

AN ARCHAEOLOGICAL EVALUATION

AND WATCHING BRIEF AT

THE OLD RECTORY HOUSE,

82-84 CHURCH ROAD, WIMBLEDON,

LONDON BOROUGH OF MERTON

JULY 2008

DOCUMENT VERIFICATION

THE OLD RECTORY HOUSE,
82-84 CHURCH ROAD, WIMBLEDON,
LONDON BOROUGH OF MERTON, SW19 5AB

ARCHAEOLOGICAL EVALUATION AND
WATCHING BRIEF

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**An Archaeological Evaluation and Watching Brief at The Old Rectory
House, 82-84 Church Road, Wimbledon, London Borough of Merton,
SW19 5AB**

**Site Code: ORS 08
Central National Grid Reference: TQ 2445 7155**

**Written and Researched by Stuart Watson and Stuart Holden
Pre-Construct Archaeology Limited, June 2008**

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June 2008**

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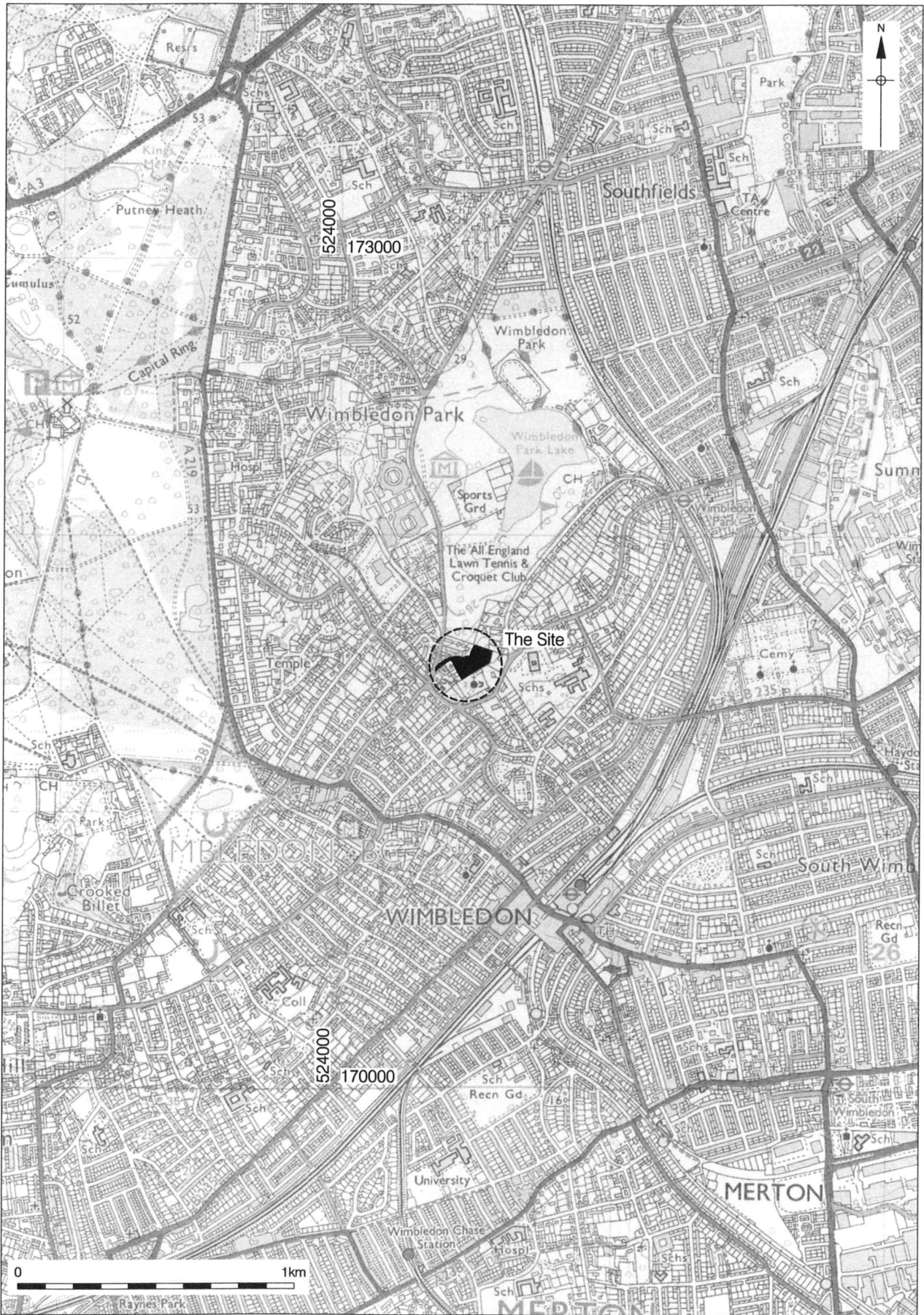
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1 ABSTRACT

- 1.1 This report details the results of an archaeological evaluation and watching brief undertaken by Pre-Construct Archaeology Limited in conjunction with construction works at The Old Rectory House, 82-84 Church Road, Wimbledon, London Borough of Merton.
- 1.2 The evaluation revealed evidence of levelling / terracing deposits associated with the construction of the Old Rectory House and consisting of dumped material to raise the ground level over a natural ground slope.
- 1.3 During the course of the watching brief, a natural layer of clay/brickearth was encountered over which, the partial remains of a north-south aligned Tudor wall was recorded.

2 INTRODUCTION

- 2.1 An archaeological evaluation and watching brief was conducted by Pre-Construct Archaeology Ltd at The Old Rectory House, 82-84 Church Road, Wimbledon, London Borough of Merton, from 19th May to 23rd May 2008.
- 2.2 The work was commissioned by Donald Insall Associates Limited on behalf of Mr. Nigel McConnell. Chris Mayo managed the project for Pre-Construct Archaeology Limited, Douglas Killock and Denise Mulligan supervised the fieldwork and Stuart Holden authored this report.
- 2.3 The site is roughly triangular in shape, bounded to the north by rectory Orchard, to the west by Church Road and to the southeast by Steeple Close. The National Grid Reference for the centre of the site is TQ 2445 7155 (Figure 1).
- 2.4 The evaluation constituted the excavation of a single trench (Trench 1) measuring 12.0m by 1.8m, located within the footprint of the proposed extension to the northern end of Old Rectory House. The watching brief was conducted during an excavation (Trench 2) to install temporary drainage running north-south to the east side of Old Rectory House over a length of c.50m (Figure 2).
- 2.5 The project was assigned the unique code ORS 08.



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Figure 1
 Site Location
 1:20,000 at A4



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Figure 2
Trench Location
1:1,000 at A4

3 PLANNING BACKGROUND

3.1 Planning background

3.1.1 The evaluation aimed to satisfy the objectives of the London Borough of Merton, which fully recognises the importance of the buried heritage for which they are the custodians. The Borough's deposited draft 'Unitary Development Plan' 2003 contains policy statements in respect of protecting the buried archaeological resource.

3.1.2 The proposed development of the site is subject to the Council's Archaeology Policy:
POLICY BE.13: ARCHAEOLOGICAL PROTECTION AND PRESERVATION
THE COUNCIL WILL ENCOURAGE EARLY CONSULTATION ON DEVELOPMENT PROPOSALS AFFECTING SITES OF ARCHAEOLOGICAL IMPORTANCE AND THEIR SETTINGS.

(i) THERE WILL BE A GENERAL PRESUMPTION IN FAVOUR OF THE PERMANENT PHYSICAL PRESERVATION OF ALL SCHEDULED ANCIENT MONUMENTS AND OTHER NATIONALLY IMPORTANT ARCHAEOLOGICAL SITES AND THEIR SETTINGS. PLANNING PERMISSION WILL NOT BE GRANTED FOR DEVELOPMENT THAT WOULD ADVERSELY AFFECT SUCH MONUMENTS AND SITES, INVOLVE SIGNIFICANT ALTERATION TO THEM OR WOULD HAVE A HARMFUL IMPACT ON THEIR SETTINGS.

(ii) LOCALLY IMPORTANT ARCHAEOLOGICAL REMAINS SHOULD PREFERABLY ALSO BE PRESERVED IN SITU. EXCEPTIONALLY, WHERE REMAINS CANNOT BE PRESERVED IN SITU, THEY WILL BE PRESERVED BY RECORD THROUGH AN APPROPRIATE PROGRAMME OF ARCHAEOLOGICAL WORK BY A RECOGNISED ARCHAEOLOGICAL ORGANISATION BEFORE DEVELOPMENT BEGINS, IN ACCORDANCE WITH A PROJECT DESIGN APPROVED BY THE COUNCIL. SUCH PROVISION SHALL ALSO INCLUDE THE SUBSEQUENT PUBLICATION OF THE RESULTS.

POLICY BE.14: ARCHAEOLOGICAL EVALUATION

BEFORE DEVELOPMENT COMMENCES ON SITE, REFERENCE SHOULD BE MADE TO THE COUNCIL'S SUPPLEMENTARY PLANNING GUIDANCE NOTE ON ARCHAEOLOGY. WHERE DEVELOPMENT IS PROPOSED WITHIN AN ARCHAEOLOGICAL PRIORITY ZONE, AS SHOWN ON THE PROPOSALS MAP, THE COUNCIL MAY REQUIRE A PRELIMINARY ARCHAEOLOGICAL ASSESSMENT BEFORE PROPOSALS ARE CONSIDERED. THIS REQUIREMENT MAY ALSO BE APPLIED TO SITES OUTSIDE THE ARCHAEOLOGICAL PRIORITY ZONES ESPECIALLY WHERE THEY ARE OVER 0.6 HA OR WHERE THERE IS PROVEN OR KNOWN ARCHAEOLOGICAL POTENTIAL.

3.1.3 The Merton UDP mirrors advice contained in the Department of Environment document 'Planning Policy Guidance: Archaeology and Planning (PPG 16)'. This document identifies the need for early consultation in the planning process to determine the impact of the construction schemes upon buried archaeological strata.

3.1.4 The site lies within an Archaeological Priority Zone as defined in the London Borough of Merton's Unitary Development Plan and there are no Scheduled Ancient Monuments within the site's boundaries. The Old Rectory House is a Grade II* listed building.

3.1.5 Planning permission was granted for the development of the site (consent number 07/P1172), with condition 12 stating:

No development shall take place until the applicant or any successors in title has made arrangements for an archaeological "watching brief" to monitor development groundworks and to record any archaeological evidence revealed. These arrangements are to be submitted to and approved in writing by the Local Planning Authority, in accordance with the "watching brief" proposals agreed pursuant to this condition and shall be carried out by a suitably qualified investigating body acceptable to the Local Planning Authority.

Reason for condition: Important archaeological remains may exist on this site. The Local Planning Authority wishes to ensure that any archaeological "watching brief" is carried out during the development groundworks so that archaeological remains not protected by other measures are investigated and recorded.

3.1.6 Subsequent discussion held between the Mark Wilkinson (Donald Insall Associates), Diane Walls (English Heritage, Greater London Archaeological Advisory Service (GLAAS)), Lone Le Vay (Conservation Officer, Merton Council) and Pre-Construct Archaeology, led to an amended requirement whereby the proposed development must be preceded by archaeological evaluation, with a watching brief conducted during other invasive groundworks.

3.2 **Research Objectives**

3.2.1 The investigation method statement (Mayo 2008) posed the following research questions:

- What evidence can be revealed of the natural strata and its' topography at the site?
- Does any archaeological evidence survive for remains relating to the earlier manifestations of the Tudor buildings at the site, or associated structures and remains?
- Does any archaeological evidence survive which relates to the gardens of the house?
- Does any evidence survive of pre-post-medieval archaeology at the site?

4 ARCHAEOLOGICAL AND HISTORICAL BACKGROUND

4.1 Prehistory

4.1.1 There is evidence for prehistoric activity in the Borough of Merton, predominantly found on Wimbledon Common, centred approximately 2km to the west. The following information is gleaned from a site investigated by Pre-Construct Archaeology at 52 Wimbledon Parkside, (site code WNP 95)¹, approximately 1.0 km north-west of the study site.

Palaeolithic and Mesolithic

4.1.2 Information of the Palaeolithic and Mesolithic is limited to finds from Wimbledon Common, however no clear settlement or activity sites have been identified from these periods.

Neolithic

4.1.3 In the 1930s a Neolithic flint fabricator is reported from the area of Wimbledon Park to the north of the study site (SMR Ref:030623, TQ 2472).

Bronze Age

4.1.4 Approximately 2km to the north of the site a cluster of twenty-three barrows, presumed to date to the Bronze Age are reported in the vicinity of Tibbets Corner in 1786 but were levelled shortly afterwards.

Iron Age

4.1.5 A large hill fort, known as 'Caesar's Camp' located c. 2km to the west of the study area (TQ 224 711), confirms Iron Age activity in the general vicinity of the study site. Excavation of the site in 1937 produced pots and bowls dated to 5th to 3rd centuries BC.

4.2 Roman

4.2.1 Little is known of Roman activity in the area. A few finds from this era are reported from Wimbledon Common (to the west of the study site) and Wimbledon Village (to the south of the study site), however there is little evidence for any Roman occupation

¹ Proctor, J. 1995

within the vicinity of the study site, the nearest known occupation being at Merton 2km to the southeast².

4.3 Saxon

4.3.1 There is little evidence for Saxon activity in the area. The name Wimbledon is commonly thought to relate to Wibbandune, reference to in the Anglo-Saxon Chronicles, where a battle was fought in 568 soon after the accession of Ethelbert, King of Kent. However, this is probably incorrect³.

4.3.2 It is believed that barrows of Saxon date were amongst those of Bronze Age date destroyed in the early-19th century near Tibbets Corner (see above).

4.4 Medieval

4.4.1 No mention of WIMBLEDON occurs in the Domesday Survey, and it was evidently assessed under the extensive manor of Mortlake (q.v.) which had been demesne of the see of Canterbury before the Conquest. It was seized by Odo, Bishop of Bayeux, but was recovered with other property by Lanfranc, who brought a suit against him which was heard before the barons assembled at Pennenden Heath near Maidstone in 1070, and in 1086 it was rated among the lands of the archbishop. There is some doubt as to when Wimbledon became a separate manor, for, although it is called the archbishop's manor of Wimbledon in 1280, a few years later it was said to be a grange belonging to Mortlake. From 1328 it regularly appears as the manor of Wimbledon⁴.

4.4.2 The Archaeological Data Service (ADS)⁵ database records a moat⁶ of medieval date on Church Road, probably that recorded in the entry for Old Rectory House on the Pastscape database⁷. A bedding trench⁸ is also recorded by the ADS on Church Road as medieval in date.

² Ibid.

³ Malden, 1912 120-125

⁴ Ibid.

⁵ <http://ads.ahds.ac.uk/>

⁶ SMR? Ref: 03069401

⁷ Monument No. 401342

⁸ SMR? Ref: 030740

4.5 Post-Medieval

4.5.1 The following section offers a selected history of The Old Rectory, written (unless otherwise referenced) by Mark Wilkinson, Donald Install Associates Ltd. A volume on the house's history has been produced⁹ but was not available for consultation by the author of this report.

It's Tudor Origins

4.5.2 The Old Rectory House, commands an important yet secluded site on the north side of St Mary's Churchyard in the historic centre of Wimbledon. The building is first mentioned in a deed of 1518 as 'Wimbledon Parsonage', although it has been suggested that a small room with a vaulted ceiling on the south side of the hall remains from an earlier house on the site. In 1536 the Rectory and Manor of Wimbledon were handed over to the King. Eleven years later the property was transferred to the Dean and Chapter of Worcester Cathedral who subsequently leased it to successive Lords of the Manor. In the 16th Century notable courtiers such as Sir Robert Tyrwhitt and William Cecil lived in the house, and for a time the Spencer family were leaseholders in the 18th Century. This secular use continued until 1861, when the by then dilapidated house was bought from the Dean and Chapter by John Beaumont.

4.5.3 Thomas Cecil, son of William Cecil, constructed a new mansion on the hill site to the east of the Old Rectory in the 1580s, after which the fortunes of the Old Rectory had declined. The first written description of the building dates from 1649. This describes a two storey brick construction with a large dining hall, a withdrawing chamber, parlour and little chamber (possibly the chapel), with extensive service quarters. A spiral staircase gave access to a first floor corridor onto which opened ten chambers and five closets; and in the roof there were five garrets. The implication of this is of a much larger house than the surviving Tudor portion of the existing house suggests.

4.5.4 The parsonage-house purchased by Dr. Goodwin in 1651 was perhaps the house known as the Old Rectory House, or this may be the house called Harphams in the survey of 1649, which then contained a hall, a kitchen and a buttery and two entries below stairs, and five chambers above, tenanted by Richard Gregory. As there seems to be some doubt whether the name Old Rectory House is not applied to this house only because it stands next to the churchyard, the probability is that the house is

⁹ Peto, G 1949

really identical with Harphams, which seems to answer to the description and was in this direction, to the south-west of the park'¹⁰.

- 4.5.5 'There was a moat round the house, the remains of which were only filled up by the present owner, Mr. Samuel Willson'¹¹. This is probably the moat recorded on by the ADS and Pastscape mentioned above.

The 18th and Early 19th Century

- 4.5.6 A map of 1720 shows the house with a large wing stretching across the present drive on the north-west side of the house, although the parson of the time records that 'all one side that was the oldest part was pulled down' (supposedly the south wing) 'and repair the other' (the north wing?), by the then tenant Sir Theodore Janssen.
- 4.5.7 Further works were recorded in 1806 by a later incumbent. It was reported that the Rectory 'has lately been in great measure taken down', presumably referring to the north wing. Two drawings in the Wimbledon Society Museum dated 1810 and 1818, clearly show part of the west elevation of the present house. The north-west stair turret and hall chimney stack and roof are identifiable, although the supposed ancient chapel at the south end of the house is concealed by a glasshouse. In the census returns between 1841 and 1881 the house is either listed as 'uninhabited' or not mentioned at all, implying that its status had sunk further.

From 1861 to 1909

- 4.5.8 John Beaumont, who acquired the house in 1861, halted the building's decline, repairing the exterior and transforming the interior. In the grounds the drive was laid out, the Fig Walk planted and extensive ranges of glasshouses were constructed. (Beaumont had bought the adjacent Wimbledon Park Estate in 1846 and soon started selling off plots for development along the western edge of the estate. It is possible that he bought the house as a speculation). Further works were carried out by the next owner, Samuel Willson who lived at the house between 1882 and 1909. He built on the pebble-dashed, two storey Drawing Room Wing on the east side of the house and installed carved oak doors, and English, Flemish and Italian chimney pieces.

From 1909 to 1923

- 4.5.9 Marine engineer, Mattathias Jacobs bought the house in 1909 and enlarged the house considerably. His brother was an architect who designed a new single storey

¹⁰ Malden, 1912 120-125

¹¹ Ibid.

Billiard Room and adjacent Entrance Porch on the west side of the house, extensive domestic offices on the north side of the house, and to the east, the Study extension to mask the Chapel, and probably the flat roofed cloakroom and bathroom wing adjacent. It is likely that the Lodge and adjacent garden walls surrounding the garage date from this period.

From 1923 to 1978

- 4.5.10 The next owner Thomas Lethaby, who acquired the house after the First World War in 1923, concentrated on embellishing the interior. In the Drawing Room he fitted oak panelling from the Chantry House, Newark with a plaster ceiling based on one at Knole and a fireplace from elsewhere. He also panelled the Study, the Hall, the ground and first floor passages and installed an oak staircase. The Lethabys sold up in 1947. There were plans to turn the house into an old people's home in 1952, but the project was not realised, after which Russell Brock acquired the house as a family home. When his family left the house in 1978, the site of the kitchen garden / orchard was developed for housing as Rectory Orchard.

1978 to 2006

- 4.5.11 More recent changes have included roofing over the courtyard on the east side of the single storey billiard room, refitting bathrooms and re-siting the kitchen; and construction of a bilious blue swimming pool in the east lawn outside the Drawing Room. The garages were rebuilt in 1978. The extensive ranges of early 20th Century glasshouses in-between the garage and Fig Walk were demolished in 1978. Planning permission was granted for a staff bungalow on this site in 1998, but this permission has not been implemented. Similarly, consent was also given to construct a large single storey extension on the south-west corner of the house to replace the 'Tudorbethan' oak conservatory in the corner between the Chapel and Hall. This consent has also not been implemented.

5 METHODOLOGY

- 5.1 The fieldwork was designed to assess the presence or absence of significant archaeological remains, which may require further investigation. The excavation of a single archaeological evaluation trench and archaeological monitoring of excavations for temporary drainage was agreed with Diane Walls, English Heritage GLAAS monitor on behalf of Merton Borough Council. The work was undertaken in accordance with an approved method statement (Mayo 2008).
- 5.2 All works were undertaken in accordance with the guidelines set out by English Heritage¹² and the Institute of Field Archaeology.
- 5.3 A temporary benchmark (value 43.94m OD) was traversed onto the site from the Ordnance Survey Benchmark located on a fencepost at the northwest corner of the boundary of No.1 Rectory Orchard to the northwest of the site (value 33.90m OD).
- 5.4 All archaeological features (stratigraphical layers, cuts, fills, structures) were recorded in plan and where necessary in section using standard recording methods. A photographic record was also made as appropriate.

5.5 Evaluation (Trench 1)

- 5.5.1 The evaluation aimed to determine, as far as reasonably possible, the location extent, date, character, condition, significance and quality of any surviving archaeological remains liable to be threatened by the proposed redevelopment. The evaluation also sought to clarify the nature and extent, if present, of existing disturbance and intrusions and hence assess the degree of archaeological survival.
- 5.5.2 Under the direct control of the supervising archaeologist, a mechanical excavator fitted with a flat ditching bucket was used to remove unproductive soils down to the highest archaeological horizon. The deposits identified within the trench were then cleaned and investigated by hand. Investigation was limited to identifying the extent and nature of the deposits and to recover dating evidence. The trench measured 11.6m by 1.8m, and had a maximum depth of 1.5m

¹² English Heritage, 1998a, b, c

5.6 Watching Brief (Trench 2)

- 5.6.1 The watching brief aimed to determine, as far as reasonably possible, the location extent, date, character, condition, significance and quality of any surviving archaeological remains liable to be threatened by the groundworks.
- 5.6.2 Excavation by the groundworks contractors for the new drain run was undertaken using a mechanical excavator fitted with a flat bladed bucket under archaeological supervision. The deposits identified within the trench were then cleaned and investigated by hand. Investigation was limited to identifying the extent and nature of the deposits and to recover dating evidence. The trench measured 48.0m long with an average width of 0.8m. However the trench also included a number of new manhole installations of greater width. The trench ranged in depth between 2.4m and 0.95m.

6 GEOLOGY AND TOPOGRAPHY

- 6.1 The topography of the current land surface surrounding the present building is generally flat, with a shallow rise from north to south and east to west. North of the house, the level drops dramatically.
- 6.2 The British Geological Survey 1:50,000 map series, sheet 270 (South London), indicates that the site is located on a geological drift boundary of Quaternary deposits of Head: silt, sand and clay with variable gravel and Clay- with- Flints: unworn flints in clay matrix.
- 6.3 The natural geological sequence was encountered in Trench 2 at between 43.44mOD and 46.68mOD.

7 ARCHAEOLOGICAL SEQUENCE

7.1 Trench 1 (Figure 3, Section 1)

7.1.1 The earliest deposit encountered was loose, reddish yellow coarse sand and gravel, made ground [4] recorded at the western end of the trench at a maximum height of 43.11mOD. This has been interpreted as a levelling deposit, laid down to counter the sharp fall to the north. This was overlain by a 610mm thick layer of friable, mid to light brown fine sand and silt [3], also interpreted as a levelling layer. Both of these deposits contained frequent fragments of brick and also mortar and tile fragments.

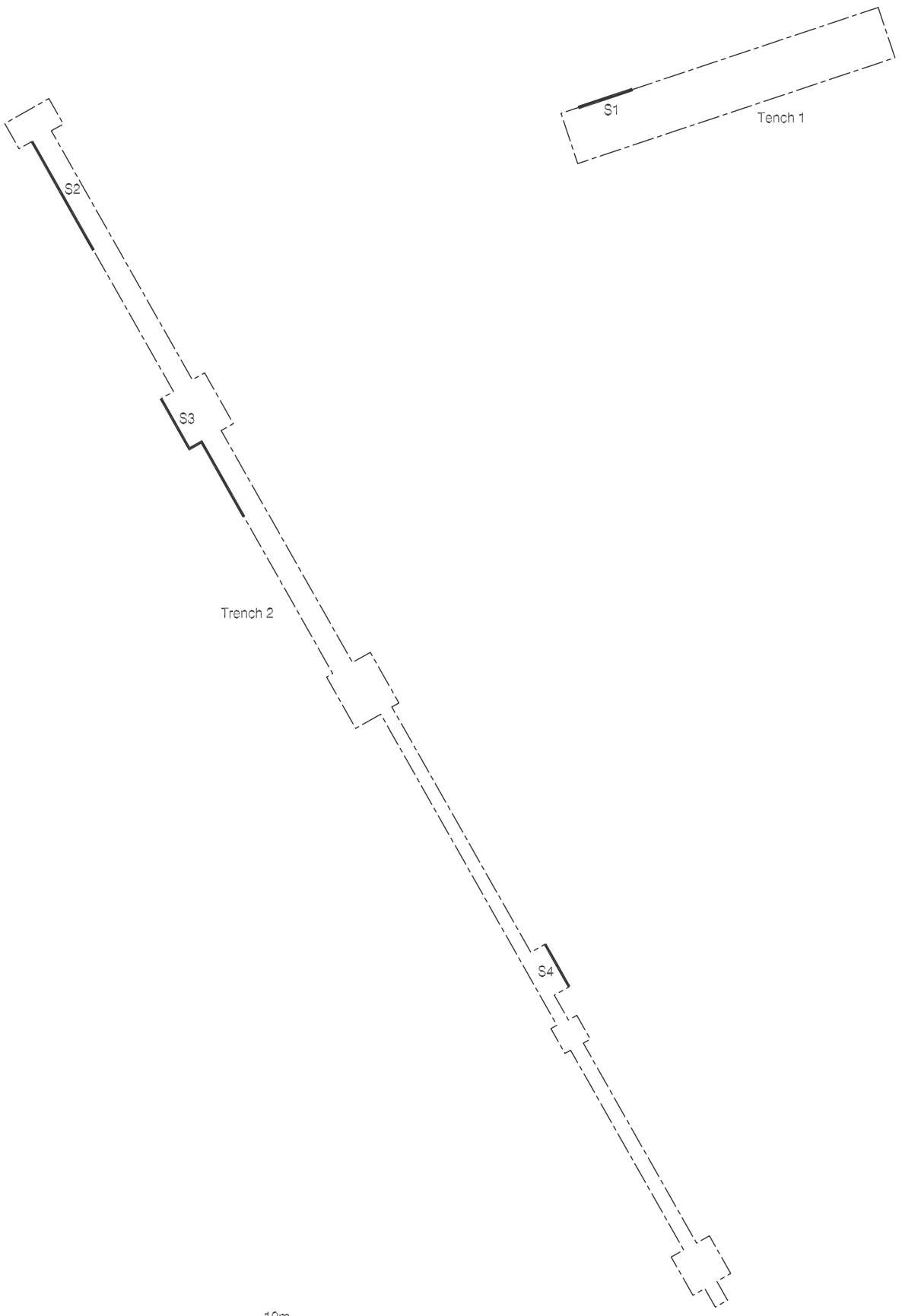
7.1.2 The levelling layers were sealed by a layer of firm, mid brownish yellow silty clay [2] up to 260mm thick also containing brick, tile and mortar fragments. This is likely to represent redeposited natural clay mixed with construction waste. Friable, dark brownish grey sandy silt topsoil up to 550mm thick completed the sequence to a height between 44.49 and 44.58mOD.

7.2 Trench 2 (Figure 3, Sections 2-4)

7.2.1 Firm mid-brownish yellow silty clay natural [12], [16], [21] was recorded along the length of Trench 2 ranging in level from 43.44mOD to 46.68mOD rising from north to south.

7.2.2 Built upon a thin layer of mortar and positioned in the southern half of Trench 2, a wall foundation [20], 200mm high made of red, unfrogged brick and bonded with a light whitish brown lime mortar survived to a level of 46.88mOD and was recorded in Section 4. Sealing the wall was a layer of light brownish yellow silty clay up to 200mm thick.

7.2.3 Completing the sequence of deposits within the trench were layers of garden soil, gravel driveway surfaces and rubble, all associated with landscaping of the grounds surrounding Old Rectory House.



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Figure 3
Section Location
1:200 at A4

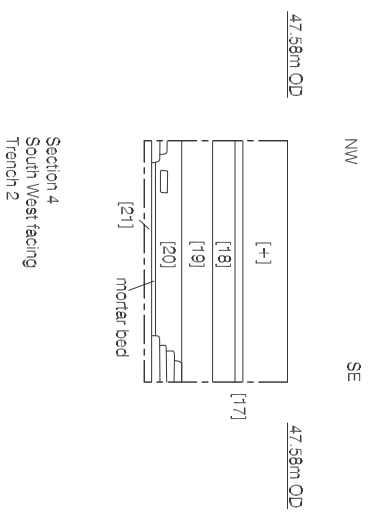
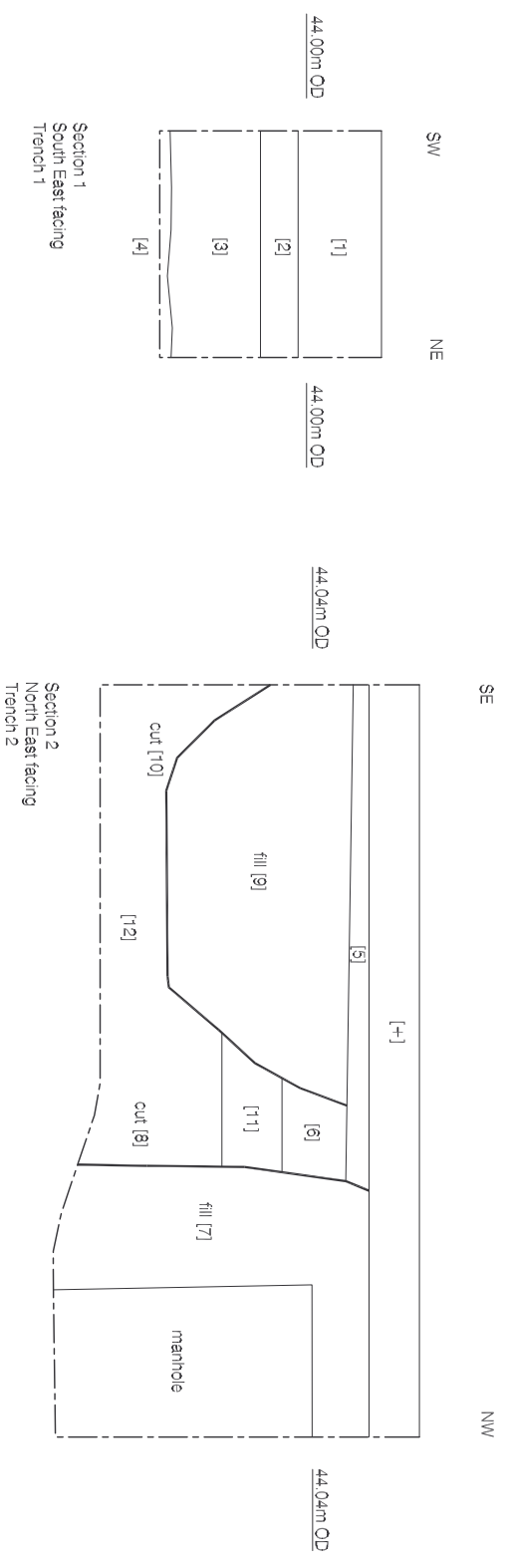


Figure 4
Sections 1 - 4
1:50 at A4

7 CONCLUSIONS AND RECOMMENDATIONS

- 7.1 The evaluation trench revealed a substantial thickness of made ground to a depth well beyond that at which natural ground was found in the watching brief trench. This suggests that there have been deliberate episodes of terracing and levelling of what is naturally a pronounced hill, sloping down to the north, to create a level construction platform for the second phase of construction by Mattathius Jacobs, between 1909 and 1919, when the northern end of the building was completed.
- 7.2 The fragment of wall foundation recorded during the watching brief is likely to be related to the Tudor North Wing, demolished in 1806. The Historical Development of the Building, produced by Donald Insall Associates Limited (WOR SK1.00), shows that although The Old Rectory House has been extensively modified since at least the early-18th century, the current footprint encompasses the majority of these designs other than where the farthest extents of the Tudor North Wing and parts of the equivalent extension on the opposite side. The fragment of masonry was only exposed in the edge of the trench, and therefore it was left *in situ*.
- 7.3 Beyond the small piece of Tudor walling, no archaeologically sensitive deposits have been identified on the site. The evaluation trench has demonstrated that substantial deposits of made ground caps the underlying natural, which forms a steep escarpment.

8 ACKNOWLEDGEMENTS

- 8.1 Pre-Construct Archaeology Limited would like to thank Donald Insall Associates Limited for commissioning the work on behalf of Mr. Nigel McConnell, and Diane Walls of English Heritage for monitoring the work on behalf of the LPA.
- 8.2 The author would like to thank Douglas Killock and Denise Mulligan for supervising the fieldwork, Jeremy Rogers for the surveying, and Lisa Lonsdale for logistics. The illustrations were produced by Hayley Baxter, and the editing by Chris Mayo.

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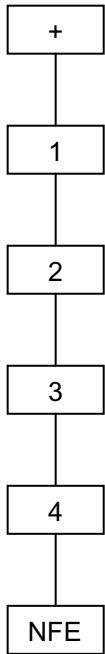
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APPENDIX 1: CONTEXT DESCRIPTIONS

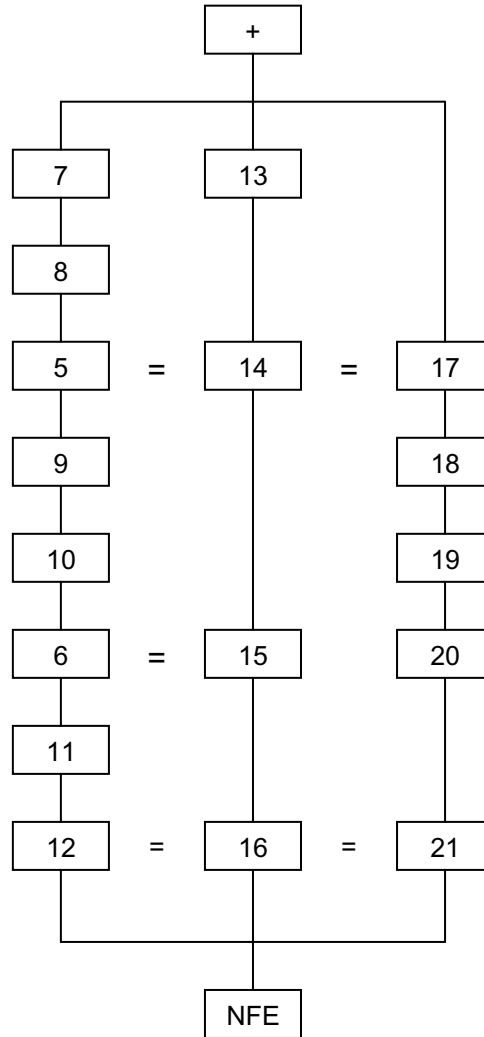
Context Number	Section Number	Trench	Type	Description
1	S.1	1	Layer	Topsoil
2	S.1	1	Layer	Re-deposited Clay
3	S.1	1	Layer	Levelling / Terrace layer
4	S.1	1	Layer	Levelling / Terrace layer
5	S.2	2	Layer	Gravel Driveway
6	S.2	2	Layer	19 th C. Demolition rubble
7	S.2	2	Fill	Backfill of cut [8]
8	S.2	2	Cut	Cut for new manhole 'B'
9	S.2	2	Fill	of 20 th C. cut [10]
10	S.2	2	Cut	for modern services
11	S.2	2	Layer	Garden soil
12	S.2	2	Layer	Natural Clay. Same as [16], [21]
13	S.3	2	Layer	Garden soil
14	S.3	2	Layer	Gravel drive. Same as [5], [17]
15	S.3	2	Layer	Demolition rubble
16	S.3	2	Layer	Natural Clay. Same as [12], [21]
17	S.4	2	Layer	Gravel drive. Same as [5], [14]
18	S.4	2	Layer	Garden soil.
19	S.4	2	Layer	Clay layer. Hill wash.
20	S.4	2	Masonry	N-S Tudor wall foundations
21	S.4	2	Layer	Natural Clay. Same as [12], [16]

APPENDIX 2: SITE MATRIX

Trench 1



Trench 2



APPENDIX 3 - OASIS FORM

OASIS ID: preconst1-44075	
Project details	
Project name	The Old Rectory House, Wimbledon
Short description of the project	An archaeological evaluation and watching brief were undertaken during extension to the north of the house and associated works to the west. A section of Tudor wall and evidence of landscaping were recorded.
Project dates	Start: 19-05-2008 End: 23-05-2008
Previous/future work	Not known / Not known
Any associated project reference codes	ORS 08 - Sitecode
Any associated project reference codes	07/P1172 - Planning Application No.
Type of project	Field evaluation
Site status	Local Authority Designated Archaeological Area
Current Land use	Residential 1 - General Residential
Monument type	WALL Post Medieval
Methods & techniques	'Sample Trenches'
Development type	Small-scale extensions (e.g. garages, porches, etc.)
Prompt	Direction from Local Planning Authority - PPG16
Position in the planning process	After full determination (eg. As a condition)
Project location	
Country	England
Site location	GREATER LONDON MERTON WIMBLEDON AND MERTON The Old Rectory House
Postcode	SW19 5AB
Site coordinates	TQ 2445 7155 51.4287674974 -0.209653325199 51 25 43 N 000 12 34 W Point
Height OD	Min: 43.44m Max: 46.68m
Project creators	
Name of Organisation	Pre-Construct Archaeology Ltd

Project brief originator	GLAAS
Project design originator	Pre-Construct Archaeology Ltd
Project director/manager	Chris Mayo
Project supervisor	Douglas Killock
Project supervisor	Denise Mulligan
Type of sponsor/funding body	Developer
Name of sponsor/funding body	Donald Insall Associates LTD
Project archives	
Physical Archive Exists?	No
Digital Archive recipient	LAARC
Digital Contents	'Stratigraphic'
Digital Media available	'Images raster / digital photography', 'Spreadsheets', 'Text'
Paper Archive recipient	LAARC
Paper Contents	'Stratigraphic'
Paper Media available	'Context sheet', 'Matrices', 'Plan', 'Report', 'Section'
Project bibliography 1	
Publication type	Grey literature (unpublished document/manuscript)
Title	An Archaeological Evaluation and Watching Brief at The Old Rectory House, 82-84 Church Road, Wimbledon, London Borough of Merton, SW19 5AB
Author(s)/Editor(s)	Holden, S and Watson, S
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