern half of the stalls along with the staircase and two columns were removed in order to create a large room here. This room appears to have been inserted in the 1930s or 40s when the first floor was converted as a residential flat. The concrete block-built front wall contains two window openings and a door opening to the north east. Both windows comprised four panes with the upper two being top opening casements. Much of the original rolled plate glass survived except in the north east window where two panes had been replaced. The door with glazing in the upper half appears to have been a later replacement.

To the south west of the inserted room, the colonnade survives with two original granite columns, although their capitals were replaced in the 1990s with moulded concrete capitals. The floor of the colonnade retains its original granite slab paving, and the ceiling is exposed timber joists and boards painted white. Fronting the colonnade there are two former, enclosed market stalls, the walls of which are clad with horizontal timbers, except at the top of Unit 4 to the north east where the cladding is vertical planks. Unit 4 contains a replacement five pane workshop window and has a timber plank door with a modern replacement doorknob. Unit 5 to the south west contains an original three pane workshop window on the north east side, but the other half of the window to the south west has been covered over with horizontal boards.

The first floor of the north west elevation is characterised by a long row of windows which span the entire length of the elevation. This is part of the original design to light a passage which extended along the fronts of the stalls on the first floor. The windows vary in size, but all of them have narrow vertical panes. There are four pairs of modern replacement windows (probably replaced in 1997) above the inserted room and units 4 and 5. Each of these windows has four panes. The pairs of windows are divided by original vertical posts which are chamfered with runout stops. The area below the windows here has replacement modern timber cladding with modern railings in front, presumably both added as part of the works in 1997. One of the windows (the fourth from the south west end) is a top opening casement. Above the cart opening from Station Hill, the windows appear original, are shorter and wider than those to the south west. There is a chamfered post dividing the two parts, similar to the rest of the elevation. The south west half contains a single wide eight-pane window, and the north east half contains a fixed five-pane window and a two-pane casement window.



Fig 47 North west elevation of the south east range.

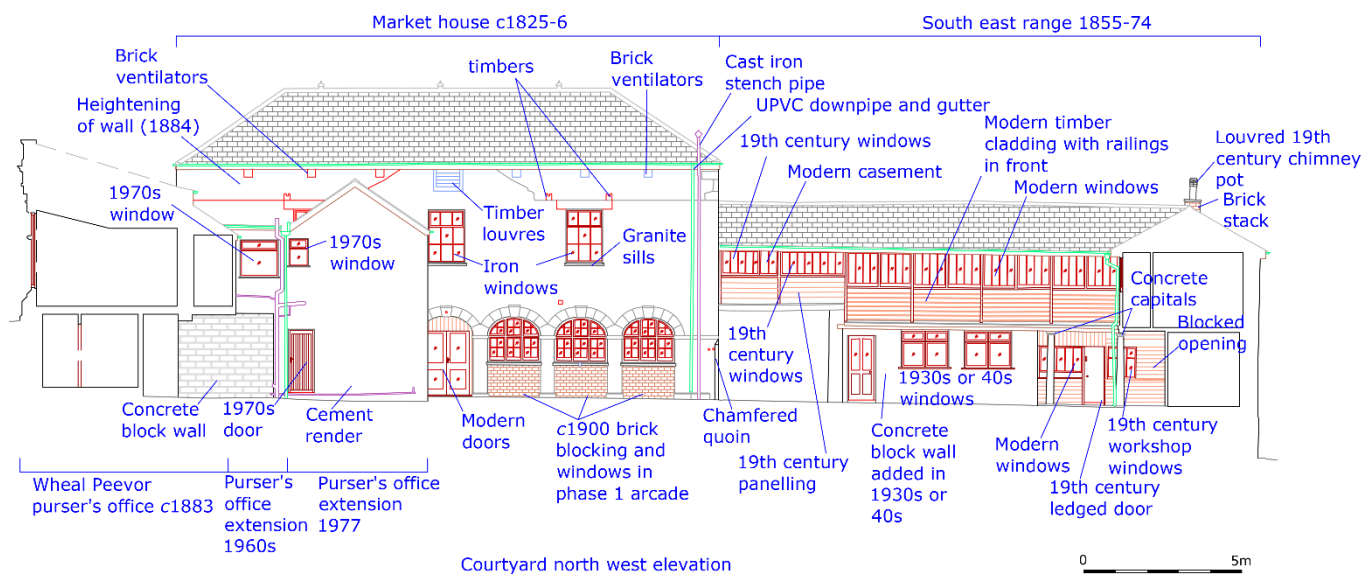


Fig 48 North west elevation in the courtyard.

5.2.2 North east elevation (courtyard)

(Figs 49-50).

The north east elevation in the courtyard comprises the south west range only. The ground floor of the elevation is set back from the first floor which is supported on a colonnade of eight 19th century granite Tuscan columns with limestone/Portland stone capitals. Most of the columns retain their 19th century capitals but the one at the south east end was replaced with moulded concrete capital in 1977. The floor of the colonnade

retains its original granite slab paving, and the ceiling is exposed timber joists and boards painted white. The timber above the north western column has a diagonal scar on it which indicates the location of the removed roof of phase 2 market stalls which were once positioned along the north west side of the courtyard.

Set back from and fronting the colonnade the ground floor elevation comprises a series of market stalls on either side of a centrally set pedestrian entrance from the Fair Meadow carpark. The fronts of the enclosed stalls are constructed from horizontally set timber boards. At the south east end there is a door opening to Unit 5. The plank door has been sawn in half to create a stable door. Next to this door is Unit 6, which has a plank door on the north west side, and a reused six-light window on the south east side, the space between the window and door has been boarded over. Below the window there is an original timber shelf/counter. To the north west of Unit 6 is Unit 7 which has a plank stable door on the north west side, and a five-pane workshop window which is a replacement. Below the window there is an original timber shelf/counter. To the north west of Unit 7 is Unit 8 which has a fixed five-pane workshop window and a plank stable door. In the centre of the ground floor elevation, an original pedestrian entrance opening with a brick basket arch and granite jambs contains a flight of granite steps leading down to Fair Meadow carpark, then the site of the livestock market. The sides of the opening are panelled with horizontal timber planks from the ground level in the courtyard upwards, but below the ground level the sides are whitewashed stone rubble. On the north west side of the steps, where there would originally have been an enclosed stall, the space was converted as a lobby and staircase in the 1930s or 40s to serve a residential flat that was created at first floor level. The frontage of the stall was removed at this time and replaced with a door and a matching side panel and light to the north west. They each have two panels in the lower half and glazing with four panes in the upper half of patterned rolled plate glass. Unit 9 to the north west of the staircase lobby is wider than the other enclosed stalls; it has a modern solid timber door in the centre, on the south east side there is a later, fixed three-pane window, and on the north west side there is a wide opening with a top opening shutter with replacement modern strap hinges. The shuttered opening has a historic timber shelf/counter below. Above the fixed window there is a modern inserted cupboard for services. At the north west end of the ground floor elevation there is an original timber plank door with spearheaded strap hinges which has a single light inserted into it at a later date. This door gives access to an original staircase leading to the first floor.

The first floor of the elevation is characterised by a long row of windows which span the entire length of the elevation. The windows are of varying sizes, but nearly all have four narrow vertical panes. The windows are nearly all set out in pairs, except a set of three towards the north west end of the elevation. Each pair (or set of three) windows is separated by an original timber post which is chamfered and has runout stops. The nine workshop windows on the north west side of the elevation were originally exposed but are now located beneath the roof of the covered market area which was added during phase 3. Most of the windows here appear to be original (phase 2). The south westernmost window beneath the covered area has been altered with a glazing bar removed so that it now has three panes, the replacement pane is early-mid 20th century rolled plate glass.

The rest of the windows on the south east side of the elevation, outside of the covered market area are modern 1990s replacements. Below the windows there is horizontally set timber cladding. The cladding beneath the covered market area is original (phase 2), and the cladding outside the covered market area is a modern replacement added in the 1990s. Here there are also modern metal railings which have been fitted against the front of the modern cladding.

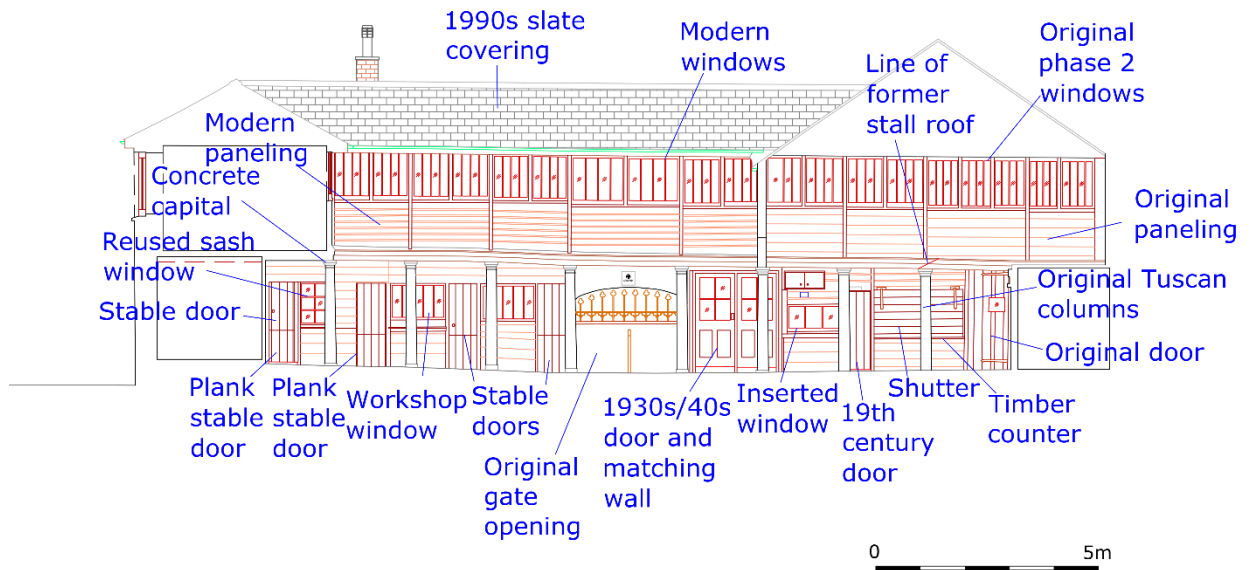


Fig 49 North east elevation of the south west range in the courtyard.



Fig 50 North east elevation of south west range.

5.2.3 South east elevation (courtyard)

(Figs 51-54).

The south east elevation comprises the covered market area to the south west and the first floor Mining Exchange extension, the Mining Exchange and ground floor area below to the north east.

Covered market area and Mining Exchange extension

The south west part of the south east elevation of the courtyard is formed by the open-sided colonnade of the covered market area created in the 1870s. The four granite Tuscan columns at the south west end appear to have been reused from the earlier phase 1 or 2 market and are supported on two-tiered square granite plinths. The capitals of the columns were replaced with moulded concrete capitals in the 1990s. The columns support an upper section of timber matchboard panelled walling painted red and the roof sheeting over is a modern replacement.

To the north east of this the Mining Exchange extension was inserted above the colonnade of the covered market area in 1922. At this time the existing rows of small windows were inserted in the matchboard panelled walling and two columns below were replaced with steel girders which were then encased with concrete in the late 20th century. However, there is an original granite column surviving supporting the extension, to the north east of the two concrete pillars. The rear wall of the covered market area, behind the colonnade dates to the 1870s. This wall is constructed from randomly coursed rubble which has been painted white. A timber launder runs across it near the top of the wall at the south west end. There is a modern freestanding unit in front of the wall below the launder. Around the centre of the elevation there are two four-centred arched door openings which once gave access into the meat market. Both have granite arches and jambs. The north east opening is blocked and cement rendered. The south west opening contains a modern decorative metal sliding gate added in c2000. The opening is slightly lower than the surface of the courtyard and is accessed by a modern paved ramp leading down to it. Between the two openings a modern timber staircase has been added in the late 20th century giving access up into the Mining Exchange extension.

The rear wall once had a row of market stalls against its south west end, similar to those in the south east and south west ranges. These market stalls were removed at some point in the late 20th century.

One stall (probably a toll collectors' booth, G22) survives immediately to the north east of the blocked door opening through to the former meat market and below the Mining Exchange extension. Its south east elevation had been obscured by the insertion of a modern shop unit (G23) up against it.

The south east elevation of the late 20th or early 21st century inserted shop unit (G23) in front of the booth and under the Mining Exchange extension had horizontal timber cladding and a large single-pane window.

During the watching brief the modern shop unit (G23) was completely removed, revealing the south east elevation of the booth (G22). The elevation was constructed from vertical timber planks with a timber dentil course at the top. The wall contained the remains of a fixed six-pane window, however, the bottom four panes of glass, and glazing bars, were missing.



Fig 51 South east elevation under covered market area.



Fig 52 Exterior south east elevation of the covered market area.

Mining Exchange and area below

The south east elevation at ground floor level below the Mining Exchange has a short section of randomly coursed slatestone rubble walling at the south west end dating to the 1870s, with adhering remnants of whitewash. The south west end of this wall has a dressed granite quoin, whilst the north east end has a later brick built jamb where the

walling beyond has been removed in 1880. Most of the elevation to the north east of this has been opened up in 1880, with the wide opening inserted supported on two brick pillars with a timber lintel over. There is also an iron pillar inserted at the north east end of the opening. The walling beyond this, at the north east end is concrete block-built, added in the late 20th century, and beyond this a brick-built section added in 1880.

At first floor level is the Mining Exchange, inserted and heightened in 1880. The elevation here has a 19th century cement stucco render with incised lines and contains two 1880 segmental arched window openings. The openings contain 1880 sash windows with horns and margin panes, although the lower sash of the south west window has been replaced and now has a single pane. There is a 20th century ventilation pipe at the south west end of the elevation. There are various downpipes and stench pipes at the north east end of the elevation, some of which are modern UPVC, and others are historic cast iron. The timber soffit is original. The gutters along the elevation are all modern replacements.



Fig 53 South east elevation of the Mining Exchange extension (left) and Mining Exchange (right).

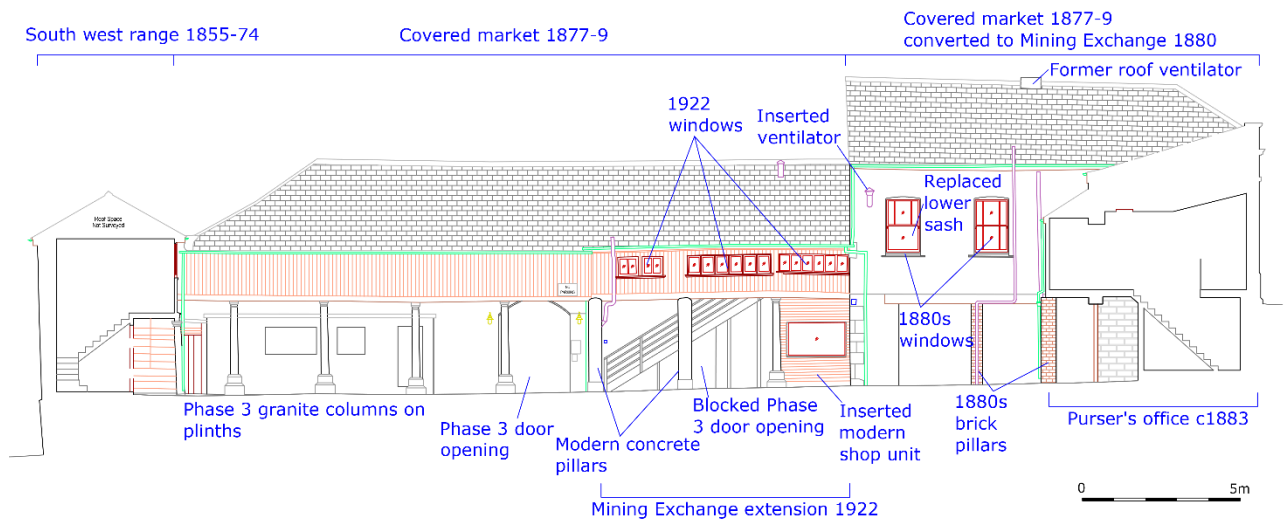


Fig 54 South east elevation in the courtyard.

5.2.4 South west elevation (courtyard)

(Figs 55-58).

The south west courtyard elevation includes the rear of the Mining Exchange and Mining Exchange extension at the north west end, the rear of the purser's office and its early 20th century extension and 1970s extension in the middle and the south west end of the market house at the south east end.

Mining exchange

The north east end of the elevation is the rear gable end of the Mining Exchange which was added in 1880 when the building was heightened. The gable wall is constructed from brick and whitewashed, except at the apex where it has been patched with cement mortar, indicating the position of the removed 1880 chimney stack.

Forward of this gable, under the roof of the covered market is the end wall of the Mining Exchange's 1922 extension which is at first floor level and supported on iron beams which have been encased in concrete in the late 20th century. The 1922 timber stud wall of the extension is clad with vertical timber planks and horizontal battens. There is a hole in the upper part of the wall for a removed pipe or ventilator, and a small modern plastic ventilator near the base of the wall. The ground floor of the elevation is set back from the extension wall.

In the north corner of the courtyard there is a small toll collector's booth with a timber plank frontage which has decorative applied mouldings. The south west elevation of this booth is clad with vertically set planks and has historic timber plank door with pediment over on the north west side of the elevation and a 12-pane fixed window which has been painted over to the south east. The top of this frontage has a plain cornice with dentil moulding. The rest of the ground floor elevation is formed by an inserted late 20th or early 21st century shop unit with horizontal plank wall containing two large window openings. The north west opening has a single large pane of glass in it and a timber shelf below. The south east window is boarded over. In the centre there is a reclaimed c1930s timber door with three tall vertical panels in the lower half and six lights in the upper half; the lower three are frosted.



Fig 55 South west elevation of the Mining Exchange extension and area below.

Wheal Peevor purser's office and 1970s extension

The original (c1883) rear wall of the Wheal Peevor purser's office is mostly obscured by an extension added in the 1960s and another added in the 1970s. However, the elevation of a small early 20th century WC extension which protruded from the rest of the rear wall of the purser's office still remains visible. This is to the north west and set back from the elevation of the 1970s extension. It has an incised ashlar cement render, the same as that on the south east side elevation of the purser's office and contains a two light casement window. It has a lean-to slate covered roof, and modern UPVC gutter and downpipe.

The rest of the rear of Wheal Peevor purser's office is obscured by the later extensions. The south west elevation of the 1970s extension is constructed from rendered concrete blockwork. At ground floor level it has two recessed sections of rendered wall containing two windows with side casements and has protruding pebble dashed quoins and central pier. The first floor is clad with vertical timber planks painted red and contains windows of the same design as those at ground floor level. There is a modern UPVC downpipe fixed to the north west quoin.



Fig 56 South west elevation of extensions to Wheal Peevor purser's office.

Market house

The south west elevation market house is constructed from randomly coursed slatestone and granite rubble and has granite quoins. The north west quoin of the building at ground floor level is chamfered to allow carts to pass. The wall has been repointed with cement mortar (probably in the 1990s). At the north west end of the elevation at ground floor level there is an original phase 1 segmental arched door opening (now blocked) which once gave access into the arcaded front of the market house. The opening has granite voussoirs and jambs. One of the voussoirs has clearly been damaged and repaired with mortar and a piece of reused iron which has been used to tie the voussoirs together. The piece of iron may be a reused carriage step. The door opening was blocked, and a window was inserted in it in c1900, when the ground floor of the market house was converted for use as a printing works. The blocking material is stone rubble bonded with cement mortar and the window, which is inserted on the south east side, is a four-pane sash window with horns and rolled plate glass. It has a brick jamb to the north west, a timber lintel and a granite sill. There are bricks infilling the opening above the window lintel.

At the same time that this door opening was blocked, a new door opening was inserted at the south east end of this elevation at ground floor level. This door opening was placed here so that the printing works could be accessed from Station Hill rather than from the market courtyard. The door opening has since been altered in the mid or late 20th century so that it now cuts at an angle across the corner of the building. The opening now contains a modern UPVC door and has a large, moulded cornice above it (possibly added when the building was converted as a gospel church).

During phase 2 the south east range was added against the south west elevation of the phase 1 market house at first floor level, leaving space for a cart opening at ground floor level. The elevation of the market house above the roof of the south east range is constructed from randomly coursed stone rubble. The top approximately 1m of the wall was added when the building was heightened in 1884 (phase 6). In c1900 a chimney stack was added at this end of the building to serve the printing works, but this was removed in the late 20th century.



Fig 57 South west elevation (ground floor) of the market house.

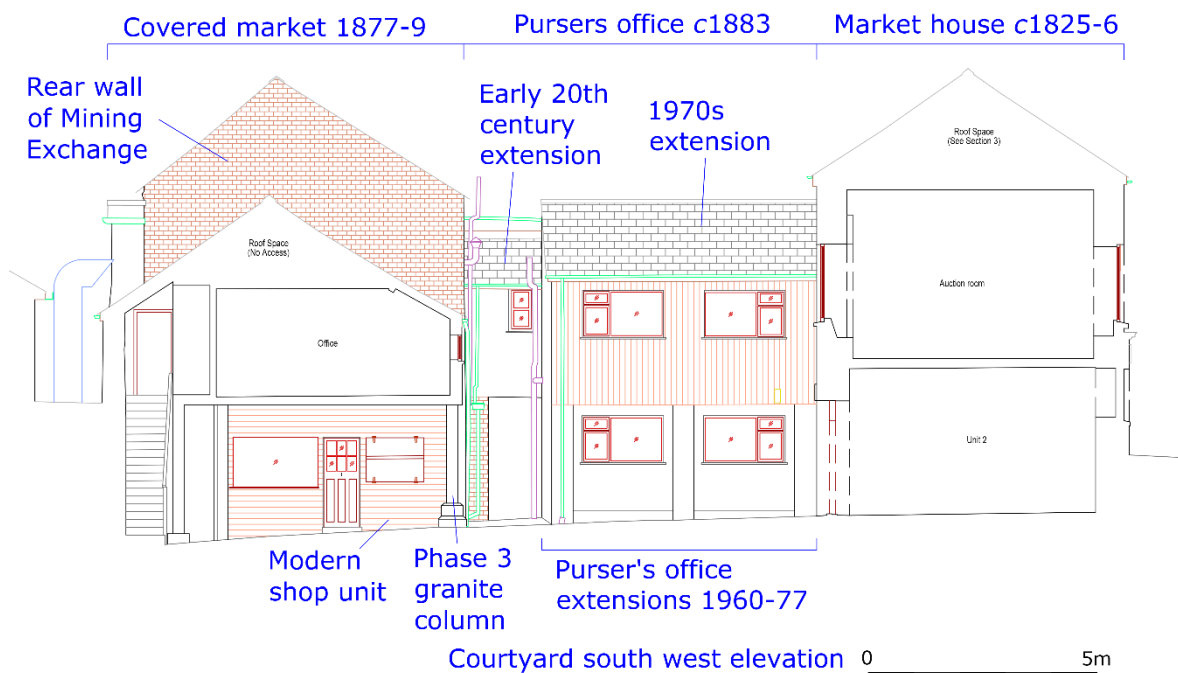


Fig 58 South west elevation in the courtyard.

5.3 Roofs

There are a number of roofs of various dates and styles on each of the buildings.

Market house

The market house has a hipped slate-covered roof with ceramic crested ridge tiles and domed ventilators which was constructed as a replacement of the phase 1 roof in 1884.

South east and south west ranges

The south east and south west ranges share an L-shaped slate covered roof with a hip at the north west end. The timber roof structure is original, but the slate roof covering was

replaced in 1997, and it has ceramic ridge tiles and two brick-built phase 2 chimney stacks near the south corner of the building. The chimneys have ceramic cowls.

Covered market area and Mining Exchange extension

The roof of the covered market area and Mining Exchange extension abuts the rear wall of the Mining Exchange and has a hip at the south west end where it meets the south west range. The roof structure dates to phase 3 but the corrugated sheeting is a modern replacement. There are three skylights on the north west face of the roof.

Mining Exchange

The roof of the Mining Exchange is gabled at the south west end, and a half hipped at the north east end. Its timber roof structure dates to phase 3, but this was repositioned in 1880 (phase 4) when the building was heightened. It has a replacement corrugated metal roof covering of uncertain date. There are several skylights in the roof and the remains of a phase 4 ventilator in the centre.

Wheal Peevor purser's office

The roof of Wheal Peevor purser's office is an original phase 5 mono-pitch roof structure which slopes away from the street towards the south west. The slate covering is a modern replacement. The lean-to roof of the small early 20th century WC adjoining the rear of the office also has a slate covering.

Wheal Peevor purser's office extensions

The narrow 1960s extension adjoining the rear of Wheal Peevor purser's office has a flat roof containing three skylights which may have been altered in the 1970s. The 1970s extension adjoining the 1960s flat roof extension has a slate covered gable roof.

5.4 Interior lower (ground) floor room descriptions

(See Fig 29 for room locations).

5.4.1 G1 (in Market House)

(Figs 59-65)

This room along with rooms G2-6 originally formed the ground floor room of the market house built in 1825-6. When built it would have had an open arcaded front facing the market courtyard, which could also be entered from an arched door openings in the north east wall and another opposite it in the south west wall. The ground floor of the market house was greatly altered in c1900 when the space was converted for use as a printing works. At this time the arches of the arcade were infilled with windows inserted, the door opening in the south west wall was blocked (the door in the north east wall had already been blocked in c1883), new windows were inserted in the south east wall along with a new door opening onto Station Hill in the south west wall, a lobby and office at the south west end, a fireplace added to heat the office and iron columns added to strengthen the floor above. The printing works continued in operation until c1990 and following that it was used as a gospel church and latterly as a hair salon.

Prior to development works commencing the original wall surfaces and ceiling in G1 had been boarded over with modern plasterboard. Following the removal of the boarding the north east, north west and south west walls were seen to be exposed stone rubble.

North west wall

This is the front wall of the market house containing the original arches of the open arcade. At the south west end of the north west wall there are two original arched openings which have had c1900 six-light timber mullion and transom windows inserted in them. Each light has four panes, and the upper central light is a bottom opening casement. The original arched opening to the north east of these, in the centre of the wall, contains inserted modern glazed timber double doors with two lights each. There are two blocked original arched openings to the north east of the double doors which still retain c1900 mullion and transom windows behind modern boarding. At the north east end of the wall the former arched opening has been blocked with a modern square-headed door opening inserted containing a modern timber door. There are five cast iron

columns against the wall between each arched opening, supporting the floor joists above. They are embossed with 'W. Visick & Sons Devoran'. Since Visick and Sons moved their premises from Bissoe to a new foundry in Devoran in 1894 it is clear that the columns were inserted after this date, almost certainly in c1900 when the room was converted as a printing works to protect the floor above from vibrations caused by the machinery.

Following the removal of the modern boarding covering the north west wall the original exposed stone rubble wall with dressed granite around all the openings was exposed. The wall had been painted white.

North east wall

The north east wall is the original end wall of the phase 1 market house. At the north west end of the north east wall there is blocked original arched door opening. This was blocked when the external granite steps giving access between Alma Place and the courtyard were added in c1883 up against the external face of the opening.

Following the removal of the modern boarding covering the north east wall the original exposed stone rubble wall with dressed granite the blocked door opening was exposed. The wall had been painted white.

South east wall

The south east wall is the original phase 1 rear wall of the building. When first built in 1825-6 there were no openings in this wall. There are four arched window openings in the south western half of the wall. These were inserted in c1900 when the printing works was established here. The two to the north east are shorter than the two to the south west. The openings were boarded over at the time of the survey, but when the boarding was removed the c1900 windows were seen to have remained *in situ* in all four openings. The windows were of the same design as those in the front, north west wall. There are five cast iron columns against the wall supporting the joists above. They are embossed with 'W. Visick & Sons Devoran'. Since Visick and Sons moved their premises from Bissoe to a new foundry in Devoran in 1894, it is clear that the columns were inserted after this date, almost certainly in c1900 when the room was converted as a printing works to protect the floor above from vibrations caused by the machinery.

Following the removal of the modern boarding covering the south east wall the original exposed stone rubble wall was exposed. This had been painted white.

South west wall

The south west wall is an inserted partition wall. The south eastern half is brick-built, bonded with cement mortar, and was inserted in c1900 when the area to the west was partitioned off to create a lobby and office, and the north western half is an inserted modern stud partition wall. At the south east end of the wall there a door opening with steps up giving access to a lobby/reception area (G2) created in c1900 and next to it there is a Visick & Sons, Devoran cast iron pillar. The half glazed door is a mid-late 20th century replacement. There is a modern door opening in the studwork wall to the north west of this.

Floor

The floor was covered with a modern timber-effect vinyl. When this was removed it revealed a concrete screed floor below, inserted in the 20th century (possibly when the printing works was first created). During the watching brief parts of the screed floor were removed around the openings of the arcade and original door openings, revealing that the original phase 1 floor survived *in situ* below the concrete screed. It comprised granite thresholds and granite flagstone paving.

Ceiling

The ceiling was covered with modern boarding at the time of the survey, but remains of earlier white painted boarding could be seen behind it. When the boarding was removed the floorboards and joists of the first floor were exposed. They had been painted white, indicating that a hung ceiling had never existed originally.

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Fig 59 G1 north west (front) wall.



Fig 60 G1 detail of maker's name on column.



Fig 61 G1 north east wall.



Fig 62 G1 south east wall.



Fig 63 G1 north west wall during watching brief with modern fittings removed



Fig 64 G1 north west wall during watching brief with c1900 windows removed from arcade.



Fig 65 G1 south east wall during watching brief with modern fitting removed.

5.4.2 G2 Lobby (in Market House)

(Fig 66)

This room along with rooms G1 and G3-6 originally formed the ground floor room of the market house built in 1825-6. The lobby was first inserted in c1900, but the floor was raised at a later date, probably in the mid-late 20th century.

North west wall

The north west wall was inserted in c1900 to create a lobby/reception for the printing works. It is brick-built with a modern fibreboard finish. There is a blocked reception window opening to the south west and a door opening into a small receptionist's room (G3) on the north east side. During demolition some of the bricks in the wall were seen to be stamped with 'St Day'. St Day brickworks were in operation between 1860 and 1912 (www.brocross.com/Bricks/Penmorfa/Pages/england20.htm).

North east wall

The north east side of the room is occupied by a door opening containing a mid-late 20th century half glazed door. In the opening there are steps down into G1.

South east wall

The south east wall is part of the phase 1 rear wall of the Market house and has a modern painted plaster finish.

South west wall

The south west wall contains an inserted segmental arched door opening. In c1900 a lintelled door opening was inserted here in the south west wall, but it appears to have been altered and turned at an angle across the corner of the building at a later date, possibly in the mid-late 20th century. The altered opening now contains a modern UPVC door with side light.

Floor

The floor is raised up from the level of the floor in G1. It was raised probably in the mid-late 20th century.

Ceiling

The ceiling comprises 20th century matchboard panelling.



Fig 66 G2 looking south.

5.4.3 G3 Receptionist's room (in Market House)

(Figs 67-68).

This room along with rooms G1-2 and G4-6 originally formed the ground floor room of the market house built in 1825-6. The receptionist's room was first inserted in c1900 to serve the printing works, when it was part of a larger room extending further to the north west. The floor was raised in this room at a later date and in the late 20th century or early 21st century the new, smaller room was created by the insertion of the north west wall.

North west wall

The north west wall of the receptionist's room is an inserted modern stud partition wall. The top of the wall is open to a void above rooms G4-6.

North east wall

The north east partition wall was inserted in c1900 and is constructed from brickwork which has been plastered.

South east wall

The south east wall is also plastered brickwork inserted in c1900. There is a blocked reception window opening to the south west and a door opening into the lobby/reception area (G2) to the north east. During demolition the bricks were seen to be stamped with

'St Day'. St Day brickworks were in operation between 1860 and 1912 (www.brocross.com/Bricks/Penmorfa/Pages/england20.htm).

South west wall

The south west wall is the original phase 1 wall of the market house, built from stone rubble. At the time of the survey, it was covered with modern boarding. During the watching brief the boarding was removed, exposing a fireplace with brick-built segmental arch and jambs bonded with cement mortar, a painted stone or timber lintel over, and a slate hearth. There was also a protruding brick-built chimney breast rising above it. This fireplace had been inserted as part of the conversion as a printing works in c1900 to heat the office. The fireplace had been blocked with brickwork at a later date (presumably when the chimney stack was removed probably in the mid-late 20th century). The fireplace was seen to extend below the later higher floor level.

Floor

The floor is raised at a higher level than G1, at the same height as the lobby (G2). This was done probably in the mid-late 20th century in order to match the height of the door opening in the south west wall of the building giving access to Station Hill. During the watching brief when the raised floor was removed a slate hearth was revealed below for the c1900 fireplace. Further removal of the raised floor revealed the original granite flagstone surface of the market house still *in situ*.

Ceiling

The ceiling comprises 20th century matchboard panelling.



Fig 67 G2 south west wall showing blocked fireplace.



Fig 68 G2, G3 and G4 during watching brief, showing raised floor and chimney breast. Looking south east.

5.4.4 G4 WC lobby (in Market House)

(Fig 69).

This room along with rooms G1-3 and G5-6 originally formed the ground floor room of the market house built in 1825-6. The lobby and two WCs (G5 and 6) are modern insertions.

Walls

The walls are all inserted modern stud walls covered with modern fibreboard. There are door openings containing modern doors in the north west, north east and south east walls.

Floor and ceiling

The floor is covered with a modern wood-effect vinyl and there is a modern suspended ceiling.



Fig 69 G4 looking south west.

5.4.5 G5 WC (in Market House)

(Fig 70).

This room along with rooms G1-4 and G6 originally formed the ground floor room of the market house built in 1825-6. The WC lobby (G4) and two WCs (G5 and 6) are modern insertions.

Walls

The north east, south east and south west walls are modern stud partitions, and there is a modern door in the south east wall. The north west wall is the original, stone rubble-built arcade wall of the market house, which at the time of the survey was covered by modern boarding. When the boarding was removed the original stone wall (painted white) was exposed, revealing the original arched opening which had been blocked with brickwork and a window inserted in c1900. The blocking and window were then removed during the works. A c1900 cast iron Visick & Sons column was also exposed against the wall when the modern boarding was removed.

Floor and ceiling

The floor had a modern wood-effect vinyl covering on top of a concrete screed and there was a modern suspended ceiling. Further removal of the screed floor around the blocked arcade opening revealed the original granite flagstone floor surface of the market house still *in situ*. A square drain opening had been inserted through the floor just in front of the blocked arcade opening.



Fig 70 G5 looking north west.

5.4.6 G6 Toilet (in Market House)

(Fig 71).

This room along with rooms G1-5 originally formed the ground floor room of the market house built in 1825-6. The WC lobby (G4) and two WCs (G5 and 6) are modern insertions.

Walls

The north east and south east walls are modern boarded stud partition walls. There is a modern door in the south east wall. The south west and north west walls are the original stone walls of the market house which were covered with modern boarding. When the boarding was removed the original stone walls (painted white) were exposed, revealing the original arched door opening in the south west which had been blocked with brickwork and a window inserted in c1900. And half of a blocked arcade opening with a window inserted in c1900. The blocking and windows were then removed from both openings during the works.

Floor and ceiling

The floor had a modern wood-effect vinyl covering on top of a concrete screed and there was a modern suspended ceiling. Further removal of the screed floor around the two blocked door openings revealed the original granite flagstone floor surface of the market house still *in situ*.



Fig 71 G6 looking north west.

5.4.7 G7 Hallway, (in 1960s extension of Wheal Peevor purser's office)

(Fig 72).

This room lies within a two-storey extension added to the rear of Wheal Peevor purser's office, and up against the front wall of the market house in the 1960s (phase 10). The ground floor of this extension belonged to the printing works and was used as a paper store, whilst the upper floor belonged to the auctioneers and estate agents occupying Wheal Peevor purser's office at that time. In 1977 the extension was remodelled when another extension was added to it on the south west side.

Walls

The walls of the hallway all have painted plasterboard finishes. There are multiple door openings into G1, G8, G9, G10 and G11. The openings all have c1970s timber architraves and timber doors. The door opening through to G1 in the south east wall has been inserted into one of the phase 1 arcade openings of the market house.

Floor and ceiling

The floor has a modern vinyl wood-effect covering. The ceiling is constructed from plasterboard. Following demolition of the building and removal of the concrete floor, the 19th century courtyard surface was revealed comprising stone setts.



Fig 72 G7 looking north west.

5.4.8 G8 Office (in 1960s extension of Wheal Peevor purser's office)

(Fig 73).

This room lies within a two-storey extension added to the rear of Wheal Peevor purser's office, and up against the front wall of the market house in the 1960s (phase 10). The ground floor of this extension belonged to the printing works and was used as a paper store, whilst the upper floor belonged to the auctioneers and estate agents occupying Wheal Peevor purser's office at that time. In 1977 the extension was remodelled when another extension was added to it on the south west side.

Walls

The walls of the hallway all have painted plasterboard finishes. Part of one of the blocked arches of the market house arcade is visible in the south east wall. There is a c1970s timber door in the south west wall.

Floor and ceiling

The floor has a modern vinyl covering over concrete. The ceiling is constructed from plasterboard. Following demolition of the building and removal of the concrete floor, the 19th century courtyard surface was revealed comprising stone setts.



Fig 73 G8 south east wall showing arch.

5.4.9 G9 Kitchen, (in 1960s extension of Wheal Peevor purser's office)

(Figs 74-75).

This room lies within a two-storey extension added to the rear of Wheal Peevor purser's office, and up against the front wall of the market house in the 1960s (phase 10). The ground floor of this extension belonged to the printing works and was used as a paper store, whilst the upper floor belonged to the auctioneers and estate agents occupying Wheal Peevor purser's office at that time. In 1977 the extension was remodelled when another extension was added to it on the south west side.

Walls

The walls are all dry-lined with plasterboard. The north west wall and north east wall are concrete block-built. Behind the boarding on the north east wall there are two cast iron columns under a rolled steel joist supporting the rear wall of Wheal Peevor purser's office. These were added when Wheal Peevor purser's office was first built in c1883. The capitals of the columns are painted green, and the south eastern column is painted red. Immediately behind the columns to the north east, the concrete block-built wall of the 1960s extension is visible. There are late 20th century kitchen cupboards and a sink against the north east and south east walls

Floor and ceiling

There is a late 20th century vinyl floor covering. The ceiling is painted plasterboard. Following demolition of the building and removal of the concrete floor, the 19th century courtyard surface was revealed comprising stone setts.



Fig 74 G9 looking south east.



Fig 75 G8 and G9 north east walls during demolition with exposed original supporting columns for Wheal Peevor purser's office.

5.4.10 G10 Treatment room (in 1970s extension of Wheal Peevor purser's office)

(Fig 76).

This room lies within a two-storey extension added to the rear of Wheal Peevor purser's office, and up against the front wall of the market house in the 1977 (phase 11). The ground floor of this extension belonged to the printing works and was used as a paper store and offices, whilst the upper floor belonged to the auctioneers and estate agents occupying Wheal Peevor purser's office at that time. The room was most recently used as a treatment room by the hair salon occupying market house.

Walls

The walls all have painted plasterboard coverings. The north west and north east walls are stud partition walls; the south west wall is constructed from concrete blockwork and the south east wall is the phase 1 front wall of the market house constructed from ashlar granite. There is a 1970s timber door in the north east wall giving access to G7 and a wide 1970s casement window in the south west wall.

Floor and ceiling

There is a late 20th century vinyl floor covering over a concrete floor. The ceiling is painted plasterboard. Following demolition of the building and removal of the concrete floor, the 19th century courtyard surface was revealed comprising stone setts.



Fig 76 G10 looking west.

5.4.11 G11 Treatment room (in 1970s extension of Wheal Peevor purser's office)

(Fig 77).

This room lies within a two-storey extension added to the rear of Wheal Peevor purser's office, and up against the front wall of the market house in the 1977 (phase 11). The ground floor of this extension belonged to the printing works and was used as a paper store and offices, whilst the upper floor belonged to the auctioneers and estate agents occupying Wheal Peevor purser's office at that time. The room was most recently used as a treatment room by the hair salon occupying market house.

Walls

The walls all have painted plasterboard coverings. The north west and south west walls are concrete block-built and the north east and south east walls are stud partition walls. There are 1970s timber doors in the north west and north east walls giving access outside and to G7, and a wide 1970s casement window in the south west wall.

Floor and ceiling

There is a late 20th century vinyl floor covering over a concrete floor. The ceiling is painted plasterboard. Following demolition of the building and removal of the concrete floor, the 19th century courtyard surface was revealed comprising stone setts.



Fig 77 G11 looking west.

5.4.12 G12 Unit 3 (in south east range)

(Figs 78-82).

The south east and south west ranges were first constructed in the mid 19th century to provide covered market stalls at both ground and first floor level. At ground floor level the ranges incorporate a colonnade, with the stall frontages set back behind it. This room appears to have been inserted in the 1930s or 40s during phase 9 when much of the first floor was remodelled to create a residential flat. It occupies an area where there had formerly been a staircase to the north east and one enclosed market stall to the south west. It also occupies the area of the former colonnade here, and two granite columns were removed at this time to create the front wall of the room.

North west wall

The north west (front) wall was added in the 1930s or 40s on the site of two former columns. It is constructed from concrete blockwork. There are two four-pane windows in this wall with top opening casements containing patterned rolled plate glass, although two panes have been replaced with clear glass in the north east window. To the north east of these there is a door opening with replacement mid-late 20th century half glazed door.

North east wall

The north east wall is the original phase 2 wall of the south east range which is constructed from stone rubble and was boarded over with painted fibreboard. There is a modern electricity box in the east corner. When the fibreboard was removed the exposed stone rubble wall was seen to be whitewashed/painted white. The former staircase was located up against the south east part of this wall and doglegged to continue running up along the south east wall. The wall is covered with rows of wooden pegs where panelling has been removed.

South east wall

The south east wall is the original phase 2 (rear) wall of the south east range, which is constructed from stone rubble, and was boarded over with painted fibreboard. When the fibreboard was removed the exposed stone rubble wall was seen to be whitewashed/painted white. The upper part of the former staircase was once located up against the north east part of this wall. There is a vertical scar in the centre of the wall indicating the location of a removed partition wall. The wall is covered with rows of wooden pegs where panelling has been removed.

South west wall

The south west wall was covered with painted fibreboard at the time of the survey. At the north west end of the wall there was a small casement window containing rolled plate glass. When the boarding was removed it revealed an original (phase 2) whitewashed plank and muntin stall partition wall. This was adjoined at the north west end by a short length of phase 9 concrete block-built wall crossing the former width of the colonnade and containing the small casement window.

Floor

The room contained a suspended timber floor at the time of the survey. When this floor was removed it revealed the original granite flagstone surface in the area of the former colonnade along the north west side of the room. To the south east of this the original floor had been replaced with a concrete floor.

Ceiling

The ceiling was covered with fibreboard at the time of the survey. When this was removed it revealed the original whitewashed floor joists and boards above.



Fig 78 G12 looking north east.



Fig 79 G12 during watching brief looking north west.



Fig 80 G12 south west wall during watching brief showing original plank and muntin wall.



Fig 81 G12 floor during watching brief showing granite flagstones.



Fig 82 G12 ceiling during watching brief showing position of former staircase.

5.4.13 Watching brief during excavation of a service trench in and outside of G12

(Figs 187 and 196).

A small service trench was excavated at the front of G12 and outside it. The south east end of the trench was located inside the room in the area of the former colonnade. The granite flagstone floor surface of the colonnade (103) was removed in the area of the trench. These were set directly on an earth make-up layer (123), as elsewhere on the site. Three sherds of 19th China were recovered from this layer. To the south east of the granite flagstones there was a thick concrete floor, at least 0.25m thick, extending to the real wall of the south east range. To the north west of the granite flagstones within the former colonnade area, the courtyard surface was constructed from modern slate setts

laid in c2000. The slate setts (116) were set in a grey aggregate (115), 0.05m thick, which lay on top of a yellowy aggregate (114), 0.7m thick. The 19th century courtyard surface had clearly been removed in this area when the new surface was laid in c2000. The aggregate layer (114) was cut into and overlay the 19th century earth make-up layer (123) (see Figure 196 for section drawing).

5.4.14 G13 Unit 4 (in south east range)

(Fig 83).

This room is one of the original mid 19th century enclosed market stalls. It has been converted in the late 20th century to serve as a kitchen and toilet.

Walls

The walls are all covered with modern plasterboard. At the south west end of the north west (front) wall there is a 19th century ledged door with replacement strap hinges and a brass doorknob. Next to the door there is a five-pane workshop window. A modern kitchen sink unit has been inserted in the north corner of the room. The north east wall is an original partition wall (seen in G12 as a plank and muntin partition). Dividing the original room space is a modern partition wall running north east to south west. There is a modern door in the partition giving access to a modern toilet to the south east. The rear, south east wall is the original stone rubble wall of the south east range; but was not exposed as part of the works.

Floor and ceiling

The floor has a modern concrete finish, and the ceiling is covered with modern plasterboard.



Fig 83 G13 north west wall.

5.4.15 G14 Unit 5 (in south east and south west ranges)

(Fig 84).

This room occupies the corner of the south east and south west ranges. It is one of the mid 19th century enclosed market stalls, although may originally have been two stalls.

Walls

The walls all have modern plasterboard covering them. The north east wall in the south west range contains a ledged door which has been sawn in two to create a stable door. It has modern strap hinges. In the north west wall of the south east range there is an original three-light workshop window.

Floor and ceiling

The floor has a modern vinyl covering over an inserted concrete floor and ceiling is covered with modern boarding, but two joists are visible in the south east range aligned north west to south east.



Fig 84 G14 looking north east.

5.4.16 G15 Unit 6 (in south west range)

(Figs 85-87).

This room is one of the original mid 19th century enclosed market stalls.

North west wall

The north west wall is an original 19th century plank and muntin partition wall which has a timber rail running along the top where meat hooks were once attached, and has been painted white.

North east wall

The north east (front) wall is covered with modern plasterboard and contains a 19th or early 20th century ledged door which has recently been sawn in half to create a stable door. It has modern strap hinges to the north west. The south east side of the wall contains an original window/shutter opening with protruding timber sill below. The opening has been narrowed at a later date and contains an inserted, reused six-pane sash set on end at the south east end.

South east wall

The south east wall is an original 19th century plank and muntin partition wall which has a timber rail running along the top where meat hooks were once attached, and has been painted white. The planks are fielded. There is a timber rail running along the wall where meat hooks were once attached.

South west wall

The south west (rear) wall is covered with modern plasterboard concealing the stone rubble rear wall of the south west range.

Floor

The floor surface has a modern concrete screed covering the original stone sett surface which is exposed in the east corner of the room.

Ceiling

The ceiling covered by modern plasterboard.



Fig 85 G15 north west wall.



Fig 86 G15 north east wall.



Fig 87 G15 south east wall.

5.4.17 G16 Unit 7 (in south west range)

(Fig 88).

This room is one of the original mid 19th century enclosed market stalls.

Walls

All the walls, except the north east (front) wall are covered with modern fibreboard. This conceals the original plank and muntin partition wall to the south east. The north east wall is constructed from horizontally set planks, painted white. It contains a ledged 19th or 20th century stable door with strap hinges and a timber doorknob to the north west. Directly south east of the door there is a six pane workshop window with protruding timber sill. Below the window a 19th century workbench survives.

Floor and ceiling

The floor has a concrete screed covering and the ceiling is covered with modern boarding.



Fig 88 G16 north east wall.

5.4.18 G17 Unit 8 (in south west range)

(Fig 89).

This room is one of the original mid 19th century enclosed market stalls.

Walls

The walls are all covered with modern fibreboard. In the north east (front) wall there is a ledged stable door with strap hinges and Bakelite doorknob. On the south east side of the door there is a six-pane workshop window. Below the window a modern shelf has been fixed to the wall in the location of a removed work bench.

Floor and ceiling

The floor is carpeted over a concrete screed. The ceiling was covered with modern boarding at the time of the survey, but during the works the boarding was removed revealing the 19th century boards and joists above which had been whitewashed indicating that originally, they would have been exposed.



Fig 89 G17 north east wall.

5.4.19 Watching brief during excavation for services below floor in G17

(Figs 90-91, 187 and 196).

In order to install services, the floor of the unit was taken down to a depth of 0.9m against the south west (rear) wall, with the excavation sloping up to ground surface level within the colonnade. The excavation exposed the construction of the floor in section, as well as the below ground face of the south east wall of the granite steps to the north west leading down to Fair Meadow carpark. In the south east facing section of the excavation (see Fig 196), the wall of the steps (110) was constructed from granite blocks, some of which were the ends of the granite steps beyond the wall. The wall was bonded with earth mortar (109). The earliest floor surface in G17 was a red concrete screed containing mine waste (111), which measured between 0.05m and 0.01m thick. The surface was sat directly onto the wall (110) and an earth make-up layer (109). Overlying the historic mine waste surface was a later modern concrete screed (112), measuring 0.01m thick. The 19th century north west door jamb (113) of G17 was set on top of the earlier mine waste screed (111), and the later concrete screed (112) was laid up against it, suggesting that the mine waste surface (111) was an original feature. In the colonnade outside G17, the granite flagstones (103) were laid directly onto the earth make-up layer (109).

The north west facing section of the excavated area inside G17 (see Fig 196) contained the same stratigraphy: a thin 0.01m thick screed of concrete (111), below this a thicker 0.05m red concrete and mine waste surface (110), overlying a redeposited earth make-up layer (116) which contained several pieces of 19th century ceramic building material including fragments of waterpipe and brick with lime mortar adhering. At the south east end of the excavated area there was an earlier deposit (115) beneath the earth (116). This dark deposit (115) contained frequent lime flecks. Both of these deposits extended the extent of the excavation. Unlike the north west door jamb, the south east door jamb

(121), was positioned on top of the later concrete surface (111), suggesting that the south east door jamb is a later replacement. Outside G17 in the colonnade, the 19th century granite flagstones (103) overlay the earth make-up layer (116), as elsewhere. To the north east of the flagstones there was a granite drainage channel (120), and beyond this was the modern slate sett surface (119), laid in c2000, which was bedded into a grey aggregate mix (118), 0.05m thick. This modern bedding layer overlay (117) a yellow aggregate 0.1m thick, which was also associated with the c2000 works. The lower aggregate layer (117) overlay the 19th century earth make-up layer (116).



Fig 90 G17 during watching brief, south east facing section of trench showing (110).



Fig 91 G17 during watching brief, north west facing section of trench.

5.4.20 G18 Staircase lobby (in south west range)

(Figs 92-95).

This room was one of the original mid 19th century enclosed market stalls. In the 1930s or 40s it was remodelled to create a new staircase and lobby to serve a residential flat which was created at this time at first floor level in the south west and south east ranges.

North west wall

The north west wall was covered with modern fibreboard above the stairs at the time of the survey. The 1930s or 40s staircase ran up against this wall from south west to north east. As part of the works the staircase and modern wall finishes were removed revealing an original 19th century whitewashed plank and muntin partition wall behind.

North east wall

The front wall of the former market stall had been removed in the 1930s or 40s and replaced with a door and matching wall. The 1930s or 40s door and wall both have four glazed panes of patterned rolled plate glass in the upper half and two panels in the lower

half. The door has a late 20th century lock and handle, and there is a light switch on the wall of the same date.

South east wall

The south east wall was covered with modern fibreboard at the time of the survey. As part of the works the boarding was removed revealing the whitewashed rear of the original horizontal plank wall which fronts the granite-stepped market entrance to the south east.

South west wall

The south west wall is the original stone rubble-built rear wall of the south west range. This wall was plastered above stair level. The lower flight of the 1930s or 40s staircase had been built up against this wall.

Floor

The floor at the time of the survey was concrete with a recessed door mat in front of the door.

Stairs

The 1930s or 40s timber staircase ran up the south west and north west walls and originally had a carpet runner. It contained an understairs cupboard under the lower part of the stairs to the south west with a plank door and Bakelite doorknob. The newel posts were square sectioned with rounded tops. It had stick balusters and a moulded handrail. The staircase was removed during the course of the works and a new first floor structure inserted here.



Fig 92 G18 north east wall.

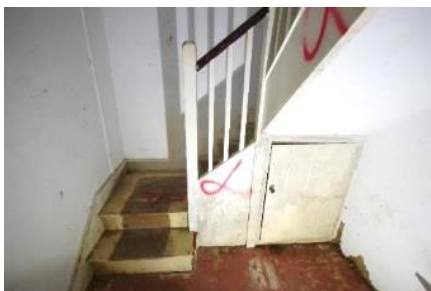


Fig 93 G18 looking south west.



Fig 94 G18 during watching brief, north west wall with removed boarding.



Fig 95 G18 during watching brief, south east wall with removed boarding.

5.4.21 Watching brief during excavation for services below floor in G18

(Figs 96, 187 and 196).

During the watching brief the floor inside G18 was excavated in order to install services. The trench was 3m wide and up to 0.75m deep. On the south west side of the trench a make-up layer (101) extended up to 0.45m from the lowest point in the trench. Halfway across the trench, this layer (101) sloped down to the north east. Overlying (101) there was a layer of mid reddish brown silty clay containing moderate stones (102), which lay directly beneath an original floor surface inside the room of stone setts (106). Layer (102) was also seen to lie directly beneath the granite flagstones of the colonnade outside the room. Overlying the original floor surface (106) was a concrete surface (107) of probable 1930s or 40s date, laid directly onto historic stone setts (106). Outside in the colonnade there was a narrow area of dark brown earth infill between the granite slabs and the setts (104) of the interior. Between the north east side of the granite flagstones (103) and the granite columns (105) there was modern concrete patching (104).



Fig 96 G18 during watching brief, south east facing section of trench in floor.

5.4.22 G19 Unit 9 (in south west range)

(Figs 97-98).

This room is one of the original mid 19th century enclosed market stalls.

North west wall

The north west wall incorporates the underside of the original staircase (G20) and is now covered by modern plasterboard up against the original panelled wall.

North east wall

The north east (front) wall is also covered by modern plasterboard. It contains a 19th century timber ledged door with an original iron thumb latch. To the south east of the door there is a 19th or early 20th century three pane window with protruding timber sill below. To the north west of the door there is a blocked shuttered opening (as seen externally).

South east wall

The south east wall is covered by modern plasterboard although it was revealed during the watching brief in G18 that this is an original (phase 2) plank and muntin wall.

South west wall

The south west wall is the rear wall of the south west range. It is exposed stone rubble painted white. There are several stones protruding out from the wall into the room, but the reason for this is unclear.

Floor

The floor has a modern vinyl covering.

Ceiling

The ceiling has a modern plasterboard covering.



Fig 97 G19 north east wall.



Fig 98 G19 looking south.

5.4.23 G20 Staircase (in south west range)

(Fig 99).

The staircase is an original phase 2 feature in the south west range. Originally used to access the market stalls at first floor level.

North west wall

The north west wall is covered with vertical plank panelling at ground floor level with horizontal plank panelling above. There is a thin 19th century iron handrail attached to the panelling.

North east wall

At the base of the stairs there is an original 19th century ledged and braced door with a cast iron thumb latch. A small glass pane has been inserted at a later date in the upper half of the door.

South east wall

The south east wall is covered with vertical plank panelling at ground floor level with horizontal plank panelling above.

South west wall

The south west wall is the rear wall of the south west range. It is exposed stone rubble which has been whitewashed.

Stairs

The original timber winder staircase has very worn treads and leads up from the door in the north east wall to the south west, turning at right angles against the south west wall and continuing up to the south east.

Ceiling

The ceiling is timber panelled.



Fig 99 G20 looking west.

5.4.24 G21 Unit 10 (in south west range)

(Figs 100-102).

This room is one of the original mid 19th century enclosed market stalls.

North west wall

The north west wall is the original north west wall of the south west range. It is constructed from stone rubble which has been whitewashed. There is a large stone protruding from the centre of the wall at high level of unknown function, but it sits below an original fireplace at first floor level.

North east wall

The north east wall is an original 19th century plank and muntin partition wall which has been whitewashed. It has a timber rail attached to it with one 19th century iron meat hook surviving and holes where others have been removed.

South east wall

The south east (front) wall of the stall contains an original ledged door at the north east end and immediately to the south west of it a former opening which has been boarded over with historic timber planks which have iron hooks attached to them. Directly below the opening there is an original 19th century timber workbench. The support leg to the north east is modern but the south eastern leg is original. The walling to the south west of this is panelled with vertically set planks, this has a timber rail attached with five iron meat hooks surviving *in situ*.

South west wall

The south west wall is the original rear wall of the south west range. It is constructed from stone rubble which has been whitewashed.

Floor

The floor surface is a concrete screed.

Ceiling

The ceiling is formed by the exposed floor joists and boards above which have been whitewashed. Against the centre of the north west wall there is a square configuration of joists to support a hearth for a fireplace on the floor above. There are three mid 19th century urinals manufactured by George Jennings of London (the inventor of public toilets) stored in this room.



Fig 100 G21 north east wall.



Fig 101 G21 south east wall.



Fig 102 G21 looking south west.

5.4.25 G22 Probable toll collector's booth (in north west range)

(Figs 103-104).

This small, timber built booth is located under the covered market area in the north west range, immediately adjacent to the north eastern door opening which once gave access through to the meat market but which is now blocked. The structure is likely to date from the late 1870s as it adjoins the north west wall which was built at this date. Its position directly adjoining the north east side of the door opening through to the meat market along with its design suggests that it was most likely used as a small office for collecting market tolls.

North west wall

The north west wall is the stone-rubble wall built in the 1870s dividing the courtyard from the meat market to the north. The wall has been plastered and painted.

North east wall

The north east wall is a plastered and painted stone rubble wall which has modern metal shelving against it.

South east wall

The south east wall has vertical timber plank panelling and contains an inserted fixed six-pane window with only two panes surviving. There is a Bakelite plug socket in this wall for three round pins, dating from c1930-1950 (plugsocketmuseum.nl).

South west wall

The south west wall has vertical timber panelling. At the north west end there is a ledged door with a Bakelite light switch next to it. To the south east of this there is a fixed 12 pane window (now with panes painted over) with a folding timber shelf/work top below it.

Floor

The floor is now covered with concrete.

Ceiling

The ceiling is matchboard panelled and has a mid 20th century light fitting.



Fig 103 G22 frontage.



Fig 104 G22 looking south.

5.4.26 G23 Unit 1 (in north west range)

(Figs 105-106).

This room was inserted in the north west range under the Mining Exchange and its extension, in the late 20th or early 21st century.

North west wall

The north west wall is set back on the north east side and forward on the south west side and both parts are modern insertions. The stepped (north east facing) part of the wall is an earlier section of stone rubble walling inserted in the 1870s which has been painted white. The north east and south west parts of the north west wall are both covered with painted fibreboard. The north east part of the wall is a stud partition located 40cm away

from a whitewashed stone wall behind. There are several large cast iron pipes in the void between the two.

North east wall

The north east wall is concrete blockwork which has been painted white. There is a boarded over door in the east corner.

South east wall

The south east wall comprises the 1870s stone rubble wall of the former room below the Mining Exchange to the north west, and a modern stud wall to the south west covered with modern boarding and containing a large plate glass window.

South west wall

The south west wall is a modern boarded stud partition and contains a reused mid 20th century door with three panels in the lower half and six-panes in the upper half. There is another large plate glass window to the north west of the door.

Floor

The floor is concrete in the north eastern half of the room and suspended timber floor with fibreboard covering in the south eastern half of the room.

During demolition of the room and removal of modern floors, the original stone sett surface of the courtyard was seen to survive beneath the modern concrete and timber floors. A trench 40cm wide was excavated running north to south across the area of the room, exposing a ceramic water or drainage pipe below the historic stone sett surface aligned north east to south west.

Ceiling

The ceiling is cement covered and painted white. There is a beam running north west to south east directly below the rear wall on the Mining Exchange which may be an RSJ inserted in the 1920s when the Mining Exchange extension was added. Supporting the central part of the beam there is a possibly reused c1880s cast iron column, the same as those supporting the rear wall of Wheal Peevor purser's office, and to the south east of this a section of cast iron rising main pipe has been reused as a support pillar.



Fig 105 G23 Looking north west.



Fig 106 G23 looking south east.

5.4.27 G24 Area beneath Mining Exchange (in north west range)

(Figs 107-108 and 194).

This room along with the north eastern part of G23 was first created in c1877 when the north west range was built. On a plan dated 1892 (Fig 15) the room is labelled as the wholesale meat market. In 1880 the ceiling was raised when a new first floor structure was inserted for the Mining Exchange and the previous 1870s floor removed. At this time the 1870s granite columns which had supported the front (south east) wall were removed and replaced with a section of brick wall and brick pillars. Major alterations also occurred in the late 20th or early 21st century with the insertion of RSJs to support the ceiling.

North west wall

The north west wall was constructed in the 1870s. It is exposed stone rubble which has been whitewashed, although the south western half has been painted white more recently. There is modern and historic pipework running along the length of the wall and a large cast iron pipe at the south west end, probably inserted in the 1920s for drainage from the Mining Exchange extension. There is a horizontal scar at the top of the wall where the 1870s first floor has been removed.

North east wall

The north east wall is a phase 1 retaining wall. It is constructed from stone rubble and has been whitewashed. Running along the top of the wall is the scar of the removed 1870s floor. Pipework has been inserted at each end of the wall and there is a bracket fixed at the south east end.

South east wall

The north west end of the south east wall is constructed from brick and appears to date from the 1880s, added to help support the new floor of the Mining Exchange. At this time the earlier 1870s granite column that had been supporting the earlier floor here was removed, but its granite plinth was left *in situ* and the brick wall added on top of it. A short length of modern concrete blockwork wall (1.15m long) has been built up against the south west end of the brick section. At the end of the concrete block wall there is a c1883 cast iron column which supports the rear of Wheal Peevor purser's office. The rest of the wall to the south west is open to the courtyard and supported by two brick pillars which were added in 1880 creating three openings. The north eastern brick pillar is built on top of a granite base for an 1870s granite column (the granite column having been removed at this time and reused to support floor beams in the room). There is a timber lintel over the three openings.

South west wall

The south west wall was inserted in the late 20th or early 21st century and is constructed from concrete blockwork.

Floor

At the time of the survey the floor was covered with a layer of concrete apart from along the south eastern edge where there was a 19th century granite surface drainage gully and a 19th century stone sett surface on the other side of the gully. During the works the concrete floor was removed revealing the 19th century granite sett surface surviving across the entire room (see watching brief below).

Ceiling

In the middle of the room there is a reused 1870s granite column (taken from the south east wall in 1880), along with two brick pillars built in the 1880s, all of which support a large set of timber beams running north west to south east supporting the 1880 floor of the Mining Exchange above. In the middle of the south west side of the room there is a reused c1883 cast iron pillar which is the same as those supporting the rear wall of Wheal Peevor purser's office.

During the course of the works the 1880 lath and plaster ceiling was removed in the north east and south west parts of the room revealing the floorboards and joists of the Mining Exchange above. The ceiling in the central section of the room is modern concrete.

Here, a cast iron, possibly 19th century, pipe extends down into the ground. There are two modern RSJs that have been inserted to support the ceiling, along with the earlier (1880) timber beams. The central timber beam supported on the brick pillars and reused granite column contains sockets and sawn off joists relating to an earlier (1870s) lower ceiling. There are noggings between the floor joists in the south western part of the room.

Watching brief

During the watching brief on the below floor works. The extent of the 19th century surface of granite setts was recorded before its removal (see Fig 194). During excavation of the floor a large rectangular granite block was recorded, set in the floor at the south west end of the room. A fragment of the capital from the reused granite column in the centre of the room was recovered from within the cobbled surface. The concrete surface was 0.1m deep and immediately overlay the surface of granite setts which was 0.1m deep. The setts were bedded into a layer of stony hardcore 0.2m deep which in turn was laid on a layer of mid brownish orange compact silty clay. Several trenches for new services were excavated across the room.



Fig 107 G24 looking east.



Fig 108 G24 looking west showing walls and ceiling.

5.4.28 G25 WC (below Wheal Peavor purser's office)

(Fig 109).

The existing rooms below Wheal Peavor purser's office at the time of the survey (G25 and G26) were constructed in the late 20th century, either in 1977 or sometime later.

Prior to the 1960s this space was open to the courtyard, with the rear of Wheal Peavor purser's office supported on cast iron columns. At this time the covered area was used as a weighing place. Before the construction of Wheal Peavor purser's office in c1883 this space had been occupied by steps up to Alma Place in the 1870s, and prior to that there had been market stalls here.

Walls

The walls are all covered with modern fibreboard. There is a modern timber door in the north to the WC, and a modern toilet.

Floor and ceiling

The floor surface is modern concrete, and the ceiling is covered with fibreboard.



Fig 109 G25 looking north west.

5.4.29 G26 Storeroom and stairs (below Wheal Peevor purser's office)

(Figs 110-112).

The existing rooms below Wheal Peevor purser's office at the time of the survey (G25 and G26) were constructed in the late 20th century, either in 1977 or sometime later.

Prior to the 1960s this space was open to the courtyard, with the rear of Wheal Peevor purser's office supported on cast iron columns. At this time the covered area was used as a weighing place. Before the construction of Wheal Peevor purser's office in c1883 this space had been occupied by steps up to Alma Place in the 1870s, and prior to that there had been market stalls here.

Walls

The walls are all covered with modern fibreboard. The room is open to a late 20th century staircase at the north west end and there is a modern door giving access to G25. In the east corner of the room there is modern shelving. A temporary boarded door in the south east wall leads outside to a small yard.

Floor and ceiling

The floor surface is modern concrete, and the ceiling is covered with fibreboard.

Watching brief

The modern rooms (G25 and G26) were demolished as part of the works exposing the historic walls. The phase 1, north east wall was constructed from randomly coursed stone rubble bonded with earth mortar and was whitewashed. There were three large square sockets at the top of this wall, close together and near the centre, one open, one infilled with cement and the other filled with brick. These sockets may have been associated with the stairs up to Alma Place that were formerly located against this wall prior to the construction of Wheal Peevor purser's office in c1883.

Following the removal of the concrete floor the historic granite and slatestone sett surface of the courtyard was seen to survive below G25 and G26, with a drainage gully in the setts running from north east to south west.



Fig 110 G26 looking east.



Fig 111 G26 North east wall following demolition of rooms.



Fig 112 G26 Stone sett surface uncovered during watching brief, looking south east.

5.4.30 G27 Former WC (below Wheal Peevor purser's office)

(Figs 113-114).

This small WC appears to have been added in c1883, at the same time as Wheal Peevor purser's office, possibly to replace two earlier WCs to the south east which were buried in c1883 when the granite steps leading from the courtyard up to Alma Place were inserted.

North west wall

The north west wall is constructed from concrete blockwork and relates to the construction of G26 below Wheal Peevor purser's office in the late 20th century.

North east wall

The north east wall is the phase 1 retaining wall below Alma Place. It is constructed from stone rubble and has been whitewashed. There is an iron pipe leading down the wall and

two iron struts have been added at a later date spanning the width of the room between the north east and south west walls to strengthen them.

South east wall

The south east wall, along with adjoining parts of the north east and south west walls, are cement rendered to half height where a removed toilet was once located. The south east wall above and behind the cement render is constructed from brickwork painted white. There is a rectangular timber board attached to the wall above the render which originally had a cistern attached to it. The horizontal scar of the removed toilet seat can be seen halfway up the rendered part of the wall.

South west wall

The c1883 south west wall is a three quarter height wall built from randomly coursed stone rubble which has been whitewashed. On top of the c1883 a cement rendered concrete block wall has been added in the late 20th century, c0.6m high, to bring the wall up to ceiling height. A modern door opening has been inserted at the north west end (originally the door opening was in the north west wall). The opening contains a 1970s or 80s timber door, and the wall above the door is timber boarding.

Floor

The floor surface in this room comprises 19th century granite and slatestone setts.

Ceiling

The room has a 19th century lath and plaster ceiling. Part of the ceiling is missing and the floor joists and boards of Wheal Peevor purser's office above are visible.



Fig 113 G27 looking east.



Fig 114 G27 during watching brief looking south east.

5.4.31 G28 Small yard (below Wheal Peevor purser's office)

(Figs 115-119).

At the bottom of the c1883 granite steps leading down to the courtyard from Alma Place is a small rectangular open area below Wheal Peevor purser's office. This space was part of the open area under Wheal Peevor purser's office before modern rooms were inserted below it, and an extension made to the rear of Wheal Peevor purser's office in the 1960s. The yard area has concrete block walls on the south west and north west sides associated with 1960s and later alterations. On the north west side there is a modern timber frame mesh door giving access to a passage created by the 1960s extension and the later rooms added under Wheal Peevor purser's office and a modern timber door giving access to G26. The passage has a 19th century surface of stone setts, and stored in it are two cast-iron columns marked 'W. Visick & Sons, Devoran' like those in the market house, and both have hinge attachments for gates (it is unclear where they have been removed from). The north east side of the area is formed by the wall of the WC (G27) added in c1883. The $\frac{3}{4}$ height wall is constructed from stone rubble and has remnants of whitewash on it. There is a reused chamfered stone in this wall, and it has been heightened with concrete in the late 20th century to take it up to the underside of Wheal Peevor purser's office. There is a modern timber door at the north west end of this wall. Forming the south east side of the area is the base of the c1883 granite steps leading up to Alma Place. The small yard area has a 19th century surface of stone setts which extends into the passage and was seen during the course of the works to survives below the modern rooms under Wheal Peevor purser's office and below the 1960s and 70s extensions.



Fig 115 G27 G28 looking north.



Fig 116 Steps next to Wheal Peevor purser's office looking north east.



Fig 117 Steps next to purser's office looking south east showing blocked door opening into former room beneath market house steps.



Fig 118 Blocked arched door opening in north east wall of market house taken from steps next to Wheal Peevor purser's office.



Fig 119 Arched door opening in north east wall of market house taken following removal of steps next to Wheal Peevor purser's office and unblocking.

5.4.32 G29 Former WC/earth closet or storeroom (below steps next to Wheal Peevor purser's office)

(Figs 120-121).

This room was uncovered during the course of the watching brief when the c1883 granite steps giving access up to Alma Place were removed. The small room had probably been a WC/earth closet built as part of the 1870s remodelling work, which was replaced in c1883 by G27. The top half of the room had been truncated when the steps were inserted in c1883 and the interior then covered by granite slabs and the door opening in the south west wall blocked with stone rubble.

The south west (front) wall of the room butted up against the jamb of a blocked door opening of another room concealed below the steps up to the market house. This other room was not opened up as part of the works, but its north west (front) wall was constructed from randomly coursed stone rubble and its centrally set door opening had dressed granite jambs and a granite lintel and threshold. The function of this room is unknown but may have been a storeroom or earth closet dating to phase 1, and it certainly pre-dates G29.

The south west (front) wall of G29 contained the remaining lower half of the door opening to the room which had dressed granite jambs and stone rubble walls on either side of it. The interior of the room became visible when one of the granite slabs of the steps was lifted temporarily. Inside the room was seen to extend to the south east below large granite slabs on the corner of Alma Place. The walls all had lime plaster still adhering which was whitewashed except for the south west half of the south east wall which had stone rubble blocking in it. The floor surface was covered by rubble and was not visible. Outside the building to the south west a granite and slatestone sett surface was uncovered in the area that had been covered by the c1883 granite steps.



Fig 120 G29 (left) with blocked door opening. Concealed room (right) with blocked door opening. Looking east, when granite steps were removed during watching brief.



Fig 121 G29 interior looking south east, when exposed during watching brief.

5.4.33 G30 Water tank (below ground, under Mining Exchange extension)

(Figs 122-124 and 187).

During the watching brief on service trenches in and around the courtyard, a water tank was uncovered below the 19th century stone sett surface under the covered market area. A service trench was excavated running north west to south east under the Mining Exchange extension. The trench cut through the modern concrete surface revealing the 19th century stone sett surface below comprising mainly irregular fist size granite setts approximately 0.1m deep. Within the granite sett surface there was a large, dressed, rectangular granite slab containing four drilled holes, each containing the remains of a timber peg. When the granite slab was lifted a circular aperture 0.5m wide carved through a single block of granite 0.4m thick was revealed. The aperture opened directly into the top of a below ground water tank. Below the stone sett surface elsewhere was a bedding layer of mid orangey brown silty clay 0.15m deep. This directly overlay a series of large granite lintels all aligned south west to north east forming the top of the water tank. The interior of the water tank was rectangular with rounded corners and was aligned north west to south east. It measured 3.5m long by 1.5m wide and 3m deep and was cement-lined. Around the tops of the walls there was a strip of soot adhering, which was almost certainly caused by the extinguishing of the fire in the meat market in 1982. There was also soot deposits on the underside of the granite lintels forming the top of the tank. Two holes in the north west wall of the tank allowed water inside. The hole near the north corner had a long lead pipe leading down into the base of the tank. The base of the tank was not visible since it still contained water.

The water tank was probably inserted as part of the remodelling work in the 1870s (phase 3). Originally a pump would have been located over the circular aperture so that water could be collected for washing down stalls etc.



Fig 122 Stone sett surface and trench across the top of the granite lintels of the water tank, looking south east.



Fig 123 G30 Aperture in top of tank, looking north east.



Fig 124 G30 Interior looking north west.

5.4.34 G.31 Covered market area (in north west range)

(Figs 125 and 187-188).

The covered market area was constructed in the 1870s during phase 3 in an area that had formerly contained single-storey market stalls. Originally this building continued across the whole of the north west range at the same level until the Mining Exchange was inserted in 1880.

The roofed structure is double height and has an open front to the south east supported on granite Tuscan columns on granite plinths. In 1922 the Mining Exchange extension was added in the roof space.

Walls

The internal walls are described in sections 5.2.2, 5.2.3 and 5.2.4.

Roof

The covered market area has an exposed roof of five bays, with trusses which are identical to those above in the higher Mining Exchange room, and those seen during the watching brief in the former Mining Exchange extension. The trusses are queen post trusses with braces and a central strut on top of the collar. They have mortice and tenon joints and are secured with iron straps at the bases of the queen posts and principal rafters. On the south east side of each truss, a long brace reaches down to a horizontal beam which is supported on timber posts on top of each column and the walling here (above the columns) is matchboard panelled. The whole timber roof structure is whitewashed, except a few modern replacement timbers, indicating that these timbers were visible historically. All of the common rafters on the south east side of the roof have been removed. The roof is now covered with modern corrugated sheeting.

Floor

The floor is mainly covered with a concrete screed to the south west of the opening though to Market Way and with asphalt to the north east. During the watching brief the historic stone sett surface was seen to survive below the modern surfaces along with granite surface drainage gullies running along the outer sides of the columns and returning, sloping down to either side of both door openings though to the former meat market. A water tank (G30) was also uncovered under the Mining Exchange extension (see section 5.4.33) along with a brick lined drain under the modern staircase, which was constructed from handmade bricks, with a dressed granite opening at the top of the hole (Fig 195). It is thought that a downpipe from the roof fed into this drain in order to fill the tank (G30) with water. Inside the hole there was a metal pipe presumably connecting to the water tank (G30). The historic surfaces, the water tank and drain appear to date to the 1870s (phase 3).

In c2000 a new paved surface was laid on the slope leading down to the south west door opening in the north west wall and railings added. Attached to the railing on the south west side there is an early-mid 20th century cast iron gate with a central boss marked 'Redruth Market Ltd, 1'. It is unclear where this gate has come from, but it may have been salvaged from the cattle market site (Fair Meadow carpark) and must post-date 1920 when Redruth Market Ltd was first established.



Fig 125 G31 Roof structure looking south west.

5.5 Interior upper (first) floor room descriptions

(See Fig 30 for room locations).

5.5.1 F1 First floor of market house

(Figs 126-130).

This room occupies the whole of the first floor of the market house, built in 1825-6, and has though most of its history been used as an auction room and for talks, lectures and meetings. At the time of the survey the modern partition walls and dry lining inserted in this room had already been removed. In 1884 the building was heightened and reroofed, so the top 1m of each wall dates to this period. At the time of the survey all four stone rubble-built walls were exposed, and all had been whitewashed with batons still attached from the removed modern dry-lining. However, the lower part of the walls was covered by matchboard panelling which probably dates to 1884.

North west wall

There are three original window openings in the north west wall which have timber lintels, and all contain replacement c1884 nine-pane windows, with a fixed cast iron six-pane window in the lower two thirds and timber three-pane casement window at the top. All the windows have matchboard panelled window seats below.

Prior to the heightening of the building in 1884 this wall had contained a central cross gable, the top half of which was removed when the new roof was built. In the gable there had been a window opening which was reduced to half-height when the top part of the gable wall was removed. The lower half of the opening survives as a ventilator and contains a bottom opening internal timber shutter with strap hinges inserted in 1884. There are three evenly spaced ventilator bricks either side of the central ventilator, all added in 1884. There is a scar where the original phase 1 ceiling has been removed at the level of the window lintels. Above the windows are sawn off timbers, from the former roof structure.

North east wall

There are two ventilated bricks in the top (1884 part) of the north east wall below which is a centrally set, segmental arched door opening. The opening contains double ledged and braced doors. Both the opening and the double doors date to 1884 when the building

was heightened. Prior to this there had been a narrower, lintelled door opening in this location.

South east wall

There are three original window openings in the south east wall which have timber lintels, and all contain replacement c1884 nine-pane windows, with a fixed cast iron six-pane window in the lower two thirds and timber three-pane casement window at the top. All the windows have matchboard panelled window seats below. The south west window has an RSJ inserted below it. There seven are brick ventilators at the top of the wall in the heightened 1884 walling. At the south west end of the wall the corner of the room is boxed in with panelling where a door opening has been inserted on the ground floor below. There is a scar where the original phase 1 ceiling has been removed at the level of the window lintels. Above the windows are sawn off timbers, from the phase 1 roof structure.

South west wall

There is a brick-built chimney stack built against the south eastern half of the wall which was inserted in c1900 to serve a fireplace in the printing works below. Offset from centre to the north west there is a wide double door opening with a brick basket arch and brick jambs which was inserted in the mid 19th century to give access to the first floor of the south east range (F2). It contains double, square-headed timber ledged doors which were probably added in 1894. In the walling over the opening a scar is visible where the phase 1 ceiling has been removed.

Floor

There are timber floorboards of probable late 19th or early 20th century date.

Ceiling and roof

A modern plasterboard suspended ceiling has been removed at a level with the top of the walls. There are pipes surviving above the former ceiling which would have supplied gas lighting in the room. The roof structure above dates to 1884 and comprises king post trusses with mortice and tenon joints with the king posts secured to the tie beam with iron straps and bolts. The 1884 purlins and common rafters survive intact.



Fig 126 F1 north west wall.



Fig 127 F1 north east wall.



Fig 128 F1 south east wall.



Fig 129 F1 south west wall.



Fig 130 F1 market house roof structure.

5.5.2 F2 Room over yard entrance (in south east range)

(Figs 131-133).

This room, over the cart entrance into the courtyard from Station Hill, was constructed in the mid 19th century (phase 2) and adjoins the phase 1 market house. Its original function is unknown, but it may have been connected with the first floor room of the market house (F1) rather than the rest of the first floor of the south east range containing market stalls, which was at a slightly lower level.

North west wall

There are workshop windows which stretch along the entire length of the north west wall. Most are fixed 19th century windows with vertical panes; however, one is a later casement window. The exterior horizontal timber panelling below the windows is exposed internally.

North east wall

The north east wall is the original end wall of the phase 1 market house. In the centre of the wall is a wide double door opening with a brick basket arch and brick jambs which was inserted in the mid 19th century (phase 2) when the south east range was added to

give access to the first floor of the market house. It contains double, square-headed timber ledged doors which were probably added in 1894. There are timber steps up to the door opening. The walling to the south east of the opening has 19th century matchboard panelling up to dado level, and this appears to have once been present on the wall to the north west of the door opening, and also on the south east wall.

South east wall

The dado panelling had nearly all been removed from the south east wall as part of the works at the time of the survey. This exposed the rear stone rubble wall of the building which had been whitewashed both above and behind the panelling except for an arched area low in the wall. This area had been rebuilt in 1997 when the original brick arch of the cart opening below was removed and replaced with a concrete lintel. The original arch clearly matched the arch over the pedestrian gate in the south west range, since the rusticated keystone seen reused in the 1997 infill matched that in the arch of the south west range. The other infill material included the bricks from the arch and stone rubble bonded and pointed with cement mortar.

South west end of room

At the time of the survey, the south west wall had already been removed. The position of the former wall (which was probably an original timber wall) is marked by the drop in floor level between F2 and F3 and a scar in the south east wall where it has been removed. At the north west end of where the wall had stood, there are timber steps down into F3 where a door opening had previously been located. The steps and door opening were probably inserted in the 1930s or 40s when this area was converted as a residential flat.

Floor

The floor has a mid 20th century vinyl covering over timber floorboards.

Ceiling

There is no ceiling, and the exposed roof structure above is a modern replacement dating to 1997.



Fig 131 F2 north west wall.



Fig 132 F2 north east wall.



Fig 133 F2 south east wall.

5.5.3 F3 Market stalls, later a flat (in south east and south west ranges)

(Figs 134-138).

F3 is now one single large room occupying both the south east and south west ranges which were constructed in the mid 19th century (phase 2). Originally this space included a staircase at the north east end of the south east range, stalls along the rear walls of both ranges, a passage along the front walls of both ranges over the colonnade and two heated rooms: one in the corner between the two ranges and the other in the south west range. In the 1930s or 40s this area was completely remodelled to create a residential flat with two or three bedrooms, a sitting room, a bathroom a WC and a kitchen (the 1930s or 40s room layout is shown on Fig 30). At the time of the survey all the room partitions had been removed as part of the works although some fixtures and fittings still remained *in situ*.

North west wall, in the south west range

The north west wall is a 1930s or 40s stud partition wall covered with fibreboard. There is a door opening at the north east end which is set slightly forward from the rest of the wall. The door however, had already been removed. There is a mid 20th century boiler next to the door opening which is located where there was once an airing cupboard inside a bathroom.

North east wall, in the south west range

The north east wall in the south west range is the original phase 2 front wall overlooking the courtyard. Eight windows with four vertical panes each, occupy the whole length of the upper half of the wall. These windows are all late 20th century replacements added in 1997. They are all fixed windows except for the fourth window from the north west, which is a top opening casement. However, the original posts separating each pair of windows survive and are chamfered with runout stops. The walling below the windows is covered with modern plasterboard.

North west wall, in the south east range

The north west wall in the south east range is the original phase 2 front wall overlooking the courtyard. Eight windows with four vertical panes each, occupy the whole length of the upper half of the wall. These windows are all late 20th century replacements added in 1997. They are all fixed windows except for the fourth window from the south west, which is a top opening casement. The walling below the windows is covered with modern plasterboard.

North east wall, in the south east range

The original partition wall here dividing F3 from F2 has been removed as part of the works. However, since the floor level of F2 is 0.6m higher than that in F3 the top of the stone rubble wall of the ground floor cart opening is now visible and is constructed from randomly coursed stone rubble with the remains of whitewashed plaster still adhering. On top of the stone wall there is a timber beam, supporting the floor in the adjoining room (F2). At the north west end of the wall there is a short flight of timber steps giving access to F2. These were probably inserted in the 1930s or 40s.

South east wall

The south east wall is the phase 2 rear wall of the south east range. The wall below 1930s or 40s ceiling level had been plastered and painted in the 1930s or 40s. Following removal of the plaster, during the course of the works, it was seen to be constructed from randomly coursed stone rubble bonded with an orangey brown earth mortar and had remnants of whitewash on it. There are three window openings in the wall, all of which were inserted as part of the conversion as a flat in the 1930s or 40s. They all contain contemporary two over two-pane sash windows with horns and have timber sills. The metal window fittings have been replaced on the central and north east windows. At the south west end of this wall there is a fireplace with a 1930s or 40s beige tiled fire surround. On removal of the tiled fire surround during the course of the works, the original fireplace behind was seen to have a granite lintel and hearth.

South west wall

The south west wall is the phase 2 rear wall of the south west range. The wall below 1930s or 40s ceiling level had been plastered and painted in the 1930s or 40s. Following removal of the plaster, during the course of the works, it was seen to be constructed from randomly coursed stone rubble bonded with an orangey brown earth mortar and had remnants of whitewash on it.

This wall has four window openings, three are original phase 2 openings and one smaller window opening was inserted in the 1930s or 40s to light what was most recently the kitchen of the flat but prior to that was probably a WC or bathroom. The three original openings have been shortened and contain 1930s or 40s two over two-pane sash windows with horns. The smaller inserted window opening contains a 1930s or 40s sash window with a single pane in each sash. In the centre of the wall there is an original fireplace with a 1930s or 40s beige tiled surround. On removal of the tiled fire surround during the course of the works, the original fireplace and wall behind were exposed, revealing from the extent of infill brick and stone rubble that the original fireplace had been wider and taller, and a brick-built flue was also visible reaching up to the top of the wall.

Parts of the wall at the north west end of the room have tiled areas where the kitchen and bathroom of the flat were located.

Floor

The timber floorboards are aligned north west to south east in the south west range, and north east to south west in the north east part of the room. In the floor, at the north east end of the south east range, there is an area of later inserted boards forming an L shape plan. This indicates the location of a removed staircase which originally gave access to the courtyard below. The base of the sawn-off newel post is still visible in the floor. This staircase was removed when the space was converted as a flat in the 1930s or 40s.

Ceiling

The inserted 1930s or 40s ceiling had already been removed by the time of the survey, and the space was open to the roof structure. The original phase 2 roof structure survives mainly intact, and all the timbers have been whitewashed indicating that there was no ceiling originally. The trusses are simple tie beam trusses with mortice and tenon joints and have a king post strut which is secured to the tie beam with an iron strap. There is one purlin on each side and a central ridge beam. Most of the common rafters also survive, however, the roof covering was completely replaced in 1997.

A truss towards the south east end of the south west range (in line with the front wall of the south east range) has horizontal plank panelling fixed to it. This is the remains of an original partition wall. Attached to the purlins of the roof structure, on the courtyard side of the room, there are multiple pulley wheels. Generally, there is one pulley wheel on each side of every roof bay, except where they are missing. These pulley wheels were presumably used to raise and lower timber shutters on the fronts of market stalls position in the rear half of the room. They indicate that there was probably one stall in each bay.

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Fig 134 F3 north west and north east walls.



Fig 135 F3 looking north east.



Fig 136 F3 south west wall.



Fig 137 F3 1930s or 40s fire surround in south west wall.



Fig 138 F3 roof structure looking north west.

5.5.4 F4 Staircase (in south west range)

(Fig 139).

This room, now open as a two-storey room, was originally a continuation of F3 and had a market stall in it at first floor level and another below at ground floor level. The room was first inserted in the 1930s or 40s and at this time the first floor structure was mostly removed to insert a new staircase to serve the new flat in F3.

North west wall

The north west wall is a 1930s or 40s insertion. It was covered with 1930s or 40s with fibreboard at the time of the survey. When this was removed, during the course of the works, a vertical timber plank wall was revealed which had been built in an ad hoc way and appeared to have reused the floorboards which had been removed from the room in the 1930s or 40s. At the north east end of this wall there was a door opening containing a 1930s or 40s timber plank door with both a Bakelite doorknob and a brass doorknob.

North east wall

The north east wall is the original front wall of the phase 2 south west range which lit the passage leading around the market stalls with windows spanning the whole length. The inserted north west wall butts up against a window in the north east wall, so that only part of the window is visible. This contains an early-mid 20th century pane of rolled plate glass. The other two windows to the south east of this are replacement 1990s windows of the same design as those in F3, and act as a continuation of them, with four narrow vertical lights each. The south east window is a top opening casement. Below the windows the wall is boarded over.

South east wall

The south east wall is a fibreboard covered stud partition wall inserted in the 1930s or 40s. It has a contemporary door opening at the north east end, which is set back slightly from the wall. The door has been removed, and it appears that there was a two-pane transom light above the window; but this had been removed by the time of survey.

South west wall

The south west wall was covered by 1930s or 40s plaster at the time of the survey.

Floor

The original floorboards survive in the north east part of the room over the colonnade. The rest of the floor was removed in the 1930s or 40s when the staircase was inserted.

Stairs

The 1930s or 40s timber staircase, which lead down along the north west side of the room has a balustrade of stick balusters to the south east with a rounded handrail and square section newel posts with rounded tops.

Ceiling

An inserted 1930s or 40s ceiling is covered with fibreboard.



Fig 139 F4 south east wall.

5.5.5 F5 Former market stall and staircase lobby (in south west range)

(Figs 140-142).

This room appears originally to have been divided in two with the south eastern part being occupied by a continuation of the market stalls to the south east and the north western part a lobby area at the top of the original staircase (F6). It was altered to create the present room space in the 1930s or 40s when room F4 was inserted to the south east.

North west wall

The south west end of the north west wall is the original 19th century matchboard panelled wall. The rest of the stud wall is covered with replacement fibreboard. There are three 20th century borrowed lights at the top of the later section of walling, of varying sizes. To the north east of the centre of the wall a door opening through to F7 contains a vertical plank door.

North east wall

The north east wall contains a continuation of the windows which stretch along the north east wall of the building, overlooking the courtyard. The windows in this room look into the later (phase 3) covered market area. There are four original windows which are fully visible, but the south east window is abutted by the south east wall which was inserted in the 1930s or 40s. The windows each have four vertical panes, although only two are visible on the south east window. The second window from the north west is a top opening casement. Between every pair of windows there is an original post which continues down to the floor. These are chamfered at window level and have runout stops. The walling below the windows is the rear of the original external horizontal timber plank panelling which is painted white.

South east wall

The south east wall was inserted in the 1930s or 40s and appears to be made of the floorboards which were removed to make way for the staircase in F4. These are vertically set. At the north east end of the wall there is a 1930s or 40s ledged door. It has strap hinges with rounded ends.

South west wall

The south west wall is probably original matchboard panelling. Near the centre there is a 19th century ledged door. It has spearheaded strap hinges. Fixed across the wall there are brackets for modern shelving including across the door. There are two broken 19th century iron hooks to the south east of the door.

Floor

The floor appears to be original timber boards except for a rectangular area in the centre where there are modern replacement boards.

Ceiling

There is an inserted 20th century fibreboard ceiling with a loft hatch towards the centre.

Roof space

During the works the 20th century ceiling was removed revealing that the original phase 2 roof structure survives mainly intact, and all the timbers have been whitewashed indicating that there was no ceiling originally. The three trusses are simple tie beam trusses with mortice and tenon joints and have a king post strut which is secured to the tie beam with an iron strap. There is one purlin on each side and a central ridge beam. Most of the common rafters also survive, however, the roof covering was completely replaced in 1997. The truss which is situated across the middle of the room has vertical matchboard panelling attached on the south east side, which is also whitewashed, this is the remains of a former partition wall here. A 20th century water tank has been inserted in the roof space at the south east end.



Fig 140 F5 north west wall.



Fig 141 F5 south east wall.



Fig 142 F5 roof structure after removal of the ceiling, looking south east.

5.5.6 F6 Staircase (in south west range)

(Figs 143-144).

This is the original phase 2 staircase which was used to access the market stalls on the first floor prior to the installation of a new staircase in the 1930s or 40s.

North west wall

The north west wall is located above the stairs which run down against the south west wall and turn to continue running down against the north west wall. The wall is covered with original matchboard panelling. There is a small inserted square opening which has cut through the wall into F7.

North east wall

The north east wall is covered with original matchboard panelling. At the top of the stairs towards the south east end there is a door opening. It contains an original ledged door with an iron thumb latch.

South east wall

The south east wall is constructed from poorly joined reused floorboards from F4. This wall was inserted in the 1930s or 40s.

South west wall

The south west wall is the original rear wall of the south west range. It is constructed from randomly coursed stone rubble bonded with earth mortar and has been whitewashed. There is an original thin iron handrail attached to the wall adjacent to the stairs.

Floor

The floor is the original timber floorboards, and the winder stair treads and risers are also original.

Ceiling/roof

The ceiling, on the south west side is open to the roof timbers which are whitewashed. On the north east side of the room a narrow ceiling has been created with matchboard panelling which may be original. In the centre of the matchboard panelled ceiling there is a borrowed light which has eight fixed panes.



Fig 143 F6 looking north west.



Fig 144 F6 looking south east.

5.5.7 F7 Storeroom/office (in south west range)

(Figs 145-146).

The function of this original room at the north west end of the south west range is unknown, although it is clear that it was originally heated by a fireplace, suggesting that it may have been an office.

North west wall

The north west end wall of the building is constructed from randomly coursed stone rubble which has been whitewashed/painted white. In the centre of the wall there is a tall narrow blocked fireplace opening. There is a timber rail towards the top of the wall of unknown function.

North east wall

The north east wall is a continuation of the windows which stretch along the north east wall of the building overlooking the courtyard. These windows now overlook the covered market area added in phase 3. There are four original (phase 2) workshop windows which have four vertical lights, with original overlapping glass panes. The second window from the north west is a top opening casement. There is a central post between the windows which is chamfered with runout stops. The wall below the windows is covered with horizontal timber plank panelling.

South east wall

The south west end of the south east wall is the original 19th century matchboard panelled wall. There is a small square opening in the panelling looking down onto the stairs. Adjoining this end of the wall there is a raised, protruding area covered with matchboard panelling which allows headroom for the staircase below. The rest of the stud wall is covered with replacement fibreboard. There are three 20th century borrowed lights at the top of the later section of walling, of varying sizes. To the north east of the centre of the wall a door opening through to F5 contains a ledged door.

South west wall

The south west wall is the phase 2 rear wall of the building. It is constructed from randomly coursed stone rubble which has been whitewashed/painted white. At the south east end of the wall there is a raised, protruding area covered with matchboard panelling which allows headroom for the staircase below. There is a timber shelf attached to its north east face. There is a timber rail at the top of the wall.

Floor

The original floorboards remain intact. Next to the blocked fireplace in the north west wall, the hearth has been removed and replaced with a sheet of metal.

Roof

The room is open to the original whitewashed roof structure above which is hipped at the north west end. There are two trusses: one over the south east wall and one across the centre of the room. They match those in the rest of the range and are simple tie beam trusses with mortice and tenon joints and have a king post strut which is secured to the tie beam with an iron strap. There is one purlin on each side and a central ridge beam. Most of the common rafters also survive, however, the roof covering was completely replaced in 1997. There is an iron hook attached to the tie beam at the north east end of the central truss.



Fig 145 F7 north east wall.



Fig 146 F7 south west wall.

5.5.8 F8 Mining Exchange (in north west range)

(Figs 147-157).

The north west range was first constructed in the 1870s (phase 3). In 1880 (phase 4) the Mining Exchange was created inside the north east end of this building on the upper floor. At this time the existing upper floor structure was removed and replaced with a new floor at a slightly higher level and this end of the range was heightened, but the original 1870s roof structure was reused at a higher level. New wall finishes, partitions and a ceiling were added and the front elevation facing Alma Place was taken down and rebuilt.

Following various later uses of the Mining Exchange, in 2001 it became a housing and council advice office. At this time the room was subdivided to create small modern offices with stud partition walls. All original surfaces were covered and a suspended ceiling inserted. At the time of the survey a decision was made not to record the individual small offices that had been recently inserted, but to record the space as a single room following removal of the modern rooms and finishes.

North west wall

The north west wall is a stud wall which was built up against the stone rubble wall of the former bank in the 1870s. Behind the modern plasterboard dry lining on the north west wall, historic matchboard panelling survives, which was added when the Mining Exchange was created in 1880. The panelling, on the lower part of the wall, reaches up the wall to a height of 1.25m. Above the panelling the wall has been covered with laths and lime plaster. At the top of the wall there are the remains of an 1880 (Phase 4) cornice. Near the south west end of the wall there is a large, inserted, blocked door opening which has been blocked with concrete blocks and rendered with cement. The lintel of the opening had been removed and cemented over, but the jambs were present and constructed from brick. The date of the opening is unclear.

During a later stage of the watching brief, the panelled and lath and plaster wall was removed. The upper part of the wall behind is the phase 3 exterior wall of the adjoining former bank and the lower half the party wall between the two phase 3 buildings. The lower half of the wall is constructed from randomly coursed stone rubble which has been whitewashed during phase 3. The top of this stone rubble wall indicates the original height of the north west range before the building was heightened in 1880. The upper part of the wall is the phase 3 exterior wall of the former bank which is brick-built and has an external cement render. At the top of the centre of the wall, the lower part of a blocked window opening of the former bank was visible. The opening has a stone sill and is blocked with brickwork. At the north east end of the wall a granite quoin relating to the frontage of the former bank was visible in the upper part of the wall. Below this a scar in the wall was visible where the front wall of the phase 3 range had been removed to build a new frontage for the Mining Exchange in 1880. At the south west end of the wall, as the Mining Exchange room was approximately 1m longer than the former bank, the walling had been extended in 1880 with randomly coursed stone rubble.

North east wall

This wall is the front wall of the Mining Exchange built in 1880 to replace the earlier phase 3 wall. It is plastered and painted and contains two large arched window openings either side of a central door opening. The windows date to 1880 and are both the same. The top light in the arch is a top opening casement with two panes, and below this is a light with six fixed panes and a timber sill. The central door has a matching round arched opening with a two-pane transom light in the arch. The 1880 double doors have six panels each, the rails and stiles are chamfered with stops. The modern door handle is made from an antique tea infuser. During the watching brief the plasterboard below the windows was removed revealing original matchboard panelling below the south east window.

South east wall

When the modern stud wall was removed, the wall was seen to be covered with matchboard panelling from floor to ceiling. However, the lower half of the panelling up to a dado rail dated to 1880, and the upper panelling had been inserted at a later date. There was an 1880 moulded cornice at the top of the wall. Towards the south west end there are two window openings dating to 1880 which the rear of the room. The north east window opening contains an original sash window, each sash has margin panes and a larger central pane. The upper sash has a modern ventilator inserted in it. The south west window would have been the same, but the lower sash is a later replacement with a single pane. The windows have horns externally but not internally.

During the course of the works the panelling was removed revealing that there were four original circular moulded scone light fittings across the wall at head height, and that the original walling above dado level was plastered and painted a dark green. A hand painted sign dating to 1880 was also revealed above dado level in the north east part of the wall, painted directly onto the plastered wall. It read: '*Smoking Strictly Prohibited Until 2.30P.M.*' written in black and surrounded by a black boarder with the background in lighter green than the rest of the wall. There was also a blocked ventilator opening next to the north east window.

South west wall

The south west wall was covered with a modern stud partition but when removed the wall was seen to be covered with matchboard panelling from floor to ceiling. However, the lower half of the panelling up to a dado rail dated to 1880, and the upper panelling had been inserted at a later date. There was an 1880 moulded cornice at the top of the wall. In the centre of the wall was an original protruding chimney breast with the fireplace blocked and the surround removed. The chimney breast was plastered and not panelled. At both ends of the wall there were inserted door openings which contained modern timber doors. Presumably one or both of these door openings were inserted in 1922 when the Mining Exchange extension was added to the south west.

During the watching brief the panelling was removed, exposing the wall behind. The wall was exposed brickwork up to dado level, and above the rail the brickwork was plastered. The inserted door openings had timber lintels.

Floor

The floor was covered with modern carpet tiles but when removed the 1880 timber floorboards were seen to survive.

Ceiling

1.4m above the modern suspended ceiling the 1880 lath and plaster ceiling survived. The ceiling contained two original large ornate ceiling roses with lattice fretwork decoration. The fretwork allowed air to escape for the room via a ventilator in the roof directly above each ceiling rose, presumably designed to help clear the air if heavy smoking was taking place. At the north east end of the room, the moulded cornice steps out away from the wall above the main entrance doors, indicating the position of an original lobby which has since been removed. The removed lobby would have measured 3.6m x 1.5m. A loft access hatch was located in the former lobby.

Other features in the 1880 ceiling included an early 20th century Bakelite ventilator inserted in a square aperture in the centre of the ceiling. Next to the north west wall, towards the north east end, there was an inserted cylindrical metal flue, possibly for another ventilator. Equally spaced in each corner of the ceiling there was an inserted late 20th century large rectangular ceiling light giving light from skylights in the roof above. The lights each contained a large single reinforced glass pane. Around the whole ceiling there was a moulded cornice, which was stepped out from the wall around the front door where the lobby had once stood.

Roof space

The roof structure of the Mining Exchange is the reused roof of the phase 3 north west range which was approximately 2m lower than the Mining Exchange roof. The trusses are of the same design as those in the covered market area and Mining Exchange extension, and because they are numbered with Roman numerals it is clear that they have been reused in a different order. All the timbers are whitewashed, indicating that they were exposed to the upper floor room when in use in the phase 3 building. The trusses are queen post trusses with braces and a central strut on top of the collar. They have mortice and tenon joints and are secured with iron straps at the bases of the queen posts and principal rafters. The roof is hipped at the north east end and gabled at the south west end. There are inserted modern timbers spanning the roof structure which supported the modern suspended ceiling. Above each of the ceiling roses there are tin cylinder ventilators. Relating to the later central Bakelite ventilator in the ceiling, there is a large timber clad 'flue' in the centre of the roof space which exits through the roof.

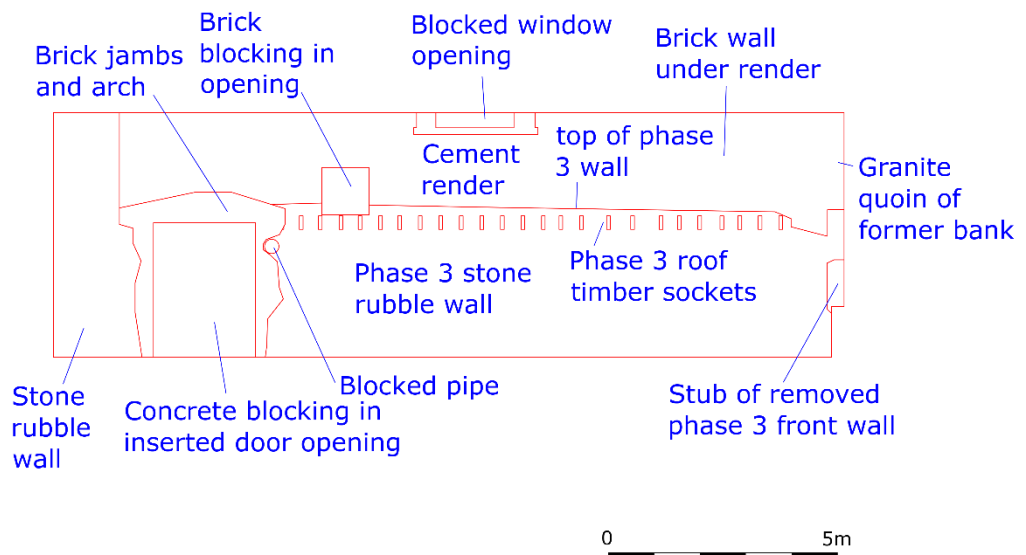


Fig 147 F8 Elevation drawing of north west wall.



Fig 148 F8 north west and north east walls.



Fig 149 F8 north east wall.

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Fig 150 F8 south east wall at south west end.



Fig 151 F8 with modern fittings removed looking north east.

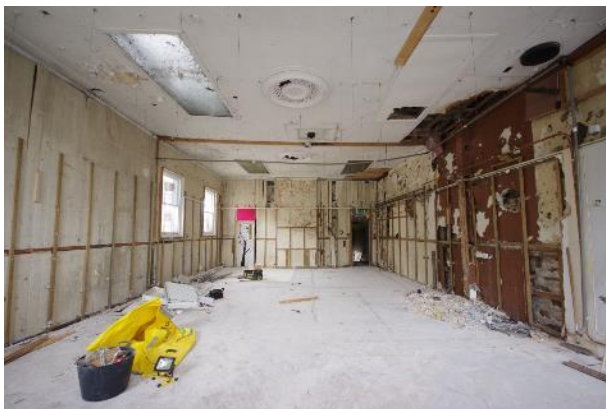


Fig 152 F8 looking south west with modern fittings removed.



Fig 153 F8 ceiling rose.



Fig 154 F8 north west wall with all finishes removed.



Fig 155 F8 south east wall smoking prohibited sign revealed.



Fig 156 F8 south west wall with all finishes removed.



Fig 157 F5 Mining exchange roof looking south west.

5.5.9 F9 Former office in Mining Exchange extension (in north west range)

(Figs 158-159).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century, fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

This room appears to have been reduced in size to the north west in the late 20th century. The walls are covered with fibreboard and there is a late 20th century skirting board.

North west wall

The north west wall is a modern inserted stud wall covered with modern boarding. It is stepped back on the north east side.

North east wall

The north east wall is the end wall of the Mining Exchange built in 1880. At the south east end there is an inserted door opening (possibly inserted in 1922) containing a modern timber door. The wall is covered with 20th century fibreboard.

South east wall

In the south east wall, there is a timber mullion window spanning the whole length of the wall with six lights which was added in 1922. The walling below is covered with 20th century fibreboard.

South west wall

The south west wall had a very large modern opening inserted in it through to F10 and was covered with fibreboard. During the watching brief the modern finishes were removed revealing the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below). Within the stud wall a fragment of newspaper was recovered which was dated 1960.

Floor

The floor is exposed timber floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 158 F9 north east wall.



Fig 159 F9 and F10 south east wall.

5.5.10 F10 Former office in Mining Exchange extension (in north west range) (Fig 160).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century, fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

The walls of this room are covered with fibreboard and there is a late 20th century skirting board.

North west wall

The north west wall is a modern insertion and contains a modern timber door. There is a modern radiator to the south west of the door.

North east wall

The south west wall had a very large modern opening inserted in it through to F9 and was covered with fibreboard. During the watching brief the modern finishes were removed revealing the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below). Within the stud wall a fragment of newspaper was recovered which was dated 1960.

South east wall

In the south east wall, there is a timber mullion window spanning the whole length of the wall with six lights which was added in 1922. The second light from each end is an opening casement. The walling below is covered with 20th century fibreboard.

South west wall

The south west wall was covered with fibreboard. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

Floor

The floor is exposed timber floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 160 F10 south west wall.

5.5.11 F11 Kitchen in Mining Exchange extension (in north west range)

(Fig 161).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

The walls of this room are covered with fibreboard and there is a late 20th century skirting board.

North west wall

The north west wall was covered with fibreboard. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below). The wall contains an inserted modern timber door at the north east end.

North east wall

The north east wall is a modern insertion. It has a modern radiator against it.

South east wall

There are two 1922 window openings in the south east wall. Both windows are 20th century two light top opening casements, but the windows are not contemporary, as one has a thicker glazing bar.

South west wall

The south west wall is the rear wall of the extension added in 1922. There are late 20th century kitchen units against the south west wall. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

Floor

The floor has a modern vinyl covering over 1922 floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 161 F11 looking south east.

5.5.12 F12 WC in Mining Exchange extension (in north west range)

(Fig 162).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century, fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

The walls of this room are covered with fibreboard and there is a late 20th century skirting board.

Walls

The north west, north east and south east walls are all modern insertions.

There is a modern hand basin on the north west wall.

There is a modern door opening in the north east wall.

There is a modern radiator on the south east wall.

The south west wall is the rear wall of the extension added in 1922. There is a modern toilet against this wall. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

Floor

The floor has a modern vinyl covering over 1922 floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 162 F12 looking south west

5.5.13 F13 WC in Mining Exchange extension (in north west range)

(Fig 163).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century, fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

The walls of this room are covered with fibreboard and there is a late 20th century skirting board.

North west wall

The north west wall was covered with fibreboard and had a modern radiator attached.

North east wall

There is a door opening inserted in the north east wall. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

South east wall

The south east wall is a modern insertion. There is a modern hand basin attached to this wall.

South west wall

There is a modern toilet on the south west wall, and a modern timber door giving access to a cupboard. The wall forming the back of the cupboard is the rear wall of the extension added in 1922. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

Floor

The floor has a modern vinyl covering over 1922 floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 163 F13 looking south west.

5.5.14 F14 Cloakroom in Mining Exchange extension (in north west range)

(Fig 164).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century, fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

The walls of this room are covered with fibreboard and there is a late 20th century skirting board.

North west wall

The north west wall is a modern insertion. There is a modern coat hook rail attached to this wall.

North east wall

There is a door opening inserted in the north east wall. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

South east wall

The south east wall is a modern insertion. There is a modern door opening in the wall.

South west wall

There is a door opening inserted in the south west wall. During the watching brief the modern finishes were removed revealing the 1922 stud wall and the phase 3 roof truss encased in the wall (see section 5.5.16 for roof structure below).

Floor

The floor has a modern vinyl covering over 1922 floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 164 F14 looking west.

5.5.15 F15 Lobby in Mining Exchange extension (in north west range)

(Fig 165).

The Mining Exchange extension was added in 1922 in the roof space of the 1870s covered market at the rear of the Mining Exchange. In 1922 offices were created in this space between the existing phase 3 (1870) roof trusses. Originally the offices were accessed through the Mining Exchange. In the late 20th century, fairly major alterations were made inside the 1922 extension including the addition of new partition walls and a staircase giving access from the courtyard below.

The walls of this room are covered with fibreboard and there is a late 20th century skirting board.

North west wall

The north west wall is the phase 3 rear wall of the north west range. It is constructed from stone rubble but was obscured by fibreboard at the time of the survey.

North east wall

The north east wall is the rear wall of the Mining Exchange constructed from brick in 1880 (phase 4). A door opening has been inserted in this wall, either in 1922 or more recently. It contains a modern timber door.

South east wall

The south wall is a modern insertion. It is stepped back in the south west half and is painted with a modern mural.

South west wall

The south west wall is a modern insertion. There are two doors in this wall, one giving access to F14, and one to a modern flight of timber stairs which leads down to the courtyard.

Floor

The floor has a modern carpet covering over timber floorboards.

Ceiling

The ceiling has been removed, and the room is open to the phase 3 rafters which are whitewashed. The modern corrugated roof covering is also visible.



Fig 165 F15 looking south east.

5.5.16 F9-F15 Mining Exchange extension watching brief and roof structure

(Figs 166-168).

The roof structure in this part of the building was not completely visible until modern partitions and fibreboard wall coverings had been removed. This revealed that the roof structure comprised three trusses hidden within the walls. They were identical to those above the Mining Exchange to the north east and those above the covered market area to the south west. The trusses are queen post trusses with braces and a central strut on top of the collar. They have mortice and tenon joints and are secured with iron straps at the bases of the queen posts and principal rafters. There is a ridge beam, two purlins on either side and common rafters. All the roof timbers are whitewashed.

The central truss and the one to the north east had both been sawn through with parts removed in order to insert door openings in the rooms. A blocked 1922 door opening was revealed at the south east end of the centre truss, with the 1922 door frame still *in situ*. This door opening was located in the wall dividing F10 and F11. In the walling covering the truss which divided F9 and F10, a fragment of newspaper was found which was dated 27th July 1960.



Fig 166 F11, F12 and F13 south west wall during the watching brief with truss exposed.



Fig 167 F10 and F14 south west wall during the watching brief with truss exposed.



Fig 168 F9 and F15 south west wall during the watching brief with exposed truss.

5.5.17 F16 Lobby (in Wheal Peevor purser's office)

(Figs 169-170).

Wheal Peevor purser's office was first constructed in c1883 for Thomas Pryor, the purser of Wheal Peevor and other mines and one of the founding members of the Mining Exchange. It was built as an office for his mining business.

The office was originally built as an upper floor over the market courtyard and the rear elevation was supported on cast iron columns. The original room layout of the building comprised a lobby adjoining the main entrance from Alma Place, two offices one in the north west half the other in the south east half and a small WC protruding to the rear.

The lobby is an original feature. The walls are plastered and painted with low skirting boards. As part of the works the lobby was removed.

North west wall

There is an original door opening at the south west end of the wall. It has an original moulded architrave. The door itself is also original and would have had four panels

although the upper two panels have been replaced with a single pane of patterned rolled plat glass in the early-mid 20th century. There is a Bakelite light switch next to the door on the north east side.

North east wall

In the north east wall is the wall fronting Alma Place and contains the main entrance. The door opening has a round arch in which there is an original two-pane light. The original narrow double doors each have three raised and fielded panels, and there is a letterbox in the door to the south east.

South east wall

In the centre of south east wall there is a blocked original door opening which would have given access to the south east office. The original moulded architrave remains *in situ* despite the blocking of the door.

South west wall

At the north east end of the south west wall there is a modern inserted door opening with a modern architrave. The modern door has two glazed panels. There would not have been a door in this wall originally.

Floor

The floor has a modern carpet covering over original floorboards.

Ceiling

The room has a lath and plaster ceiling.



Fig 169 F16 south west and north west walls.



Fig 170 F16 north east wall.

5.5.18 F17 Wheal Peevor purser's office

(Figs 171-179).

Wheal Peevor purser's office was first constructed in c1883 for Thomas Pryor, the purser of Wheal Peevor and other mines and one of the founding members of the Mining Exchange. It was built as an office for his mining business.

The office was originally built as an upper floor over the market courtyard and the rear elevation was supported on cast iron columns. The original room layout of the building comprised a lobby adjoining the main entrance from Alma Place and two offices one in the north west half, the other in the south east half. In the early 20th century, a small extension to house a WC (F18) was added to the rear.

At some point in the late 20th century the original two offices were opened up to create one large room. The late 19th century skirting board survives against the north west wall and runs around along the north east wall, as does an original picture rail.

North west wall

The north west wall is the party wall between the Mining Exchange and Wheal Peevor purser's office constructed from brick in 1880. It is plastered and painted. A late 20th century staircase (c1977 or later) has been inserted against this wall giving access to the rooms that were constructed at that time at courtyard level directly below. The staircase has a balustrade of turned timber balusters and moulded handrail.

The top of the north west wall was seen to be exposed brickwork during the watching brief when the ceiling was taken down. It contained a long low opening with a timber lintel, supported on brick and timber posts, connecting through to the roof space over the Mining Exchange. Presumably this was inserted for ventilation. At the north east end of the wall there is a stone cornice. This is the continuation of the cornice on the frontage of the Mining Exchange and would have been visible externally prior to the construction of Wheal Peevor purser's office.

North east wall

This is the front wall of the building facing Alma Place. At the north west end of the wall there is an original, large, round arched, double window opening divided by a central mullion. Both halves contain two fixed panes in the upper part and a single pane sash with horns in the lower part. The top pane of the south east side has been modified to open as a casement.

The centre of the north east wall projects inwards where the lobby is located. In the north west wall of the lobby there is an original panelled door which has been glazed in the upper half in the early-mid 20th century, and the original picture rail survives above. The south east wall of the lobby is an inserted modern stud wall, probably replacing an earlier wall in the same position and contains a modern glazed door. There are truncated partition walls projecting from either side of the lobby wall. In the south east wall of the lobby there is a blocked original door opening with an original frame.

Against the north east (front) wall of the south eastern office, immediately south east of the lobby, there is an original 19th century safe cupboard reaching from floor to ceiling with two large, panelled doors. The middle two shelves of the cupboard are made of cast iron. One of the original safes remains *in situ* on the lower iron shelf. This safe was marked 'E Cotterill & Co manufacturer's Climax Works, Birmingham'. In 1870 E Cotterill and Co were located at Climax Works in Birmingham but by 1886 they had moved to Great Charles Street, Birmingham, indicating this is probably the original safe bought by Thomas Pryor. There is another 19th century safe on the floor beside the cupboard which has been removed from the top iron shelf in the cupboard, and is marked 'Milner's patent fire resisting safe, powder proof solid lock Liverpool & London'. Milner's patent fire resisting safe was first patented in the 1850s and continued in production throughout the rest of the 19th century. It seems likely that this safe too was purchased by Thomas Pryor for his new office in c1883.

To the south east of the cupboard there is an original, large, round arched, double window opening divided by a central mullion. Both halves contain two fixed panes in the upper part and a single pane sash with horns in the lower part.

Following the removal of the ceiling in this room, the north east wall above ceiling level was seen to comprise exposed randomly coursed slatestone rubble.

South east wall

The south east wall is the original side wall of the building. It contains an original protruding chimney breast to the north east of centre although the fireplace has now been blocked and the fire surround removed. This fireplace would have heated the south east office. On either side of the chimney breast, there are original tall late 19th century fitted cupboards, which retain their original panelled doors. Inside these cupboards at low level, in the south corner of the room, a brick arch is visible. This is the top of the brick arch below the office which gives access between the courtyard and the granite steps in the east corner of the site which lead up to Alma Place.

During the watching brief when the ceiling was removed, the tops of the south east and south west walls were seen to be built from brick. Following the removal of all wall coverings in this room at the south west end of this wall this revealed the dressed granite quoin and wall of the phase 1I market house, which the office had been built up against.

South west wall

The south west wall is the original rear wall of the building. At the south east end of the wall there is a large opening inserted to give access to the 1960s and 70s extensions to the rear. North west of this there is an inserted 1960s or 70s door opening with a contemporary frame. To the north west of this door opening there is an original, protruding chimney breast which has been blocked and the fire surround removed. This fireplace would have heated the original office to the north west. Adjoining the chimney breast to the north west there is an original fitted cupboard which reaches from floor to ceiling this has four original panelled doors. Originally there was another identical cupboard adjoining it to the north west, but this was mostly removed (besides the frame at the top of the wall) when a WC was added as an extension to the rear in the early 20th century and a door opening inserted here instead. The inserted door opening contains an early 20th century four panelled door with timber knob.

Floor

The floor of the room is carpeted with original timber boards below.

Ceiling

The original ceiling of lath and plaster has been removed and replaced with fibreboard. It has been lowered at the north west end of the room, retaining the original height above. Following the removal of the fibreboard, markings were exposed on the ceiling joists showing that the ceiling was originally lath and plaster.

Roof

During the watching brief the ceiling was removed allowing the roof structure to be seen. The mono-pitch roof slopes from the north east down to the south west. The original trusses comprise a principal rafter and tie beam with a strut between the two at the north east end and adjoining brace. They are lap-jointed and nailed. There are three rows of original purlins. The principal rafter of the second truss from the south east is a modern replacement, along with part of the north east purlin, and there is also a modern replacement purlin in the centre of the roof. All of the common rafters are modern replacements added when the roof covering was renewed in the late 20th century.

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Fig 171 F17 north east wall and lobby.



Fig 172 F17 south east side of lobby and safe cupboard to right.



Fig 173 F17 safe by 'E Cotterill & Co manufacturer's Climax Works, Birmingham' in safe cupboard in north east wall.



Fig 174 F17 plaque from safe in cupboard, 'E Cotterill & Co manufacturer's Climax Works, Birmingham'.



Fig 175 F17 safe 'Milner's patent fire resisting safe, powder proof solid lock Liverpool & London' from safe cupboard on north east wall.

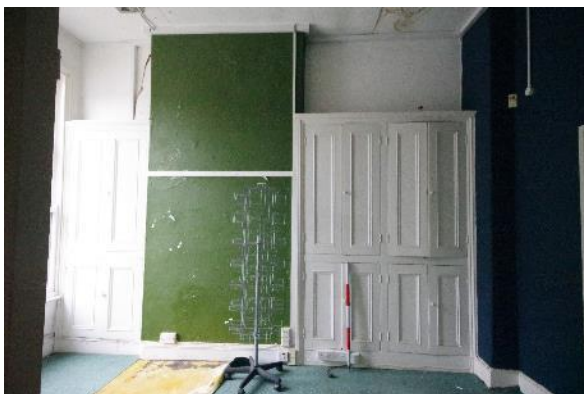


Fig 176 F17 south east wall.



Fig 177 F17 south west wall.



Fig 178 F17 Roof following removal of ceiling showing trusses.



Fig 179 F17 Top of north west wall during watching brief showing cornice of mining exchange frontage upper right and void through to mining exchange roof space.

5.5.19 F18 Kitchen, former WC (in Wheal Peevor purser's office)

(Fig 180).

This small room was added in the early 20th century as a lean-to extension on the rear of Wheal Peevor purser's office (F17) to provide a WC. Plans from the 1970s show it as a WC. It was converted as a small kitchen, probably in the 1970s.

North west wall

The north west wall is a stud wall with matchboard panelling.

North east wall

In the north east wall, there is an early 20th century door opening inserted in the rear wall of Wheal Peevor purser's office through a former cupboard on the other side. It contains an early 20th century four-panel timber door with a timber doorknob. The wall is covered with matchboard panelling.

South east wall

The south west has matchboard panelling over a stud wall. Laths and the original exterior cement render are visible through holes in the panelling. There is a late 20th century kitchen unit with sink against the wall.

Floor and ceiling

The floor comprises original timber boards and the ceiling is covered with matchboard panelling. A small simple principal rafter with collar is visible in the lean-to roof space above.



Fig 180 Looking south west through into F18.

5.5.20 F19 Office (in 1960s extension to Wheal Peevor purser's office)

(Figs 181-183).

A narrow, two-storey, concrete block-built extension was added to the rear of Wheal Peevor purser's office at some point in the 1960s, but certainly by 1967. In the 1970s when a further extension was added to it, the 1960s building was remodelled. The upper floor of both extensions belonged to the estate agent and auctioneer's that occupied Wheal Peevor purser's office at that time.

North west wall

The north eastern half of the north west wall is formed by the external wall of the small, early 20th century WC extension on the rear of Wheal Peevor purser's office. It is constructed from cement rendered laths and has a c1960s fibreboard covering over it. The south western half of this wall dates to the 1960s or 70s and is built from concrete blockwork and contains a contemporary window.

North east wall

The north east wall is the rear exterior wall of Wheal Peevor purser's office. It is brick-built and cement rendered with a 1960s or 70s fibreboard covering. There are two openings in the wall inserted in the 1960s or 70s, a small door opening to the north west with a mid-late 20th century frame, and to the south east is a much wider opening.

South east wall

The south east wall is the original ashlar granite front wall of the market house. Which has had a stud partition coved with fibreboard built against it in the 1960s or 70s.

South west wall

The south west wall is the rear wall of the 1960s extension built from concrete blockwork. It contains a central door opening inserted in the 1970s when the building was further extended. Either side of the door opening there are wide 1960s window openings which were blocked in the 1970s.

Floor

The floor has a modern carpet covering overlying the concrete floor.

Ceiling

The ceiling is fibreboard over a flat concrete roof. Three 1970s skylights have been inserted in the flat roof.

Watching brief

This extension was demolished, but during that process, the walls were stripped revealing the phase 1 granite wall of the Market House to the south east, the phase 5 rear rendered wall of Wheal Peevor purser's office and the phase 7 side wall of the WC extension to Wheal Peevor purser's office. It also revealed that the 19th century stone sett surface of the courtyard survived below the building.



Fig 181 F19 looking north west.



Fig 182 F19 during watching brief, north west wall showing the two phases, the early 20th century extension wall on the right and 1960s wall on the left.



Fig 183 F19 during watching brief, south west wall with 20th century covering removed showing exterior ashlar granite wall of the market house.

5.5.21 F20 Lobby (in 1970s extension to Wheal Peevor purser's office)

(Fig 184).

In 1977 a two-story, concrete block-built extension was added to the rear of the existing 1960s two-storey extension on the rear of Wheal Peevor purser's office. The upper floor of both extensions belonged to the estate agent and auctioneer's that occupied Wheal Peevor purser's office at that time.

The lobby has 1970s fibreboard covered walls.

North west wall

In the north west wall, there is a 1970s timber door leading to the WC (F23).

North east wall

The north east wall was the exterior wall of the 1960s extension. There is an inserted door opening in the middle of the wall.

South east wall

The south east wall is a 1970s stud wall covered with fibreboard. There is a door opening in it giving access to a former office (F21).

South west wall

The south west wall is a 1970s stud wall covered with fibreboard. There is a door opening in it giving access to a former office (F22).

Floor

The floor has a modern carpet covering overlying a concrete floor.

Ceiling and roof

The suspended ceiling has fibreboard covering. The 1970s roof structure above is gabled and is constructed from simple collar trusses, nailed together.



Fig 184 F20 looking through to F23.

5.5.22 F21 Office (in 1970s extension to Wheal Peevor purser's office)

(Fig 185).

In 1977 a two-story, concrete block-built extension was added to the rear of the existing 1960s two-storey extension on the rear of Wheal Peevor purser's office. The upper floor of both extensions belonged to the estate agent and auctioneer's that occupied Wheal Peevor purser's office at that time.

The walls are mostly covered with fibreboard.

North west wall

The north west wall is a 1970s stud partition covered with fibreboard.

North east wall

The north east wall is plastered and painted but would have been the exterior of the first 1960s extension. It contains a 1960s window opening which was blocked in the 1970s. At the south east end the lobby protrudes into the room containing a door opening and 1970s timber door.

South east wall

The south east wall comprises a concrete block-built skin built against the exterior wall face of the phase 1 market house.

South west wall

The south west wall forms the rear of the 1970s extension. It is plastered and painted and concrete block-built. It contains a 1970s casement window.

Floor

The concrete floor has a modern carpet covering.

Ceiling and roof

The suspended ceiling has fibreboard covering. The 1970s roof structure above is gabled and is constructed from simple collar trusses, nailed together.

Watching brief

This extension was demolished, but during that process, the walls were stripped revealing the phase 1 granite wall of the Market House to the south east. In this wall there was an original phase 1 window opening with a granite lintel, jambs and sill, containing a late 19th century fixed six-pane iron window, with timber, bottom opening casement over containing three panes. The demolition also revealed that the 19th century stone sett surface of the courtyard survived below the 1970s extension.



Fig 185 F21 south west wall.

5.5.23 F22 Office (in 1970s extension to Wheal Peevor purser's office)

In 1977 a two-story, concrete block-built extension was added to the rear of the existing 1960s two-storey extension on the rear of Wheal Peevor purser's office. The upper floor of both extensions belonged to the estate agent and auctioneer's that occupied Wheal Peevor purser's office at that time.

The walls are mostly covered with fibreboard.

North west wall

The north west wall is the gable wall of the 1970s extension and is concrete block-built which has been plastered and painted.

North east wall

The north east is a 1970s stud partition containing a 1970s door to the lobby (F20).

South east wall

The south east wall is a 1970s stud partition covered with fibreboard.

South west wall

The south west wall forms the rear of the 1970s extension. It is plastered and painted and concrete block-built. It contains a 1970s casement window.

Floor

The concrete floor has a modern carpet covering.

Ceiling and roof

The suspended ceiling has fibreboard covering. The 1970s roof structure above is gabled and is constructed from simple collar trusses, nailed together.

5.5.24 F23 WC (in 1970s extension to Wheal Peevor purser's office)

In 1977 a two-story, concrete block-built extension was added to the rear of the existing 1960s two-storey extension on the rear of Wheal Peevor purser's office. The upper floor of both extensions belonged to the estate agent and auctioneer's that occupied Wheal Peevor purser's office at that time.

The walls are mostly covered with fibreboard.

North west wall

The north west wall is concrete block-built which has been plastered and painted and contains a 1970s casement window. Below the window is a 1970s toilet.

North east wall

The north east wall is the exterior concrete block-built wall of the 1960s extension. It contains a 1960s window opening which was blocked in the 1970s. There is a 1970s hand basin with original taps against the wall.

South east wall

The south east wall is a 1970s stud partition covered with fibreboard. It contains a 1970s timber door giving access to the lobby (F20).

South west wall

The south west wall is a 1970s stud partition covered with fibreboard.

Floor

The concrete floor has a modern carpet covering.

Ceiling and roof

The suspended ceiling has fibreboard covering. The 1970s roof structure above is gabled and is constructed from simple collar trusses, nailed together.

5.6 Courtyard

(Figs 186-196).

During phase 1 the courtyard was much smaller. In the mid 19th century, during phase 2, it was extended to the south west when both the south west and south east ranges were built. Some alterations to the courtyard surfaces were clearly undertaken during phase 3 in the 1870s when the north west range was built to contain a covered market and the north east range of stalls were swept away.

In c2000 the whole of the courtyard was resurfaced. This involved the removal of earlier surfaces in some areas and retention of them in others, with new surfacing added on top of the old.

As part of the present works all existing surfaces, both modern and 19th century, were removed with the exception of granite flagstone surfaces under the colonnades and in the entrances to Station Hill and Fair Meadow carpark.

Courtyard surfaces prior to works

The modern surfacing of courtyard comprised a mix of concrete slab paving and stone setts laid in concrete. It had modern concrete paving slabs along its north west side including the walkway through to Market Way and also forming a walk/driveway from the north west side to and within the entrance from Station Hill and leading from this to the gate opening to south east to Fair Meadow carpark. Everywhere else was covered by the modern stone sett surface, but on either side of the entrance to Station Hill the areas of stone setts were divided into parking bays by modern concrete drainage channels edged with brick.

On the south west and south east sides of the courtyard there are phase 2 colonnades with granite Tuscan columns. Under the colonnades the original phase 2 granite flagstone surfaces survive, bordered on the courtyard side by 19th century granite surface drainage gullies. The entrance to the market on the south west side from Fair Market carpark contains an original (phase 2) flight of granite steps with modern central metal handrail added.

Joining the north west side of the courtyard, the covered market area, built during phase 3 (1870s) is also supported on granite columns of the same design as those in the south west and south east ranges, only these have been placed on two-tiered granite plinths. The plinths clearly date to phase 3 but the columns may be reused from removed phase 1 or 2 buildings. One of these columns with a phase 3 plinth survives below the Mining Exchange extension and another below the Mining Exchange, along with two other plinths with their columns removed and replaced with brick pillars.

The surface under the covered market area to the south west of the walkway through to Market Way was covered with a concrete screed with a concrete slab paved walkway from the courtyard to the opening through to Market Way. This sloped walkway was bordered on either side by 19th century granite surface drainage gullies. Modern railings had been added on either side of the walkway. Tied to the south east railings there was a cast iron gate which read: '1 REDRUTH MARKET LTD' which probably dates to the 1920s and may have been salvaged from the cattle market site on the Fair Meadow when altered to create a carpark. The surface on the north east side of the walkway, below the Mining Exchange extension was covered with Tarmac. In the area under the Mining Exchange there was a modern concrete screed surface.

In the passage between Wheal Peevor purser's office and the Mining Exchange, the 19th century stone sett surface survived with later patch repairs in concrete and inserted manhole covers. Where the passage extended below Wheal Peevor purser's office giving access to the granite steps up to Alma Place, the original granite stone sett surface of the courtyard survived.

Courtyard during watching brief

(See Fig 187 for trench and feature locations and Appendix 1 for context descriptions).

The courtyard surfaces were completely removed during the works. The only historic surfaces to survive were the granite flagstone surfaces below the colonnades of the south east and south west ranges except where service trenches cut through the flagstones outside G12 and G17. See section 5.4.13 for watching brief in and outside G12 and section 5.4.19 for watching brief in and outside G17.

Following demolition of the 1960s and 70s extensions to Wheal Peevor purser's office and during removal of modern surfaces in the north eastern half of the courtyard the 19th century stone sett surface of the courtyard was seen to survive. This also extended across the area under the Mining Exchange and Mining Exchange extension and under Wheal

Peevor purser's office. Much of the surface removal and trenching undertaken in the south west part of the courtyard was not monitored, so there may have been further survival of this surface. The extent of the 19th century stone sett surface seen during the watching brief is shown on Figure 186.

Outside G17 in a trench crossing the courtyard the 19th century stone sett surface did not survive. Here, the modern surface of setts (119), was laid on a grey bedding layer (118), which overlay a levelling layer (117). This was in turn overlay a redeposited make-up layer seen across the site (102), (109) and (116). (See section 5.4.19 for full trench description).

Immediately north west of the front of market house, there was a strip of lime mortar (128), 0.6m wide which ran along the whole of the frontage just below the adjoining 19th century stone sett surface to the north west. It was 0.04m thick and probably laid as infill following the removal of a granite surface drainage gully. This infill overlay a thin 0.06m deep layer of mid reddish brown silty clay (127). This in turn overlay a layer of light grey silt 0.23m deep (126), which lay directly on top of the same redeposited make-up seen across the site (125).

Under each of the arches of the market house arcade the original granite thresholds were uncovered during the watching brief.

See also G18 (section 5.4.21), G26 (section 5.4.29), G28 (section 5.4.31) G29 (section 5.4.32), G30 (section 5.4.33) and G31 (section 5.4.34) for below ground features uncovered during the watching brief.



Fig 186 Extent of 19th century stone sett surface uncovered during watching brief.



Fig 187 Location of trenches and features seen during the below-ground watching brief.

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Fig 188 F17 Surface of covered market looking south west.



Fig 189 Courtyard surface looking south west, showing modern stone setts.



Fig 190 19th century stone sett surface between the Mining Exchange and Wheal Peevor purser's office looking north east.



Fig 191 19th century stone sett surface in passage beneath purser's office looking south east.



Fig 192 Mid 19th century (phase 2) granite flagstone surface below the colonnade of the south west range.



Fig 193 19th century stone sett surface below 1960s and 70s extensions to Wheal Peevor purser's office.



Fig 194 19th century stone sett surface below Mining Exchange.



Fig 195 Granite drain top from the covered market area next to the staircase.

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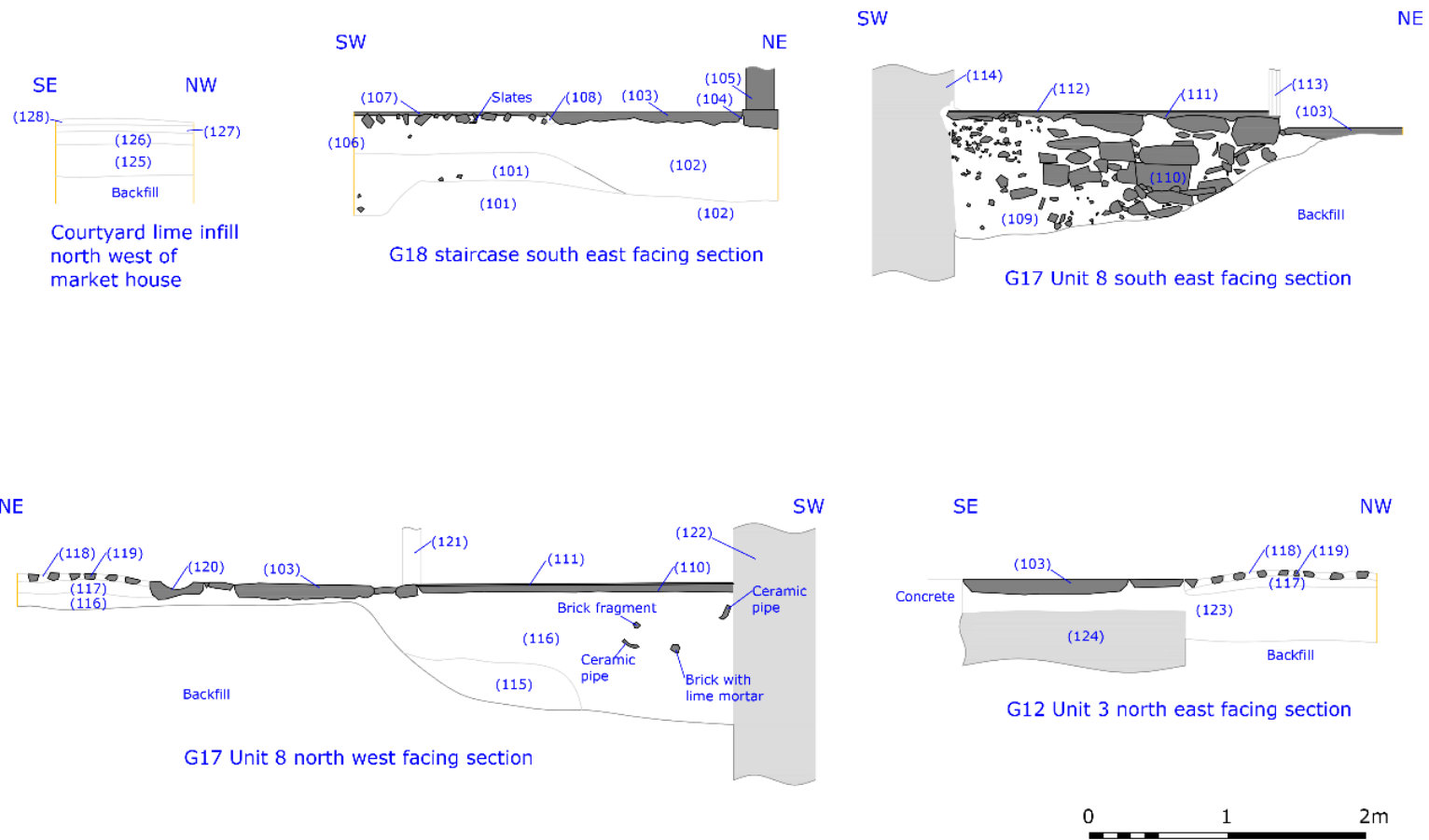


Fig 196 Section drawings for below-ground watching brief.

6 Discussion

The market buildings at Redruth are unique in their design and layout, not just because they have evolved and been altered throughout the 19th and 20th century, but also because of their surviving early and mid 19th century design. This is one of the earliest surviving market complexes in Cornwall, as many others were taken down and replaced or built newly in the late 19th century.

The layout of the market complex at Redruth was chiefly dictated by the land which was available in 1825-6 and again in the mid 19th century when the courtyard was extended. In 1825 linear garden plots of the buildings fronting Fore Street were chosen as the site of the new market simply because they were close to the site of the earlier market house and clock tower on Fore Street and also close to the Fair Meadow. Construction in the garden plots led to the linear design of the meat market and the wider courtyard at the southern end.

The fact that the Buttermarket buildings are set around an open, rectangular courtyard is a unique design feature that is not shared with any other surviving market site in Cornwall or Devon. Another unique design element is the use of colonnades and Tuscan columns. Again, there is nothing of this type surviving elsewhere in Cornwall or Devon.

The phase 1 market house, however, is similar to many other market houses in that it is a two-storey building with an open arcade at ground floor level for market use, such as the market house in Liskeard.

In the mid-late 19th century Redruth was at the heart of the busiest mining district in Cornwall, which made it the focus for profitable mining commerce. The location of the market complex in an area which became the central area of commerce for Redruth in the 1870s and 80s, led to the construction of the Mining Exchange and Wheal Peavor purser's office within the market complex. The Mining Exchange is a unique building constructed for a unique Cornish company to discuss and sell mine shares and stocks. There are no other buildings in Cornwall that were purely dedicated as mining exchanges, which elevates the importance of this building.

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Appendix 1: Context List

Context Number	Site sub-division	Type (Cut/Deposit/Build)	Description
101	G18	Deposit	Mid greyish brown friable silt with moderate stones
102	G18	Deposit	Mid reddish brown silty clay with moderate stones. Same as (109), (116) and (125)
103	Courtyard	Build	Phase 2 granite flagstones
104	Courtyard	Deposit	Dark brown silty clay loam
105	Courtyard	Build	Granite column

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106	G18	Build	Stone sett surface under the floor of G18, bedded into (102)
107	G18	Build	Concrete surface over (106) and (102)
108	G18	Build	Concrete infill
109	G17	Deposit	Mid reddish brown silty clay with frequent stones, same as (102), (116) and (125)
110	G17	Build	Granite blocks, including the ends of the treads of the entrance stairs
111	G17	Build	Red concrete surface containing gravel and coal over (109) and (110)
112	G17	Build	Concrete surface over (111)
113	G17	Build	Timber door jamb (entrance to room G17)
114	G17	Build	South west wall of the south west range
115	G17	Deposit	Dark brown friable silt with frequent lime inclusions
116	G17	Deposit	Mid reddish brown silty clay with late 19th or early 20th century finds, same as (102), (109) and (125)
117	Courtyard	Deposit	Yellow aggregate
118	Courtyard	Deposit	Grey bedding for setts (119)
119	Courtyard	Build	Stone sett surface bedded into (118)
120	Courtyard	Build	Granite gully flush with paving (120)
121	G17	Build	Timber door jamb (entrance to room G17)
122	G17	Build	South west wall of the building
123	G12	Deposit	Mid reddish brown silty clay with late 19th or early 20th century pottery, situated below (103)
124	Courtyard	Build	Modern concrete
125	Courtyard	Deposit	Mid reddish brown silty clay, same as (102), (109) and (116)
126	Courtyard	Deposit	Light grey silt

127	Courtyard	Deposit	Mid reddish brown silty clay
128	Courtyard	Build	Lime infill

Appendix 2: Photographic archive

(See photo direction plans, Figs 197-198).

Filename	Caption	Creation Date (dd/mm/yyyy)
004.JPG	North west elevation in courtyard beneath covered area	03/01/2023
005.JPG	G1 looking south east	03/01/2023
006.JPG	G1 looking north east	03/01/2023
007.JPG	G1 looking north west	03/01/2023
008.JPG	G2 looking south west	03/01/2023
009.JPG	G3 looking south west	03/01/2023
010.JPG	G4 looking south west	03/01/2023
011.JPG	G5 looking north west	03/01/2023
012.JPG	G6 looking north west	03/01/2023
013.JPG	Courtyard looking north east	03/01/2023
014.JPG	G7 looking north west	03/01/2023
015.JPG	G8 looking south east	03/01/2023
016.JPG	G10 looking west	03/01/2023
017.JPG	G9 looking south east	03/01/2023
018.JPG	G11 looking west	03/01/2023
019.JPG	F21 looking south west	03/01/2023
020.JPG	Roof space above F21 and F22	03/01/2023
021.JPG	F20 and F23 looking north west	03/01/2023
022.JPG	F19 looking north west	03/01/2023
023.JPG	F19 looking west	03/01/2023
024.JPG	F19 looking north east	03/01/2023
025.JPG	F16 looking north east	03/01/2023
026.JPG	F16 looking west	03/01/2023
027.JPG	F17 looking north east	03/01/2023
028.JPG	F17 safe in north east wall	03/01/2023
029.JPG	F17 looking south east	03/01/2023
030.JPG	F17 looking south west	03/01/2023
031.JPG	G25 looking south west	03/01/2023
032.JPG	G26 looking east	03/01/2023
033.JPG	G27 looking south east	03/01/2023
034.JPG	Area beneath purser's office looking north	03/01/2023
035.JPG	Market house north east elevation, blocked opening	03/01/2023
036.JPG	Blocked opening beneath steps up to market house	03/01/2023
037.JPG	Steps in east corner looking north west	03/01/2023
038.JPG	G12 looking north east	03/01/2023
039.JPG	F1 looking north west	03/01/2023
040.JPG	F1 looking north east	03/01/2023

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041.JPG	F1 looking south east	03/01/2023
042.JPG	F1 looking south west	03/01/2023
043.JPG	Roof space above F1	03/01/2023
044.JPG	Covered market, north west wall	03/01/2023
045.JPG	Covered market looking north east	03/01/2023
046.JPG	Covered market, old gate	03/01/2023
047.JPG	Covered market, surface looking south west	03/01/2023
048.JPG	Courtyard looking south west	03/01/2023
049.JPG	South west courtyard entrance	03/01/2023
050.JPG	South west elevation, entrance	03/01/2023
051.JPG	South west elevation	03/01/2023
052.JPG	View east through colonnades	03/01/2023
053.JPG	Courtyard looking west	03/01/2023
054.JPG	F6 looking north west	13/01/2023
055.JPG	F6 looking east	13/01/2023
056.JPG	F6 door in north east wall	13/01/2023
057.JPG	F6 looking south east	13/01/2023
058.JPG	F6 looking south	13/01/2023
059.JPG	F7 looking north west	13/01/2023
060.JPG	F7 looking north east	13/01/2023
061.JPG	F7 looking south west	13/01/2023
062.JPG	F7 looking south east	13/01/2023
063.JPG	F7 roof structure	13/01/2023
064.JPG	F6 looking north west	13/01/2023
065.JPG	F6 looking south west	13/01/2023
066.JPG	F4 looking north west	13/01/2023
067.JPG	F4 looking south east	13/01/2023
068.JPG	F3 looking north west	13/01/2023
069.JPG	F3 looking north west	13/01/2023
070.JPG	F3 window in south east wall	13/01/2023
071.JPG	F3 fireplace in south east wall	13/01/2023
072.JPG	F3 looking west	13/01/2023
073.JPG	F3 fireplace in south east wall	13/01/2023
074.JPG	F3 looking north east	13/01/2023
075.JPG	F3 windows in south west wall	13/01/2023
076.JPG	F3 roof structure	13/01/2023
077.JPG	F2 looking north west	13/01/2023
078.JPG	F2 looking north east	13/01/2023
079.JPG	F2 looking south east	13/01/2023
080.JPG	South east elevation of south east range	13/01/2023
081.JPG	South east elevation of market house	13/01/2023
082.JPG	North east elevation of market house	13/01/2023
083.JPG	North east elevation of purser's office	13/01/2023
084.JPG	North east elevation of mining exchange	13/01/2023
085.JPG	North west elevation	13/01/2023
086.JPG	North west elevation	13/01/2023
087.JPG	G12 during watching brief looking north west	13/01/2023
088.JPG	G12 during watching brief looking south west	13/01/2023
089.JPG	G12 during watching brief, floor	13/01/2023
090.JPG	G12 during watching brief, ceiling	13/01/2023

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091.JPG	G1 during watching brief looking north west	13/01/2023
092.JPG	G1 during watching brief, door opening at north east end of north west wall	13/01/2023
093.JPG	G1 during watching brief looking south east	13/01/2023
094.JPG	G1/G4-6 during watching brief looking south west	13/01/2023
095.JPG	G7-9 during watching brief looking north east	13/01/2023
096.JPG	G10-11 during watching brief looking west	13/01/2023
097.JPG	G24 looking north west	13/01/2023
098.JPG	G24 looking east	13/01/2023
099.JPG	G24 floor	13/01/2023
100.JPG	G24 ceiling	13/01/2023
101.JPG	G24 looking north east	13/01/2023
102.JPG	F8 looking north	13/01/2023
103.JPG	F8 looking north east	13/01/2023
104.JPG	F8 window in north east wall	13/01/2023
105.JPG	F8 windows in south east walls	13/01/2023
106.JPG	F8 looking south west	13/01/2023
107.JPG	F9-10 looking south east	13/01/2023
108.JPG	F9 roof structure	13/01/2023
109.JPG	F14 looking north east	13/01/2023
110.JPG	F14 roof structure	13/01/2023
111.JPG	F14 looking south	13/01/2023
112.JPG	F13 looking south west	13/01/2023
113.JPG	F12 looking south west	13/01/2023
114.JPG	F11 looking south	13/01/2023
115.JPG	F15 looking east	13/01/2023
116.JPG	F19 during watching brief looking north west	13/01/2023
117.JPG	F19 during watching brief looking south west	13/01/2023
118.JPG	F19 during watching brief looking south east	13/01/2023
119.JPG	F17 during watching brief, ceiling	13/01/2023
120.JPG	G23 looking north west	13/01/2023
121.JPG	G23 looking south east	13/01/2023
122.JPG	G21 looking north east	13/01/2023
123.JPG	G21 looking south west	13/01/2023
124.JPG	G21 south west wall	13/01/2023
125.JPG	G20 looking west	13/01/2023
126.JPG	G19 looking north east	13/01/2023
127.JPG	G18 looking north east	13/01/2023
128.JPG	G17 looking north east	13/01/2023
129.JPG	G16 looking north east	13/01/2023
130.JPG	G15 looking north west	13/01/2023
131.JPG	G15 looking north east	13/01/2023
132.JPG	G15 looking south east	13/01/2023
133.JPG	G14 looking north east	13/01/2023
134.JPG	G13 looking north west	13/01/2023
135.JPG	G13 looking north east	13/01/2023
136.JPG	Exterior of G22	16/01/2023
137.JPG	G22 looking south east	16/01/2023
138.JPG	Exterior of G23	16/01/2023
139.JPG	Covered market looking north west	16/01/2023

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140.JPG	South east elevation of mining exchange	16/01/2023
141.JPG	South west elevation of purser's office	16/01/2023
142.JPG	North west elevation of market house	16/01/2023
143.JPG	Inscription above cart entrance in south east range	16/01/2023
144.JPG	South west elevation of market house	17/01/2023
145.JPG	North east end of south east range	17/01/2023
146.JPG	South east range, north west elevation	17/01/2023
147.JPG	Exterior of G13 and G14	17/01/2023
148.JPG	South west range north east elevation	17/01/2023
149.JPG	Courtyard looking north	17/01/2023
150.JPG	Courtyard looking north west	17/01/2023
151.JPG	Exterior of mining exchange extension	17/01/2023
152.JPG	Roof of covered market	17/01/2023
153.JPG	F8 during watching brief, ceiling	24/01/2023
154.JPG	Courtyard looking south west	17/01/2023
155.JPG	Stone sett surface in courtyard	17/01/2023
156.JPG	Stone sett surface between purser's office and mining exchange	17/01/2023
157.JPG	Passage beneath purser's office	17/01/2023
158.JPG	F17 during watching brief, ceiling	17/01/2023
159.JPG	G26 during watching brief, ceiling	17/01/2023
160.JPG	F8 during watching brief looking north east	30/01/2023
161.JPG	F8 during watching brief looking south west	30/01/2023
162.JPG	Exposed south east elevation of G22 during watching brief	30/01/2023
163.JPG	Uncovered column base during watching brief	30/01/2023
164.JPG	G18/F4 during watching brief, looking north west	08/02/2023
165.JPG	G18/F4 during watching brief, looking south east	08/02/2023
166.JPG	Market House during watching brief, exposed north west elevation	08/02/2023
167.JPG	G1/G4-6 during watching brief looking south east	08/02/2023
168.JPG	G7-11 during watching brief, removed exposing stone sett floor beneath	08/02/2023
169.JPG	G8-9, F18-19 during watching brief looking north east	08/02/2023
170.JPG	F3 during watching brief, fireplace in south west wall	23/02/2023
171.JPG	F3 during watching brief, fireplace in south east wall	23/02/2023
172.JPG	F3 during watching brief looking south east	23/02/2023
173.JPG	F5 during watching brief, roof structure above	23/02/2023
174.JPG	F17 during watching brief, roof structure	23/02/2023
175.JPG	F8 during watching brief, north west wall	23/02/2023
176.JPG	F8 during watching brief, south west wall	23/02/2023
177.JPG	G26 during watching brief, historic stone setts beneath floor	23/02/2023
178.JPG	G26 during watching brief, looking north east	23/02/2023
179.JPG	G27 during watching brief, looking south east	23/02/2023
180.JPG	F11-13 during watching brief, roof structure	07/03/2023
181.JPG	F10/F14 during watching brief, roof structure	07/03/2023
182.JPG	F9/F15 during watching brief, roof structure	07/03/2023
183.JPG	G1 during watching brief, looking north	07/03/2023
184.JPG	Roof structure above mining exchange	25/04/2023

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185.JPG	G18 during watching brief, trench in floor looking north west	03/10/2023
186.JPG	G18 during watching brief, south west wall	03/10/2023
187.JPG	G18 during watching brief, south east wall	03/10/2023
188.JPG	G17 during watching brief, trench in floor looking north west	03/10/2023
189.JPG	G17 during watching brief, trench in floor looking south east	03/10/2023
190.JPG	Courtyard during watching brief, trench outside G17 looking south east	03/10/2023
191.JPG	F1 during watching brief, chimney breast on south west wall	03/10/2023
192.JPG	F1 during watching brief, opening top centre of north west wall	03/10/2023
193.JPG	Void beneath stairs in north east corner of site	10/11/2023
194.JPG	South east elevation of market house during watching brief, showing printing works signage	10/11/2023
195.JPG	Stairs in east corner of site during watching brief, removed showing blocked openings looking east	20/11/2023
196.JPG	North east elevation of market house, opening at base opened up.	20/11/2023
197.JPG	Stairs in east corner of site, showing stone sett surface beneath as exposed in watching brief	20/11/2023
198.JPG	Entrance to water tank	25/04/2023
199.JPG	Inside water tank looking north west	25/04/2023
200.JPG	Drainage hole uncovered during watching brief beneath covered market	25/04/2023
201.JPG	Stone sett surface surviving below demolished purser's office extensions.	08/02/2023
202.JPG	North west wall of purser's office during watching brief	23/02/2023



Fig 197 Ground floor photo direction plan.



Fig 198 First floor photo direction plan

Appendix 3: Listed Building descriptions

Redruth Buttermarket

The Buttermarket is a Grade II Listed Building (List Entry Number: 1475141). The Listed Building description is as follows:

Summary of Building

Market, first built 1825-1826 for Sir Francis Basset; extended in the 1850s, improved and enlarged in the 1870s and partially rebuilt in the early C21 after a fire.

Reasons for Designation

Redruth Buttermarket, first built 1825-1826 for Sir Francis Basset, extended in the 1850s, improved and enlarged in the 1870s and altered in the early C21 after a fire, is listed at Grade II for the following principal reasons:

Architectural interest:

** despite alterations, the fabric and plan of the 1825-1826 market survives well, and the later C19 additions add to its architectural interest; * for the use of local materials including the characterful granite colonnades around the courtyard, creating a corridor in front of enclosed market stalls which have intact windows and doors.*

Historic interest:

** for the influence of the market from its medieval origins and its connected economy on the development of Redruth, in contrast to other towns that developed due to the impact of the mining industry; * in recognition of it being the greatest and largest market in west Cornwall from the C17 – when it attracted attention from, amongst others, Celia Fiennes and JMW Turner – and into the C19 when it was famed for its pork, despite commercial competition; * despite the loss of the 1877 meat market, the complex contributes to an understanding of the development of Alma Place as part of a late-C19 attempt to create a business centre in Redruth.*

Group value:

** with the Grade II listed buildings on Alma Place, particularly the Mining Exchange and Wheal Peevor Purser's Office.*

History

Redruth town and its market developed from the C14 focused at what is now the crossroads at the west end of Fore Street. King Edward III granted a charter for a market and fair in Redruth in 1333; the market was held on Fore Street twice a week and the fair at Fair Meadow. Over the following centuries the charter was revived, in each case granted to the lord of the manor of Tehidy, William Basset. At some point in the C17 the market was acquired by the Buller family (John Buller having been a trustee for the Bassets).

The earliest known market building in Redruth was a timber-framed and thatched building located in Middle Row on Fore Street, directly beside a clock tower. The artist JMW Turner (1775-1851) produced an undated sketch of the market which showed an open ground floor with lean-to roofs around the building to provide shelter. By 1791 it was the largest market in Cornwall, but the building was demolished in 1795 as it was obstructing traffic in Fore Street. It was noted by many in the early C19 that this was a great improvement in terms of space and also helped increase trade. The market moved south to Market Strand and was rebuilt by 1801.

In 1823 Sir Francis Basset (1757-1835), 1st Baron de Dunstanville and Basset, bought the site of the market and its buildings and rights from James Buller for £1,000. In 1825 Basset initiated the construction of new market buildings at the south end of the site, and by summer 1826 the work was well-advanced. The new market buildings were just one of several improvements in Redruth in the early C19, including the rebuilding of the

clock tower (the third on the site) in 1826. The new market occupied a L-shaped footprint, comprising a two-storey market house to the south east on what is now Station Hill, with a narrow alleyway flanked by single-storey colonnades leading north through a gated entrance to Fore Street, and predominantly occupied by butcher's stalls. The upper floor of the market house was probably used for meetings (the Wesleyan Association held services there in 1838) whilst trade occurred in the open-sided area below. On the north east side of the site was a Baptist Chapel which faced on to Treruffe Lane. By 1841 the market was owned by Frances Basset (1781-1885), leased to James Eathorne, and occupied by George Harris and John Charles Lanyon.

At some point in the mid C19 the southern courtyard was extended with two-storey ranges to the south west, resulting in an inverted T-plan of open colonnades. It is likely that the extension happened in the late 1850s when Redruth was first connected to the national railway network and local industry was at an economic peak. This T-plan is shown on a plan of the manor of Tehidy, surveyed by James Henderson in 1874. A variety of produce was sold at the market, but it came to be particularly renowned for its meat and in particular pork. From the 1860s to the 1880s the Redruth Rifle Corps used a room at the market as an armoury.

In the late C19 the market's owner Gustavus Lambert Basset (1834-1888) instigated a major campaign of improvements to the market. A new meat market building with twin clerestorey roofs was constructed in 1877 on the site of the butchers' stalls to the north, and alterations were made to the older buildings around the courtyard. At the same time, the Baptist Chapel and the north east range of the market were demolished, and Treruffe Lane widened, eventually becoming Alma Place. The 1879 Ordnance Survey (OS) Town Plan of Redruth shows the changes made by Basset at this time, including the north west market range which had been replaced by a new block with a wider footprint. This eventually formed the lower-ground floors of the Mining Exchange on Alma Place - constructed in 1880 - and the Wheal Peavor Purser's Office (1883) to its south. The map also shows that the three sides of the courtyard were open colonnades and the ground-floor arches to the market house (labelled 'pork market') were open towards the courtyard. The design of the new market has been suggested as James Hicks (1846-1896), who designed many of the new buildings in Alma Place including the Mining Exchange and Purser's Office. Hicks had also designed several buildings for Alfred Lanyon, the lessee of the market, including the remodelling of his house, Tolvean, in 1870. In 1884, the roof of the market house was reconstructed as a hipped roof; the contractor's agreement describes the new roof for the 'Buttermarket' and this may be an early example of that name being used for the complex. In 1886, Basset sold the market to Alfred Lanyon - the valuation described 'the Meat Market, Pork Market and Buttermarket' and the De Dunstanville Arms and other premises on Alma Place. In 1892 James Hicks prepared plans for a public hall above the meat market; this was never built.

At the end of the C19 demand for the market faced decline. Butcher's shops opened in the town and in 1892 the Redruth Bacon Curing Company was founded, diverting some of the pork trade away from the market; however, in 1897 Redruth market was still the largest in Cornwall. In around 1900 the ground floor of the market house was converted into a printer's workshop for PR Earle and Co. This included the insertion of windows in the ground-floor arcade; cast-iron columns made by W Visick of the Devoran Works; reinforced ceiling beams; a new south corner door and possibly also the insertion of metal windows on the upper floors. The cast-iron columns and ceiling beams were probably inserted to strengthen the building against the vibrations of the printing presses and a gas engine on the ground floor.

In 1920 the market was acquired by the Redruth Market Company for £3,000. By 1924 a first floor had been inserted at the east end of the north west courtyard range. In the post-war period, parts of the first-floor courtyard ranges were converted to residential accommodation. By 1967 a two-storey extension had been built behind the Wheal Peavor Purser's Office; its ground floor was used by the printers and the first floor in conjunction with the office, then in use as an estate agent. A larger extension was added behind this

in 1977*. The meat market ceased trading in the post-war period, and possibly as early as 1958, and was converted into a furniture warehouse. On 10 September 1982 fire broke out in the warehouse and spread to the buildings on Alma Place. Only the outer walls of the meat market survived. In 2000-2001, a shopping arcade with offices above* was designed by Hocking and Newton was constructed within the surviving walls.

Details

Market, first built 1825-1826 for Sir Francis Basset; extended in the 1850s, improved and enlarged in the 1870s and partially rebuilt in the early C21 after a fire.

MATERIALS: the main (north west) elevation of the market house is of granite ashlar; the other elevations are of rubble killas stone with granite quoins. The hipped roof is of slate. The courtyard ranges are of rubble killas stone, with slate and C20 corrugated concrete roofs and two brick chimneys. Most of the courtyard elevations have ground-floor colonnades with granite columns. The courtyard elevations of the south west and south east ranges have timber boarding and windows on the first floor. The visible outer walls of the former meat market are of rubble killas stone, with granite quoins.

PLAN: the Buttermarket comprises three main elements: the market house at the south east corner of the site on Station Hill; the open courtyard range which includes the lower floors of the Mining Exchange and Wheal Peevor Office on Alma Place; and the partially-rebuilt meat market on the north west side of the site, stretching towards Market Strand. All elements are rectangular in plan.

EXTERIOR: the principal (north west) elevation of the market house faces the courtyard. On the ground floor are four semi-circular arches with keystones and a projecting impost band. Three arches are infilled with timber windows above a brick base, one has a C20 door. A further window and three arches are obscured by a 1977 extension*. The north east elevation has a quoined, segmental-arched door opening above stone steps, leading into the first floor. The south east elevation has four blocked arched windows under a moulded string course and three first-floor windows. The south corner has a recessed door, inserted in around 1900 on conversion to a printer's workshop. The building has a slate, hipped roof with terracotta cresting.

The south west and south east courtyard ranges are of two-storeys. The outer south west elevation (to Fair Meadow car park) has a projecting plinth, and at the centre stone steps lead up under a brick arch to the market courtyard. The butt-jointed horizontal boarding to the walls flanking the steps is probably mid-C19. On the first floor are five original window openings; three have sash windows and two are blocked, and there is an additional small C20 window. The outer south east elevation (to Station Hill) has a carriageway opening at the east end, and three sash windows to the first floor.

The courtyard-facing elevations of the south east and south west ranges have open colonnades on the ground floor, with a flagstone corridor with C19 granite drainage channels in front of enclosed market stalls (or units). Most of these stalls have horizontal timber panelling under vertical-pane windows, and vertically-boarded timber doors; all of this appears to be mid-C19. Part of the ground floor in the south east range has been infilled. On the upper floor these ranges have a continuous row of vertically-glazed windows above boarding faced with C20 railings, divided by full-height chamfered posts into bays of two windows each with four panes. The boarding is mostly C20 tongue-and-groove, apart from an area of C20 weatherboarding above the carriageway in the south east range (perhaps replicating the historic arrangement). The first-floor chamfered posts each correspond with the columns below. Above the carriageway to Station Hill is an inscription which faces the courtyard: 'Notice. Any person leaving any empty wagon or cart in the market place will be subject to a fine of 6d before they will be allowed to remove the same.' The current lettering appears to be a re-painting but may echo an earlier inscription.

The inward-facing north west courtyard range has C20 vertical boarding between the wall-plate of the roof structure and the column heads. The columns in this range have

square, stepped granite pedestals. The three bays at the east end have on the first floor two two-light windows and two rows of six windows. The easternmost bay has an inserted unit on the ground floor which extends into the lower-ground floor of the Mining Exchange.

The north west elevation of the former meat market (beyond the C21 shopping arcade*) faces onto Market Strand. It has a central arched opening with granite quoins, with a later doorway to the left with similar quoining, and a C21 opening to the right. The upper part of the west corner has granite quoins and a pyramidal cap above the parapet; there is a similar cap above the central entrance arch.

INTERIOR: the ground floor of the market house has five pairs of cast-iron columns which support encased ceiling beams. There are C20 subdivisions at the south west end, and a further cast-iron column. The first floor has vertical panelling to the south east wall, and a brick arch in the south west wall leads into the first floor of the south east courtyard range. The floor is of timber boards.

The ground floor of the south east and south west courtyard ranges is largely occupied by market stalls (or units) divided by vertical timber partitions, some of which survive in their original form (for example in units 7 and 10 in the south west range). In unit 10 at the north end of the south west range, a wooden workbench survives. Two staircases at the north end of the south west range lead to the flat on the upper floor (not inspected). The storage room above the carriageway in the south east range has boarded ceilings.

A double-height north west range fills the gap between the courtyard and the covered C21 shopping arcade*. The roof structure comprises queen-post trusses with long diagonal struts on the courtyard side which bridge the wall plate and the top of the courtyard columns. Within the north west wall is a pointed arch which provides access between the shopping arcade and the north west courtyard range. To the east is a blocked arch with a late-C20 staircase leading up to the first floor built against it. In the north east corner is a small office with a late-C19 decorative partition.

The lower ground floors of the Mining Exchange and the Wheal Peevor Purser's Office were originally open to the courtyard; they are now enclosed and subdivided by partitions of brick, timber and breeze block. The lower ground floor of the Mining Exchange contains one historic granite column, cast-iron columns, historic cobbles and granite floor drains. *Pursuant to S.1 (5A) of the Planning Listed Buildings and Conservation Areas) Act 1990 it is declared that these aforementioned features are not of special architectural or historic interest.

Former Mining Exchange

The former mining exchange is a Grade II Listed Building (List Entry Number: 1161540). The Listed Building description is as follows:

Summary of Building

Former mining exchange, now commercial premises. 1880, by James Hicks.

Reasons for Designation

The former mining exchange on Alma Place, Redruth is listed at Grade II for the following principal reasons:

Architectural interest:

- * as a characterful example of the work of Redruth's principal C19 architect, James Hicks;*
- * although small-scale in its execution, the building is well detailed and utilises local materials in its construction.*

Historic interest:

** as a significant component in the late-C19 post-mining building boom in Redruth, many buildings for which were designed by Hicks; * as a purpose-built mining exchange, an unusual building type, which was of significant importance to the industry in Cornwall and also on a national and international level.*

Group value:

** with the former Redruth District Bank, Lamb and Flag coffee tavern, and Wheal Peevor purser's office on Alma Place, designed by James Hicks between 1880 and 1882, and listed at Grade II.*

History

Since 1726 mining transaction ('ticketings') and business matters had been conducted at Tabb's Hotel on Fore Street; this building was destroyed by fire and replaced with a new hotel designed by James Hicks in 1894. Transactions continued there until the need for a convenient and purpose-built exchange was initiated in January 1880 with the formation of a company. Its directors included many prominent names in Redruth including Mr DW Bain and Mr TW Field (founders of the Redruth District Bank) and Alfred Lanyon (a Redruthian who had amassed a fortune through investment in commercial, industrial and private buildings), along with about 80 others. A site for the exchange at the foot of Railway Hill was quickly chosen, on land owned by Gustavus Lambert Basset (1834-1888) of Tehidy. The plans were passed on 26 January 1880 and construction started that February. The contractors were Grey and Tamlyn, and the architect James Hicks.

James Hicks (1846-1896) was born in Redruth and lived in the town for almost his entire life. By the age of 25 Hicks had set up his own practice; an early commission was the remodelling of Tolvean on West End, Redruth for Alfred Lanyon. Hicks' relationship with businessmen and industrialists continued during his career, and for ten years he was the local agent of Lord Clinton. The bulk of Hicks' work comprised public buildings including chapels and schools throughout Cornwall, but from the mid-1870s he began to have an influence on the building stock, and the civil direction, of his hometown. In 1883 he acquired the lease for the nearby Carn Marth granite quarries from Lord Clinton and James Buller, forming the Cornish Granite and Freestone Company. The company took their fair share of new building contracts in Redruth, highlighting his interest in the wellbeing of the town. In 1894 Hicks became the first President of the Ratepayer's Association and was a member of Redruth Urban District Council from 1895.

Until the mid-C19 Redruth's centre of commerce was West End; this changed in 1852 when the railway station was built near the market house (built 1825-1826), the commercial benefits of convenience were realised, and Alma Place became a focal point for future development. James Hicks was probably contracted for the mining exchange as he was designing other buildings on Alma Place as part of its redevelopment into an economic hub. Bain, Field, Hitchins and Co were instrumental in the construction of a whole block of buildings on Alma Place, all of the land for which was owned by Basset. The block comprised the mining exchange, the Redruth District Bank, a post office, and a coffee tavern. A purser's office was added to the south of the group in 1883.

A committee for the mining exchange was additionally formed to draw up the rules; these were passed on 21 April 1880 and The Redruth Mining Exchange Company (Limited) formed with 100 shares to be issued (80 were immediately subscribed to, with ten left to produce extra capital and the remaining ten as reserve). To become a member a subscription for shareholders was 15s, and for non-shareholders 30s. Only members were admitted into the exchange, with strict rules for members introducing strangers, especially those from outside Cornwall. A telegram was received twice daily from London on the state of the metal market, added to by a fortnightly or monthly report from the mine managers; all information was kept confidential. Mine captains were fined for swearing in the exchange, with proceeds going to the Miners' Hospital at West End.

The mining exchange was opened on 13 May 1880 by Mr DW Bain. At the opening, it was described that the exchange 'now meets the eye the first thing in coming from the station' and comprised one large well-ventilated and lit room with six chairs and tables. To the rear was a cloak room and other conveniences. A refreshment stand was provided in the main room, supplied by Mr Edwards at the Lamb and Flag Coffee Tavern which was constructed at the same time just to the north on Alma Place. Due to the topography, the mining exchange was built above the eastern open colonnade of the Buttermarket courtyard; in 1892 this space was used as a wholesale meat market but was infilled in the later-C20 as a commercial unit.

On 25 April 1889 a peaceful protest was held by miners outside of the mining exchange, demonstrating against the stopping of Wheal Agar engine which would flood East Pool Mine. The square at Alma Place would become a regular location for gatherings including miner's strikes, for those signing up for the First and Second World Wars, and at times of celebration when those wars ended.

The mining exchange continued in use throughout and after the First World War; it is unknown when it was last used for its original purpose but this may have been around 1923 when it was used as a one-off venue for a string quartet performance. In the later C20 it became a day centre, then offices and then a shop. The building is now in commercial use.

Details

Former mining exchange, now commercial premises, 1880, by James Hicks.

MATERIALS: Granite ashlar, killas rubble and red brick, with limestone dressings.

PLAN: rectangular in plan, extending to the west into the Buttermarket courtyard.

EXTERIOR: the building is designed in an eclectic Renaissance style over one storey on the front (east) elevation with a lower-ground floor to the west. It is constructed on a killas rubblestone plinth with a roof which is hipped at the east end. The main elevation (east) is symmetrical and of three bays. In the centre of the elevation is a large round-headed entrance with granite steps, and a limestone architrave with set-in colonettes with foliate capitals. The arch has carved foliate panels in the soffit and a raised keystone. Above this is a dentilled cornice and a parapet entablature with a blind balustrade. Central within the parapet is a panel inscribed 'MINING EXCHANGE'; above this is a segmental-arch parapet topped with a large ball finial, and within the arch is a carved shield containing the Duchy of Cornwall crest and the inscription 'ONE AND ALL'. The elevation's outer bays are narrower and of red brick. Each has a large round-headed window with a keystone rising to a cornice, and limestone dressings. Windows are timber-framed fixed casements and the main entrance contains timber double doors with fielded panels.

The north elevation adjoins the neighbouring former Redruth District Bank. The south elevation is rendered on the first floor where there are two segmental-arch headed windows with timber sashes, and the ground floor has large granite quoins. The whole building extends west to adjoin the Buttermarket courtyard and the west elevation abuts its northern courtyard range; the elevation above is painted brick. Below the upper windowed range, a C20 inserted shop-unit extends into the lower ground-floor of the Mining Exchange.

INTERIOR: altered.

Former Wheal Peevor purser's office

The former Wheal Peevor purser's office is a Grade II Listed Building (List Entry Number: 1142584). The Listed Building description is as follows:

Summary of Building

Former mine agent's office, now in commercial use, 1883 with later alterations. Possibly by James Hicks.

Reasons for Designation

The former Wheal Peevor purser's office, Alma Place, Redruth is listed at Grade II for the following principal reasons:

Architectural interest:

* although small-scale in its execution, it is a characterful contribution to the streetscape of Alma Place; * the building is attributed to Redruth's principal C19 architect, James Hicks.

Historic interest:

* as a significant component in the late-C19 post-mining building boom in Redruth; * as a purpose-built mine-business office for a specific local mine.

Group value:

* with other Grade II listed buildings on Alma Place, including the adjacent mining exchange which was designed by James Hicks in 1880.

History

Until the mid-C19 Redruth's centre of commerce was West End; this changed in 1852 when the railway station was built near the market house (built 1825-1826), the commercial benefits of convenience were realised, and Alma Place became a focal point for future development. The west side of Alma Place was improved from 1879 onwards, with three new important buildings being designed by James Hicks opening the following year: the Lamb and Flag Coffee Tavern; Redruth District Bank and post office; and the mining exchange. The bank's founders, Bain, Field, Hitchins and Co., were instrumental in the construction of a whole block of buildings on Alma Place, all of the land for which was owned by Gustavus Lambert Basset (1834-1888) of Tehidy.

By 1883 this group had been added to at its south end: tucked in between the mining exchange and the Buttermarket a small building was in use as a mining-business office. Little is known about its construction, and James Hicks has been attributed by many as its architect as he was responsible for the other buildings in Alma Place group. The building was constructed in the site of some stairs leading from Alma Place into the Buttermarket courtyard; these were reconfigured at the corner of Alma Place to provide access to the lower-ground floor of the building. Due to the topography, the office was built above the east side of the Buttermarket courtyard; in 1892 this undercroft was used as a 'weighing place' for the market.

The office was first occupied by Thomas Pryor, then the purser of the West Wheal Peevor Mining Company which comprised tin and copper mines at Treleigh, to the north of Redruth. Thomas Pryor (1836-1910) was the son of William Pryor who was the captain of West Basset, Wheal Peevor and other mines. He followed his father into the mining business first as a mining office clerk, and then as a purser at Wheal Peevor, Wheal Buller, West Seton, North Crofty and other mines. He was also a partner in a tin smelting company at Bissoe, purchased at Cornish tin ticketing, and provided work for miners during times of depression. He was one of the founders of the mining exchange in Redruth in 1880. Pryor's job appears to have been made redundant at the end of the C19 as the mining industry collapsed; Wheal Peevor closed in 1899 and the office closed soon after 1902.

The building was then used as an auctioneer's premises in the early C20; an optician's in the 1920s; and later, again by an auction house until around 2002. An extension was built to the rear of the building in the 1940s, the lower ground floor of which was used by the adjacent printing works in the former market house. A two-storey extension in the Buttermarket courtyard was added in around 1977 (not part of this List entry). The former purser's office is now in commercial use.

Details

Former mine agent's office, now in commercial use, 1883 with later alterations. Possibly by James Hicks.

MATERIALS: coursed killas rubble with granite ashlar dressings.

PLAN: rectangular in plan, extending to the west into the Buttermarket courtyard.

EXTERIOR: the building is designed in a stripped Renaissance style over one storey on the front (east) with a lower ground floor to the west. It is constructed on a coursed killas granite plinth, with a monopitch tiled roof behind a parapet. The main elevation (east) is symmetrical and of three bays. In the centre of the elevation above granite steps is a round-headed entrance with a fluted keystone. Above this is a parapet which continues across all three bays; above the middle bay is a panelled entablature with a central roundel and above this again a pediment with scrolled and fluted decoration topped with a granite finial. The outer bays of the front elevation have corner pilasters and are filled with large windows with chamfered mullions and transoms set in round architraves with fluted keystones. The heads of the window surrounds are filled with floriate carving. The outer bays of the parapet are coursed killas granite; all other features are granite ashlar.

INTERIOR: the office building has stairs down on its north side; some historic joinery survives including doors and cupboards.

Appendix 4: Written Scheme of Investigation

Redruth Buttermarket, Written Scheme of Investigation for historic building recording and archaeological watching brief

Client: Redruth Revival CIC
Client Contact: Trevor Humphreys
Planning Application: PA21/09197

Project background and site history

This document sets out a Written Scheme of Investigation by Cornwall Archaeological Unit (CAU) for historic building recording and archaeological watching briefs at the Buttermarket in Redruth. The site lies at the junction of Station Hill and Alma Place in Redruth at NGR: SW 69950 41945 (Fig 1) and comprises a complex of adjoining Grade II Listed Buildings set around a central yard (Fig 2). Conditional Planning and Listed Building Consent for conservation works and redevelopment has now been granted. The following buildings are included within the area of the site:

- Auction House (also known as 'Market House', 'Pork Market' and 'Church')
- Wheal Peevor Purser's Office or Mine Agent's Office
- Wheal Peevor Purser's Office extension
- Mining Exchange
- Mining Exchange extension
- Buttermarket
- Covered market area.

The alteration works include: conservation repairs; demolition of modern internal partitions on the lower and upper ground floors, modern suspended ceilings and freestanding cafe structure on lower ground; demolition of extension to the Wheal Peevor Purser's Office, to make way for new open plan, double volume food hall; demolition of modern staircase; provision of new staircases and two new lifts; provision of new WCs; conservation of existing stalls and provision of new stall units on lower ground floor;

creation of accessible route into Wheal Peevor Purser's Office to enable accessible route through to Mining Exchange.

Planning Consent for PA21/09197 has now been granted, and the Senior Development Officer (Historic Environment), Cornwall Council (SDOHE), has requested that the following archaeological works are undertaken:

- a) A Historic building record to Historic England's Level 4.
- b) A watching brief undertaken during all alteration works to the buildings (the results to be added to the Historic building record).
- c) An interim statement on the findings of the of the historic building record once all associated fieldwork has been completed.
- d) An archaeological watching brief to be undertaken during any groundworks associated with the development, including drilling of boreholes, the digging of service trenches, the alteration of ground levels and lifting of cobbled/granite paviour floors etc.
- e) An archive report to be produced containing the results of the historic building record and watching briefs.
- f) An assessment to be made following completion of the work as to the merits of presenting the results to a wider audience.

Conditions 7 and 8 of the Planning Consent (PA21/09197) are as follows:

Condition 7

A) No redevelopment shall take place until a programme of archaeological and historic building recording work including a Written Scheme of Investigation has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions, and:

- 1. The programme and methodology of site investigation and recording*
- 2. The programme for post investigation assessment*
- 3. Provision to be made for analysis of the site investigation and recording*
- 4. Provision to be made for publication and dissemination of the analysis and records of the site investigation*
- 5. Provision to be made for archive deposition of the analysis and records of the site investigation*
- 6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation*

B) No redevelopment shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The Buttermarket Food Hall shall not be in use until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the Written Scheme of Investigation approved under condition (A) and the provision made for analysis, publication and dissemination of results and archive deposition has been secured.

D) The archaeological and historic building recording condition will normally only be discharged when all elements of the WSI including on site works, analysis, report, publication (where applicable) and archive work has been completed.

Reason: To ensure that provision is made to record finds of archaeological interest in accordance with the aims and intentions of Policy 24 of the Cornwall Local Plan Strategic Policies 2010-2030 and paragraph 205 of the National Planning Policy Framework 2021. A pre-commencement condition is necessary in this instance due to the need to ensure that a programme and methodology of site investigation and recording of archaeological and historical features is undertaken before physical works commence on site.

Condition 8

Prior to the commencement of the development hereby permitted the applicant shall submit details of a programme for the recording and analysis of the buildings, known as a Historic Recording Report, in accordance with Level 4 of the document by Historic

England titled 'Understanding Historic Buildings: A Guide to Good Recording Practice' published 16 March 2016 (or any subsequent revised publication by Historic England). No development (including demolition) shall take place until the submitted programme has been approved in writing by the Local Planning Authority and the development shall be undertaken in accordance with the details hereby approved.

Reason: To ensure that provision is made to record the historical interest of the designated heritage asset in accordance with the aims and intentions of paragraph 205 of the National Planning Policy Framework 2021 and Policy 24 of the Cornwall Local Plan Strategic Policies 2010-2030. No demolition or further construction works should proceed until the existing building within the site have been recorded in an appropriate fashion to ensure that a record of the historical features of the site have been adequately recorded.

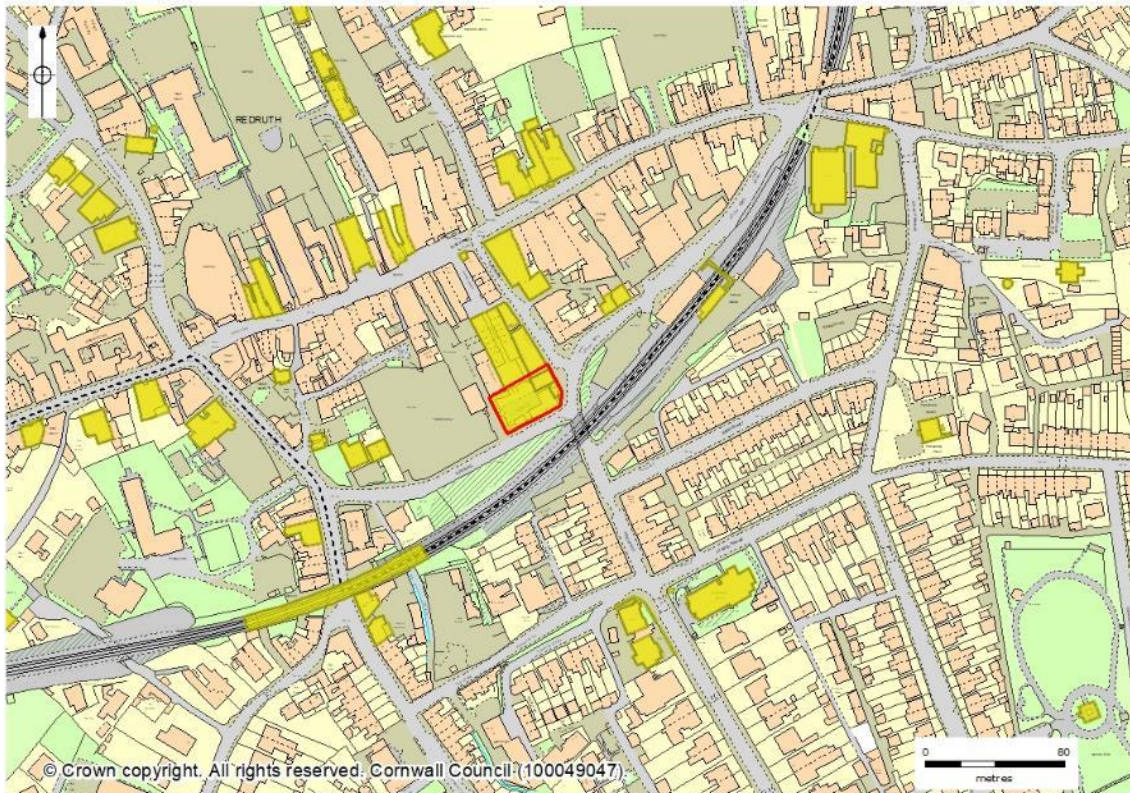


Fig 1 Site location outlined in red with Listed Buildings shown in yellow.



Fig 2 Location of buildings in complex (Architectural Thread Ltd).

Project extent

The extent of the site is shown in Figures 1 and 2. It includes the Auction House (also known as 'Market House', 'Pork Market' and 'Church'), Wheal Peevor Purser's Office or Mine Agent's Office, the Wheal Peevor Purser's Office extension, the Mining Exchange, the Mining Exchange extension, the Buttermarket, the Covered market area, the central yard and immediate environs of the complex.

A Historic Building Record (HBR) will be made of all existing buildings and structures. Watching briefs will be undertaken at the site during alterations and demolition and any below-ground works.

Aims and objectives

The principal aims of the study are to create a Historic Building Record (HBR) of all buildings and structures prior to alteration works commencing and to undertake watching briefs during all building alterations and groundworks associated with the development.

The objectives are to:

- Produce an accurate record of the building complex along with its fabric, features and fittings (Level 4 as defined by Historic England 2016).
- Create a phased historic development for the complex.
- Produce a record of any archaeological features exposed during the course of alterations and groundworks.

Working methods

All recording work will be undertaken according to the Chartered Institute for Archaeologists (CIfA) guidance (CIfA 2020; 2020a; 2020b; 2020c; 2020d, 2018). Staff will follow the CIfA *Code of Conduct* (2019). The Chartered Institute for Archaeologists is the professional body for archaeologists working in the UK.

- **Archive research**

Some archive research has already been completed as part of the Heritage Statement and Heritage Impact Assessment undertaken by Architectural Thread Ltd in September 2021 and also as part of the Historic Building Investigation undertaken by Historic England in 2021. This research will be drawn on for the production of the report alongside further research as required for a Level 4 survey.

Copies of maps from each historic period will be used where available and copyright permits to show the evolution of the building.

Pre-fieldwork

In advance of the fieldwork CAU, will discuss and agree with the client:

- Working methods and programme.
- Health and Safety issues and requirements.
- Transfer of Title for artefacts.
- Obtaining an accession number from the appropriate archive repository.

Fieldwork: Historic Building Record

A Historic Building Record (equivalent to a Historic England level 4 survey) of the building complex will be undertaken.

- Measured drawings of the complex already exist. Measured detail will be added to the drawings along with annotations to provide details of both construction details, historic alterations and fabric.
- Colour photographs of all elevations along with architectural details will be taken with a digital camera (at a resolution of 10 million pixels or higher). These will form the archive. Photographs will include a metric scale bar, except where Health and Safety considerations make this impractical. Plans showing directions of photographs will be made.
- Descriptions of the exterior and interior will be made in note form and by annotation of the measured drawings to record fabric and construction, phased development/repairs through time and architectural details.

Fieldwork: Archaeological watching briefs during alteration to the buildings and groundwork

The SDOHE has advised that watching briefs are required during alterations to the buildings and any groundworks associated with the development. This work will be guided by CIfA's guidance on undertaking watching briefs (CIfA 2020c).

The alteration works to the buildings which have potential to reveal hidden historic fabric will be undertaken under archaeological supervision. Any features/architectural elements revealed in this way will be recorded and added to the results of the Historic Building Record.

All groundworks which might potentially contain archaeological features will be undertaken under archaeological supervision. Should archaeological features be revealed, excavation will be halted, and the exposed features cleaned by hand to determine their significance prior to either their recording or further excavation. The developer will allow reasonable time for the excavation and recording of any features thus revealed. Where a temporary stop of work is required the site archaeologist will request this via the developer and the SDOHE.

Recording

During the archaeological recording the archaeologist will:

- Identify and record any archaeological features that are revealed; the level of recording will be appropriate to the character/importance of the archaeological remains.

- Site drawings (plans and sections) will be made by pencil (4H) on drafting film; all drawings will include standard information: site details, personnel, date, scale, north-point.
- All features and finds will be accurately located at an appropriate scale.
- All archaeological contexts will be described to a standard format linked to a continuous numbering sequence.
- Photographic recording will comprise colour photography using a digital SLR camera (with a resolution of 10 million pixels or higher; CAU will follow Historic England (2015) guidance on digital image capture and storage). Photographs will include a record of significant features and general working shots. A metric scale, site and context identifier, and a north arrow where appropriate, will be included in all record shots.

Treatment of finds

The fieldwork may produce artefactual material. The following recording and retention policies will be followed:

- In the event that objects containing precious metal(s) are encountered, the coroner will be informed as per the provisions of the Treasure Act 1996.
- Significant finds in stratified contexts will be plotted on a scaled base plan and recorded as small finds.
- All finds will be collected in sealable plastic bags which will be labelled immediately with the site code, the context number or other identifier, the type of material, and the finder's initials. The only exception to this policy will be that large assemblages of modern (post-1800) material may be representatively sampled.
- Modern (post-1800) finds may be disposed of at the cataloguing stage. This process will be reviewed ahead of its implementation.

Treatment of samples

The fieldwork may produce environmental samples. The following collection, recording and processing policies will be followed:

- Sealed/undisturbed archaeological contexts in the form of buried soils, layers or deposits within significant archaeological features that have the potential to contain palaeoenvironmental evidence and/or material suitable for scientific dating will be sampled.
- Where bulk samples are taken a minimum of 40 litres will be sampled from these deposits where feasible.
- In the event that significant organic remains are encountered, advice may be sought from the project geoarchaeological specialist (see below).
- All samples will be described to a standard format linked to a continuous numbering sequence.
- Bulk samples will be processed using flotation with appropriate mesh sizes. Consideration will be given to metallurgical sampling.

Creation of the physical and digital archive

The results from the fieldwork will be collated as an archive.

This will involve the following.

- All records (drawings, context sheets, photographs, etc.) will be ordered, catalogued and stored in an appropriate manner (according to CAU guidelines).
- All finds, etc., will be washed, catalogued, and stored in a proper manner (being clearly labelled and marked and stored according to CAU guidelines).
- Colour digital images taken as part of the site archive will be deposited with the Archaeology Data Service (ADS).
- Measured and annotated drawings will be created.
- Completion of the Historic England/ADS OASIS online archive index.
- All correspondence relating to the project, the WSI, and a single paper copy of the report, stored in an archive standard (acid-free) documentation box.
- Drawn archive storage (plastic wallets for the annotated record drawings).

- Additional digital data (survey, external reports, etc).

Archive deposition

An index to the site archive will be created and the archive contents prepared for long term storage, in accordance with CAU standards.

- The project archive will be deposited initially at ReStore PLC, Liskeard and at CAU premises until a suitable repository is found.
- Digital data will be stored on the Cornwall Council network which is regularly and frequently backed up.
- Digital data (CAU reports, external reports, survey data, digital photographs, etc) forming part of the site archive will be deposited with the ADS.
- The physical archive will go to an accredited archive repository, when a dedicated space becomes available. Until that time material will be stored at CAU offices.

CAU uses the following file formats for stored digital data:

DOCX	Word processed documents
XLSX	Spreadsheets
PDF	Exports of completed documents/reports/graphics
JPG	Site graphics and scanned information
DNG or TIF	Digital photographs
DWG	AutoCAD drawings, measured surveys
MXD	ArcView GIS (electronic mapping) data
AI	Adobe Illustrator graphics

Reporting

A short interim report will be produced following the fieldwork undertaken for the historic building record and the watching brief during alterations to the buildings to briefly report on what was found.

Following completion of all fieldwork the results from the whole project will be drawn together and presented in a single report. The scope of the report will be dependent on the scale and significance of the results from the project.

The report will include the following elements:

- Summary
- Project background
- Aims and objectives
- Methodology
- Location and setting
- Site history
- Phased historic development
- Historic building records description and results
- Watching brief results
- References
- Project archive index
- Supporting illustrations: location map, historic maps, plans, elevations, sections, photographs, photo direction plans for the historic building record
- The WSI will be added to the archive report as the final appendix.

Potential dissemination of the results

The potential dissemination of the results to a wider audience will be decided upon once the results of fieldwork have been assessed and through further discussion with SDOHE (Archaeology), CAU, Redruth Revival CIC and Architectural Thread Ltd.

Timetable

The study is anticipated to commence during September 2022. CAU will require at least 2 weeks' notice before commencement of work, in order to allocate field staff and arrange other logistics.

The archive report will be completed within 7 months of the end of the fieldwork. The deposition of the archive will be completed within 3 months of the completion of the archive report.

Monitoring and Signing Off Condition

Monitoring of the project will be carried out by the Senior Development Officer (Historic Environment) (SDOHE). Where the SDOHE is satisfied with the archive report and the deposition of the archive, written discharge of the planning condition will be expected.

- Approval of the WSI is required from the SDOHE before commencement of the works.
- The SDOHE will monitor the work and should be kept regularly informed of progress.
- Notification of the start of work shall be given to the SDOHE.
- Any variations to the WSI will be agreed with the SDOHE, in writing, prior to them being carried out.
- If significant detail is discovered, all works must cease, and a meeting convened with the client and the SDOHE to discuss the most appropriate way forward.

Monitoring points during the study will include:

- Approval of the WSI
- Completion of fieldwork
- Completion of archive report
- Deposition of the archive
- Decision for any presentation of the results to a wider audience

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Webster, C, (ed) 2007. *The Archaeology of South West England: South West Archaeological Research Framework: Resource Assessment and Research Agenda*. Taunton, Somerset Heritage Service, Somerset County Council

<https://www.cornwall.gov.uk/environment-and-planning/planning/online-planning-register/> Online Planning Register – Cornwall Council

Ordnance Survey. *Mastermap Digital Mapping*

Proposal drawings supplied by Trevor Humphreys

Cornwall Archaeological Unit

Cornwall Archaeological Unit is part of Cornwall Council. CAU employs 10 project staff with a broad range of expertise, undertaking around 120 projects each year.

CAU is committed to conserving and enhancing the distinctiveness of the historic environment and heritage of Cornwall and the Isles of Scilly by providing clients with a number of services including:

- Conservation works to sites and monuments
- Conservation surveys and management plans
- Historic landscape characterisation
- Town surveys for conservation and regeneration
- Historic building surveys and analysis
- Heritage Impact Assessments/Heritage Statements
- Maritime and coastal zone assessments
- Air photo mapping
- Excavations and watching briefs
- Assessments and evaluations
- Post-excavation analysis and publication
- Outreach: exhibitions, publication, presentations

Standards



CAU is a Registered Organisation with the Chartered Institute for Archaeologists and follows their Standards and Code of Conduct.

<http://www.archaeologists.net/codes/ifa>

Terms and conditions

Contract

CAU is part of Cornwall Council. If accepted, the contract for this work will be between the client and Cornwall Council.

The views and recommendations expressed will be those of CAU and will be presented in good faith on the basis of professional judgement and on information currently available.

Project staff

The project will be managed by Jo Sturgess who will:

- Discuss and agree the objectives and programme of each stage of the project with the client, the SDOHE and other field officers, including arrangements for health and safety.
- Monitor progress and results for each stage.
- Liaise with the client and the SDOHE regarding related issues.

Work will be carried out by CAU field staff. All staff will follow CAU's Health and Safety Policy and work in accordance with a site-specific risk assessment.

The project team is expected to include:

Jo Sturgess BA, MCIFA

Senior Archaeologist at CAU with a wide range of experience in recording historic buildings, landscapes, excavation, post-excavation and characterisation. Past historic building works have included Lanhydrock House (Cornwall), Port Eliot (Cornwall),

Arlington Court (Devon), Bradley Manor (Devon), Buckland Abbey (Devon), Cutmadoc Farmhouse (Cornwall), the Piggery and Cider House at Godolphin (Cornwall), Poltesco Mill House (Cornwall), Molenick Farmhouse (Tideford), City Wharf (Truro), Harvey's Foundry (Hayle), Boswednack Serpentine works; Porthmeor farm; Bartle's Foundry (Pool), Manor Tannery (Grampound) Duchy Palace (Lostwithiel) and variety of mine buildings, farm buildings and industrial buildings. Other projects include Devon Extensive Urban Survey, Gwithian's past excavations, Lemon Quay excavation, Goonhilly Earth Station survey, Lower Boscaswell and Trevesa in West Penwith landscape surveys. Expertise includes use of Total Station, CAD software and GIS. Holder of a CSCS card and qualified first aider.

Connor Motley BA (Hons)

Assistant Archaeologist Connor joined the team in 2019 after graduating from the University of York with BA (Hons) in Archaeology. Connor is experienced in archival research and has a good working knowledge of architectural and building history. He has a wide range of archaeological experience having partaken in surveys, excavations and post-excavation in England, Wales and Cornwall. Since joining he has been assisting with historic building projects, excavations and watching briefs and using software such as GIS and AutoCAD.

Report distribution

A digital copy of the report will be sent to the client. A paper copy can be supplied on request.

Once verified by Cornwall HER, a digital copy of the report will also be publicly available online via the Archaeology Data Service (ADS) Library.

Copyright

Copyright of this Written Scheme of Investigation will be reserved to Cornwall Archaeological Unit, Cornwall Council. It may only be used/reproduced with permission from Cornwall Archaeological Unit.

Existing copyrights of external sources will be acknowledged where required.

Freedom of Information Act

As Cornwall Council is a public authority it is subject to the terms of the Freedom of Information Act 2000, which came into effect from 1st January 2005.

CAU will ensure that all information arising from the project shall be held in strict confidence to the extent permitted under the Act. However, the Act permits information to be released under a public right of access (a "Request"). If such a Request is received CAU may need to disclose any information it holds, unless it is excluded from disclosure under the Act.

Health and safety statement

CAU follows Cornwall Council's *Statement of Safety Policy*.

Prior to carrying out on-site work CAU will carry out a site-specific Risk Assessment.

Insurance

CAU is covered by Cornwall Council's Public and Employers Liability Insurance, with a policy value of £50m. The Council also has Professional Negligence insurance with a policy value of £10m.

Jo Sturgess

Redruth Buttermarket Historic Building Record and Watching Brief

Senior Archaeologist

10/08/2022

Cornwall Archaeological Unit

Cornwall Archaeological Unit
New Lodge, Penmount, Truro, Cornwall
TR4 9AA



(01872) 323603
enquiries@cau.org.uk
www.cau.org.uk

