

**HISTORIC BUILDING
RECORDING OF SUDBROOK
MANSION, THE RICHMOND
GOLF CLUB, SUDBROOK
PARK, LONDON BOROUGH
OF RICHMOND UPON
THAMES TW10 7AS**

SITE CODE: SUD12

PCA REPORT NO. R11210

APRIL 2012



PRE-CONSTRUCT ARCHAEOLOGY

Historic Building Recording of Sudbrook Mansion, The Richmond Golf Club, Sudbrook Park, London Borough of Richmond upon Thames TW10 7AS

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Site Code: SUD12

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1 NON-TECHNICAL SUMMARY

- 1.1 Pre-Construct Archaeology Limited was commissioned by GHK Architects on behalf of The Richmond Golf Club to undertake building recording at Sudbrook Mansion, Sudbrook Park, London Borough of Richmond upon Thames. The building recording was carried out broadly in accordance with that defined by English Heritage's Level 2 (English Heritage, 2006).
- 1.2 The work was required by the Local Planning Authority as a condition of planning permission granted for a number of alterations and refurbishments on the ground and first floors and modifications to existing external pipe work. Sudbrook Mansion is Grade I Listed and lies within the Petersham Conservation Area and an Archaeological Priority Area.
- 1.3 Sudbrook Mansion was built by the architect James Gibbs for James Campbell, Second Duke of Argyll during the second decade of the 18th century. The house was one of the earliest examples of a Villa, a type of domestic architecture new to Britain which typically comprised a compact suburban seat used as an occasional residence by its owners. The external elevations of the house were conventionally Palladian in design, with two raised central porticos on the north and south fronts comprising two Corinthian columns and two pilasters supporting raised straight balustrades. The centrepiece of Gibbs' design was the salon or cube room, which originally extended across the entire width of the house and was lit by the raised porticos.
- 1.4 Sudbrook Mansion was altered during the second half of the 18th century, probably around 1767, when the entrance front portico was extended to the north, creating a new stone entrance staircase, an additional hall on the principal floor and new rooms on the ground and first floors. The latter rooms and the roundels that lit the central salon from the north were recorded during the building recording exercise.
- 1.5 In the mid-19th century Sudbrook was converted into a Hydropathic Sanatorium. Following the closure of the spa at the end of the 1870s the house reverted to domestic use, before briefly becoming a residential hotel. The latter does not appear to have lasted for long, and Sudbrook Mansion became the Clubhouse of The Richmond Golf Club in 1893, which it has remained ever since.
- 1.6 Proposals for the refurbishment of Sudbrook Mansion relate principally to the ground and first floors. An external platform lift is proposed beside the entrance steps of the north elevation to provide disability access to the principal floor. The Ladies Powder Room is to be extended and upgraded to include shower facilities. Proposed alterations to the ground floor also include relocating the cold store room, the bar cellar and a widespread upgrading of floor surfaces. On the first floor a new staff flat is to be installed with three bedrooms, a new kitchen and upgraded bathroom facilities. A new bathroom is also to be installed. These works will involve the removal of both original and non-original fabric.

2 INTRODUCTION

2.1 Background

- 2.1.1 Pre-Construct Archaeology Limited was commissioned by GHK Architects on behalf of The Richmond Golf Club to undertake building recording at Sudbrook Mansion, The Richmond Golf Club, Sudbrook Park, London Borough of Richmond upon Thames, centred on Ordnance Survey National Grid Reference TQ 18455 72575. The work was required by the Local Planning Authority as a condition of planning consent for a number of alterations and refurbishments on the ground and first floors and modifications to existing external pipe work.
- 2.1.2 The building recording was undertaken in accordance with a Written Scheme of Investigation agreed in advance of the work with Local Planning Authority (Matthews, 2012). This document set out the methodology used by Pre-Construct Archaeology Limited. The recording was carried out in accordance with that defined by Level 2 of English Heritage 2006 *Understanding Historic Buildings: A guide to good recording practice*.
- 2.1.3 The aim of the building recording is to analyse and record the building, its fabric, historic features and any evidence of former use prior to the instigation of works. The results will then form part of an ordered archive and report that will preserve the affected elements of the building by record, the findings of which can be disseminated to mitigate any loss of historic fabric.

2.2 Site Location

- 2.2.1 Sudbrook Mansion is located within Sudbrook Park approximately 2km south of Richmond railway station on the western edge of Richmond Park in the London Borough of Richmond upon Thames (**Figure 1**). South of the village of Petersham, Sudbrook Park lies to the east of the A307 that leads south from the village and is accessed from Sudbrook Lane from the north. Sudbrook Park is the home of The Richmond Golf Club and Sudbrook Mansion is used as the club house (**Figure 2**).

3 PLANNING BACKGROUND

3.1 Introduction

- 3.1.1 National legislation and guidance relating to the protection of historic buildings and structures within planning regulations is defined by the provisions of the *Town and Country Planning Act 1990*. In addition, local planning authorities are responsible for the protection of the historic environment within the planning system and policies for the historic environment are included in relevant regional and local plans.

3.2 Legislation and Planning Guidance

- 3.2.1 Statutory protection for historically important buildings and structures is derived from the *Planning (Listed and Conservation Areas) Act 1990*. Guidance on the approach of the planning authorities to development and historic buildings, conservation areas, historic parks and gardens and other elements of the historic environment is provided by the National Planning Policy Framework (NPPF), which was adopted on 27 March 2012 and which supersedes the Planning Policy Statements (PPSs).
- 3.2.2 Historic buildings are protected through the statutory systems for listing historic buildings and designating conservation areas. Listing is undertaken by the Secretary of State; designation of conservation areas is the responsibility of local planning authorities. The historic environment is protected through the development control system and, in the case of historic buildings and conservation areas, through the complementary systems of listed building and conservation area control.
- 3.2.3 Planning permission (Ref. No: DC/BJS/11/2646/FUL/FUL) has been granted for the alteration and refurbishment of Sudbrook Mansion. This work included:

Internal and external alterations including new external platform lift adjacent to north entrance steps; conversion to 3 bedroom staff flat at first floor level; refurbishment of ladies locker room at ground floor level; kitchen and catering alterations at ground floor level; new external pipework'.

The building recording is required to meet planning condition U47348 imposed by the Local Planning Authority.

- 3.2.4 Sudbrook Mansion lies within Petersham Conservation Area, although Sudbrook Park itself is not a Registered Park and Garden. The building also lies within an Archaeological Priority Area as defined by the London Borough of Richmond upon Thames Council's Unitary Development Plan dated 2005 (Map 8. Archaeological Constraints). The Mansion was Grade I Listed (list entry number 1252877) and is described in its Listing citation as follows:

'Sudbrook Park now Richmond Golf Club. 1726, James Gibbs. Now Richmond Golf Club. Brick and stone dressings. Nine bays. Two storeys plus basement. Long slender segmental headed windows with aprons. Brick quoins. Parapet. Central giant portico of Corinthian columns both to garden and entrance facade, the latter since extended forward. Staircase to garden side. Elaborately decorated cube room with giant coupled pilasters coved ceiling and marble fireplace inside, by Gibbs.'

4 METHODOLOGY

4.1 Aims and Objectives

- 4.1.1 The aim of the building recording as set out in the Written Scheme of Investigation (Matthews, 2012) was to provide a record of Sudbrook Mansion prior to and during alteration, particularly to record those areas of the historic fabric which will be exposed, covered up or removed during the refurbishment. This record is to be broadly in accordance with that defined by English Heritage's Level 2. The aim is to provide a better understanding of Sudbrook Mansion, which retains many original features, to compile a lasting record, to analyse and to disseminate the results.

4.2 Documentary Research

- 4.2.1 A search of relevant primary sources was carried out at the London Borough of Richmond upon Thames Local Studies Centre. Secondary sources held by the British Library were also consulted to inform the historic background and development of the buildings and site. A sequence of Ordnance Survey and other historic maps was also compiled to illustrate the development of the site. The results of historical research are provided in Section 5 of this report.

4.3 On-Site Recording

- 4.3.1 The on-site visual analysis and photographic survey was carried out over five days from 9th to 15th March 2012 by an historic buildings archaeologist. Existing and proposed plans were provided by the client so that the building recording could specifically focus on the areas to be altered. These drawings were annotated on site and used as a basis for the illustrations in this report. Rooms were numbered with the prefix G for ground floor, P for principal floor and F for first floor and proposals were numbered 1-11 on the ground floor and 1-13 on the first floor.
- 4.3.2 A photographic survey including high quality digital and black and white medium format images was also undertaken recording key features and interior spaces on the ground floor and first floor as well as external elevations of the building. A selection of photographs has been included in this report and **Figures 14** and **15** show the location and direction of these photographs. A register of all photographs taken on site by the PCA photographer is included in **Appendix 1**.

4.4 Project Archive

- 4.4.1 The project archive is currently held at the offices of Pre-Construct Archaeology Limited in Brockley, London, under the site code SUD12. It is anticipated that the archive (copies of the report, drawings and photographs) will be lodged with the London Archaeological Archive and Research Centre (LAARC) in due course. Copies of the report will be sent to the London Borough of Richmond upon Thames Council Planning Department.

4.5 Guidance

- 4.5.1 All works were undertaken in accordance with standards set out in:
- Association of Local Government Archaeological Officers: Analysis and Recording for the Conservation and Control of Works to Historic Buildings (1997)
 - British Archaeologists and Developers Liaison Group: *Code of Practice* (1986)
 - British Standards Institution: *Guide to the Principles of the Conservation of Historic Buildings (BS 7913)* (1998)
 - English Heritage: *Guidance Paper 98: GLAAS: Guidance Paper 3-Standards and Practices in Archaeological Fieldwork in London*
 - English Heritage (Clark K): *Informed Conservation* (2001)
 - English Heritage: *The Presentation of Historic Building Survey in CAD* (2000)
 - IFA: *Standards and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (1999)

- English Heritage *Understanding Historic Buildings; a guide to good recording practice* (2006)

5 HISTORICAL BACKGROUND

5.1 Introduction: the hamlet of Sudbrook

5.1.1 Little is known about the medieval hamlet of Sudbrook, which was first recorded in a document dating from 1266 (Lysons, 1792: 399-403). A reference of 1550 to a tenement called Sudbrooke, which was held of the manor of Petersham, suggested that the former was a very small settlement, comprising little more than a house and 30 acres of arable land, meadow and pasture (Malden, 1911: 525-532). An account of a property transaction in 1637 indicated that the holding remained insubstantial nearly a century later, when it contained a cottage, an area of pasture and a close of land (*ibid*).

5.1.2 The manor of Petersham itself had been surrendered to the Crown in the 15th century, in which hands it remained at the beginning of the 17th century (*ibid*). Although the manor was granted to the Earls of Dysart in the late 1630s, Sudbrook appears to have been alienated from its parent manor at some point during the intervening centuries, and it was part of the Crown's Richmond Park estate at the beginning of the 18th century.

5.2 John Campbell, Second Duke of Argyll, James Gibbs and the construction of Sudbrook Mansion, 1715-c.1719

5.2.1 In 1715 the newly crowned King George I leased all 30 acres of Sudbrook Park to James Campbell, Second Duke of Argyll in return for payment of £1,400 (London Borough of Richmond upon Thames, 1982: 26). 'Red John' Campbell was a descendent of the Countess of Dysart and a native of Petersham, having been born at nearby Ham House, seat of the Earls of Dysart in 1678. Having won fame on the battlefield during the War of Spanish Succession, Argyll became a supporter of the Whig opposition during the last months of Queen Anne's life, earning the gratitude of the Hanoverian George following his accession to the throne in August 1714 (Dickson, 1973; Moxey, 1974: 77). Argyll played an important role in defeating the Jacobite rebellion of 1715 and continued to accrue military titles and honours during the decades that followed, including his appointment as Master General of Ordnance in 1725, a post that he held until 1740, and the colonelcy of several regiments of cavalry and foot (Dickson, 1973: 213).

5.2.2 "Within days" of acquiring the lease of Sudbrook Park in November 1715, Argyll had commissioned the services of the Scottish-born architect James Gibbs to design and build him a new residence (Friedman, 1984: 135). While his patron was away in Scotland campaigning against the Jacobite Highlanders, Argyll's London banker sanctioned the payment of £600 to the architect on 19th November, to be followed by a further £800 that Christmas (*ibid*). The following spring the Duke paid John Townsend £700 for masonry work at Sudbrook, with further payments being made to the painter John Reynolds and the bricklayer Thomas Churchill in 1716 and 1717 respectively (*ibid*: 323). Having defeated the rebels at the battle of Sheriffmuir in November 1715, Argyll returned to England and was reported to have taken up temporary residence at Sudbrook by July 1716 (*ibid*: 135). A plan and an elevation showing the house approaching completion were sketched by the architect William Dickinson in February 1718 (*ibid*).

5.2.3 Gibbs has been described by one leading historian of 18th century British architecture as the "only... architect of real stature" outside the circle of architects and designers that coalesced around the 3rd Earl of Burlington during the early decades of that century (Wittkower, 1974: 104). This group included the celebrated architects Colen Campbell and William Kent as well as the Earl himself, each of whom drew inspiration from the work writings of the 16th century Italian architect Andrea Palladio. Palladio had in turn revived the principles of classical architecture codified by the 1st century BC Roman architect Vitruvius in his volume *de architectura*, published in English as the *Ten Books of Architecture*. While Burlington's set espoused austere Palladian principles of order and proportion, Gibbs was "more versatile and less dogmatic" than his peers, and his designs demonstrate that he was equally fluent in the idioms of

Baroque, Rococo and even Gothic architecture (*ibid*; Little, 1955: 90; London Borough of Richmond upon Thames, 1982: 5). Notwithstanding his willingness to stray from the Palladian orthodoxy of his Burlingtonian contemporaries when he saw fit, Gibbs also “played an eminent role in establishing firmly classical standards in British Architecture” through his espousal of an arithmetical approach to the proportioning of the classical orders in his 1732 work *The Rules for Drawing the Several Parts of Architecture*, which assumed a central role in the teaching of architecture in Britain for more than a century (Wittkower, 1974: 107-8).

- 5.2.4 Gibbs trained as an architect in Italy during the first decade of the 18th century under the tutelage of Carlo Fontana and Pietro Francesco Garoli (Little, 1955: 19). Although Gibbs’ training provided a thorough grounding in the orthodoxies of Baroque architecture, it is likely that he was also exposed to the simpler and more classically correct form of architecture that Fontana was moving towards in reaction to the excesses of the High Baroque (Little, 1955: 19-25). Shortly after returning to England, Gibbs secured the post of Surveyor to the Commission for Building Fifty New Churches, for whom he worked on the design of the church of St Mary-le-Strand in 1713-14 (*ibid*: 38; Friedman, 1984: 10). Having been forced out of the post in 1715 on account of his Tory sympathies and association with the disgraced Earl of Mar, Gibbs sought the patronage of politically neutral clients such as Edward Harley, Second Earl of Oxford as well as Whigs such as the Earl of Burlington himself and the Duke of Argyll (Little, 1955: 86-7). Having been awarded a commission to redesign ‘Cannons’, the Middlesex seat of the First Duke of Chandos in 1715, Gibbs quickly learnt to adapt to the prevailing Palladian orthodoxy of early Georgian England and by the 1720s was regularly winning commissions to build conventionally Palladian country houses, such as Ditchley Park in Oxfordshire and Kelmah in Northamptonshire (*ibid*: 89-97).
- 5.2.5 The house that Argyll commissioned Gibbs’ to build at Sudbrook Park however, represented one of the earliest examples of a type of domestic architecture new to Britain, of which Gibbs was one of the principal pioneers (Friedman, 1984: 133). Gibbs described Sudbrook as a ‘Villa’, a term that he used to describe “a particular shaped house with specific social functions: a small compactly planned suburban seat used as a convenient place of temporary retirement” (*ibid*). Gibbs’ most recent biographer has suggested that the architect may have drawn inspiration for Sudbrook from Pliny the Younger’s villa at Laurentinum, which the Roman writer used as a *Villa Urbana*, or country house of retirement (*ibid*: 135).
- 5.2.6 Befitting its status as a dwelling intended only for occasional use, Sudbrook Park Mansion was small, containing just five main compartments (*ibid*). Gibbs provided a set of drawings of the house in a volume titled *A Book of Architecture, Containing Designs of Buildings and Ornaments*, which he dedicated to the Duke of Argyll and published in 1728; these are reproduced here as **Plate 1** (Gibbs, 1728: plate 40). The principal feature of the design was the central room or salon, which was a perfect cube, two floors in height that originally extended across the entire width of the house and was lit by two raised porticos on each side (Little, 1955: 98; Friedman, 1984: 135). This arrangement, which appears not to have previously been used in England, was probably based upon villas built by Palladio at Lisiera and Cicogna, while the design of the external elevations, where two Corinthian columns and two pilasters supported raised straight balustrades but no pediments, may have been derived from the Villa Nani Mocenigo near Rovigo (Little, 1955: 98; Friedman, 1984: 135). Published at least nine years after the house was built, the illustrations of Sudbrook in the *Book of Architecture* were somewhat idealised, most notably in the treatment of the windows, which were (and remain) segmental-headed and embellished with rubbed-brick aprons, yet which were drawn in a more properly classical form, slightly shorter, with squared openings and bracketed sills (Friedman, 1984: *ibid*).
- 5.2.7 While the exterior treatment was more-or-less Palladian, the cube room was exuberantly decorated in a style that incorporated distinctly Baroque touches; its carved decoration representing “an anthology of Continental engraved designs” (Little, 1955: 99; London Borough of Richmond upon Thames, 1982: 26). One of Gibbs’ biographers has described the room as “brilliantly adorned and its proportions

wholly satisfying; it is certainly among the best of Gibbs' domestic interiors", a judgement given all the more impact by the fact that it is the earliest surviving example of Gibbs' interior design (Little, 1955: 99).

- 5.2.8 Gibbs went on to repeat the form he used at Sudbrook in a design for Argyll's Oxfordshire residence at Adderbury possibly as late as 1740, and also at the mansion he designed at Whitton Park, Middlesex for the Duke's brother Archibald Campbell, First Earl of Ilay in the 1720s (Friedman, 1984: 137). Following the death of Argyll at Sudbrook in early October 1743, his brother succeeded to the title of Duke of Argyll, although Sudbrook itself passed to the dowager Duchess and her two youngest daughters, who used the house as their principal residence thereafter (Moxey, 1974: 77). After the death of the Duchess a few years later the house passed to Argyll's eldest daughter Caroline, the widowed Lady Dalkeith, who went on to marry Charles Townsend in 1755 and was subsequently created Baroness Greenwich in 1767 (Malden, 1911: 525-532).

5.3 Sudbrook Mansion during the late 18th and early 19th centuries

- 5.3.1 Sudbrook Mansion had already been subject to some modification and enlargement during the Second Duke of Argyll's lifetime. The 'Annexe' was built a short distance to the south-west of the house to accommodate the Duke and Duchess' five daughters, known as the "bawling Campbells" (shown to the left of the house in **Plate 2**). The most significant alteration made to the property during the 18th century however, took place a couple of decades after the Duke's death, when the house was occupied by his daughter Caroline. Around 1767 the portico at the centre of the entrance (north) front was modified, although secondary sources disagree about the purpose of the works (Friedman, 1984: 323). In his 1955 biography of Gibbs, Bryan Little proposed that the pillars of the entrance front were "bodily moved... several yards to the north" by later residents of the house, while Patricia Moxey agreed that the pillars of the north portico were "brought forward several feet to form a hall" c.1767 (Little, 1955: 96; Moxey, 1974: 76). Little maintained that the alteration was made in order to create greater width and an extra suite of rooms, while Moxey suggested that it was carried out in response to the "freezing draughts that penetrated the salon", about which Lady Mary Coke (Argyll's youngest daughter) complained in her posthumously published Journal (*ibid*).¹ The effect of this alteration can be seen in **Plates 4, 5 and 6**, which show the north portico projecting from the elevation, in contrast to the south portico, which remained unchanged from Gibbs' original design (**Plate 1**). The additional hall created on the principal floor by the extension of the north portico was used as a smoking room in 1911, while at the time of writing it was being used as the mixed bar lounge (Malden, 1911: 525-532; **Figure 10**). The alteration to the north portico also appears to have necessitated the demolition of Gibbs' original stone staircase, which was replaced by two flights of curved steps surmounted by a simple curved iron baluster.
- 5.3.2 Following Caroline's death in 1794, the house passed to her third son Henry, Third Duke of Buccleuch (Malden, 1911: 525-532; LBRT Correspondence, 26/03/1965). When Henry died in 1812 Sudbrook descended to his second son Charles, who became the Fourth Duke of Buccleuch. Following Charles' death seven years later, Sudbrook passed into the hands of the banker Thomas Raikes, who took a fourteen year lease on the house (Moxey, 1974: 78; LBRT Correspondence, 26/03/1965). In 1824 Raikes transferred Sudbrook to the politician Sir Robert Wilmot Horton, who purchased the property from the Trustees of the Duke of Buccleuch the following year (*ibid*). Wilmot Horton leased Sudbrook to John Lambton, First Earl Durham, who is reputed to have let rooms in the house to George Canning (Moxey, 1974: 78). Following a stint as Governor of Ceylon, Wilmot Horton returned to Sudbrook in the 1830s, where he died in May 1841. In 1842 the Crown purchased the estate and all the land originally belonging to Richmond Park from Wilmot Horton's widow. The

¹ On the other hand, the authors of the Victoria County History of Surrey suggested that the portico always projected from the front and was subsequently 'closed in with bricks between the columns' to form the new room. Unfortunately the VCH account confused the north and south porticos (Malden, 1911: 525-532)

estate was returned to the Park less 3 acres; a map of the Crown's Richmond Park and Sudbrook Park Estate surveyed in 1850 is reproduced here as **Figure 4**.

5.4 The Sudbrook Park Hydropathic Establishment, c.1844-c.1879

- 5.4.1 Around two years after the Crown acquired the estate, a Hydropathic Spa was founded at Sudbrook under the superintendence of a Dr Weiss of Vienna (LBRT Correspondence, 26/02/1968). Hydropathy, better known as the 'Water Cure' was a mid-19th century health craze founded by the Austrian Vincenz Priessnitz, who established a clinic at Grafenberg in Silesia (modern-day Czech Republic), where patients suffering from a wide range of ailments were treated by soaking in cold baths and showers, wrapping in wet sheets and drinking large quantities of cold water (*ibid*; *The Gentleman's Magazine*, May 1850; Richmond Society, 1980: Plate 52). At Sudbrook, Weiss established bathrooms for patients in the ancillary buildings, while residential accommodation was provided in the house itself (**Plate 2**).
- 5.4.2 Following Weiss' return to Austria on account of his poor health, the business was taken over by Dr James Ellis M.D., who had studied the Water Cure at Grafenberg under Priessnitz. An advertisement promoting the therapeutic benefits of the Sudbrook Park Hydropathic Establishment claimed "that all diseases curable, and many incurable by any previously known means, can be safely and successfully treated by a proper application of the Water Cure alone" (*The Gentleman's Magazine*, May 1850). Unfortunately for Ellis, the death in January 1844 of one of his most famous patients, the politician Sir Francis Burdett, whilst wrapped in wet cloths prescribed by his physician, raised doubts about the efficacy of the treatment available at Sudbrook (Richmond Society, 1980: Plate 53). The death of a second patient whilst under the water cure at Sudbrook in 1846 led to charges of manslaughter being brought against the doctor, who although acquitted, became the target of widespread opprobrium, albeit not always for reasons connected with the original alleged offence (**Plate 3**).
- 5.4.3 A reference in a local directory indicates that Ellis was still practising at Sudbrook in 1853 (Mason's Guide, 1853: 84). By 1860 however, he had been succeeded by Dr Edward Wicksted Lane M.D. M.A. who continued to operate a Hydropathic Sanatorium at Sudbrook for a further eighteen years (*Post Office London Suburban Directory*, 1860: 403; *Post Office Directory Surrey*, 1878: 2358). At the beginning of the 1860s the Canadian-born Lane lived at the house with his wife Margaret, their four sons, their brother-in-law (who also practised as a physician at the sanatorium), his wife and their son (TNA RG 9/459/11: 17, 18 1861). Census data confirms that the sanatorium continued to offer residential accommodation to patients, eleven of whom were in residence when the enumerator visited in 1861, together with five servants and a further five nurses and bath attendants (*ibid*). Ten years later Lane, his relatives, servants and employees lived and worked at Sudbrook Mansion, although the 1871 census suggests that the residential patients no longer stayed in the house itself but in a separate property, perhaps the Annexe complex originally built for Argyll's daughters (TNA RG 10/867/14: 19, 20 1871). The First Edition Ordnance Survey map of 1866 indicates that the ancillary accommodation at Sudbrook had been somewhat enlarged during the preceding sixteen years, while the presence of a gasometer in the grounds adjacent to the bath blocks suggests that hot water cures were being used in addition to, or instead of the traditional cold water treatments (**Figure 5**). As well as heating water the gas presumably illuminated the house, and evidence of old gaslight fittings was found during the recording exercise. The map also shows that a number of accretions had become attached to the east and west sides of the main property, including an apparent glasshouse adjacent to the west elevation.

5.5 Sudbrook Mansion as house and hotel, c.1880-c.1894

- 5.5.1 The Hydropathic Sanatorium had ceased trading by 1880, in which year a local directory indicated that the Marquis of Bute had taken up residence at Sudbrook Park (*Richmond & Twickenham Times Almanack and Richmond Directory for 1880*: 68). John Crichton-Stuart, the Third Marquis of Bute was also listed as resident in a directory of 1882, although the house appears to have been occupied by caretakers

when the census enumerator visited in 1881, suggesting that Bute was an occasional occupant (*Richmond & Twickenham Times Almanack and Richmond Directory for 1880*: 68, *Richmond & Twickenham Times Almanack and Richmond Directory for 1882*: 106; TNA RG 11/845/158: 14 1881).

- 5.5.2 Local directories of 1883 and 1884 make no reference to Sudbrook Park, suggesting that it was either empty during this period or subject to short lets only (*Richmond & Twickenham Times Almanack and Richmond Directory for 1883*; *Kelly's London Suburban Directory*, 1884). By the mid-1880s the house once again had an occupant, a Mr Joseph A Borsley, about whom next-to-nothing is known (*The Richmond Directory and Almanack for 1885*: 123; *The Richmond Directory and Almanack for 1887*: 130). A directory of 1890 indicates that a James Drummond lived at the house (*The Richmond Directory and Almanack for 1890*: 138). Census data collected the following year indicates that Drummond was a Scottish-born accountant, who lived at Sudbrook House with his wife Jessie, their four children, the gardener George Keys and his wife Mary, their four children and sister-in-law (TNA RG 12/622/112: 21 1891).
- 5.5.3 It seems that Drummond and his family were the last permanent residents of Sudbrook House, which subsequently became the premises of a residential hotel, which a directory of 1893 suggests may have been managed by a Mrs Marten (*Kelly's Richmond, Kew, Twickenham, St Margaret's, Petersham, Mortlake, Sheen and Teddington Directory for 1893-4*: 122). However the hotel does not appear to have lasted long, and as early as August 1891 four rooms on the ground floor of the house had been leased to the newly formed Richmond Golf Club (*Richmond Golf Club*, 1982: 3).

5.6 The Richmond Golf Club at Sudbrook Park, 1894-present

- 5.6.1 The Richmond Golf Club was established in February 1891 following a meeting held at the Greyhound public house in Richmond. A nine-hole course was laid out in the central portion of the Old Deer Park, opening early the following month, only the fourth golf course to open in the London area (*ibid*). Within a month a potential eighteen-hole course was marked out at Sudbrook Park by Tom Dunn, one of the foremost course designers of the period. In order to provide dressing room accommodation for club members, a number of rooms were leased at the nearby Fox and Duck Inn; these rudimentary facilities were replaced by the four rooms leased from the Sudbrook House hotel that August. In 1894 a new dressing room was built next to the south-west corner of the Annexe; this is shown on the Second Edition Ordnance Survey map of 1897, which also shows that the gasometer was still standing at this date (**Figure 6**).
- 5.6.2 The year after the map was surveyed the Richmond Golf Club acquired Sudbrook Park on a long lease from the Crown, and the Mansion has served as the clubhouse ever since. Photographs of the Mansion taken in 1904 indicate that a number of the external accretions to the house shown on the 1866 and 1897 maps had been removed since the Golf Club took possession of the premises (**Plates 4 and 5**). An Ordnance Survey map published in 1913 confirmed that these structures, including the glasshouse had been removed, while the range of buildings erected in the mid-19th century adjacent to the Annexe had been reduced and remodelled and the gasometer demolished (**Figure 7**). A series of photographs of the Golf Club, together with an Ordnance Survey map published towards the end of that decade indicates that the Mansion has remained substantially unaltered from its early 20th century appearance, although the coat of whitewash visible on the 1904 photograph of the north front portico had been removed (**Plates 4 and 6**; **Figure 8**).

6 BUILDING DESCRIPTION

6.1 Introduction

- 6.1.1 The aim of the building recording was to record those parts of the building that will be affected by the proposed works. The report considers the ground floor first, followed by the first floor, in accordance with the numbered sequence of proposed alterations shown on architects plans supplied to Pre-Construct Archaeology Limited and contained within this report (**Figure 12** [1-11] and **Figure 13** [1-13]). The alterations to the external elevations, although not numbered on these illustrations, are discussed in the text when they relate to numbered internal changes, e.g. the external platform lift is discussed alongside ground floor alteration 4 and the external pipe work changes are discussed alongside first floor changes 6 and 11.

6.2 Ground Floor Alterations (Figures 9, 12 and 14)

- 6.2.1 A modern stainless steel cold room had been installed in the north-west corner of the Kitchen G6 (**Plate 9**). This small rectangular structure was built against internal partition walls that were not original to the early 18th century construction of the building. The northern half of this room was originally the same size as room G14 on the east side of the building. The removal of the cold room [1] should therefore have a minimal impact on historic fabric and enlarge the working space available to the modern kitchen.
- 6.2.2 It is proposed to move the cold room from Kitchen G6 to the present Bar Cellar G1, in the c.1767 north extension. This room at the time of recording contained many beer barrels for the bar on the floor immediately above. Like the rest of the building the walls were constructed of brick. The Bar Cellar G1 is a rectangular room with a modern inserted doorway on the east side, and a brick pillar has also been recently constructed adjacent to this door for structural reasons. The doorway was not the original entrance to the room; the original entrance is on the south side and has been blocked (**Plate 10**). The room has two original recessed window openings in the north and west elevations, both of which have been covered over (**Plate 11**). The floor is covered with a concrete screed.
- 6.2.3 Several original features survive in this room; these may be affected by the proposed alterations [2]. These proposals involve the relocation of the bar cellar facilities to the present General Store G17, and the refurbishment of the room to house two rows of built-in stainless steel refrigeration units. The existing doorway is to be blocked and the original entrance doorway in the south wall is to be reopened. On the west side of the room is a plastered original chimney breast with a covered, arched fireplace opening. On the east wall of the room is the fitting for a gas light.
- 6.2.4 Although the floor is concrete, original stone paving may survive *in-situ* beneath, and if so it is proposed to be removed and reused in repairs elsewhere. The floor will then be relaid with ceramic non-slip flooring. With a fireplace, gas lighting and windows in two elevations it is possible that this room was designed to be occupied by a senior member of the household staff.
- 6.2.5 The bar cellar facilities are to be moved to the General Store G17 which is on the east side of the c.1767 north extension to the building. This small rectangular room has timber partition walls, a four panel timber door and a toilet cubicle inserted on the east side (**Plate 12**). This appeared to be of mid-20th century date and of little historic significance. The room has two original recessed windows in its north and east walls, one of which is exposed and still has its original timber shutters. The floor consists of stone paving and is in good condition (**Plate 13**).
- 6.2.6 The proposals for this General Store G17 require the removal of the inserted toilet cubicle and the redecoration of the room [3]. The stone paved floor is to be removed and the slabs reused for repairs elsewhere and the surface relaid with ceramic non-

slip flooring. The room will then be re-equipped to function as the bar cellar housing the barrels for the first floor Golf Club bar above.

- 6.2.7 An impressive feature of the 18th century building is the sweeping stone staircase and raised principal floor entrance to the north elevation of the building (**Figure 10; Plate 7**). Against the west side of this structure is to be added a point of disabled access, consisting of a platform lift and a resin bound gravel path laid across the present lawn and flower bed (**Plate 14**). The raised entrance structure is supported internally by the two ground floor brick vaulted rooms G19. The northernmost of these is the larger space with a barrel vault and a cracked stone paved floor (**Plate 15**). At the north end of this room is a hatch in the external wall to cater for deliveries to the ground floor service rooms (**Plate 16**). These are original (i.e. c.1767) features and the room is at present still used for barrel and bottle deliveries for the bar. The smaller southern part of G19 is currently used for storage and has two blocked windows in its east and west walls and the ceiling is brick vaulted (**Plate 17**). A redundant toilet cistern is fixed to the north wall, which indicates that this space had a different function during the mid-20th century. The floor is covered by the same original stone paving seen in the northern part of G19, which is similarly worn and cracked from the movement of heavy goods.
- 6.2.8 It is proposed that the internal surfaces of these rooms are to be redecorated, a new stone floor provided and sealed and the cistern and pipe work are to be removed [5]. Externally, the new platform lift will be installed against the elevation with its blocked window and a waterproof box for the lift controls [4].
- 6.2.9 Corridor 1, an east-west passage on the north side of the ground floor of the main house connects the east and west suite of rooms, the rooms in the north extension and the central block of ground floor rooms (**Plate 18**). At its east end, the corridor no longer provides access to the east rooms and so has been utilised for storage, Store G15 (**Plate 19**). At the west end, outside the Kitchen G6, the flooring in this passage has recently been updated with small square Quarry tiles and an area of concrete. This is proposed to be extended to cover the rest of the passage and the original paving to be removed [6].
- 6.2.10 The majority of the existing floor surface appears to be original and consists of two materials that form a main central section and two narrower outer bands parallel with the walls. This attractive design consists of a central section of large stone slabs and outer bands of terracotta tile, which although a little uneven and worn, appeared to be in good condition. However, the relocation of the cold room from the Kitchen G6 to G1 will mean that foodstuffs will be frequently moved along this corridor and a more hygienic floor covering is required.
- 6.2.11 In the centre of the c.1767 north extension on the ground floor is a connecting passage, Corridor 2 (**Plate 20**). The only proposed alteration here is to repair the existing stone paving [7]. This consists of large stone slabs which are cracked and uneven, probably due to the movement of heavy goods over many years from the delivery hatch to the rest of the ground floor. Broken slabs are to be replaced and previous concrete repairs are to be repaired with reused stone from other parts of the ground floor where historic flooring is to be removed. This programme of stone floor repair is also to be carried out in the central north-south passage, Corridor 3 (**Plate 21**). Here the stone paved floor is in slightly better condition with fewer cracked slabs.
- 6.2.12 At the southern side of the ground floor is an east-west aligned passage, Corridor 4 (**Plates 22 and 23**). This connected the east and west suite of rooms, the central block of rooms and the store room below the south elevation principal floor entrance staircase. There is also an exit to the exterior of the building to the west of this staircase. In Corridor 4, the floor is covered with rectangular terracotta tiles laid in east-west rows. The proposal [8] is to repair these where they are broken and for them to be cleaned and sealed. The worst affected areas are where this flooring has suffered from the most traffic, namely in the doorways at the east end and to the exterior where they have become uneven, broken and some previous concrete repairs have been attempted.

- 6.2.13 Wash Up room G20 is located in the north-west corner of the central ground floor block of rooms (**Plate 24**). This square room is brick vaulted and has a bank of modern sinks against its south wall. Beneath the arch of the vault against the west wall are large brick supported shelves. The wide two panelled timber door has two small vents in its upper section and the floor is stone paved, in good condition, with a central shallow stone gully running north to south. This empties into an open circular drain through the stone paving (**Plate 25**). The room may originally have been a pantry or food store requiring ventilation and drainage.
- 6.2.14 It is proposed to completely remove the stone floor in this room and retain the slabs for reuse in repairs elsewhere on the ground floor [9]. A new non-slip ceramic tiled floor will be laid and the drainage is to be repaired and upgraded.
- 6.2.15 On the south side of the east suite of rooms are the Ladies Powder Room and Toilets G10 and a Temporary Store G9. In the Ladies Toilets, a former doorway at the south end of the west wall has been blocked and filled flush with the wall (**Plate 26**). In the Powder Room, the brick arched head and doorway width could be identified as it was not completely filled, but left recessed and used for shelves. The proposal with this former opening is to reverse the recess to create a cupboard in the Ladies Toilet and leave a flush finish in the Powder Room.
- 6.2.16 The Ladies Powder Room and Toilets G10 and a Temporary Store G9 has been partitioned from an originally single space with a north-south wall. In the Ladies Powder Room and Toilets G10 this wall has been fitted with a large mirror and a fitted desk along its length with three sinks at its southern end (**Plate 27**). The top of the partition has also been fitted with a cornice moulding that does not continue onto adjoining walls. This cornice is also found on the other side of the wall in the Temporary Store G9, where it continues around the rest of the room (**Plate 28**). This room is currently used as a store and has a covered fireplace in the north-west corner. At the time of the recording, it was not possible to see if this had any historic fire grate or surround, but the hearth consists of rectangular green glazed tiles.
- 6.2.17 It is proposed to remove the partition wall and incorporate the Temporary Store G9 into a larger Ladies Powder Room [10]. This enlargement will include the installation of two new shower cubicles against the chimney breast in the north-west corner and the relocation of the three sinks against the west wall, where they will block the present doorway into Corridor 4. The existing timber two panel door will be retained and kept locked shut.
- 6.2.18 Beneath the south principal floor entrance staircase is a small space used for storing maintenance equipment, Store G45. This space is entered from Corridor 4 and has a wide partially glazed timber door. The main space is brick vaulted with two blocked archways in the east and west walls that each has a small window (**Plate 29**). Beyond the main space were two smaller areas each with a narrow arched doorway, where the brick vault ceiling arched down to the southern end of the space (**Plate 30**).
- 6.2.19 It is proposed to modify Store G45 [11] in order to accommodate the chiller plant for the new Cold Room fridges and freezers in G1. This should have a minimal impact on the historic fabric of the space, except for the installation of acoustic timber louvres in both of the blocked archways in the east and west walls. The blocking of these archways and the installation of windows is not thought to predate the 20th century as the exteriors are cement rendered (**Plate 31**). A photograph showing Dr Lane and his staff and patients taken between c.1860 and c.1878 indicates that the arches were open at this time, providing access to the main entrance to the ground floor rooms (Richmond Society, 1980: plate 52). The glazed door to the Store G45 would therefore have been more important as the front door and may explain why this door has a stone threshold (when others are timber), a lock and internal bolt, is glazed with nine square panes of glass and with two lower panels would appear to be of a higher quality finish than others on the ground floor (**Plate 32**). The fact that Corridor 4 has a terracotta tiled floor may indicate a greater status given to this area as an entrance passage. This would also tally with the design of the north elevation where deliveries could be made.

6.3 First Floor Alterations (Figures 11, 13 and 15)

- 6.3.1 The first floor was the uppermost floor of the building and would have originally housed the main private rooms of the house, including bedrooms. The centre of the building on the south side was originally the grand entrance hall (Dining Room P7 (salon or cube room), labelled VOID on **Figures 13** and **15**) and as this is double height it divides the first floor into three distinct areas. The east and west suites of rooms both have a staircase connecting them with all floors below. The two rooms of the c.1767 north extension have a passage along their south side connecting them with the east and west rooms. The proposals for alterations on this floor were confined to the c.1767 north extension and the west suite of rooms and are designed to create a shared staff flat.
- 6.3.2 West room F1 is the larger of the two rooms in the north extension and has two windows in the north elevation and one in the west elevation. The room has a doorway into Corridor F17 to the south and another into Room F16 to the east. Within the west wall of the room is a flue rising from fireplaces on the ground and principal floors (**Figures 9** and **10**) and a fireplace with a white marble surround is located in the middle of the wall (**Plate 33**). This has a raised tiled hearth that is not original and it is proposed to remove this and replace it with a 25mm slate hearth level with the floor **[1]**.
- 6.3.3 As part of the proposal to create a bedroom in this room, the connecting six panel timber door with F16 will be sealed, treated with intumescent paint in frame rebates and made flush on the east side **[2]** (**Plate 34**). The room will become Bedroom 1 of the flat and will be redecorated and corridor doors will be provided with intumescent paint in frame rebates **[3]**. The existing modern cupboards that have been constructed in the window niches will also be removed and panelling repaired **[4]** and the modern radiator on the south wall will be replaced with a new panel radiator (**Plate 35**).
- 6.3.4 Room F16 has a window in its north and east walls, a fireplace in its east wall and a six panel timber door connecting it with Corridor F17 to the south. Like Room F1, window openings and doorways retain their moulded timber architraves, panelling and shutters and walls retain moulded skirting boards, but unlike Room F1 where there is a moulded cornice, in this room it had been replaced with a simple concave moulding (**Plate 36**). The proposal is to make this room into Bedroom 2 of the new shared staff flat, by retaining and blocking the connecting door, redecorating and replacing the radiator **[3]**.
- 6.3.5 At the west end of Corridor F17, a new self closing fire door will be installed **[5]** at the foot of a short flight of steps to match the existing six panel doors of the first floor and a plain 20th century door will be removed (**Plate 40**). This passage has three large roundels in its south wall with decorative timber architraves (**Plates 37** and **38**). These have in their centre a square glazed panel. While the purpose of these roundels is not immediately clear when viewed from Corridor F17, their function is apparent when viewed from the other side (**Plate 39**).
- 6.3.6 The roundels are key elements of the design of Dining Room P7 (salon or cube room), mirroring the round windows in the south elevation and the blind roundels of the east and west walls. In the centre of each of the three corridor roundels was a glazed panel that originally illuminated the double height Dining Room (salon or cube room) (see **Plate 1**). This glazing has been painted over and it is proposed that it is retained and upgraded to give it a one hour fire protection rating. At the east end of the passage the present door is to be retained, kept locked and alarmed so as to maintain a separation between the new flat and the existing General Manager's Flat in the eastern suite of rooms.
- 6.3.7 The present Store F2 was one of the main rooms of the original symmetrical first floor room layout. The room has two large windows in the north elevation and would have had a fireplace in the south-east corner, although only the chimney breast remains (**Plates 40** and **41**). The room is lit by large fluorescent tubes hanging from the ceiling

and does not have any decorative cornice, although original moulded timber architraves around the doors and windows survive.

- 6.3.8 On the south side of the room is a modern boxed-in section containing two large ducts from the kitchens on the ground floor below. As part of the proposed redecoration of this room [3] joinery is to be repainted, door rebates provided with intumescent paint, radiators replaced and the existing plywood of the duct boxing is to be replaced. This is to provide one hour fire protection with 12mm supalux sheeting and the boxing is to be refaced with timber cladding to keep it in the style of the period of the room [7]. In the north-west corner of the room is a modern flush door to a small room, Store F3. Proposals are to remove this door and replace it with a panelled door to match original examples elsewhere in the house [10]. The door would be kept shut and locked and the doorway on the Room F3 side would be infilled, as this is to become a separate space with a new access. At the south end of the west wall of Room F2 is an original panelled entrance door to the room from the west stairs F5. This would be secured to provide a new single point of access to the new lounge of the flat in the south wall. This provision involves the reinstatement of part of an original east-west wall and the installation of a new panelled door [5] (Plate 44).
- 6.3.9 On the west side of the Store F2 there are two large cupboards each fitted with two full height doors with shelves in each. It is understood that the cupboards were moved here in the late 20th century when the kitchen was stripped out (Richard Young, architect, pers. comm.). The cupboards have a moulded cornice and the doors are of four panels with H-type hinges (Plate 42). These were common during the second half of the 17th century and the early 18th century (Hall, 2007: 53). They were mostly used for lighter internal and cupboard doors as they were not robust enough for heavier external doors and their design meant they could be elaborate for decorative effect with chamfered edges ornately shaped ends. These are exactly what are found on the cupboard doors both in Stores F2 and F8 (Plate 45). This would seem to date these timber cupboards to the late 17th or early 18th century as during the course of the 18th century the decorative ends are lost and the plain H-hinge became the ubiquitous form. On the inside face of the cupboard doors there are several interesting and original hand-made iron bolts (Plate 43). Proposals were to remove both these cupboards [8], however the approved revised schedule of work is now to retain them.
- 6.3.10 It is proposed to convert Store F8 into a kitchen. This room has an arched window in the south wall with moulded architrave. The room has previously been modified and fitted with a number of sinks that have since been removed. At the time of the survey it was being used to store a large number of chairs, so access and inspection of the room was limited (Plate 45). A new partition wall is to be built and new units and services installed for the kitchen.
- 6.3.11 The adjacent Temporary Store F9 is to be redecorated to become Bedroom 3 for the flat [3]. This room was again being used for chair storage and access was limited but it has retained its original floor to ceiling timber panelling, architraves and fire surround (Plate 46). With only redecoration proposed for this room, these elements will not be affected by the proposals [3].
- 6.3.12 In the south-west corner of the first floor are a small Store F6, with an old hoist, and Bathroom F7. While access could not be gained to Room F6, Room F7 was seen to retain its original decorative timber panelling and timber shutters across the arched sash window in the south wall (Plates 48, 49 and 50). The west wall also has a chimney breast with a modern bath and tiling positioned across it. The proposal is for the partition between the rooms and the hoist to be removed and the room returned to its original size [6]. The room is to remain a bathroom, with a new location for the bath, toilet and sink and the panelling retained. While plumbing already exists for this bathroom, the pipework on the external elevation is to be modified and the existing soil drainage pipe is to be enlarged (Plate 47).
- 6.3.13 In the north-west corner of the first floor a second bathroom is to be installed. This space is currently occupied by Toilet F4 and Store F3. Toilet F4 is a small space just

big enough to accommodate a modern toilet and cistern and no wider than the width of the arched, timber shuttered and panelled window in the west wall (**Plate 51**). This room is to be refurbished and a small sink installed. The present Store F3 is to become the bathroom with a new shower, sink and toilet installed. The access is to be reoriented from the present doorway in the east wall to the Store F2, which is to be blocked, to a new opening in the south wall **[11]** (**Plate 52**). The new doorway will have a timber door created from the removed wall panelling. The new bathroom will need to be connected to the drainage system and with minimal impact and alteration to the external west elevation of the building the existing pipe work for the toilet in Room F4 is to be extended (**Plate 53**).

7 DISCUSSION AND CONCLUSIONS

- 7.1 The Grade I Listed Sudbrook Mansion was built by the renowned architect James Gibbs for James Campbell, Second Duke of Argyll during the second decade of the 18th century. The house was one of the earliest examples of a Villa, a type of domestic architecture new to Britain which typically comprised a compact suburban seat used as an occasional residence by its owners. The principal external elevations (entrance on the north side and garden on the south) of the house were conventionally Palladian in design, featuring two raised central porticos comprised of two Corinthian columns and two pilasters supporting raised straight balustrades. The centrepiece of Gibbs' design was the salon or cube room, which originally extended across the entire width of the house and was lit by the porticos on each side. The room was elaborately decorated, featuring giant coupled pilasters, a coved ceiling and an ornate marble fireplace by Michael Rysbrach. Gibbs published drawings of Sudbrook Mansion in his *Book of Architecture* in 1728, which showed a slightly idealised version of the house.
- 7.2 Sudbrook Mansion was altered during the second half of the 18th century, probably around 1767, when the entrance front (north) portico was extended to the north, creating a new stone entrance staircase, an additional hall on the principal floor and new rooms on the ground and first floors. The late 18th century rooms on the ground and first floor were recorded archaeologically. The roundels that lit the central salon from the north were also recorded in the south wall of first floor corridor F17 during the building recording exercise.
- 7.3 Historical maps suggest that a number of minor additions were made to the exterior of the house during the mid-19th century, when Sudbrook was converted into a Hydropathic Sanatorium, at which residential patients and visitors were treated for a variety of ailments with the then-popular 'water cure'. Following the closure of the spa at the end of the 1870s the house reverted to domestic use, before becoming a residential hotel. The latter does not appear to have lasted for long, and Sudbrook Mansion became the Clubhouse of The Richmond Golf Club in 1893. Historic maps and photographs indicate that several of the outbuildings added during the mid-19th century were removed following the arrival of the Golf Club.
- 7.4 Proposals for the refurbishment of Sudbrook Mansion relate principally to the ground and first floors. An external platform lift is proposed beside the entrance steps of the north elevation to provide disability access to the principal floor. The Ladies Powder Room is to be extended and upgraded to include shower facilities. Proposed alterations to the ground floor also include relocating the cold store room, the bar cellar and a widespread upgrading of floor surfaces. On the first floor a new staff flat is to be installed with three bedrooms, a new kitchen and upgraded bathroom facilities. A new bathroom is also to be installed. These works will involve the removal of both original and non-original fabric.

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- 8.2 The project was managed for Pre-Construct Archaeology Limited by Charlotte Matthews. The building recording was carried out by Malcolm Gould. Guy Thompson carried out the documentary research. Guy Thompson (historical background) and Malcolm Gould (building descriptions) wrote this report and Hayley Baxter prepared the illustrations.

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APPENDIX 1. PHOTOGRAPHIC REGISTER

SUDBROOK MANSION, THE RICHMOND GOLF CLUB				SITE CODE : SUD12		PHOTOGRAPHER : M. Gould
DATE	FILM TYPE	FILM & FRAME NUMBER	DIRECTION	IDENTIFIER	BUILDING	COMMENTS
	Black & White	Digital				
09/03/2012	F101 1-3	D100 1	S	Sinks	G10	Ladies Toilet, west wall where cupboard to be inserted
09/03/2012	F101 4-6	D100 2	NW	Mirrored wall	G10	Ladies Powder Room, west wall to be removed
09/03/2012	F101 7-9	D100 3	S	Sinks	G10	Ladies Powder Room, west wall to be removed
09/03/2012	F101 10-12	D100 4	NW	Doors x2	G10	Entrance to Ladies Powder Room, site of new partition
09/03/2012	F101 13-15	D100 5	NNW	Lockers	G14	Ladies Locker Room and windows in north elevation
09/03/2012	F103 1-3	D100 6	SE	Window	G10	Ladies Powder Room, blocked doorway being made flush
09/03/2012	F103 4-6	D100 7	SSE	Columns	Exterior	North elevation
09/03/2012	F103 7-9	D100 8a&b	SSW	Columns	Exterior	North elevation
09/03/2012	F103 10-12	D100 9	SE	Tree stump	Exterior	East elevation with extension
09/03/2012	F103 13-15	D100 10	NW	Gravel path	Exterior	East and south elevations
09/03/2012	F105 1-3	D100 11a&b	N	Putting Green	Exterior	South elevation
09/03/2012	F105 4-6	D100 12	NW	Branches	Exterior	South elevation and west wing
09/03/2012	F105 7-9	D100 13	NE	Steps	Exterior	South and west elevations
09/03/2012	F105 10-12	D100 14a&b	ESE	Putting green	Exterior	North and west elevations
09/03/2012	F105 13-15	D100 15	E	Road	Exterior	West elevation, car park and pro shop
09/03/2012	F107 1-3	D100 16	NW	Windows	Exterior	West end of south elevation
09/03/2012	F107 4-6	D100 17	WNW	Pipe	Exterior	Ground floor west end of south elevation detail
09/03/2012	F107 7-9	D100 18	NW	Window	Exterior	First floor west end of south elevation new flue location
09/03/2012	F107 10-12	D100 19	E	Lawn	Exterior	North elevation, west side lawn location of new path
09/03/2012	F107 13-15	D100 20	E	Columns	Exterior	North elevation, detail of west side of steps, new lift location
09/03/2012	F109 1-3	D100 21	E	Blocked window	Exterior	North elevation, detail of west side of steps, new lift location
09/03/2012	~	D100 22	E	Blocked window	Exterior	North elevation, detail of west side of steps, new lift location
12/03/2012	F109 4-6	D100 23	NE	Ironing board	G9	East wall of Storeroom to be removed
12/03/2012	F109 7-9	D100 24	S	Table	G9	Storeroom south end, window and doorway in west wall
12/03/2012	F109 10-12	D100 25	NW	Lockers	G9	Storeroom northwest corner chimney breast and hearth
12/03/2012	~	D100 26	SW	Floor boards	G9	Northwest corner of Storeroom, green glaze hearth tiles detail

12/03/2012	F109 13-15	D100 27	W	Vault	Corridor 4	Grnd flr. Terracotta floor tiles, east end of southern e-w corridor
12/03/2012	F111 1-3	D100 28	W	Floor tiles	Corridor 4	Grnd flr. Terracotta floor tiles, east end of southern e-w corridor
12/03/2012	F111 4-6	D100 29	W	Floor tiles	Corridor 4	Grnd flr. Terracotta floor tiles, west end of southern e-w corridor
12/03/2012	F111 7-9	D100 30	SSW	Floor tiles	Corridor 4	Grnd flr. Threshold floor, west end of southern e-w corridor
12/03/2012	F111 10-12	D100 31	N	Stone floor	Corridor 3	Grnd flr. Threshold floor, south end of central n-s corridor
12/03/2012	F111 13-15	D100 32	N	Stone floor	Corridor 3	Grnd flr. Stone floor, south end of central n-s corridor
12/03/2012	F113 1-3	D100 33	S	Threshold	Corridor 3	Grnd flr. Central n-s corridor, south end stone floor
12/03/2012	F113 4-6	D100 34	S	Thick walls	Corridor 3	Grnd flr. Central n-s corridor, north end stone floor
12/03/2012	~	D100 35	S	Doorway	Corridor 3	Grnd flr. General view of central n-s corridor
12/03/2012	F113 7-9	D100 36	E	Shelves	G15&Corr. 1	Grnd flr. Stone & terracotta floor Store & east end north e-w corr.
12/03/2012	F113 10-12	D100 37	W	Bottles	Corridor 1	Grnd flr. Stone & terracotta floor, east end of north e-w corridor
12/03/2012	F113 13-15	D100 38	W	Shelves	Corridor 1	Grnd flr. General view of north e-w corridor
12/03/2012	F115 1-3	D101 1	W	Bottles	Corridor 1	Grnd flr. North e-w corridor central area tile & stone floor
12/03/2012	F115 4-6	D101 2	E	Red Tiles	Corridor 1	Grnd flr. North e-w corridor concrete floor at west end
12/03/2012	~	D101 3	E	Red Tiles	Corridor 1	Grnd flr. General view of north e-w corridor west end
12/03/2012	F115 7-9	D101 4	W	Doorway	G20	Grnd flr. Washing Up Room west side of central e-w corridor
12/03/2012	F115 10-12	D101 5a&b	S	Drain	G20	Grnd flr. Washing Up Room drain in stone floor below sinks
12/03/2012	F115 13-15	D101 6	E	Corridor	Corridor 4	Grnd flr. South e-w corridor and east end door to be blocked
12/03/2012	F117 1-3	D101 7	ENE	Steps	Exterior	South elevation. West side of steps with blocked doorway
12/03/2012	F117 4-6	D101 8	W	Steps	Exterior	South elevation. East side of steps with blocked doorway
12/03/2012	F117 7-9	D101 9	W	Blocked doorway	Exterior	South elevation. East side of steps with blocked doorway detail
12/03/2012	F117 10-12	D101 10	S	Door	G45	Brick vault and door into Store below south elevation steps
12/03/2012	F117 13-15	D101 11	S	Vault	G45	Store below south elevation steps, brick vaulting & double arch
12/03/2012	~	D101 12	S	Vault	G45	Store below south elevation steps, brick vaulting
12/03/2012	F119 1-3	D101 13	SE	Brick arch	G45	Store below south elevation steps, east side blocked doorway
12/03/2012	F119 4-6	D101 14	SW	Brick arch	G45	Store below south elevation steps, west side blocked doorway
12/03/2012	~	D101 15	NE	Doorway	G45	Store below south elevation steps, doorway and Corr. 4 beyond
12/03/2012	~	D101 16	SE	Brick arch	G45	Store below south elevation steps, brick arch east side
12/03/2012	F119 7-9	D101 17	E	Windows	Exterior	West elevation
12/03/2012	F119 10-12	D101 18	NE	Round window	Exterior	West and south elevations and curved wall of southwest wing
12/03/2012	~	D101 19	E	Window	Exterior	West and south elevations, detail of first floor
13/03/2012	F119 13-15	D101 20	N	Kitchen	G6 & G21	Northwest corner of Kitchen with cold room to be removed
13/03/2012	F121 1-3	D101 21a&b	NNW	Doors	G6 & G21	North end of Kitchen, entrance doors and door to cold store
13/03/2012	~	D101 22	S	Kitchen	G6 & G21	General view into Kitchen, cold room on right
13/03/2012	F121 4-6	D101 23	NE	Crates	G17 & G18	General Store east side Corr. 2, stone floor and Toilet Cubicle

13/03/2012	~	D101 24	NE	Toilet cistern	G18	Toilet Cubicle east side G17, covered window and 4 panel door
13/03/2012	F121 7-9	D101 25	N	Shutters	G17	General Store, detail of window shutters in north wall
13/03/2012	F121 10-12	D101 26	SW	Door	G17	General Store, west side and 4 panel door
13/03/2012	F121 13-15	D101 27	SW	Stone floor	G17	General Store, stone floor to be removed for new beer store
13/03/2012	F123 1-3	D101 28	N	Corridor	Corridor 2	Grnd flr. General view along n-s Corridor 2 from south end
13/03/2012	F123 4-6	D101 29	N	Stone floor	Corridor 2	Grnd flr. Stone floor at south end of n-s Corridor 2
13/03/2012	F123 7-9	D101 30	N	Doorway	Corridor 2	Grnd flr. Stone floor outside G1 and G17 central area Corridor 2
13/03/2012	F123 10-12	D101 31	N	Stone step	G19	Stone floor, to be renewed in former WC area
13/03/2012	F123 13-15	D101 32	NW	Door	G1 & Corr.2	Inserted doorway into G1 from n-s Corridor 2, to be blocked
13/03/2012	F125 1-4	D101 33	S	Corridor	Corridor 2	Grnd flr. General view of south end of n-s Corridor 2
13/03/2012	F125 5-7	D101 34	NW	Vault	G19 South	Former WC area blocked window on west side
13/03/2012	F125 8-10	D101 35	NE	Blocked window	G19 South	Former WC area blocked window on east side
13/03/2012	F125 11-13	D101 36	N	Doorway	G19 North	Beer Delivery Room below steps of north elevation
13/03/2012	F125 14-15	D101 37	S	Barrel vault	G19 North	Beer Delivery Room below steps of north elevation
13/03/2012	F127 1-3	D102 1	N	Bottles	G19 North	Threshold step and stone floor in Beer Delivery Area
13/03/2012	F127 4-6	D102 2	N	Boxes	G19 North	Beer Delivery Room north end, stone floor damage from deliveries
13/03/2012	F127 7-9	D102 3	S	Barrels	G1	Bar Cellar with blocked door in south wall
13/03/2012	F127 10-12	D102 4	NNW	Blocked windows	G1	Bar Cellar with blocked windows in north and west walls
13/03/2012	~	D102 5	NE	Hooks	G1	Bar Cellar, e-w aligned timber beams with metal hooks
13/03/2012	~	D102 6	ENE	Barrels	G1	Bar Cellar, east side with barrels and concrete floor
13/03/2012	~	D102 7	SSW	Air Con. units	G1	Bar Cellar, blocked door in south wall
13/03/2012	~	D102 8	E	White wall	G1	Bar Cellar, east wall with remains of gas lamp fitting
13/03/2012	~	D102 9	SW	Barrels	G1	Bar Cellar, chimney breast and blocked fireplace in west wall
13/03/2012	~	D102 10a&b	E	Brick pillar	G1	Bar Cellar, inserted door in east wall and modern brick pillar
13/03/2012	~	D102 11	SW	Brick wall	Corridor 2	Grnd flr. Blocked east doorway into G1 from n-s Corridor 2
13/03/2012	F127 13-15	D102 12	NE	Cables	Corridor 1	Grnd flr. Blocked south doorway into G1 from e-w Corridor 1
14/03/2012	F129 4-6	D102 13	SSE	Doorway	F16	East room north portico, south end of room and doorway
14/03/2012	F129 7-9	D102 14	E	Windows x2	F16	East room north portico, NE side of room, window and fireplace
14/03/2012	F129 10-12	D102 15	NW	Windows x3	F1	West room north portico, 3 windows in north wall
14/03/2012	F129 13-15	D102 16	W	Fireplace	F1	West room north portico, n. & w. side window and fireplace
14/03/2012	F131 1-3	D102 17	SW	Doorway	F1	West room north portico, south side door and modern radiator
14/03/2012	F131 4-6	D102 18	NE	Windows x2	F1	West room north portico, north windows and door in east wall
14/03/2012	F131 7-9	D102 19	NW	Fireplace	F1	West room north portico, fireplace in west wall and windows
14/03/2012	F131 10-12	D102 20	E	Doorway	F17	E-w corridor and door at east end, roundel with glazed panel
14/03/2012	~	D102 21	ESE	Door	F17	E-w corridor and door at east end, roundel with glazed panel

14/03/2012	F131 13-15	D102 22	W	Corridor	F17	E-w corridor from east end with roundels x3
14/03/2012	F133 1-3	D102 23	WSW	Roundel	F17	E-w corridor, west end with roundel and door into F2
14/03/2012	F133 4-6	D102 24	E	Corridor	F17	E-w corridor, west end and centre with roundels
14/03/2012	F133 7-9	D102 25	W	Cupboards	F2	Store room, cupboards and doors x2 in west wall
14/03/2012	F133 10-12	D102 26	W	Shelves	F2	Store room, shelves in cupboards on west side of room
14/03/2012	F133 13-15	D102 27	SW	Latch	F2	Store room, detail of cupboard door latch iron
14/03/2012	~	D102 28	SW	Latch	F2	Store room, detail of cupboard door latch iron
14/03/2012	~	D102 29	SW	Latch	F2	Store room, detail of cupboard door latch iron
14/03/2012	~	D102 30	WSW	Hinge	F2	Store room, detail of cupboard corner, cornice and strap hinge
14/03/2012	~	D102 31	W	Hinge	F2	Store room, detail of cupboard strap hinge
14/03/2012	F135 1-3	D102 32	S	Chimney breast	F2	Store room, south side, chimney breast and mod boxed in vents
14/03/2012	F135 10-12	D102 33	NE	Window & door	F2	Store room, detail of window and door in NE corner to F17
14/03/2012	F135 4-6	D102 34	W	Cupboards	F2	Store room, west side with cupboards and NW corner
14/03/2012	F135 7-9	D102 35	NW	Windows x2	F2	Store room, north side of room with windows in north wall
14/03/2012	F135 13-15	D102 36	NW	Window & door	F2	Store room, detail of window and door in NW corner
14/03/2012	F129 1-3	D102 37	N	Door	F16	East room north portico, north windows
14/03/2012	F137 1-3	D103 1	NNE	Windows x2	F2	Store room, north side of room windows in north wall
14/03/2012	F137 4-6	D103 2	SSW	Doors x2	F2	Store room, SW corner 6 panel doors entering from F5 landing
14/03/2012	F137 7-9	D103 3	SE	Chimney Breast	F2	Store room, south side, chimney breast and mod boxed in vents
14/03/2012	F137 10-12	D103 4	S	Window	F8	Store, stacked chairs old cupboard on left
14/03/2012	F137 13-15	D103 5	ESE	Cupboard	F8	Store, e. side with strap hinge on cupboard & 6 panel door to F9
15/03/2012	F139 1-3	D103 6	NE	Chimney breast	F9	Temp. Store, chimney breast marble surround, panelling NE side
15/03/2012	F139 4-6	D103 7	SE	Window	F9	Temp. Store, east and south walls panelling and window
15/03/2012	F139 7-10	D103 8	SW	Door	F9	Temp. Store, 6 panel door and panelling west side of room
15/03/2012	F139 11-13	D103 9	S	Door	F9	Temp. Store, general view s end, panelling and arched window
15/03/2012	~	D103 10	NW	Panel	F9	Temp. Store, detail of lower panelling, dado and skirting
15/03/2012	F139 14-15	D103 11	SW	6 Panel door	F8 & F2	Door into F8 and glazed tiling for row of sinks now removed
15/03/2012	F141 1-3	D103 12	NW	Doors x2	F8 & F2	Wide opening between rooms to be blocked
15/03/2012	~	D103 13	NW	Doors x2	F8 & F2	Wide opening between rooms with entrance doors
15/03/2012	F141 4-6	D103 14	S	Stairs	F5	West Stairs Landing, looking south toward bathroom
15/03/2012	F141 7-9	D103 15	SW	Doorway	F6 & F7	Store and Bathroom, entrance doors
15/03/2012	F141 10-12	D103 16	SSE	Sink	F7	Bathroom, east side, sink and disused door east wall
15/03/2012	F141 13-15	D103 17a&b	SW	Bath	F7	Bathroom, shuttered window and bath in panelled room
15/03/2012	~	D103 18a&b	NW	Bath	F7	Bathroom, northwest corner with inserted partition & cupboard
15/03/2012	~	D103 19	NE	Door	F7	Bathroom, entrance doorway and wall panelling

15/03/2012	F143 1-3	D103 20	NW	Window	F5	First floor landing west staircase and window in west wall
15/03/2012	F143 4-6	D103 21	N	Doors	F5	First floor landing west staircase, doors into F2 and F8
15/03/2012	F143 7-9	D103 22	NW	Stairs	F5	First floor landing and west staircase down
15/03/2012	F143 10-12	D103 23	NE	Banister	F5	View from west staircase to first floor landing
15/03/2012	F143 13-15	D103 24a&b	NNE	Stairs	F5	View from west staircase to banister first floor landing
15/03/2012	~	D103 25	N	Cupboard	F4	Cupboard in entrance lobby to WC
15/03/2012	~	D103 26	N	Ceiling	F4	Ceiling cornice detail in entrance lobby to WC
15/03/2012	~	D103 27	W	Toilet	F4	Toilet Cubicle, arched window, panelled wall and door
15/03/2012	~	D103 28	SE	Stairs	F5	West staircase and view up to first floor landing
15/03/2012	~	D103 29	S	Landing	Below F5	West Staircase, mezzanine landing below F5 first floor landing
15/03/2012	~	D103 30	NW	Landing	Below F5	West Staircase, mezzanine landing below F5 first floor landing
15/03/2012	~	D103 31	N	Landing	Below F5	West Staircase, mezzanine landing below F5 first floor landing
15/03/2012	~	D103 32a&b	SW	Banister	P4	West staircase, principal floor landing, banister and stairs up
15/03/2012	~	D103 33	NE	Banister	P4	West staircase, principal floor landing, banister and stairs up
15/03/2012	~	D103 34	N	Door	G4	West staircase, ground floor hallway
15/03/2012	~	D103 35	NNE	Ceiling	P7	Principal floor Dining Room, north side vaulted ceiling F17 roundels
15/03/2012	~	D103 36	NNE	Tables	P7	Principal floor Dining Room, north side with vaulted ceiling
15/03/2012	~	D104 1	NE	Diners	P7	Principal floor Dining Room, east side, columns, vaulted ceiling
15/03/2012	~	D104 2	W	Fireplace	P7	Principal floor Dining Room, west side fireplace, flanking doors
15/03/2012	~	D104 3	W	Fireplace	P7	Principal floor Dining Room, west side with vaulted ceiling
15/03/2012	~	D104 4	SSW	Windows x3	P7	Principal floor Dining Room, south side with windows
15/03/2012	~	D104 5	WNW	Bar	P1	Mixed Bar Lounge, north portico modern bar, fireplace
15/03/2012	~	D104 6	SSW	Windows x2	P8	Trophy Room, panelling and tall arched windows in south wall

Room Identification Key

- G Ground Floor Rooms
- P Principal Floor Rooms
- F First Floor Rooms

APPENDIX 2: OASIS FORM

IOASIS ID: preconst1-124556

Project details

Project name Historic Building Recording of Sudbrook Mansion, The Richmond Golf Club, Sudbrook Park, London TW10 7AS

Short description of the project Pre-Construct Archaeology Ltd was commissioned by GHK Architects on behalf of The Richmond Golf Club to undertake a project of building recording at Sudbrook Mansion, Sudbrook Park, London Borough of Richmond upon Thames. The building recording was carried out to English Heritage Level 2. The work was required by the Local Planning Authority in respect of planning permission granted for a number of alterations on the ground and first floors and modifications to external pipe work. Sudbrook Mansion is Grade I Listed and lies within the Petersham Conservation Area. Sudbrook Mansion was built by the architect James Gibbs for James Campbell, Second Duke of Argyll c.1715-1719. The house was one of the earliest British examples of a Palladian villa, a compact suburban seat used as an occasional residence by its owners. The centrepiece of Gibbs' design was the salon or cube room, which originally extended across the entire width of the house and was lit by raised central porticos on the north and south fronts. Sudbrook Mansion was altered c.1767, when the north portico was extended, creating a new stone entrance staircase, an additional hall on the principal floor and new rooms on the ground and first floors. The latter rooms and the roundels that originally lit the salon from the north were recorded during the building recording exercise.

Project dates Start: 09-03-2012 End: 15-03-2012

Previous/future work No / Not known

Any associated project codes reference SUD12 - Sitecode

Type of project Building Recording

Site status Listed Building

Site status Conservation Area

Current Land use Community Service 2 - Leisure and recreational buildings

Monument type COUNTRY HOUSE Post Medieval

Significant Finds NONE None

Project location

Country England

Site location GREATER LONDON RICHMOND UPON THAMES RICHMOND UPON THAMES Sudbrook Mansion

Postcode TW10 7AS

Study area 1826.00 Square metres

Site coordinates TQ 18455 72575 51.4392681818 -0.295512889556 51 26 21 N
 000 17 43 W Point

Project creators

Name of Pre-Construct Archaeology Ltd
 Organisation

Project brief Local Planning Authority (with/without advice from County/District
 originator Archaeologist)

Project design Charlotte Matthews
 originator

Project Charlotte Matthews
 director/manager

Project supervisor Malcolm Gould

Type of Golf Club
 sponsor/funding body

Name of The Richmond Golf Club
 sponsor/funding body

Project archives

Physical Archive No
 Exists?

Digital Archive LAARC
 recipient

Digital Archive ID SUD12

Digital Contents 'Survey'

Digital Media 'Images raster / digital photography','Text'
 available

Paper Archive LAARC
 recipient

Paper Archive ID SUD 12

Paper Contents 'Survey'

Paper Media 'Photograph','Report','Survey ','Unpublished Text'
 available

Project bibliography 1

Publication type Grey literature (unpublished document/manuscript)

Title Historic Building Recording of Sudbrook Mansion, The Richmond
 Golf Club, Sudbrook Park, London Borough of Richmond upon
 Thames TW10 7AS

Author(s)/Editor(s) Thompson, G. and Gould, M.

Date 2012

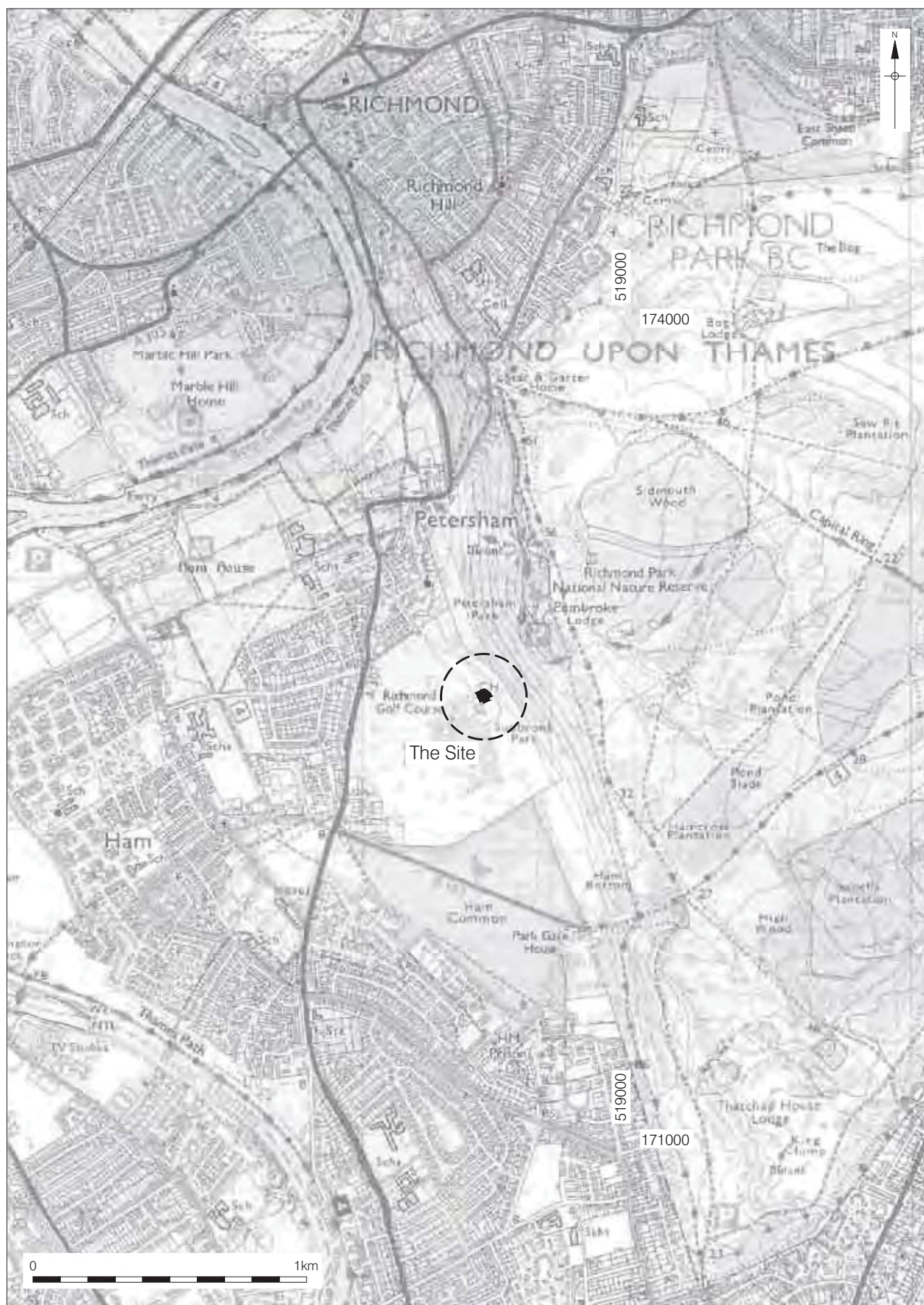
Issuer or publisher Pre-Construct Archaeology Ltd

Place of issue or London
publication

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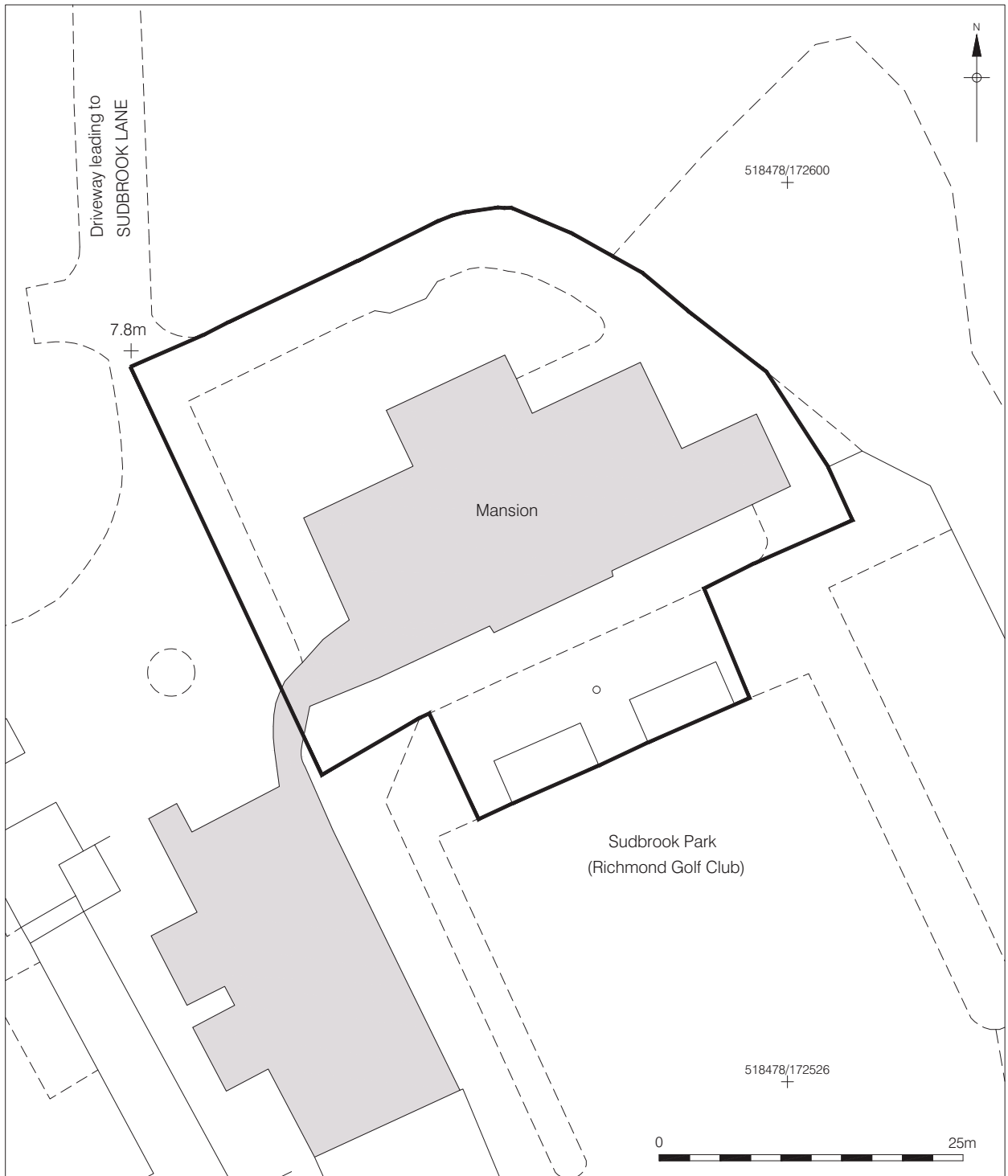


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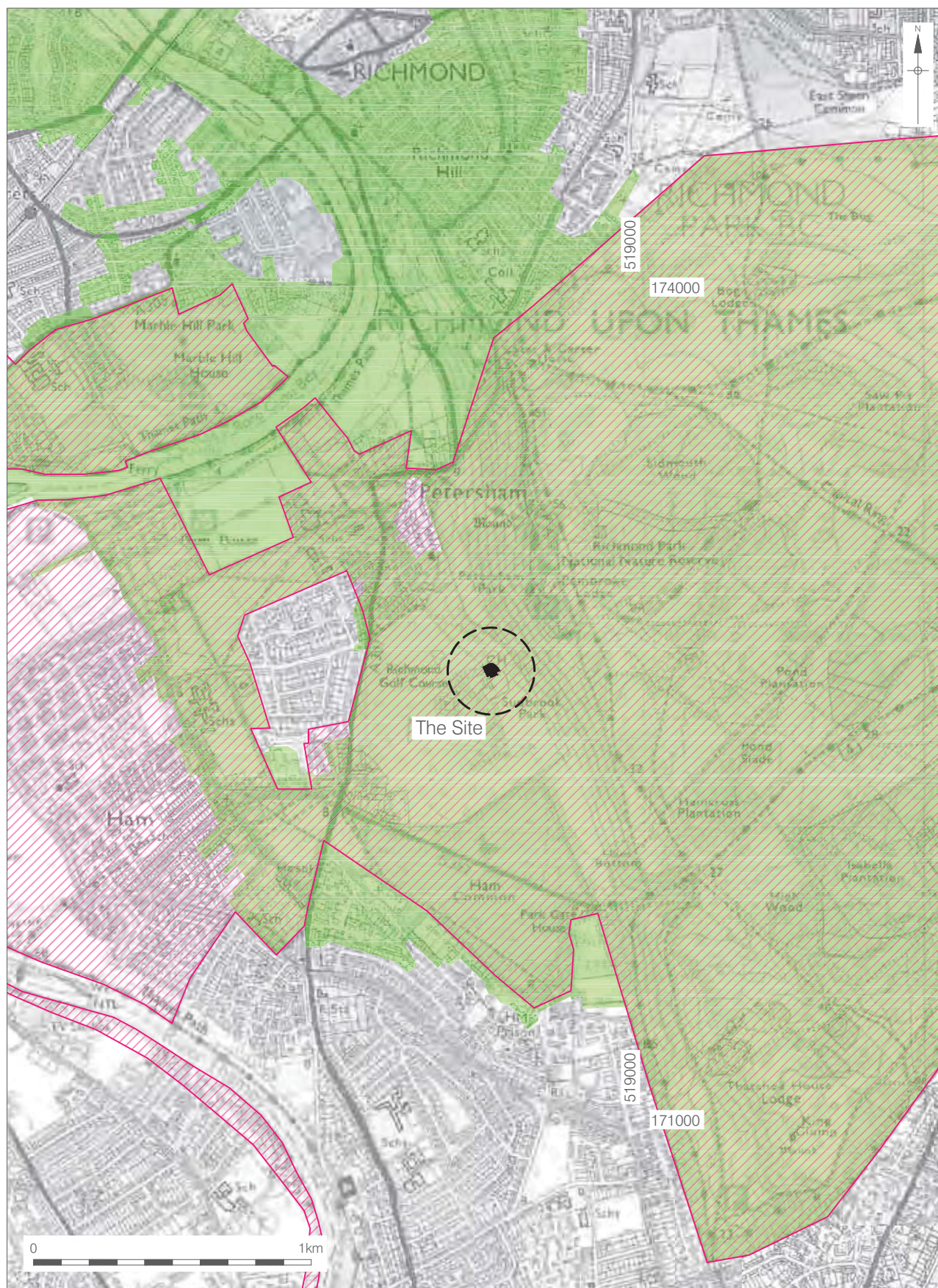
HB 26/04/12

Figure 1
Site Location
1:20,000 at A4



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 HB 26/04/12

Figure 2
 Detailed Site Location
 1:500 at A4



- Conservation Area
- Archaeological Priority Area

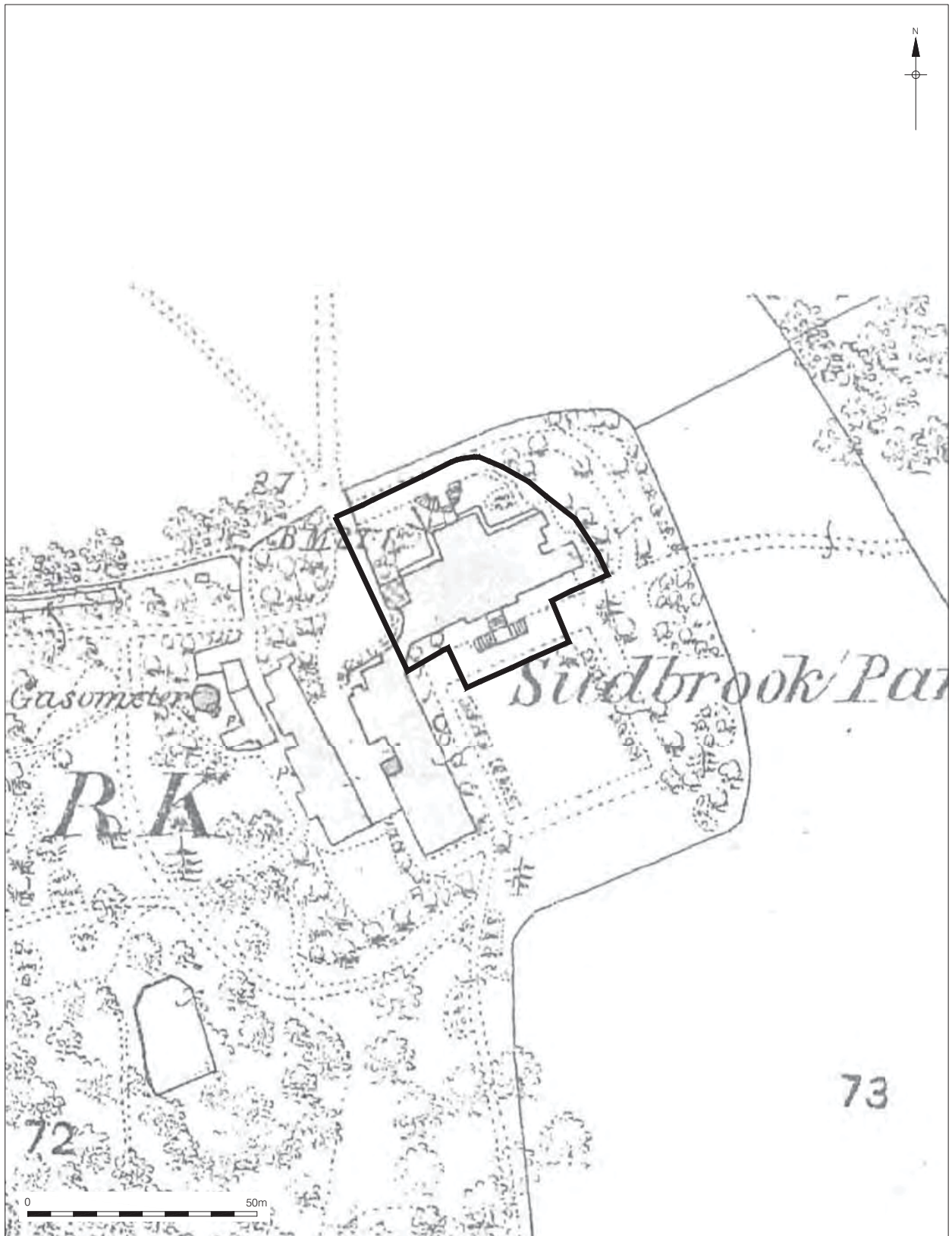
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Figure 3
 Conservation and Archaeological Priority Areas
 1:20,000 at A4



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Figure 4
Plan of the Crown's Richmond Park Estate and Sudbrook Park, 1850
1:1,250 at A4



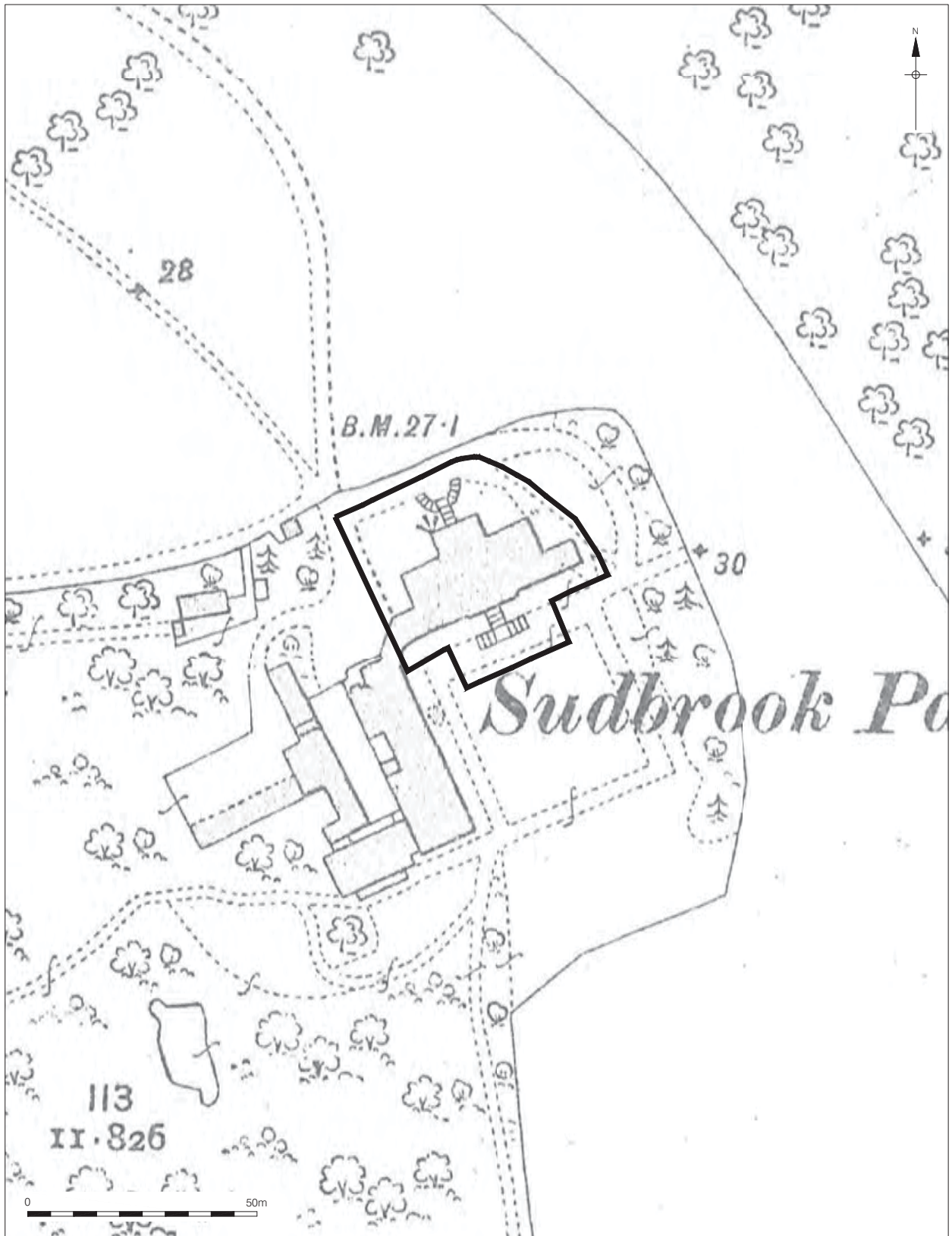
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Figure 5
Ordnance Survey First Edition, 1866
1:1,250 at A4



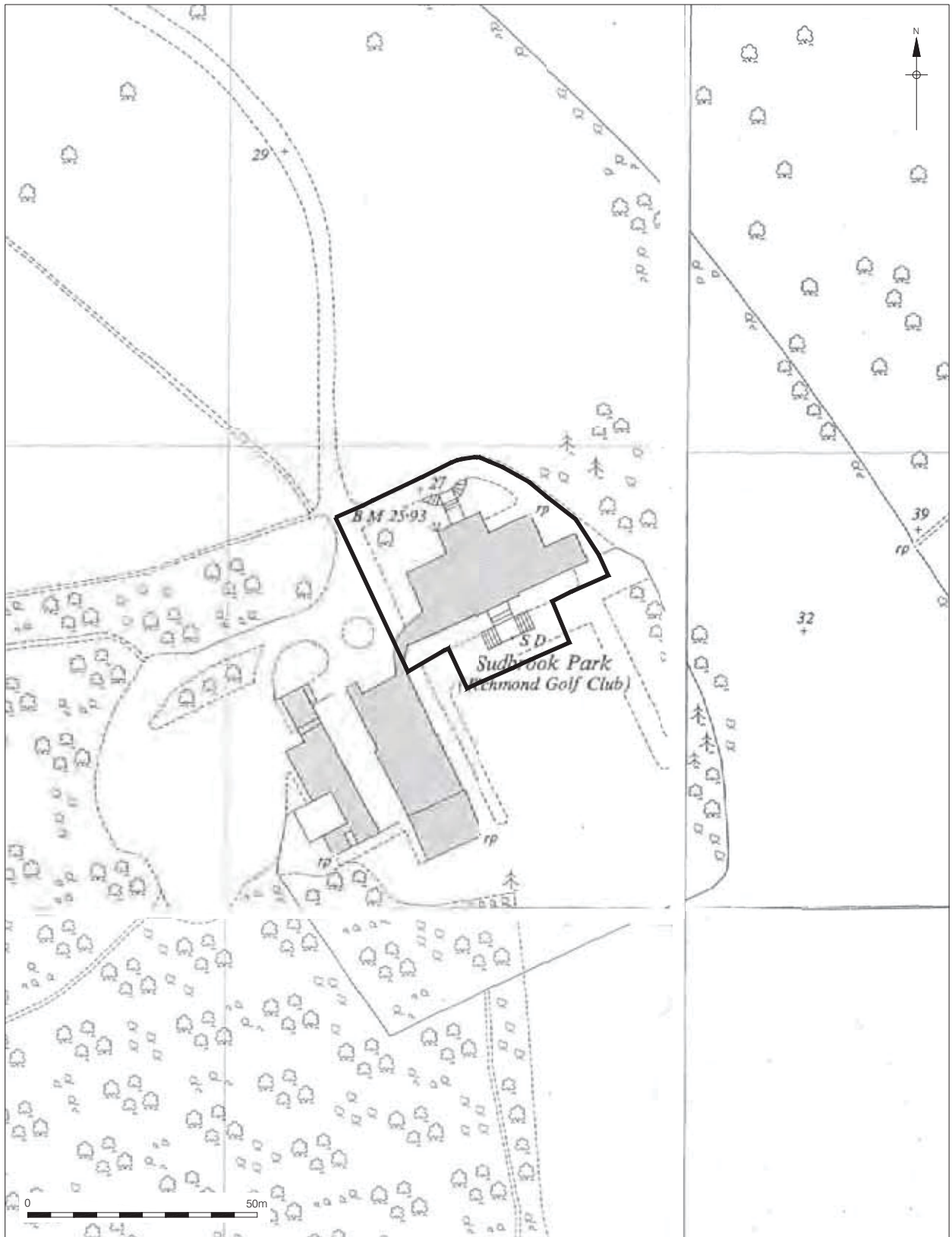
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Figure 6
Ordnance Survey Second Edition, 1897
1:1,250 at A4



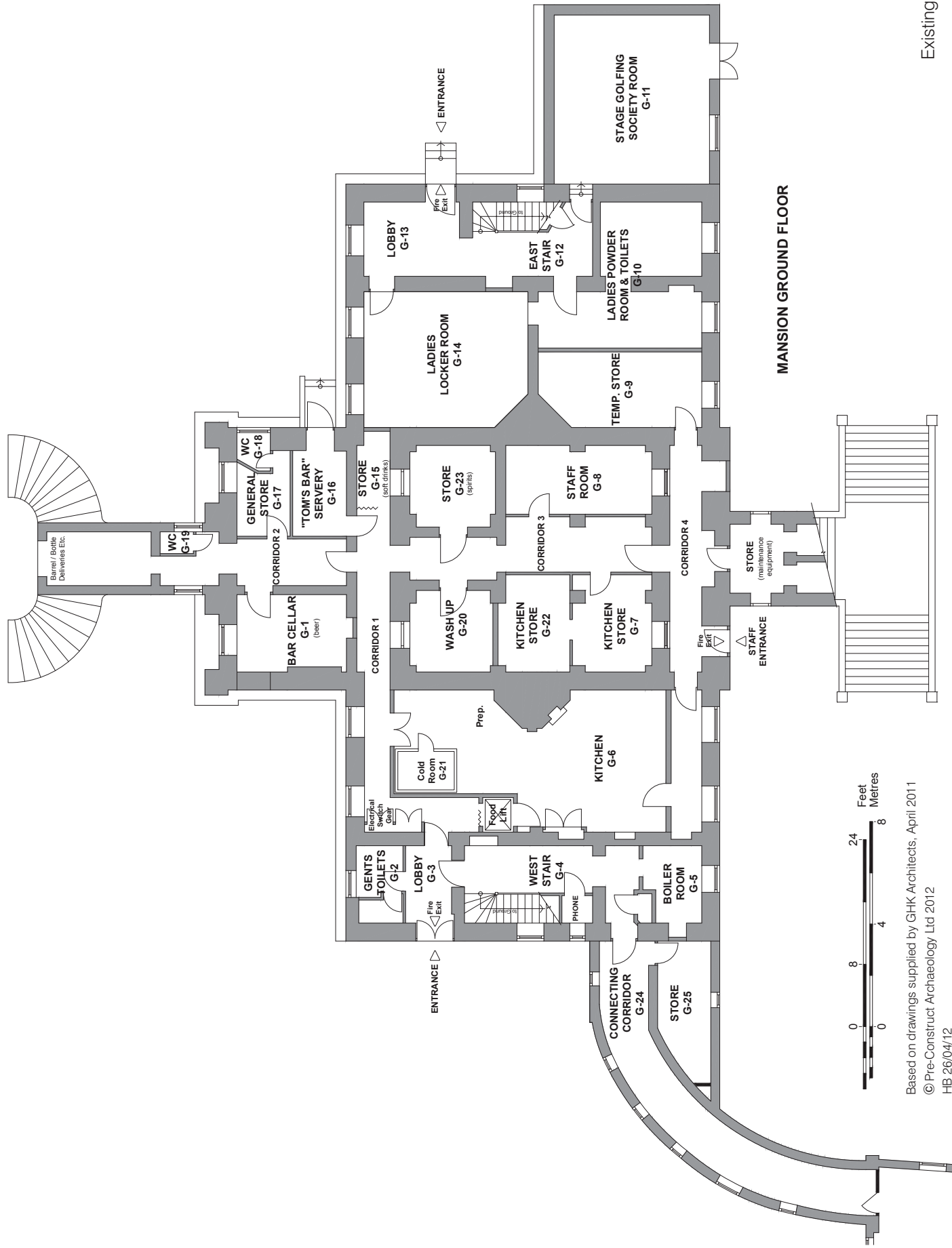
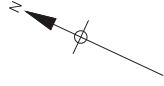
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Figure 7
Ordnance Survey Third Edition, 1913
1:1,250 at A4



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Figure 8
Ordnance Survey, 1958
1:1,250 at A4



MANSION GROUND FLOOR



Based on drawings supplied by GHK Architects, April 2011
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Figure 9
Existing Ground Floor Plan
1:200 at A4

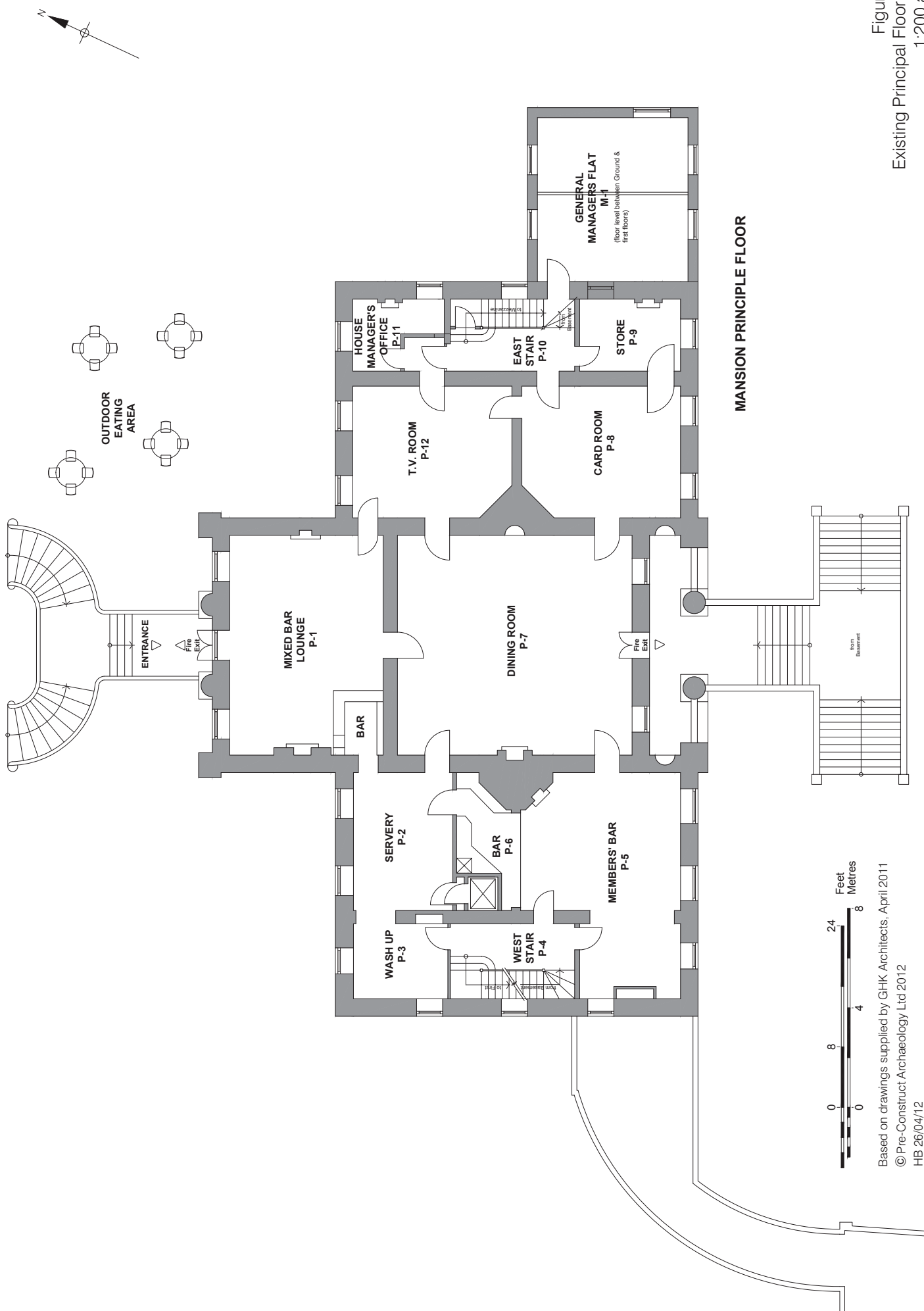
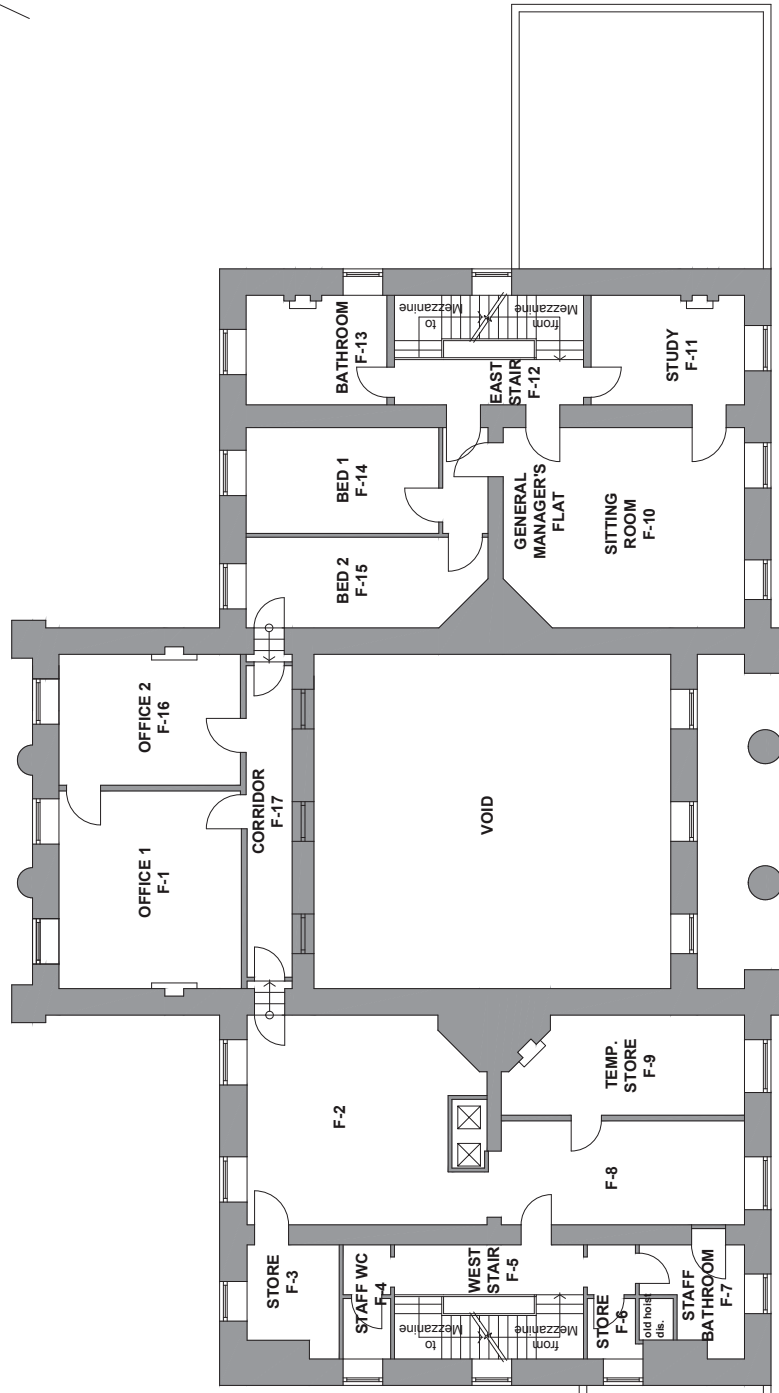
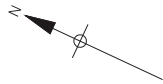


Figure 10
Existing Principal Floor Plan
1:200 at A4

Based on drawings supplied by GHK Architects, April 2011
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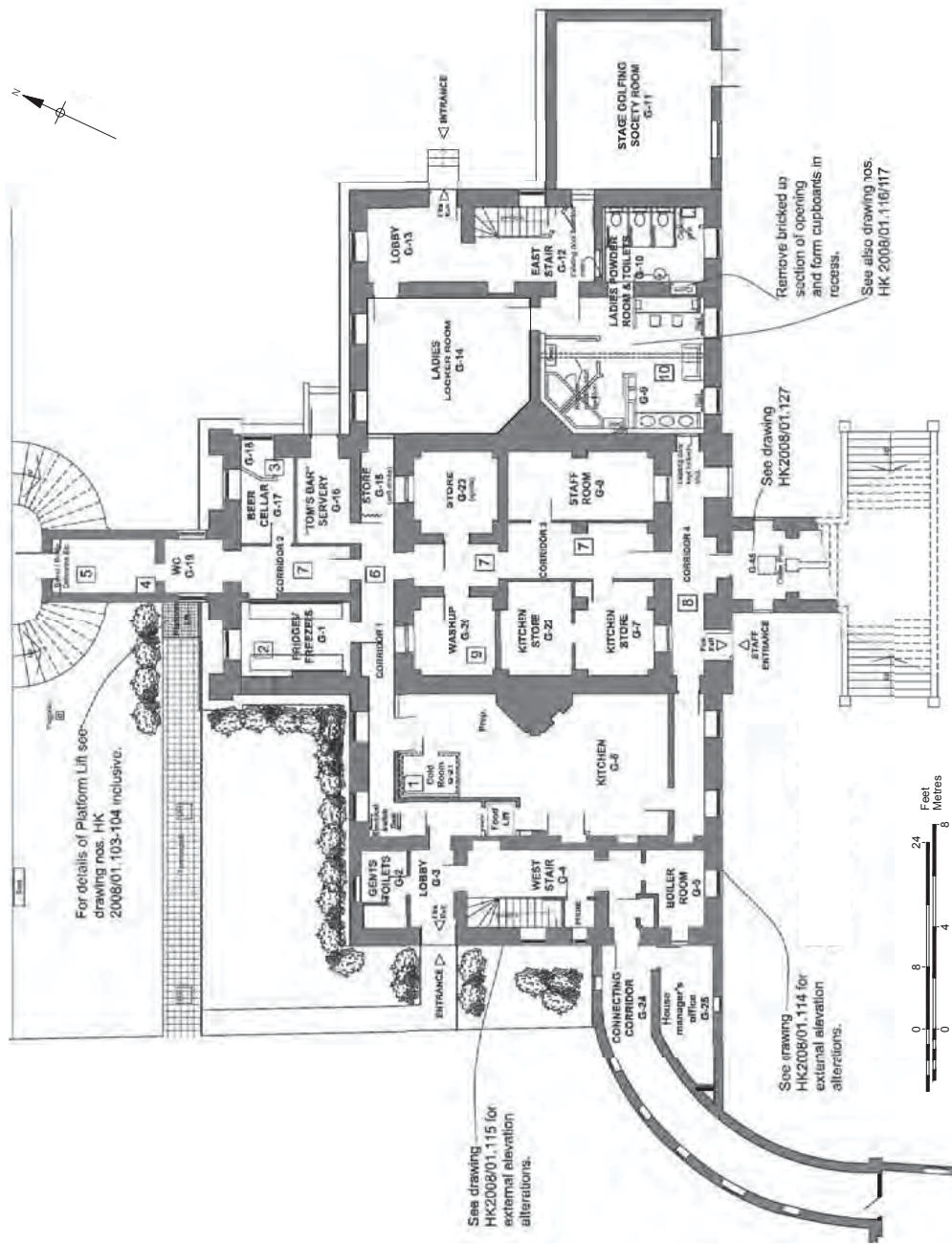


MANSSION FIRST FLOOR



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Figure 11
Existing First Floor Plan
1:200 at A4



- 1 Existing Cold Store unit removed, wall and floor finishes made good.
- 2 Beer cellar relocated to G17, walls/ceilings made good and redecorated. New ceramic tiled non slip flooring. Any existing paving slabs carefully removed for making good elsewhere at Ground Floor level. 2 rows of built in stainless steel refrigeration units installed. South door opened up with new door/frame. Existing East door blocked up.
- 3 Existing Store G17 - redundant WC partition and fittings to be removed. Room to be redecorated - window/shutters/brick/plaster walls/ceilings and new ceramic non slip floor tiling. Any existing paving slabs to be carefully removed for making good elsewhere at Ground Floor level. Room to be re-equipped for beer storage dispensing. Surface mounted waterproof enclosure for hydraulic/electrical controls for external platform lift.
- 4 Existing Beer Delivery Area, WC cistern/urns to be removed, to be redecorated - walls/ceiling. New stone flooring to be provided and sealed.
- 5 Existing Quarry tile flooring extended from outside of kitchen (existing) to remainder of Corridor 1 and Store G15. Any stone paving flags to be carefully removed for repairs elsewhere at Ground Floor level.
- 6 Existing stone flooring retained with broken slabs replaced. Screeded repairs/mills carefully cut out and replaced with matching stones from other Ground Floor areas, see notes 2, 6.
- 7 Existing clay floor paviors to be repaired where broken and cleaned/sealed.
- 8 Existing stone flooring to be carefully removed - slabs to be set aside for replacements at Ground Floor level and replaced with non slip ceramic floor tiling. Drainage details to be repaired/upgraded.
- 9 Existing timber stud partition to be carefully removed and wall/skirting/cornices retained/made good.
- 10 Existing store to be modified to cold Room. Chiller plant for new cold Room to Room G1. Acoustic/linbar louvers to be provided to external airways.

- 1 Removal of existing built up/painted ceramic tiled hearth and replace with 25mm slate hearth level with floor.
- 2 Retain existing door, provide intumescent paint finish/seals in door rebates. Timber studs and 2 layer 12.5mm plasterboard/skim with Rockwool RW3 mineral wool insulation fill.
- 3 Existing Rooms to be redecorated including all joinery doors/windows/skirting/fire surround. New panelled radiators to replace existing. Existing corridor doors to be provided with intumescent paint finish/seals in frame rebate.
- 4 Existing cupboards removed and existing panelling repaired.
- 5 New 30/30 fire door self closing, panelled to match pattern of existing doors and 1 hour fire rated partition infill. See drawing HK2008/01.128
- 6 Refurbish and extend existing bathroom removing hoist remains and enclosures. Make good all timber wall panelling, ceilings, cornices and flooring.
- 7 Existing plywood lining to be replaced with 1 hour fire rated enclosure to ductwork, 12mm supalux sheeting and re-clad with timber panelling.
- 8 Existing panelled cupboards to be removed/and finishes made good.
- 9 Existing glazing to Dining Room to be retained and upgraded with 1 hr fire rating to corridor
- 10 Existing flush door to be removed from frame and opening infilled with locked shut panelled door to match existing panelled door patterns and infilled on F3 side with timber studs, mineral wool insulation and plasterboard/skim finish, skirtings to match existing.
- 11 Form new Bathroom and refurbish WC, existing wall panel to be removed to form new panelled door opening.
- 12 Existing external soil drainage to be enlarged/modified to accommodate WC drainage.
- 13 Existing lead waste externally to be extended with new lead pipework for Bathroom - see drawing no. HK2008/01.114

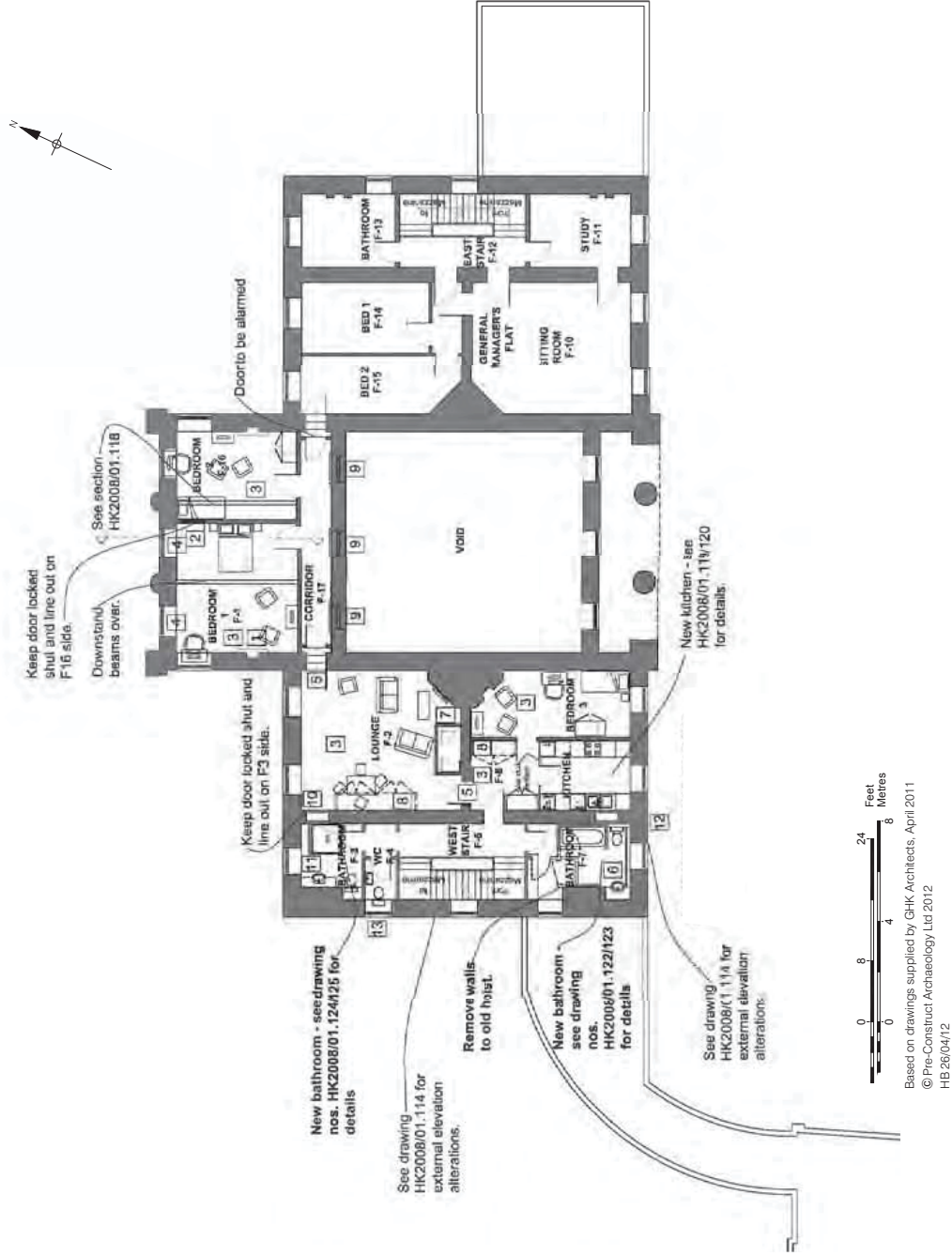
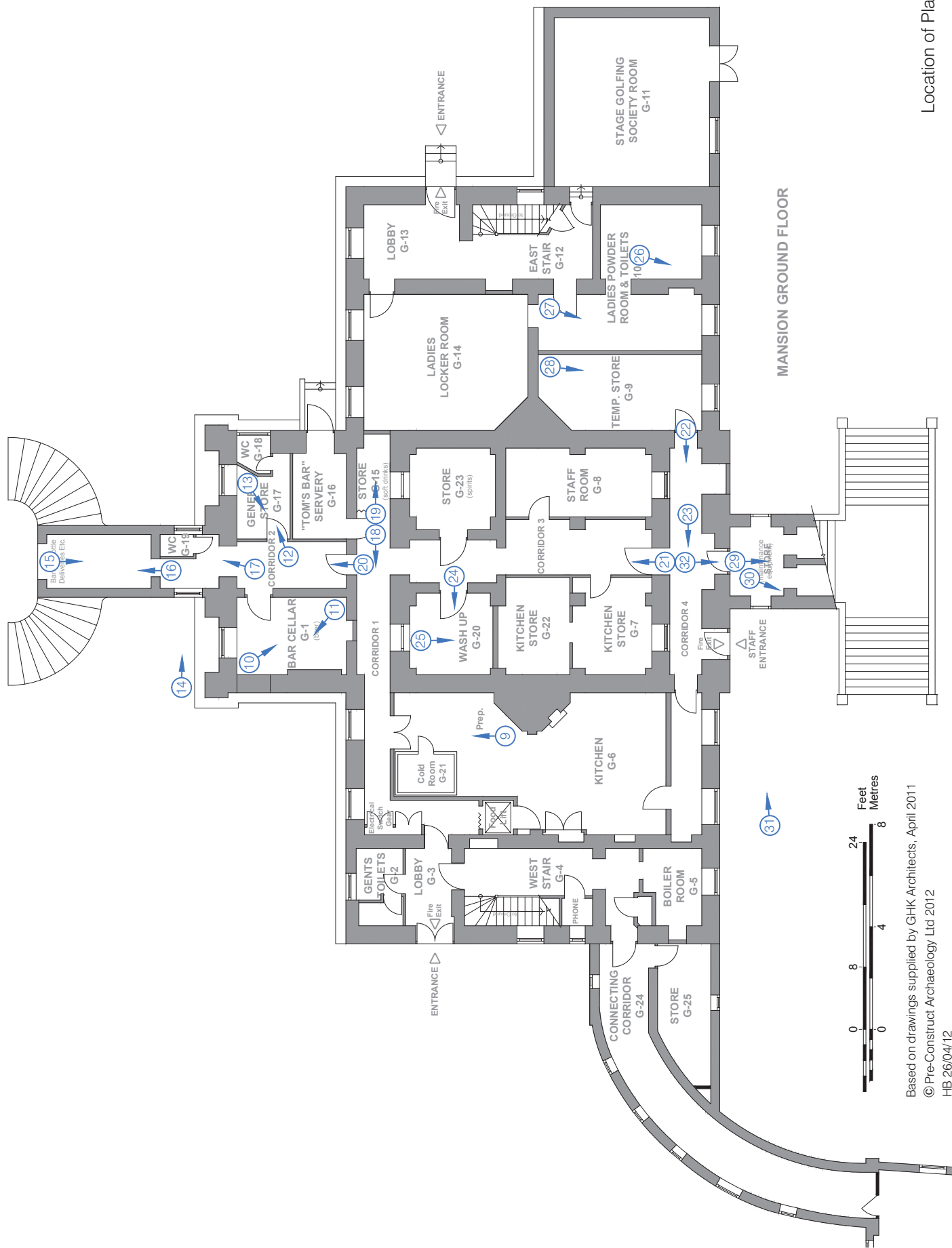
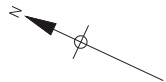
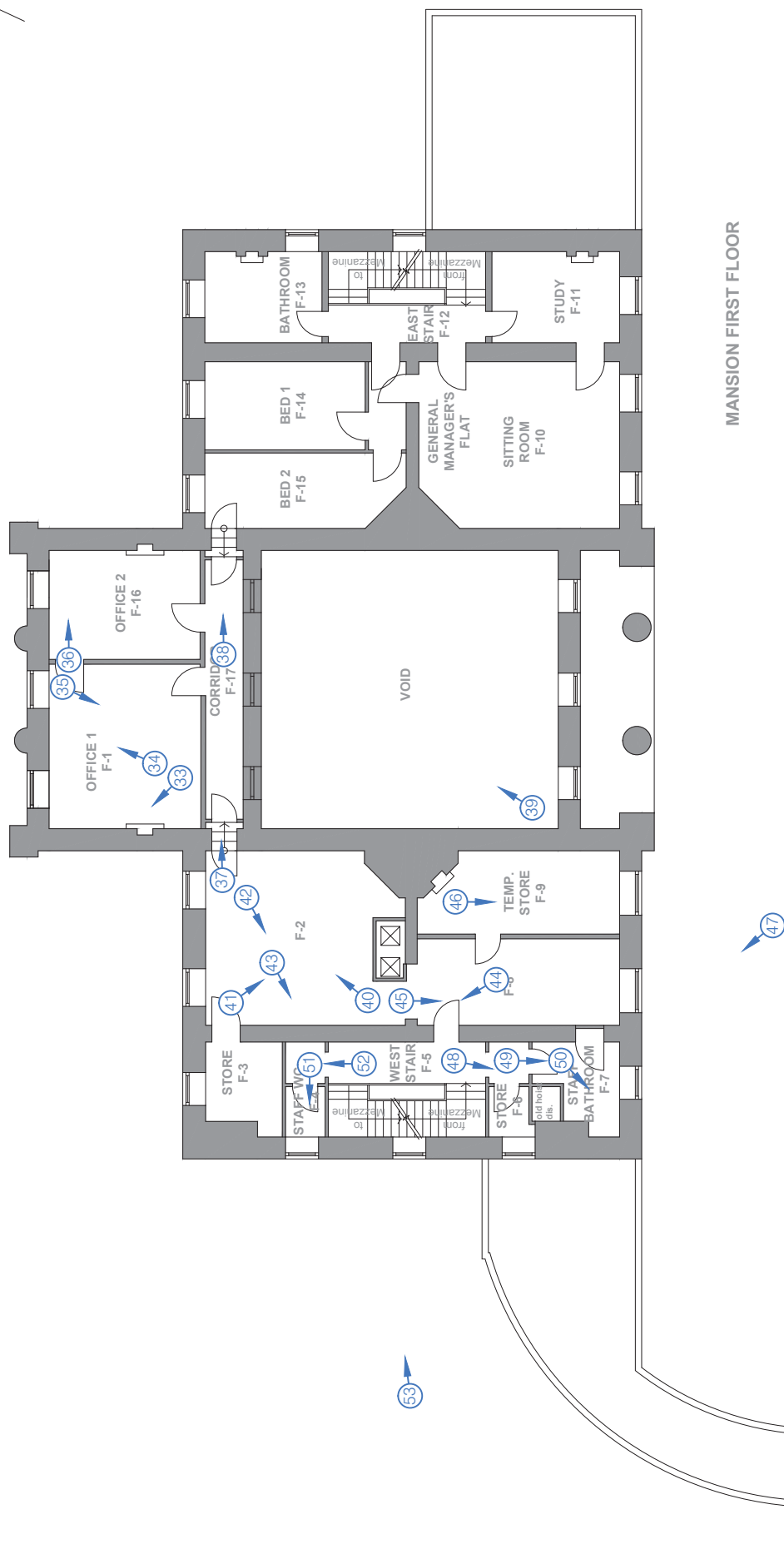


Figure 13
First Floor Plan, Proposed Alterations
1:200 at A3



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Figure 14
 Location of Plates - Ground Floor
 1:200 at A4



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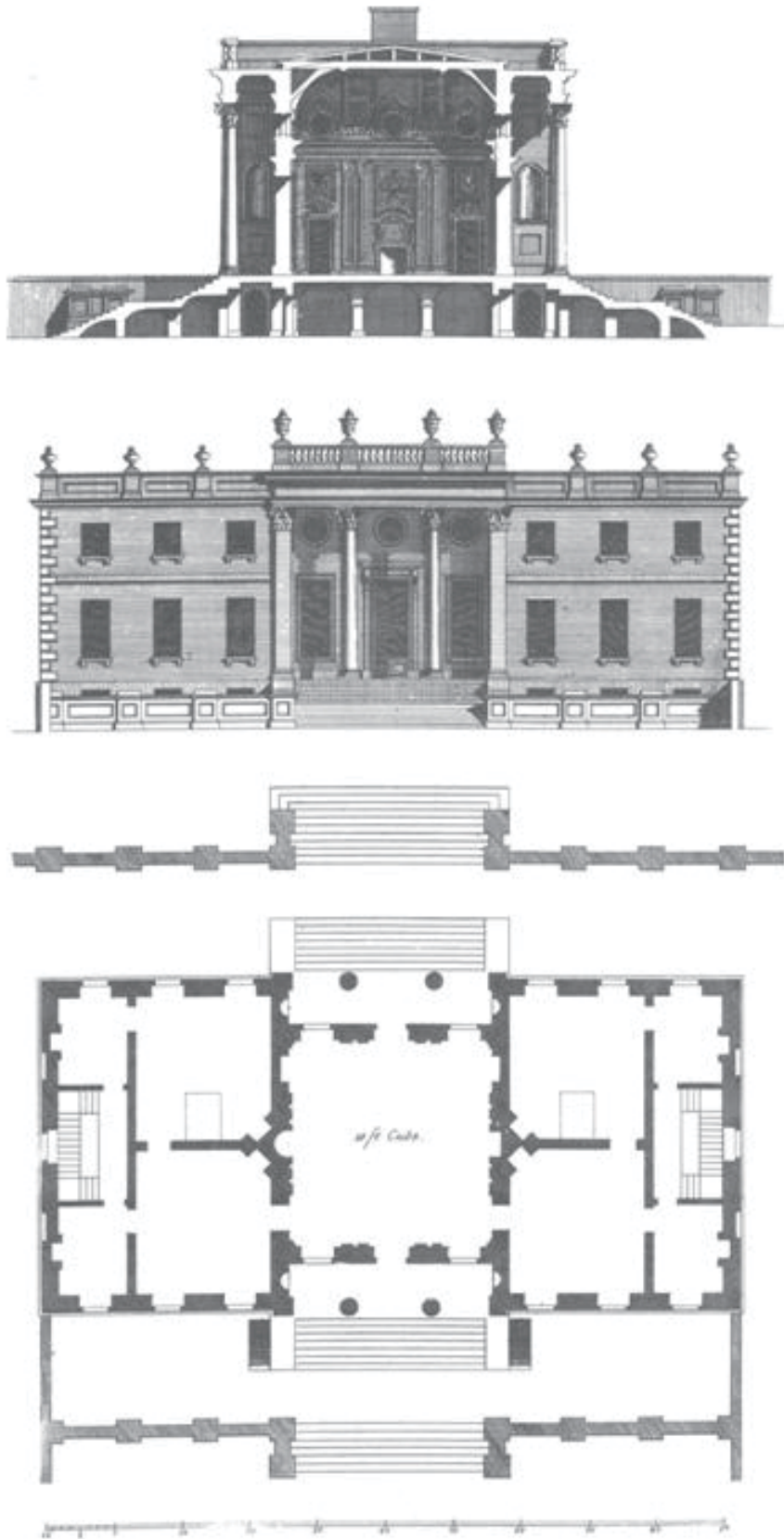


Plate 1 Section, Elevation and Plan of Sudbrook Mansion from Gibbs' *Book of Architecture*, 1728



HYDROPATHIC ESTABLISHMENT.

Sudbrook Park

Plate 2 Engraving of Sudbrook Park Hydropathic Establishment, c.1850

NOTICE :
THE
Hydropathic Establishment
Called Sudbrook Park,
PETERSHAM, NEAR RICHMOND,
SURREY ;

CONDUCTED BY THE VILLAIN DR. ELLIS,
Is a place Of the most dangerous kind for any persons to send their Friends or Daughters to, from the Vilely Immoral Character of the Proprietor :—who has supported his position for some time past; but by his Cloak of Hypocritical Piety—as well as by his ASSUMED CHARACTER of a MEDICAL MAN : but, a QUACK IS NOT DULY QUALIFIED—and from his well-known IMMORAL CHARACTER, IS UNFIT to conduct an ESTABLISHMENT, where so many in a Helpless state of Health, are being constantly Placed in his Power.

The GATES of this Place should surely be CLOSED if persons will but be persuaded of the delusion they have been labouring under, while they have been so frequently attracted to a place, which although Picturesque and Beautiful in itself, has been for a length of time Conducted by a Dangerous and IMMORAL VILLAIN ; who has but sought, through his SNARES & VILLAINNY, to RUIN more than One innocent Woman.

A Stop should be put to His CARREER AS A WATER QUACK

It is hoped, that some Good may be done, and many saved from His VILLAINNY through this advertisement.



Plate 4 Sudbrook Mansion, north elevation, looking south-east, 1903



Plate 5 Sudbrook Mansion, south elevation, looking north-west, 1904



Plate 6 Sudbrook Mansion, north elevation, looking south-east, 1951



Plate 7 North elevation of Sudbrook Mansion



Plate 8 South elevation of Sudbrook Mansion



Plate 9 Walk-in Cold Store unit on the north side of Kitchen G6 to be removed



Plate 10 Bar cellar G1, original doorway in far wall to be reopened and room altered to house fridge and freezer units. Gaslight fittings can be seen on the left wall and fireplace on the right



Plate 11 Bar cellar G1 with blocked windows and fireplace on left, room to be altered to house fridges and freezers



Plate 12 General Store G17, redundant toilet cubicle and cistern to be removed and new flooring installed for the beer cellar moved from G1

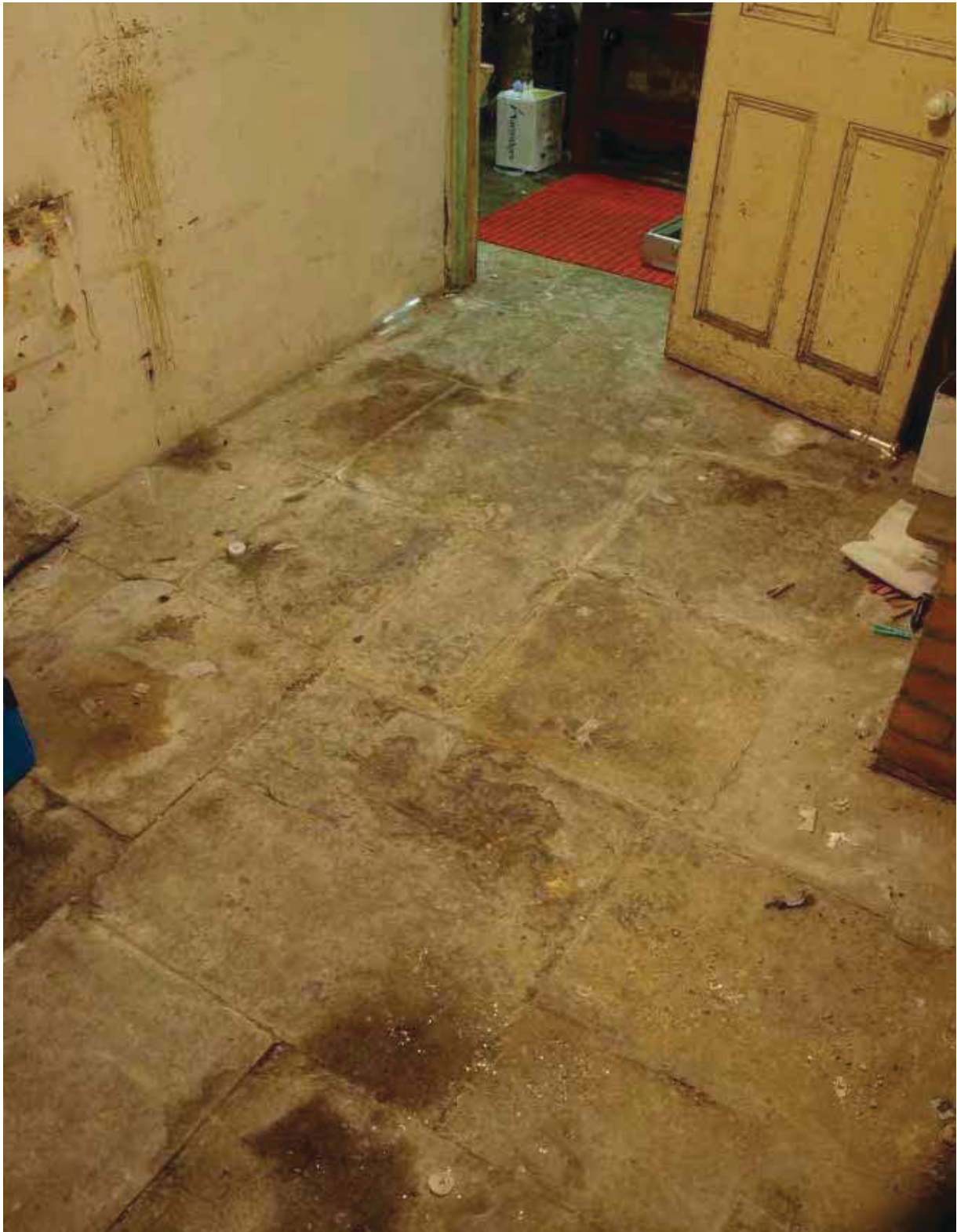


Plate 13 General Store G17 existing paving slabs to be removed and new non slip flooring for beer cellar to be installed



Plate 14 Platform lift to be installed against blocked window and tarmac path to be constructed for access, west side of entrance steps north elevation



Plate 15 Bottle and barrel delivery area G19 beneath the entrance steps of north elevation, controls for external platform lift to be installed adjacent to doorway

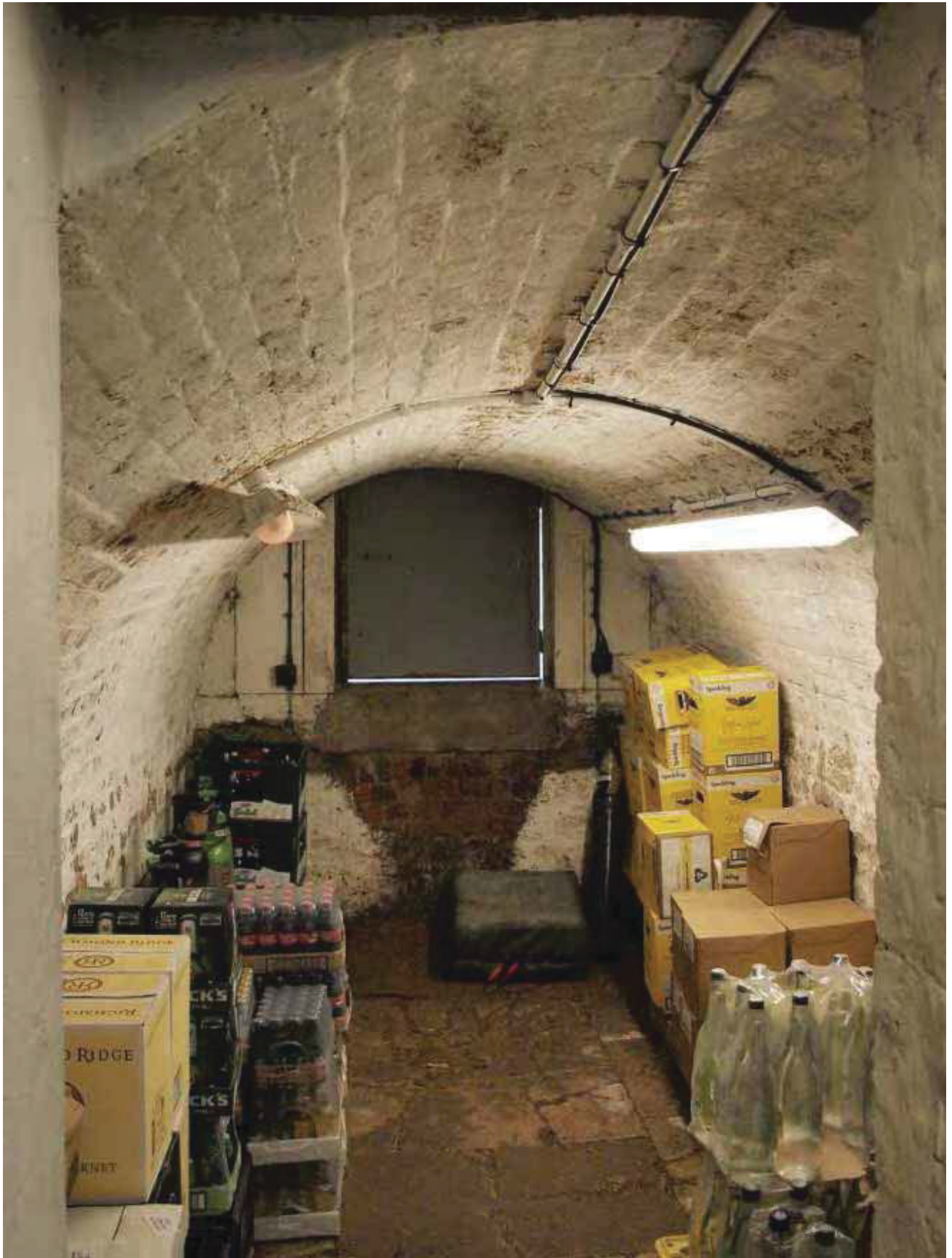


Plate 16 Bottle and barrel delivery area G19 to be redecorated with new stone floor



Plate 17 South end of bottle and barrel delivery area G19 to be redecorated with new stone flooring and WC cistern to be removed



Plate 18 Corridor 1 on ground floor, stone and tile paving to be removed and modern quarry tiles seen outside kitchen at the far end, to be extended along length of corridor



Plate 19 Stone and tile paving in Store G15 to be replaced



Plate 20 Stone paving in Corridor 2 to be repaired



Plate 21 Stone paving in Corridor 3 to be repaired

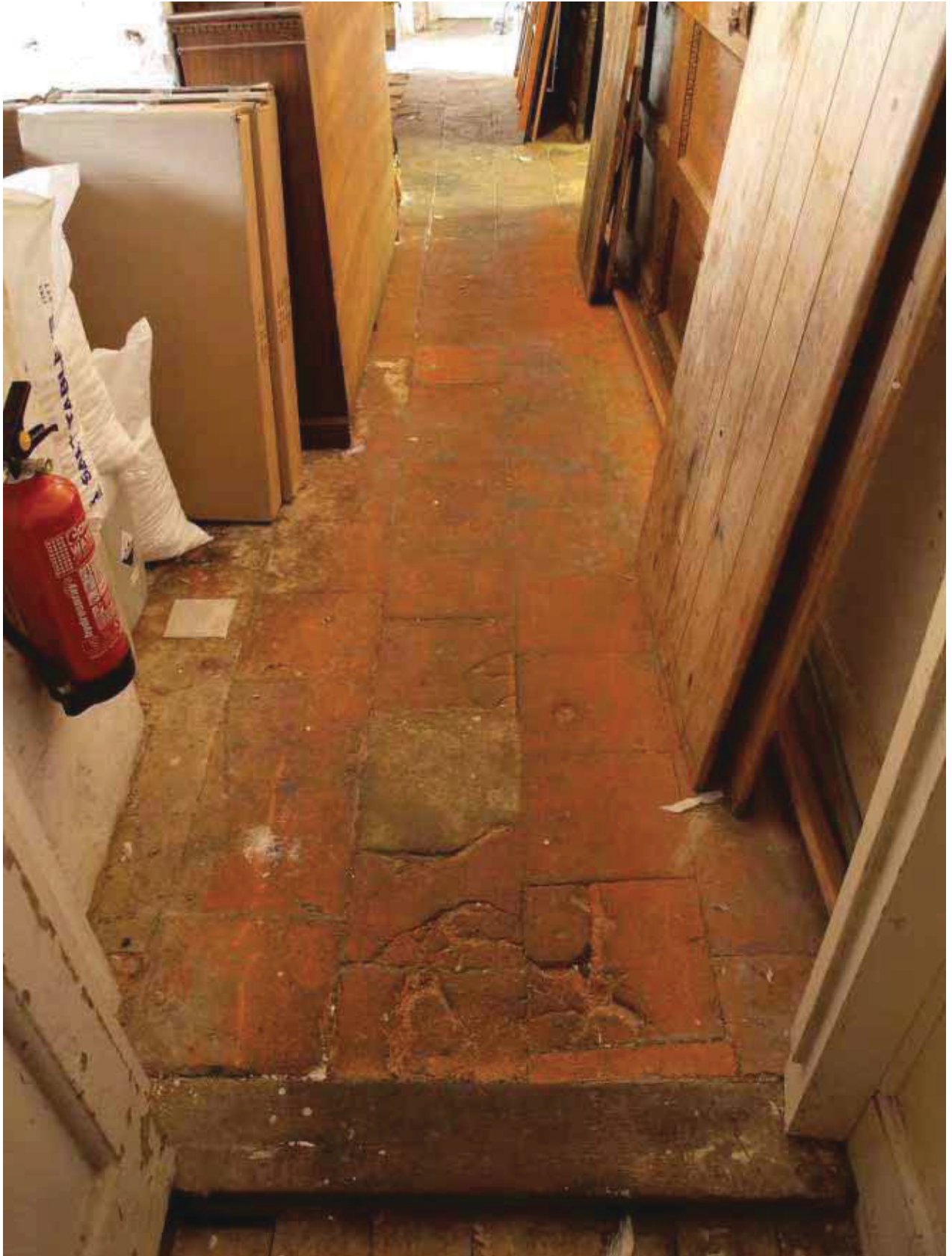


Plate 22 Clay tiles at east end of Corridor 4 to be repaired



Plate 23 Clay tiles in central area and west end of Corridor 4 to be repaired



Plate 24 Stone paving in Wash Up room G20 to be replaced



Plate 25 Stone gully and drainage detail below sinks in Wash Up room G20 to be repaired



Plate 26 Bricked-up former opening above sink in Ladies Toilet G10 to be reopened to form a cupboard



Plate 27 Mirrored partition wall in Ladies Powder room G10 to be removed



Plate 28 Partition wall (left) of Store room G9 to be removed and space incorporated into Ladies Powder Room G10 with additional showers



Plate 29 Store room G45 below entrance steps to south elevation to be modified to house plant for new cold room in G1

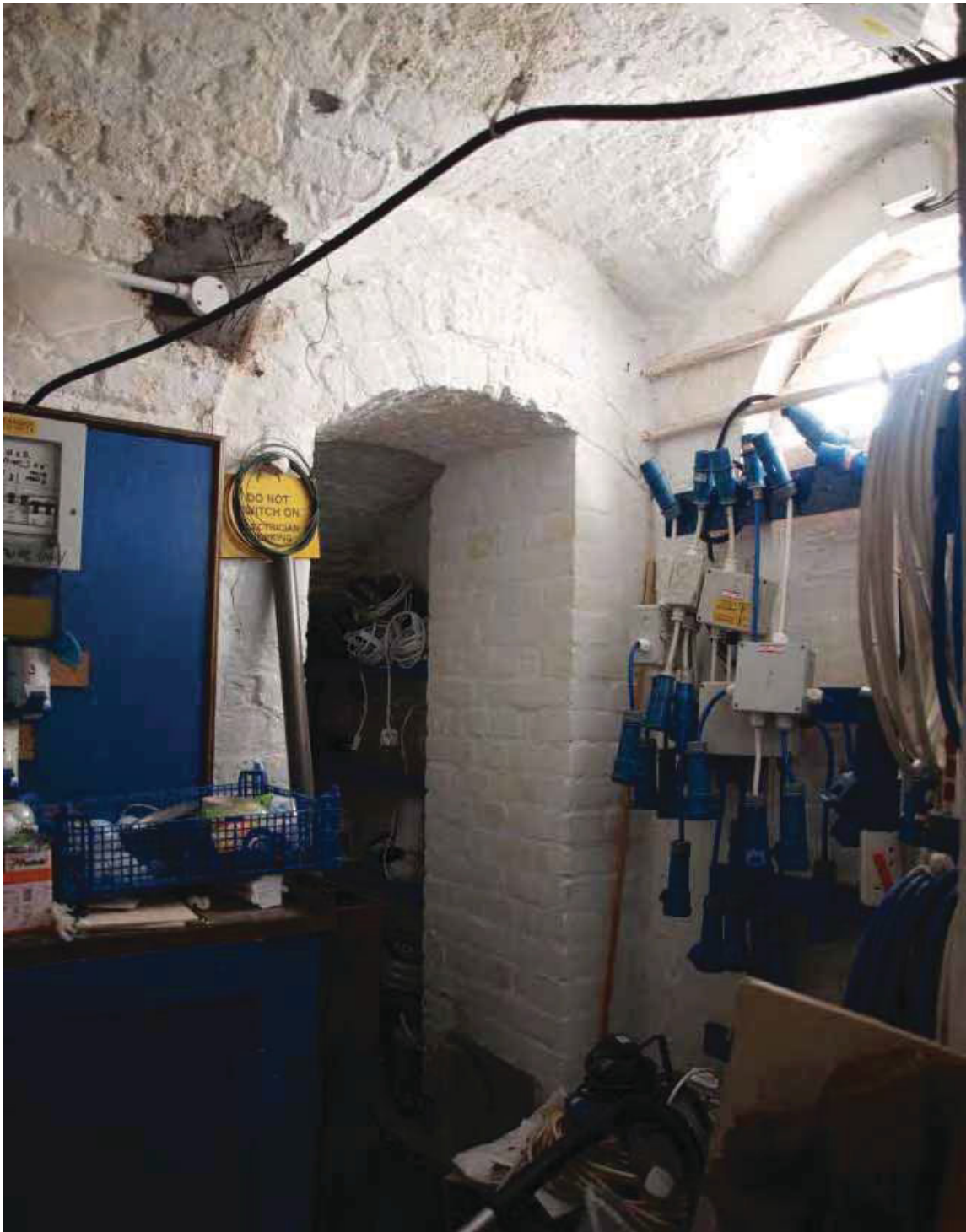


Plate 30 West side of Store room G45, new cold room plant to be installed and timber louvre to replace window in blocked archway



Plate 31 West side of entrance steps on the south elevation, the window and blocked archway of Store room G45 to be replaced by acoustic timber louvre



Plate 32 Doorway into Store G45, former main entrance into the servants' area



Plate 33 Raised ceramic tile hearth in first floor Bedroom 1 F1 to be replaced



Plate 34 Cupboards below both windows in Bedroom 1 F1 to be removed and door into adjacent Bedroom 2 F16 made into a fire door and rest of room redecorated



Plate 35 South side of first floor Bedroom 1 F1 to be redecorated and radiator replaced.
Note roundel in corridor with central square glazed panel to be retained and upgraded



Plate 36 Bedroom 2 F16 on first floor to be redecorated and radiator replaced



Plate 37 First floor Corridor F17 to be upgraded to 1hour fire rating and roundel with central square glazed panel to dining room to be retained



Plate 38 East end of Corridor F17 with roundel containing glazed central panel and doorway to be alarmed



Plate 39 Dining Room P7 on principal floor showing painted over glazing in centre of roundels visible in first floor corridor F17



Plate 40 Store room F2 to be redecorated as a lounge with a new fire door fitted adjacent to window leading to corridor F17



Plate 41 Store room F2 to be redecorated as a lounge and the modern plywood boxing disguising kitchen ducting is to be replaced



Plate 42 Cupboards on west side of Store room F2



Plate 43 Iron locking bolt found on inside of cupboards in Store room F2



Plate 44 View from Store room F8 looking toward Store room F2 where a new door will be installed to fully separate the rooms. The door on the right will no longer be used for access



Plate 45 View of Store room F8, cupboards on left to be retained and stud partition to be inserted to create a new entrance hallway and kitchen



Plate 46 Temporary Store F9 to be redecorated and will become Bedroom 3



Plate 47 West end of south elevation showing downpipe to be replaced



Plate 48 Entrance to Bathroom F7 showing inserted partitions to be removed



Plate 49 Bathroom F7 with original panelling to be refurbished and bath and toilet repositioned in front of panelled door



Plate 50 Bathroom F7 with original panelling to be refurbished and the bath replaced with a sink in the corner of the room



Plate 51 Toilet F4 to be refurbished



Plate 52 Timber panelling to be removed and new doorway created into a new bathroom in Store room F3 beyond



Plate 53 West elevation of Sudbrook Mansion, external waste pipes beneath the top left window are to be extended further left to cater for the newly installed bathroom in F3.

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