

199 NEWHALL STREET

Harper's Hill, Jewellery Quarter, Birmingham B3

Historic Building Record, 2020

Birmingham City Council Planning Application Ref. 2018/04482/PA



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FINAL REPORT

Document Ref.: 2020.004b.FINAL.v2.1c

Issue Date: 22.09.2022

Project Data: Summary

Project No.: 2020-004

Client Name: RPS Consulting on behalf of Galliard Homes and Apsley House Capital

Site Name: 199 Newhall Street, Harper's Hill, Jewellery Quarter, Birmingham, B3

NGR: centred on **SP 06350 87432**

Planning Authority: Birmingham Metropolitan Authority
Ward: Soho and Jewellery Quarter

Designations: Grade II Listed Building and unlisted
Birmingham 'Jewellery Quarter' Conservation Area

Planning Ref.: 2018/04482/PA

HER ref.: N/A

Document Data

Document Ref. 2020.004b.FINAL.v2.1c

Document Title: Historic Building Record, 2020
Issue No.: **Revision 2;** v2.1c (FINAL)

Prepared by: Ric Tyler MCI(fA)

Issue Date: 22.09.2022

OASIS Ref. No.: rictyler1-503580

Revision	Date	By	Comment
Rev.1.v1.1	01.09.2020	R Tyler MCI(fA)	Interim Statement (excluding archival research)
Rev.2.v2.1b	12.01.2022	R Tyler MCI(fA)	Final report, updated for archival research; reviewed and approved by RPS/BCC
Rev.2.v2.1c	22.09.2022	R Tyler MCI(fA)	Final report incorporating comments from G Demidowicz / J Townley

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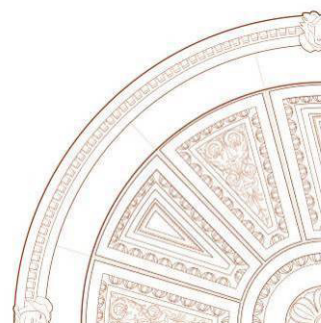
Cover image: Street entrance to office range at 199 Newhall Street.

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Historic Building Record, 2020

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199 NEWHALL STREET, HARPER'S HILL

Jewellery Quarter, Birmingham

Historic Building Record, 2020

Summary

The current document summarises the results of a programme of historic building recording undertaken in August 2020 in respect of No. 199 Newhall Street in the Jewellery Quarter, Hockley, Birmingham. The project was commissioned by RPS Consulting working on behalf of Galliard Homes and Apsley House Capital, and has been undertaken as a condition of planning consent (ref. 2018/04482PA, condition 3) pertaining to the mixed-use redevelopment of the wider Harper's Hill site (aka 'St. Paul's Quarter' development). It follows, and builds upon, a previously completed 'Heritage Statement' pertaining to the wider site, prepared by Turley Heritage and submitted to Birmingham City Council at an earlier stage of the application process, and upon an 'interim statement' on No.199 Newhall Street, prepared by the current author and issued in October 2020.

No. 199 Newhall Street is a Grade II Statutorily Listed Building lying within the 'Industrial Middle' zone of the Birmingham Jewellery Quarter Conservation Area; it has until recently formed part of the premises of Baker and Finnmere Ltd., a company with a history dating back to the mid-19th century, originally occupying premises at No. 1 James Street and historically involved in the manufacture of steel pens. It is located to the south-east extreme of the wider Harper's Hill site, where it occupies a prominent location at the south-east end of the street block bounded by Newhall Street, Brook Street and James Street, c.150m west of St. Peter's Square. The building complex comprises three principal elements; a three-storey office/workshop range (A) fronting onto Newhall Street, built in a simplified and restrained Neo-Georgian style, a large, two-storey purpose-built workshop block (B) fronting Brook Street and James Street with a distinctive 'saw-tooth' north-light roof, and a multi-phase, composite group of buildings (C) to the north-west, fronting James Street and abutting the rear of the Newhall Street range. The combined block extends to c.830m² and is centred on NGR SP 06355 87435.

Following a summary of the historical development of the wider area and a more detailed review of the available historical sources pertaining to the site under consideration, the historic building record presents a detailed description and analysis of the complex and its constituent buildings to a level commensurate with a 'Level 3' record as defined by Historic England in 'Understanding Historic Buildings: A Guide to Good Recording Practice'. This includes a summary of the date, character and techniques of construction of the component buildings together with an overview of their origin and historical development based upon the evidence of both the extant fabric and available archival sources. The textual report is illustrated by a combination of historical images and present-day survey drawings, and is cross-referenced to a comprehensive photographic record.

The site, formerly occupied by late-C18th/early-C19th residential housing around a central yard, first indicated on a map of c.1818, was bought by Baker and Finnmere in 1911, the year the firm was incorporated, and sequentially redeveloped shortly thereafter for industrial purposes. The earliest element of the extant complex was the two-storey workshop block (B), built to the designs of Ewen Harper and Bro., architects, of Corporation Street, Birmingham, with deposited drawings dated 1911; a series of associated buildings (C), though stylistically distinct, are included on contemporary design drawings and are thus assumed to be contemporary. The Newhall Street frontage block (A) formed part of the original plan, being delineated on primary drawings, though it did not form part of initial works, being

appended later over three discrete phases of development. The earliest phase comprised a two-storey, three-bay range, the southern three bays of the extant range, at the angle of Newhall Street and Brook Street, erected in c.1915; this was extended to the north by three bays in c.1936, and the full, six-bay range raised to three storeys in c.1948/9. Baker and Finnemore's premises were later further enlarged by the addition of substantial workshop ranges to the north and north-west of the historical core in the later 20th century (Building 15 of the Harper's Hill site), the whole site remaining in the company's occupation until 2020, immediately prior to recording related to the current study.

The constituent buildings that comprise No. 199 Newhall Street present a group of significant historical interest and considerable architectural merit, the latter in particular with respect to the formal treatment of the Neo-Georgian Newhall Street frontage range, the presence of which was accentuated by its heightening in the late-1940s, and this is reflected in its designation as a Grade II Listed Building. The complex combines administrative accommodation with extensive manufacturing workshops, warehousing and stores in a purpose-built, composite site redolent of earlier, 19th-century 'integrated' manufactories. The juxtaposition of the formal office/administrative range, prominently sited to Newhall Street, with the more utilitarian, liberally fenestrated workshops to Brook Street / James Street, presents a particularly interesting aspect, and it is to be welcomed that both these elements have been retained and are to be re-purposed/refurbished as part of the consented scheme.

The current programme of recording has allowed for a detailed record to be made, so far as possible from a non-intrusive site investigation, in line with the project objectives as set out in a Written Scheme of Investigation, approved in advance of work. The current report presents a useful 'point in time' record of the site prior to the consented redevelopment, while a programme of archival research has allowed for an historical context to be established in which to interpret the origins and development of the recorded buildings.



Date plaque over main entrance door recording establishment date of Wagner & Co., precursor company of Baker & Finnemore.

199 NEWHALL STREET, HARPER'S HILL

Jewellery Quarter, Birmingham

Historic Building Record, 2020

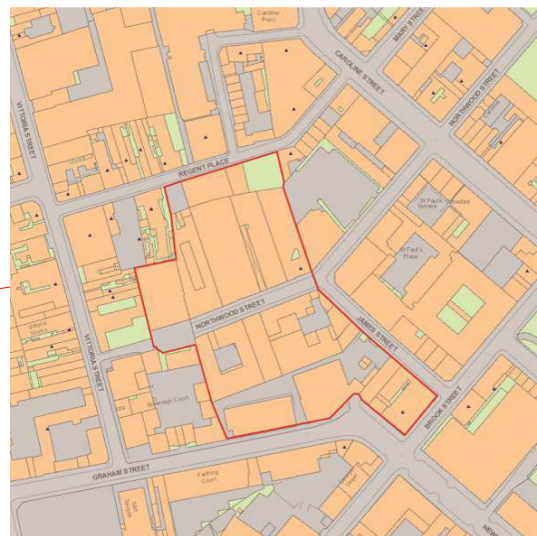
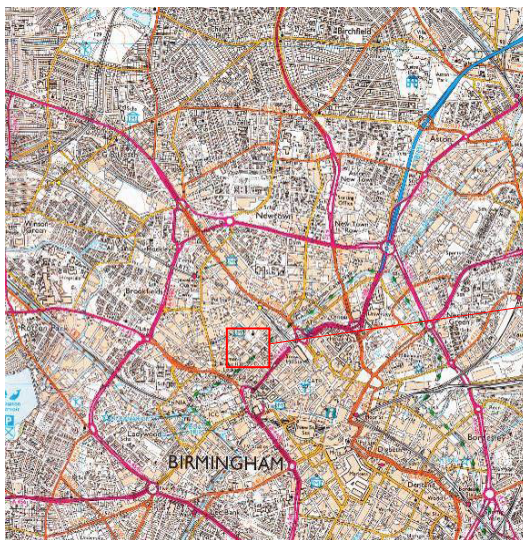
1 INTRODUCTION

1.1 Background to the Project

- 1.1.1 The current report summarises the results of a programme of historic building recording undertaken in August 2020 in respect of No. 199 Newhall Street in the Jewellery Quarter, Hockley, Birmingham B3. The project was commissioned by RPS Consulting working on behalf of developers Galliard Homes and Apsley House Capital, and has been undertaken as a condition of planning consent (ref. 2018/04482/PA, condition 3) pertaining to the mixed-use redevelopment of the wider 'Harper's Hill' site (aka St Paul's Quarter Development). It follows, and builds upon, a previously completed 'Heritage Statement' pertaining to the wider site, prepared by Turley Heritage (2018) and submitted to Birmingham City Council at an earlier stage of the application process, and upon an 'interim statement' on No.199 Newhall Street, prepared by the current author and issued in October 2020.

1.2 The Site

- 1.2.1 The 'Harper's Hill' site is located within Birmingham's Jewellery Quarter, c.1km NW of the city centre (see inset, below left). The site, which extends to a total area of c.1.48ha and is centred on NGR SP 06270 87480, is bordered by Regent Place to the north, James Street to the east, Brook Street and Graham Street / Newhall Street to the south and by properties fronting Vittoria Street to the west; Northwood Street bisects the site, aligned approximately east-west (see inset, below right). The wider application site is largely built over, comprising street frontage ranges with related back-buildings and associated yards; the site extends to 15 discrete building units / complexes (presented in the tabulated form at §.1.3.3 below).



Wider 'Harper's Hill' site: location (© Crown Copyright; OS Licence 100050391).

- 1.2.2 No. 199 Newhall Street is located to the south-east extreme of the wider Harper's Hill site (see inset below; Plate 1). It occupies a prominent site at the south-east end of the street block bounded by Newhall Street, Brook Street and James Street, c.150m west of St. Peter's Church at the centre of St. Peter's Square (Plates 1/2). The building complex comprises three elements (see inset at §.4.1.1); a three-storey office range fronting onto Newhall Street (here, Block A), a large, two-storey workshop block fronting Brook Street and James Street (Block B), and a multi-phase, composite group of buildings (Block C) to the north-west of Block B, fronting James Street and abutting the rear of Block A. The combined block extends to c.830m² and is centred on NGR SP 06350 87432.



Bird's eye view looking north-east, wider 'Harper's Hill' development site outlined in red with 199 Newhall Street annotated (image: Google Earth).

1.3 The Planning Context

- 1.3.1 A planning application (ref. **2018/04482/PA**) was submitted to Birmingham City Council (BCC) on 12th June 2018, under the terms of the Town and Country Planning Act, 1990¹ and the Planning (Listed Buildings and Conservation Areas) Act, 1990² in respect of the mixed-use redevelopment of the wider Harper's Hill site,³ the works summarised in associated documentation as follows:

Partial demolition of buildings, change of use of retained buildings at 109, 123 & 128 Northwood Street from B2 to A1-A4, B1 and C3 uses, change of use of retained building at 199 Newhall Street from B2 to B1, conversion and erection of new buildings to provide 305 one, two and three bed apartments and 9,132 sqm of non-residential floorspace for A1-A5, B1 & D2 uses with associated parking and landscaping.⁴

¹ <http://www.legislation.gov.uk/ukpga/1990/8/contents>

² <https://www.legislation.gov.uk/ukpga/1990/9/contents>

³ Applications for the redevelopment of the AE Harris site (ie. excluding 199 Newhall Street and related warehouses) were originally made as far back as 2006 (PA 2006/02600), subsequently extended as 2008/03757/PA, 2010/00357/PA and 2012/07519/PA.

⁴ <https://eplanning.birmingham.gov.uk/Northgate/PlanningExplorer/Generic/StdDetails.aspx?PT=Planning%20Applications%20On-Line&TYPE=PL/PlanningPK.xml&PARAM0=932642&XSLT=/Northgate/PlanningExplorer/SiteFiles/Skins/Birmingham/xslt/PL/PLDetails.xslt&F>

- 1.3.2 The application was approved 28th August 2020, with conditions. Condition 3 stipulated a programme of historic building recording to be undertaken on a site-wide basis, required under the terms of National Planning Policy Framework (NPPF, 2019),⁵ the Birmingham Development Plan 2017 and Supplementary Planning Guidance. The wording of the Condition stated that:

'No development, demolition or alterations shall take place until the applicant has secured the implementation of a programme of structural recording in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.'

Reason: This is required as a pre-commencement condition in accordance with the SI 2018 566 The Town and Country Planning (Pre-Commencement Conditions) Regulations 2018 as the information is required prior to development commencing in order to ensure that features which will be destroyed, removed or altered in the case of the works for which consent has been given are properly recorded in advance of destruction, removal or alteration in accordance with Policies PG3 and TP12 of the Birmingham Development Plan 2017, the National Planning Policy Framework and Regeneration through Conservation SPG.'

- 1.3.3 No formal 'brief' was issued in respect of the recording work, though a scope of recording was agreed between Nick Cooke of RPS Consulting and Mr. Chris Patrick, Principal Conservation Officer of BCC, with Historic England recording levels of 1, 1/2, 2 and 3 (as outlined in 'Understanding Historic Buildings: A Guide to Good Recording Practice') variously applied to constituent buildings based upon their perceived, relative importance and the scale and impact of proposed works. Recording requirements are summarised in tabulated form as follows:

Bldg. Ref.	Address	Status	Proposal	Recording Requirement
1	109 Northwood Street	LBII	Retention	Level 3
2	199 Newhall Street	LBII	Retention	Level 3
3	Modern warehouse to rear of 109 Northwood Street	unlisted	Demolition	Level 1
4	113 Northwood Street	unlisted	Demolition	Level 1
5	37-39 Regent Place	unlisted	Demolition	Level 2
6	117 and 119 Northwood Street	unlisted	Demolition	Level 1/2
7	123 Northwood Street	unlisted	Retention	Level 3
8	Workshop to the rear of 123 Northwood Street	unlisted	Demolition	Level 2
9	125 Northwood Street	unlisted	Demolition	Level 1
10	10-12 James Street	unlisted	Demolition	Level 3
11	110-118 Northwood Street	unlisted	Demolition	Level 3
12	124 Northwood Street	unlisted	Demolition	Level 1
13	128-138 Northwood Street	unlisted	Partial retention	Level 3
14	1970's workshop, Newhall Street	unlisted	Demolition	Level 1
15	Baker & Finnermore buildings fronting Graham Street and James Street	unlisted	Demolition	Level 2

Table 1:

Schedule of recording level requirements for wider Harper's Hill site (see plan at §.2.1 of WSI at **Appendix A**)

- 1.3.4 Based upon this understanding, a Written Scheme of Investigation ('WSI') was prepared by the current author, in accordance with the wording of the condition, submitted to and approved by Birmingham City Council in advance of work.⁶ The approved WSI (reproduced below as **Appendix A**) formed the basis for recording work.

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⁵ <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

⁶ E-mail correspondence R. Tyler / C. Patrick (BCC), 21.07.20.

- 1.3.5 Although being retained and refurbished under the current scheme, as a Grade II Listed Building (see §.1.5.2), No. 199 Newhall Street (Bldg. 2) was evaluated to warrant a 'Level 3' record, defined at §.1.6.2 below.

1.4 Reasons for Work

National Planning Policy Framework (NPPF)⁷

- 1.4.1 Section 16 of National Planning Policy Framework (MoHC&LG 2019, 54-57) addresses 'Conserving and Enhancing the Historic Environment'. The following paragraphs can be seen to be pertinent:

Para 189:

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

Para. 199:

Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.

Birmingham Development Plan (BDP)⁸

- 1.4.2 The Birmingham Development Plan (BDP) was adopted in January 2017. Policies related to the historic environment are outlined at Chapter 6 (Environment and Sustainability), paras. §.6.67-79; para §.6.67 establishes that:

'Birmingham's character is shaped by its historic development, which is represented by a rich and varied environment consisting of archaeological remains, historic buildings, townscapes and landscapes. Some, such as the Jewellery Quarter and Bournville are nationally renowned. All contribute to the unique essence of the City, identifying it as a place with its own special character and history.'

- 1.4.3 Specifically, Policy **TP12** 'Historic Environment' stipulates that:

'Applications for development affecting the significance of a designated or non-designated heritage asset, including proposals for removal, alterations, extensions or change of use, or on sites that potentially include heritage assets of archaeological interest, will be required to provide sufficient information to demonstrate how the proposals would contribute to the asset's conservation whilst protecting or where appropriate enhancing its significance and setting. This information will include desk-based assessments, archaeological field evaluation and historic building recording as appropriate.' (BDP 2017, 84).

⁷ **NB:** 2019 edition (<https://webarchive.nationalarchives.gov.uk/20210708211349/https://www.gov.uk/government/publications/national-planning-policy-framework--2>) applicable at time of application / recording; subsequently updated, July 2021 (https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf). Paragraph numbers vary in updated document.

⁸ https://www.birmingham.gov.uk/downloads/file/5433/adopted_birmingham_development_plan_2031

Supplementary Planning Guidance (SPG): Jewellery Quarter Conservation Area Management Plan⁹

- 1.4.4 The site is located within the Jewellery Quarter Conservation Area (see §.1.5.3-5 below). Part 2 of the *Birmingham Jewellery Quarter Conservation Area Character Appraisal and Management Plan* (BCC, 2002), adopted as Supplementary Planning Guidance in 2002, establishes that BCC requires that 'historical documentary research be carried out in support of proposals for alteration or demolition within the conservation area' and that 'where deemed necessary, will require the recording of a building where consent for demolition or alteration has been granted, prior to the commencement of works' (BCC 2002, 64-5; Part 2, paras. §.1.8-1.9).

1.5 Designations

- 1.5.1 In determining submitted applications for planning permission and listed building consent, BCC has statutory duties under the Planning (Listed Building and Conservation Areas) Act of 1990 to have special regard to the desirability of preserving the special interest and setting of listed buildings (s.66) and to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas (s.72).

Listed Buildings

- 1.5.2 No. 199 Newhall Street is included on Historic England's 'Statutory List of Buildings of Special Architectural or Historical Interest' as Grade II listed building (LB ID 1392743),¹⁰ where it is described as follows:

199 NEWHALL STREET

29-APR-04

II

Manufactory. Early C20. Red brick with ashlar detailing. Simplified Neo-Georgian style. **PLAN:** Street frontage office and warehouse range, with parallel workshop ranges to the rear. **EXTERIOR:** Newhall Street elevation of 6 bays, 3 storeys with basement at south-east end. Asymmetrical frontage, with entrance bay to south-east end, and vehicle entrance to bay 5, the bays delineated by plain pilasters. Main entrance with ashlar surround, with shallow hood supporting a moulded plaque, bearing inscription 'Est. 1850'. Flanking the doorway are integral lancets set below the door hood. Above, tripartite glazing bar sash windows, the centre opening 6 over 6 pane, with rubbed brick shallow arched head with keystone, the flanking lights 4 over 4 pane with flat brick heads. Shallow bracketed cills. Upper floor windows of matching pattern, but with stone lintels. Above a shallow stepped parapet with plain coping. Remaining bays with stacked tripartite windows of matching pattern. Entrance bay with double doors beneath flat lintel, and end bay with blind ground floor lights. James Street elevation with single bay return to the entrance bay, and tripartite windows set between plain pilasters and below a stepped parapet. To the north east, attached 4-bay range of 2 storey workshops, with 2 wide windows to each bay, mostly with small-paned iron frame beneath steel lintels. A prominently-sited early C20 manufactory incorporating warehousing, office and workshop functions in an integrated design. It is one of a small number of early C20 designs which further develop the late C19 concept of the integrated manufactory using a current architectural vocabulary in a manufacturing district of Birmingham now considered to be of international significance.

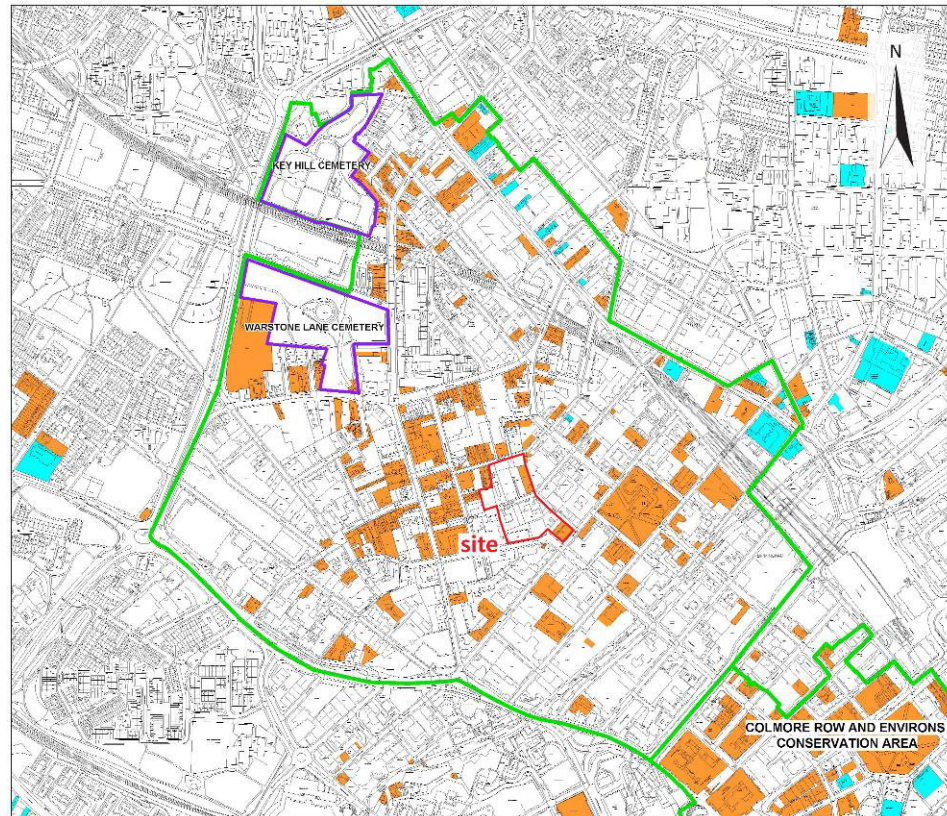
199 Newhall Street: Statutory List Entry

⁹ https://www.birmingham.gov.uk/download/downloads/id/1246/jewellery_quarter_conservation_area_character_appraisal_and_management_plan.pdf

¹⁰ <https://historicengland.org.uk/listing/the-list/list-entry/1392743>

Conservation Areas

- 1.5.3 The application site is located at the centre of Birmingham City Council's 'Jewellery Quarter' Conservation Area, No.17 (see inset below), originally designated in January 1980, later extended in January 1996 and September 2000, subsuming the St. Paul's Square and Key Hill Conservation Areas, designated 1971 and 1980 respectively (BCC 2002, 15). The Conservation Area extends to a total of c.0.95km² (94.43Ha), and is bounded by Icknield Street to the west, Sand Pits to the south, Great Charles Street/Queensway to the south-east (where it adjoins the Colmore Row and Environs CA, No. 11),¹¹ and Hampton Street/ Constitution Hill/ Barr Street to the north-east.



Location of Harper's Hill site within Birmingham's Jewellery Quarter Conservation Area.¹²

- 1.5.4 The Jewellery Quarter Character Appraisal and Management Plan (BCC, 2002) divides the Conservation Area into eight areas or localities, based upon their historical development, predominant uses and architectural character, viz. the City Fringe, St. Pauls and Canal Corridor, the Industrial Middle, the Golden Triangle, the South-West Industrial Fringe, the Cemeteries (Warstone Lane / Key Hill), Great Hampton Street, and Viaduct (ibid., 32-4; Map 4).
- 1.5.5 The Harper's Hill site lies within the 'Industrial Middle' Character Zone of the wider Conservation Area, defined within the Character Appraisal and Management Plan as being characterised by:

¹¹ https://www.birmingham.gov.uk/download/downloads/id/864/colmore_row_and_environs_conservation_area_map.pdf

¹² https://www.birmingham.gov.uk/downloads/file/1245/jewellery_quarter_conservation_area_map.

- 19th-century houses with attached workshops. Brown/red brick or stucco fronts with slate roofs. Timber sash windows to house, multi-pane cast-iron windows to workshop ranges.
- Medium-sized, early-19th-century purpose-built manufactories of three storeys. Restrained red brick facades with characteristic slightly recessed curved bay at street corners. Hipped slate roofs. Timber sashes to lower floors, multi-pane cast-iron windows to upper floors.
- Medium-sized mid- to late-19th-century purpose-built manufactories of three to four storeys. Red/brown brick with slate roofs. Timber sashes to front buildings. Brick, stone and terracotta details.

Proximate Listed Buildings

- 1.5.6 BCC's 'Planning Committee; Final Agenda Report' (2019, 10) establishes that 'the area around the Harper's Hill site contains a considerable number of listed buildings particularly fronting Regent Place to the north. Opposite the Harper's Hill boundary, Nos. 22, 24, 26, 32 Regent Place are all Grade II listed buildings as are Nos. 9, 12 -14, 15-17, 16, 53 and 60 -70 further along the street. These are in predominantly commercial use,¹³ but the upper floors of the former Squirrel Works at 32 Regent Street have recently been converted to residential accommodation. On Vittoria Street, the Standard Works at the junction of Regent Street is Grade II listed as are a number of other buildings slightly further away on the opposite side of Vittoria Street. On Graham Street, opposite the application site, Nos. 204 -206, (former Dorman Smith Switchgear Ltd offices) are listed, as is No. 11 Brook Street, located diagonally opposite No. 199 Newhall Street. The Harper's Hill site is located close to St. Paul's Square and the Grade I listed St. Paul's Church'.
- 1.5.7 Brief summaries of proximate heritage assets are given in Turley Heritage's 'Heritage Statement' (2018, table 4.1, p.27-41) and will not be repeated here.

1.6 Scope of Work

- 1.6.1 As noted above, no formal project brief has been issued in respect of the recording work, which was thus carried out in accordance with a Written Scheme of Investigation (WSI), submitted to and approved by Birmingham City Council in advance of works. A copy of the approved WSI is included as **Appendix A** below.
- 1.6.2 The agreed scope of recording (see Table 1, p.5 above) stipulated a 'Level 3' record in respect of No. 199 Newhall Street, defined in Historic England's '*Understanding Historic Buildings: A Guide to Good Recording Practice*' (HE, 2016) as follows:

*'Level 3 is an **analytical record**, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.'*

- 1.6.3 The current report has been prepared in accordance with guidelines set out by Historic England in *Understanding Historic Buildings: A Guide to Good Recording Practice* (HE, 2016), the Chartered Institute for Archaeologists' *Standard and Guidance for Historic Environment Desk-Based Assessment* (CIfA, 2017) and

¹³ Nos. 60-70 are currently in the initial stages of redevelopment as part of a wider mixed-use scheme (BCC PA ref. 2019/04424/PA).

Standard and Guidance for the Archaeological Recording of Standing Buildings or Structures (ClfA, 2019a), and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation of Works to Historic Buildings* (ALGAO, 1997). The *Code of Conduct of the Institute for Archaeologists* (ClfA, 2019b) was adhered to at all times.

- 1.6.4 A digital copy of the current report will be uploaded to OASIS, the on-line 'grey-literature' library of the Archaeology Data Service (ADS), ref. **rictyler1-503580**.

1.7 Statement of Limitations

- 1.7.1 The premises of 199 Newhall Street were vacant at the time of site visits (August 2020) and thus no record was possible of the more recent pattern of use of constituent buildings and areas.

1.8 Acknowledgments

- 1.8.1 The project was commissioned by Nick Cooke of RPS Consulting, working on behalf of developers Galliard Homes and Apsley House Capital, to whom thanks are extended for help and assistance throughout. Thanks also to Mr. Jasjeet Singh Bassi, Mr. Jonathan Wilson and Mr. Matt Smith, design co-ordinators for Galliard Homes, to Mr. Christopher Patrick, Principal Conservation Officer for Birmingham City Council and to Mr. Peter Doré and other staff at the Birmingham City Archives (BCA) at Birmingham Central Library. Special thanks also to Mr. John Townley and Mr. George Demidowicz for valuable discussions on the early history of the wider Harper's Hill site.

2 METHODOLOGY

2.1 Documentary Research

- 2.1.1 A search was made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs and drawings, written descriptions, trade directories, historical planning materials (1876-1960) and other pertinent primary and secondary sources related to the site at the Birmingham City Archives' Historic Research Area (HRA) and Wolfson Centre for Archive Research (WCAR); see §.2.2.6 below. Standard on-line sources including NHLE, Heritage Gateway, Access to Archives and the National Monuments Record (Swindon) were also consulted, while historical census records, where appropriate, were accessed via www.ancestry.com. More recent planning history for the site was reviewed via BCC's on-line planning portal.
- 2.1.2 The wider Harper's Hill site has been the subject of a previous 'Heritage Statement', prepared for Apsley House Capital Ltd. by Turley Heritage in May 2018 (updated October 2018) and submitted to BCC at an earlier stage in the planning process related to the current development scheme. This document has been reviewed in the preparation of the current report.

2.2 Structural Recording and Analysis

- 2.2.1 Fieldwork related to the current report was undertaken over a period of two days on 18th-19th August 2020. The study comprised an examination of all safely accessible areas of the buildings and the compilation of drawn, photographic and written records thereof, to an appropriate level, as follows:

Drawn Record

- 2.2.2 The drawn record comprised the preparation of plans, cross-sections and elevations sufficient to illustrate the dimensions, features and construction, phasing and development of the building so far as practicable from a non-intrusive survey. Records were based upon pre-existing survey data where available,¹⁴ otherwise site drawings were prepared at an appropriate scale in pencil on archivally stable drafting film, measurements being obtained by a combination of taped measurement and hand-held laser (disto).

Photographic Record

- 2.2.3 To complement the drawn survey, a photographic record was made comprising high resolution digital photography using a Nikon D3500 DSLR camera, commensurate with a 'Level 3' record. Where practically feasible, photographs included graded photographic scales. A register of site photographs was maintained, recording subject, orientation, date and photographer; a copy of the photographic register is included below as **Appendix B**, cross-referenced as appropriate to the colour plates included within the current document.

Written Record

- 2.2.4 A written record was maintained by way of annotations to site drawings and as free text to accompany the drawn and photographic records, and forms the basis for the building descriptions included below (§.4). This extended to cover a summary of the buildings' form and type, their function (historically and at present), materials of construction, date and sequence of development, so far as practicable from a non-intrusive survey.

Timetable

- 2.2.5 Initial fieldwork related to the wider project was undertaken over the course of a series of site visits between 29.07.2020 and 07.10.2020, with 199 Newhall Street specifically addressed on 18-19.08.2020. A return visit was made to the site following the consented demolition of the majority of the constituent buildings on 21.09.2021 (see images inset below).
- 2.2.6 Due to access restrictions at Birmingham Archives, imposed in response to the COVID-19 pandemic, it was not possible to complete archival research in advance of or during the fieldwork phase of work, as per standard 'best practice'. Research was thus undertaken at a later stage (November 2021), following the relaxation of restrictions, by which time demolition and clearance of a majority of buildings on the site had taken place (see insets below) though, as noted above, the greater part of No. 199 Newhall Street has been retained within the consented scheme. An 'Interim Statement' (ref. Revision 1: 2020.004b.DRAFT.v1), based upon on-site observation and limited, 'online' research, was submitted to BCC in respect of No. 199 Newhall Street on 01.09.2020, so as to allow work on site to progress.

¹⁴ Floor plans and elevations included within the current report were generated using a combination of recent 'proposal' drawings for the St. Paul's Quarter development, prepared by Glenn Howells Architects, and outline floor plans prepared in 2007 by DTZ Debenham Tie Leung (see **Appendix D**). Drawings were checked on site for general accuracy, and major discrepancies rectified where evident, although it should be noted that Figures 8-16 presented herein are for illustrative purposes only and should not be relied on for dimensional accuracy.



Harper's Hill site, 2019 (Google Earth).



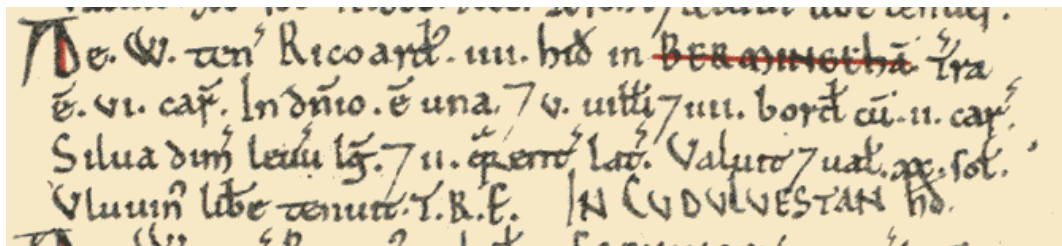
Harper's Hill site, 2021; Bldg.2, bottom right (Google Earth).

3 HISTORICAL BACKGROUND

3.1 General Historical Context

The Early Development of Birmingham

- 3.1.1 At the time of the Domesday survey, Birmingham constituted an insignificant agricultural settlement with nine peasant households sharing two plough teams and supporting a population of around 50 people; it included woodland 'half a league wide and two furlongs broad'. It is listed among lands belonging to William Fitz Ansculf, a major local landholder based at Dudley Castle; it was held of Fitz Ansculf by a man named Richard. Prior to the Conquest, Wulfwine had held the land freely, in his own right (Williams and Martin 2002, 666).



Domesday Book entry for Birmingham ('Bermingeham'); source: <https://opendomesday.org/place/sp0786/birmingham/>

- 3.1.2 Following the granting of a market charter in 1166, it would appear the town went through a period of rapid economic growth (Holt, 1985), and within a century the settlement was transformed into a prosperous manufacturing and market town.
- 3.1.3 In 1250, the year in which the town purchased the right to hold an annual four-day fair at Ascensiontide, the lords of the manor transformed Birmingham into a manorial borough. The early growth of the town was associated with a converging pattern of important local transport routes, including roads from Coventry, Warwick, Stratford, Worcester, Wolverhampton and Lichfield. Evidence for the 14th- and 15th-century economy of the town is scarce, though it is apparent both the cloth industry and the regionally important cattle market contributed to the town's growing significance.

- 3.1.4 The early industrial development of Birmingham was focussed on the areas of Digbeth and Deritend, to the south and south-east of the modern city centre, with the area of the future Jewellery Quarter remaining essentially undeveloped until the early years of the 18th century (see below).

*The Development of the Jewellery Quarter*¹⁵

- 3.1.5 Jewellery and metalware had been made in Birmingham since medieval times and, by the early- to mid-18th century the town was becoming renowned for its production of boxes, trinkets and cheap jewellery, together with buckles and buttons (EH 2000, 10). The burgeoning industry was driven essentially by small-scale family businesses, housed within workshops accommodated both within domestic buildings and in small, purpose-built workshops erected in back gardens and yards, leading to the expansion of the town to the north-west. into the southern part of the newly sub-divided New Hall (Newall) estate of the Colmore family,¹⁶ released for development by a private act obtained in 1746 (BCC 2002, 9; Foster 2005, 129),¹⁷ together with lands released by the Inge and Vyse estates. The south-eastern boundary of the New Hall estate was formed by New Hall Lane (later Colmore Row) and its undeveloped aspect in the early-18th century is illustrated by Westley's map of 1731 (Figure 2a). The north-west side of Colmore Row was built up during the mid- to late-18th century, illustrated by comparing the 1731 map with later surveys of 1750/1778 (Figures 2b/3a). Wealthier masters, merchants and professionals established themselves in substantial terraces around St. Paul's Square, centred on the Grade I listed St Paul's Church of 1776-79,¹⁸ surrounded by a rectilinear grid of newly laid out streets, and in fashionable suburban houses. Within the area to the north-west of St. Paul's, previously dotted with isolated villas and gardens (still evident on Piggott-Smith's map of 1828; Figure 4, see below), these new streets were soon infilled with a mix of larger factories¹⁹ and smaller purpose-built workshops, with or without residential accommodation (*ibid.* 12-16), prompting many of the wealthier residents, in particular those not directly associated with the jewellery trades, to relocate to other, more polite suburbs such as Edgbaston. Caroline Street, running north-westwards from St. Paul's Square to join Hall Street, is relatively wide reflecting its early importance as a route through the Colmore estate (BCC 2002, 33), and it was along this street and its side-roads that some of the earliest manufactories were built (Cattell et al. 2002, 190). Several early houses survive here (including Nos. 42 and 65 Caroline Street), of a type once more widespread across the Quarter, with workshops along the sides of their rear plots (BCC 2002, 33). In and around the industrial premises, extensive, densely concentrated areas of blind-back and back-to-back housing, arranged in 'courts', were erected to house the growing workforce.
- 3.1.6 The jewellery and precious metal trades continued to expand in the early-19th century, despite the French wars and the depression of the 1820s and early 1830s, while the 1850s saw a huge expansion in related professions (BCC 2002, 12-13). Industrial and residential development expanded beyond Warstone Lane to the north, while existing terraced houses were increasingly converted to workshop use, often in multi-occupancy, and new premises erected over back plots as every available space was built on to provide working accommodation, resulting in the dense 'urban grain' of the Quarter (*ibid.*).

¹⁵ The development of the Jewellery Quarter is addressed in detail in §.3 of BCC's 'Conservation Area Character Appraisal and Management Plan' of 2002 and will not be repeated here. A brief summary, based upon this and other secondary sources (eg. Foster, 2007; Mason, 1998) is presented, however, to establish a broad historical context for the buildings currently under consideration.

¹⁶ Down to the 16th century, when it was acquired by the Colmores, the New Hall estate had been owned by St. Thomas's Priory (Foster 2007, 129).

¹⁷ See BCA 'Calendar of Deeds, Maps and other Documents relating to the Colmore Estates'.

¹⁸ <https://historicengland.org.uk/listing/the-list/list-entry/1220815>. Shown recently completed on Hanson's map of 1778 (Figure 3a).

¹⁹ Such as the 'Harper's Hill Works' ('Building 1' of the Harper's Hill site, reported elsewhere), constructed for Bent and Parker to the south side of Regent Place in the gardens of Harper's Hill House, one of the earliest villas on the Colmore Estate and formerly occupied by the

- 3.1.7 In addition to jewellery, the quarter produced a wide range of small metal goods including watch-chains, pins, buttons, badges and medals, electroplated wares, spectacle frames and coffin fittings (Cattell et al 2002, 24). In particular, it was renowned in the mid-19th century as a world centre for the pen trade,²⁰ originating in small workshops before evolving to factory-based mass production and, at its height, there were c.100 pen factories²¹ in the area employing c.8,000 craftsmen and, predominantly, women (Hanks 2013, 31).
- 3.1.8 Production in the Jewellery Quarter peaked between 1890 and the First World War, when it is estimated that c.70,000 people were employed in the Birmingham jewellery and associated industries, after which trade gradually declined, exacerbated by the Great Depression of the 1930s. During the Second World War production turned largely to munitions and small military items, with few firms continuing in jewellery production. In the post-war period, and increasingly in the 1960s, the restricted space of the densely occupied Jewellery Quarter began to pose a significant problem for companies,²² leading some of the larger concerns to remove to other areas of the city, or to 'greenfield' sites further afield. Ambitious post-war plans envisaged widespread clearance of the quarter and the erection of a series of multi-storey, multi-occupancy 'flatted factories' (EH 2002, 29; fig. 29). These proposals did not come to immediate fruition, however, due in part to the scarcity of materials in the post-war years and, in the end, only one block was realised, the 'Hockley Centre' or 'Big Peg' of 1971 to the southern end of Vyse Street (*ibid.*, 191; fig. 209), before the scheme was abandoned.
- 3.1.9 Post-war infill and redevelopment of 'gap' sites within the area has, in places, introduced new architectural forms and materials which have often varied from the more domestic scale, massing and detailing of earlier buildings. The architectural quality and heritage significance of the area at an international level has now been recognised for some time, however, leading to the establishment of the Jewellery Quarter Conservation Area in 1980,²³ extended in 1996 and 2000 (see §.1.5.3-5 above), and the adoption of the 'Jewellery Quarter Conservation Area Character Appraisal and Management Plan'²⁴ as supplementary planning guidance (SPG) in 2002.
- 3.1.10 While representing an 'historical area of international importance' (Cattell et al. 2002, 1), the area also remains very much a working entity, an active and productive centre for the jewellery trade, forming Europe's largest concentration of related businesses and producing 40% of all jewellery made in the UK.²⁵

renowned engineer James Watt (the house is illustrated on Piggott-Smith's map of 1828, by which time it had been sub-divided - it was demolished in the early-1880s).

²⁰ The invention and early development of the steel pen is a subject of some debate (Sandilands, in Jones 2013, 26-8), with rival claims in the late-18th century from England, France and the USA. By the 1820s a trade had established itself in Birmingham's Jewellery Quarter, occupying the area between Great Charles Street and Warstone Lane; John and William Mitchell established factories in Newhall Street, Joseph Gillott in Graham Street and Wiley in Frederick Street (Hanks, in Jones 2013, 30).

²¹ *Inter alia* Hinks, Wells & Co. of Buckingham Street, C. Brandauer & Co. of New John Street, John Mitchell of Newhall Street and his brother William Mitchell of Cumberland Street, and Joseph Gillott and Sons of Graham Street (see https://www.gracesguide.co.uk/Category:Pens,_Pencils_and_Drawing_Instruments). John Mitchell is credited with being the first manufacturer to machine-cut nibs, thereby greatly speeding up the production process.

²² Despite the clearing of areas of outdated, insanitary 'slum' housing.

²³ See Victorian Society, Birmingham Group (1977).

²⁴ https://www.birmingham.gov.uk/downloads/file/1246/jewellery_quarter_conservation_area_character_appraisal_and_management_plan.

²⁵ <https://www.birminghammail.co.uk/news/local-news/city-focus-birminghams-jewellery-quarter-1292581>

3.2 Map Regression

Early Town Maps (Figures 2-4)

- 3.2.1 The first map to show the town of Birmingham in any detail is William Westley's map of 1731 (Figure 2a). The developed area of the town is focussed to the south of the future Jewellery Quarter around St. Martin's Church, Digbeth and Deritend and to the east. The recently completed St. Phillip's Church of 1709-25 is shown to the north-western limit of the urban area, to the south side of New Hall Lane (later 'Colmore Row'), north-west of which the lands of the Colmore's New Hall estate, west of the Wolverhampton road, remained essentially undeveloped at this time. New Hall itself, built before 1620 (BCC 2002, 9), is shown in relative isolation, approached via a long, tree-lined driveway from the south off New Hall Lane (later 'New Hall Street' / 'Mount Street').²⁶ The Harper's Hill site itself lies beyond the area covered by the map.



Details of Bradford (1750, left) and Hanson (1778, right) showing gradual development to north-west of Colmore Row.

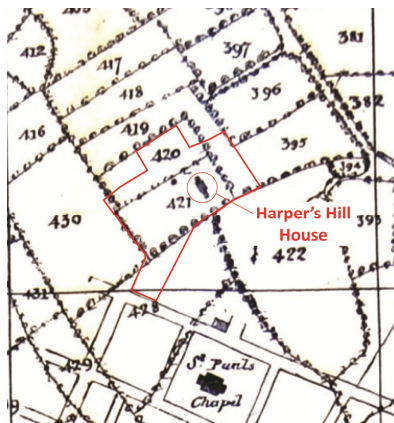
- 3.2.2 The second detailed map to illustrate the development of Birmingham is Samuel Bradford's plan of 1750, engraved and printed by Thomas Jeffrys (Figure 2b; detail above left). In the c.20 years to have elapsed since Westley's survey, development had begun to the north-west of the cathedral church of St. Philip. New Hall Lane had been renamed 'Colmore Row' and Harlow/ Charles/Hill Street (later, Edmund Street) laid out parallel to the north-west, together with a series of perpendicular streets, viz. Livery Street, Church Street, Newport (later Newhall) Street. Within this grid, construction had commenced, in particular along the north side of Colmore Row itself, of substantial townhouses with associated rear gardens, while a large number of plots had been laid out awaiting development, being annotated as 'land for building'. New Hall remained extant at this stage, though it was soon afterwards to be subsumed into the expanding town.
- 3.2.3 By the time of Thomas Hanson's survey of 1778 (Figure 3a), development was accelerating, with Great Charles Street and Lionel Street having been laid out parallel to Colmore Row, and with Church Street having been extended to the north-west (later Ludgate Hill) leading to the recently completed St. Paul's Church.²⁷ A regular grid of vacant streets are shown to have been laid out around the church, including the southern end of Caroline Street, opening off the north-west side of St. Paul's Square. The land parcels between Colmore Road and Great Charles Street had been fully developed by this date and building was well under way to the north side of the latter (inset detail, above right). The Newhall Branch Canal, actively encouraged by Charles Colmore as a device to increase his land values (BCC 2002, 9), had been opened in 1772 with a terminus just west of Old

²⁶ Overlying Westley's map onto a modern street plan indicates that New Hall was located in the south-west angle of Lionel Street and Newhall Street, some 320m south-east of the current site.

²⁷ <https://historicengland.org.uk/listing/the-list/list-entry/1220815>

Hall, below Great Charles Street. New Hall itself, evident on earlier maps, was being increasingly encroached upon by the expanding town and, after having been used temporarily as a storage warehouse by Matthew Boulton of the Soho Manufactory, was to be ultimately demolished in 1787.

- 3.2.4 A near contemporary 'Plan of the Parish of Birmingham' of 1779 by John Snape (Figure 3b; detail inset below, left)²⁸ illustrates the extent of the developed town superimposed onto a surrounding pattern of hedged field plots.²⁹ Plots are numbered, with the Harper's Hill site lying predominantly within Nos. 395, 420 and 421; unfortunately, no associated schedule survives to proffer details of ownership / occupation / state of cultivation. The map presents the first graphic depiction of Harper's Hill House,³⁰ sited within plot No. 421. Harper's (or 'Harpur's') Hill House was one of the earliest suburban villas to be constructed on the Colmore Estate (BCC 2002, 11). Demidowicz (2021, 9) has established that the 'villa' was in fact a pair of 'semi-detached' houses erected by one John Twigg, factor, in c.1775 on a c.2-acre plot of land leased on a 99-year term from 1771-2.³¹ Described by Samuel Smiles in 1865 (214-5) as 'a double house, substantially built in brick, with stone facings, standing on the outskirts of the town, surrounded by fields and gardens', part of the villa is known to have been leased to the renowned engineer James Watt for a period of 15 years (1775 to 1790) by Matthew Boulton of the Soho Manufactory in Handsworth (*ibid.*).³² The footprint of the house lies within the area of Bldgs. 4/6 of the Harper's Hill site and has been investigated archaeologically as part of the mitigation work related to the current development.³³



Detail of Snape's map of 1779 showing 'Harper's Hill' site boundary and Harper's Hill House.



Engraving of 'Watt's House' at Harper's Hill (from Smiles, 1865).

- 3.2.5 Pye's map of 1795 (Figure 4a) illustrates Caroline Street extending north-westwards from St. Paul's Square, with Northwood Street aligned perpendicularly, extending from Livery Street to the east as far as the junction with James Street (laid out in 1790)³⁴ to the west. The map presents little additional detail as regards the Harper's Hill site itself, however, which is shown as vacant (although Snape's map established the presence of

²⁸ <https://www.search.birminghamimages.org.uk/details.aspx?ResourceID=12760&ExhibitionID=12772&SearchType=3>.

²⁹ The alignment of a number of the field boundaries are preserved to the modern day in street alignments (eg. Graham St. / Regent Place).

³⁰ A number of historical sources (eg. Smiles 1865), and more recent publications (Cattell et al, 2002) refer to Harper's Hill House as 'Regent's Place'. Demidowicz (2021, 11) has established that the villa was never known as 'Regent's Place' during its lifetime, and that the misnomer, unfortunately perpetuated over an extended period of time, derives largely from Smiles' 1865 account.

³¹ John Twigg, recorded at 4/5 King Street in 1770, is listed at 'St. Paul's' in Pearson and Rollason's directory of 1781.

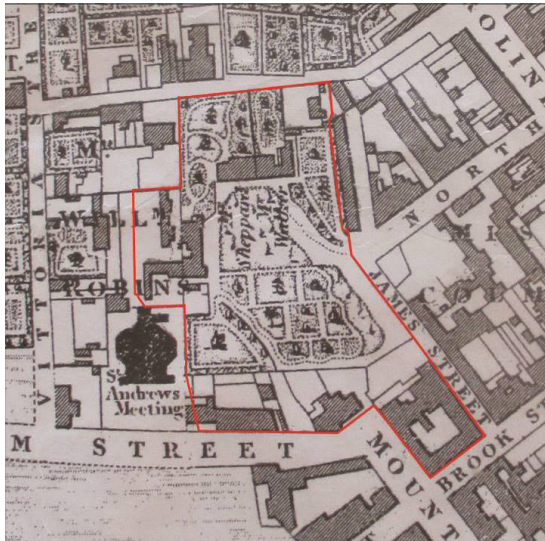
³² Commemorated in a 'blue-plaque' applied (inaccurately; see Demidowicz 2021,11) to the street frontage of Deakin and Francis at 15-17 Regent Place. The house was thus in existence at the time of Kempson's and Hanson's maps, though is depicted on neither. Watt is recorded at 'Harper's Hill' in Pearson and Rollason's directories of 1780/1781 and in Pye's directories of 1788.

³³ Reported elsewhere: Archaeology Warwickshire, Report No. 2140, May 2021; see George Demidowicz's 'Short History of Harper's Hill House' at §.3.11-3.20 of the AW report (p.8-11) for further detail.

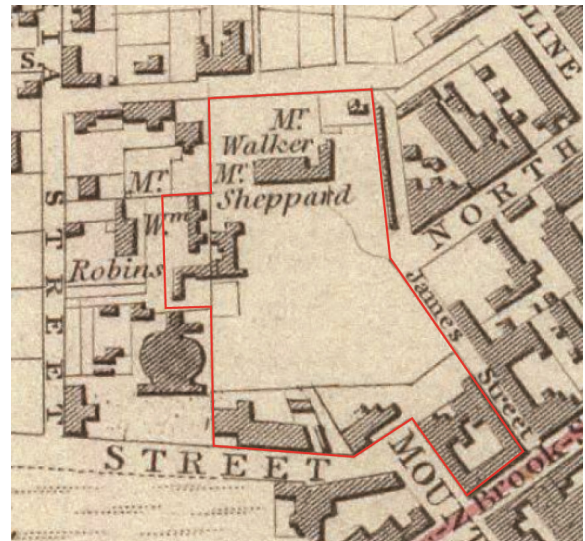
³⁴ BCC Listed Building file notes.

Harper's Hill House at that time). Graham Street had been recently laid out, marked in dashed line, though remained undeveloped, while to the north-west of the Harper's Hill site, a grid of roads³⁵ was in the process of being laid out in the angle of Camden Street and Warstone Lane.

- 3.2.6 John Kempson's map of c.1818 (Figure 3b) indicates development along and around the streets north-west of St. Paul's Square, first illustrated on Hanson's survey of 40 years earlier, with Caroline Street occupied as far north as Regent Place/Hall Street. Northwood Street is shown extending perpendicularly to either side of Caroline Street, c.100 yards north-west of St. Pauls Square, continuing to terminate to the west at the junction with James Street. The area bound by James Street to the east, Regent Place to the north,³⁶ Martin Street (later 'Vittoria Street') to the west and Graham Street (unlabelled)³⁷ to the south is shown as largely undeveloped,³⁸ though the site of 199 Newhall Street, currently under consideration, fronting Brook Street to the south, is shown for the first time as having been built over, with later maps and directories indicating a combination of commercial and residential premises.



Detail of Piggott-Smith's survey of 1828 (surveyed 1824-5).



Detail of Henshall's map of Birmingham, 1839.

NB. Harper's Hill Site (approx.) outlined in red on both maps.

Piggott-Smith, 1828

- 3.2.7 The first map to afford a detailed view of the Harper's Hill development site (if not the buildings currently under consideration) is John Piggott-Smith's map of Birmingham of 1828, based upon survey of 1824/5 (Figure 4; detail above, left). Much of the central area of the wider Harper's Hill site was occupied by Harper's Hill House and its associated grounds; a major east-west aligned boundary, deflecting northwards to the east towards James Street, defined the south side of the gardens (on an alignment that survived within the complex of buildings recorded in 2020). Piggott-Smith's survey confirms that the villa comprised two private dwellings, annotated as being in the ownership/occupation of a Mr. Sheppard and a Mr. Walker (also annotated on

³⁵ Carver St., Moreton St., Tenby St., Albion St. etc.

³⁶ Here labelled 'Regents Place', and shown extending eastwards from Martin Street (later Vittoria Street), the road does not extend as far as Caroline Street to the east.

³⁷ Named after General Thomas Graham who played a prominent role in the Battle of Vitoria in 1813 (Chin, nd.: <https://historywm.com/articles/vittoria-street>).

³⁸ Although, as noted above, it is known that Harper's Hill House existed at this time.

Henshall's map of 1839; detail inset, above right);³⁹ the combined property was accessed from the east via a driveway opening off the angle of James Street and Northwood Street, and was furnished with an extensive garden to the south side and smaller plots to the north, flanking Regent Place.

3.2.8 A number of residential buildings are shown to the southern edge of the site, south of the garden boundary wall and fronting Graham Street, while a group of buildings to the western side of the Harper's Hill site, south-west of Harper's Hill House, are understood to have been industrial ranges erected by the Sheppard family, initially used for vinegar production, though later adapted for brass cock, candlestick and bell founding, and ultimately converted to accommodate the gun-making business of Merideth & Sheppard (John Townley, *pers. comm.*). Further afield (Figure 5), fairly intensive infill development is evident within the street blocks defined by Caroline Street, Graham Street, Warstone Lane and Vittoria Street. St. Andrews Meeting House (annotated on later maps as 'Baptist Chapel') was located to the south-west, fronting Graham Street (site of the extant 'Sovereign Court') while a large house in the ownership of a Mr. William Robins ('Harper's Hill House') lay to the west, fronting Vittoria Street. Beyond Warstone Lane to the north-west, however, development was still limited in extent, with lands annotated as being in the ownership, variously, of Sir Thomas Gooch, Colonel Vyse and WP Inge Esq., laid out largely to 'small gardens' (aka. 'guinea gardens').

3.2.9 With respect to the site currently under consideration, the southern part of the street block bounded by James Street, Brook Street and Newhall Street (then named 'Mount Street' north of the junction with Charlotte Street) is shown with fully developed street frontages around a central, open yard area, closed to the north. No differentiation of property boundaries is made, though later cartographic evidence (see below) is suggestive of residential housing, broadly supported by historical census data, with trade directories indicating a degree of commercial usage.

Piggott-Smith, 1855

3.2.10 A further town survey was produced by Piggott-Smith in 1855 (Figure 6), depicts the wider Harper's Hill site increasingly enclosed by surrounding buildings, though still largely undeveloped and dominated by Harper's Hill House,⁴⁰ with the industrial ranges to the south-west thereof, and the first signs of development to the south-east of the garden plot (Bldg. 11 of wider site – see inset plan at §.3.2.12). To the southern side of the site, beyond the major east-west boundary wall, the street frontage to Graham Street is shown as having been fully developed, with evident domestic, residential buildings within the area of Bldg. 2 (see §.3.2.14 below). A composite block of small premises are illustrated fronting the north end of James Street, west side (Bldg. 10 of wider site – see inset plan at §.3.2.12).

Ratings Plan of 1870/71

3.2.11 A ratings plan of 1870-71; Sheet 275 (Figure 7) is somewhat ambiguous in nature, with the full area of Harper's Hill House and its associated gardens evidently 'blanked out', and it is pertinent that the villa itself is known to have been demolished at around the time of the preparation of this plan. The vacant site is marked, evidently as a secondary annotation, with the projected western extension of Northwood Street, beyond the junction

³⁹ Joseph Walker is listed in Wrightson's directory of 1825 at 'Harper's Hill, St Paul's', as are Sheppard & Tart, brass and cock founders
⁴⁰ Smiles (1865, 214-5) records that, at that time, the house 'is in the countryside no longer; it is now surrounded in all directions by dense buildings, and is itself inhabited by working people'. The house was to be demolished in c.1872 (Cattell et al 2002, 11); it is recorded that the Caretaker's House of Deakin and Francis at 15-17 Regent Place (<https://historicengland.org.uk/listing/the-list/list-entry/1392804>) may represent a surviving outbuilding of the villa.

with James Street; to the north the site is inscribed with the name 'Countess Berchtoldt',⁴¹ while the area to the south of the projected Northwood Street (east end) is annotated 'Jabez Marshall'.⁴² The ranges marked on Piggott-Smith's plan of 1855 to the south side of the extended Northwood Street are absent, however, though they are illustrated again on early edition Ordnance Survey maps (see below). The James Street frontage premises (Bldg. 10), first indicated on the 1855 map, remain in essentially unaltered form, as do the buildings to the south side of the site fronting Graham Street, Newhall Street and Brook Street.

Ordnance Survey Maps (Figures 8-11)

- 3.2.12 By the time of the first edition 25in. (1:2,500) map of 1890, the area of the wider Harper's Hill site had become intensively developed with a dense pattern of industrial and residential premises (Figure 8). Within the Harper's Hill site itself (Figure 9a), the initial stages of development along the extended Northwood Street, within the of the area made vacant by the demolition of Harper's Hill House, are evident, the first major introduction being the 'Harper's Hill Works' to the north side of the street (Bldgs. 1/3 of current study; reported elsewhere),⁴³ erected in 1882 for the company of Bent & Parker Ltd., manufacturers of military ornament.⁴⁴ Early structures in the area of Bldgs. 10, 11 and 12 were also present (see inset below)



Key plan showing premises of Harper's Hill site (with reference numbers).

- 3.2.13 Subsequent Ordnance Survey editions (Figure 9b-11b) illustrate the sequential development of the constituent plots of the Harper's Hill site (inset above), and the evolution culminating in the pattern of structures recorded

⁴¹ Countess Berchtoldt was Matilda Strachan, the adopted daughter of the Marquis of Hertford (Francis Charles Seymour Conway), whose daughter Charlotte Leopoldina Strachan (Countess Zichy Ferraris) was left £10,000 in a codicil to The Marquis of Hertford's will secured on his 'Birmingham Estate'. On his death, Caroline Colmore's father, Charles, had stipulated in his will that if both Lionel and Caroline died without issue, then the estate should pass to his friend Francis Seymour-Conway, 1st Marquis of Hertford, or his son, also Francis. Since the first Marquis had died before Charles Colmore in June 1794 and his son in June 1822, it was not clear that the estate would automatically pass to the third Marquis, Francis Charles, after Caroline Colmore's death. In 1825, she applied to the Court of Chancery and in 1829 the Colmore estates were divided between her and the third Marquis. Caroline Colmore retained the sole and undisputed title of all of the Colmore's Birmingham estates. (A chancery dispute, Berchold v. Capon, sought to establish whether this legacy transferred to the mother following the death of the daughter; Chancery found in favour of the mother). Very many thanks to Mr. George Demidowicz for information on Matilda Stachan and her relationship to the Colmores.

⁴² Jabez Marshall Jnr. was a cooper, listed in trade directories of the early-20th century (1903-1929) at No. 110 Northwood Street.

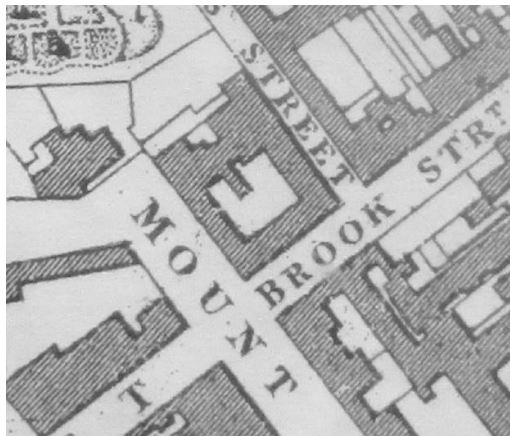
⁴³ See Tyler, 2022a.

⁴⁴ Birmingham Building Plan **BBP 3132**; designs by Thomas Plevins, architect; original drawings do not survive. The street frontage block of the Harper's Hill Works (Bldg. 1, a Grade II Listed Building), has been retained within the consented redevelopment scheme.

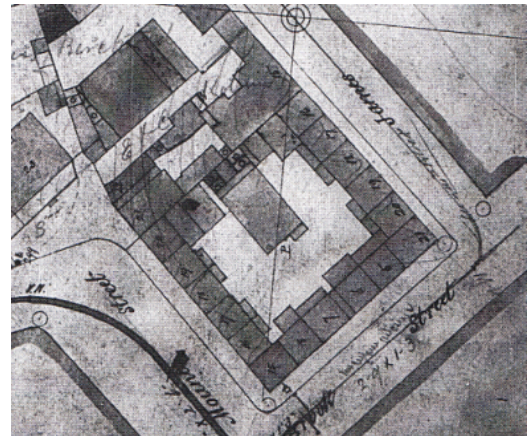
in 2020. This will not be discussed in detail here,⁴⁵ though it is significant to note that the earliest buildings of the recorded complex at 199 Newhall Street are first depicted on the edition of 1917/18 (see below).

Development of the Site of 199 Newhall Street

- 3.2.14 As noted above, the site of the future 199 Newhall Street is first shown as having been developed on Kempson's map of c.1818 (detail inset at §.3.2.6), with more detail afforded by Piggott-Smith's survey of 1828 (inset, below left), Piggott-Smith's plan of 1855 (Figure 6) and the ratings plan of 1870/71 (inset below, right). Each illustrate street frontage residential premises to Newhall Street, Brook Street and James Street, arranged around a central, open yard, the latter accessed via an alleyway sited centrally to the Brook Street frontage. A structure projecting into the yard from the centre of the north-west side, shown on subsequent OS maps to have comprised six discrete, conjoined spaces, possibly represents a wash-house / latrine block, with an adjacent pump (annotated 'P') marked on the ratings plan.



Site of future Building 2 on Piggott-Smith, 1828.

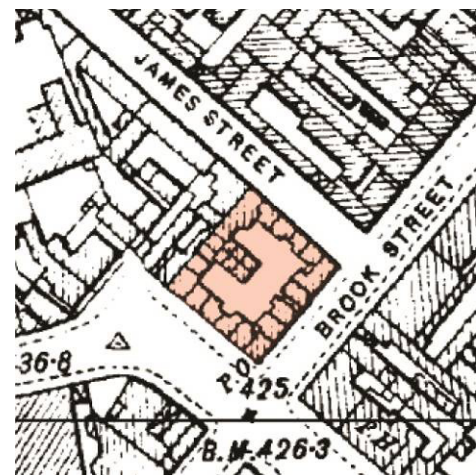


Site of future Building 2 on ratings plan of 1870/71.

- 3.2.15 A similar arrangement is illustrated on the first and second edition 25in. Ordnance Survey maps of 1890 and 1905 (Figure 9; inset details below), the latter edition showing a Post Office (annotated 'P.O.') accommodated within the property at the angle of Brook Street and Newhall Street (see fn. 60).



Ordnance Survey 1st Edition, 1890.

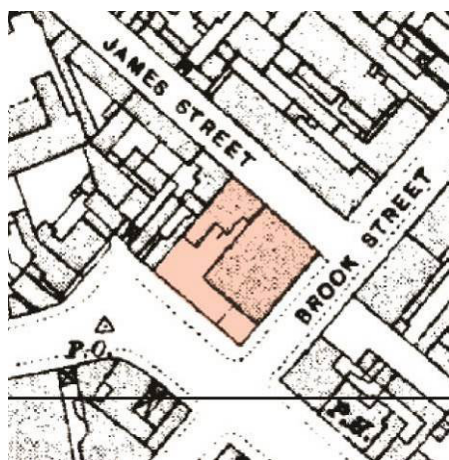


Ordnance Survey 2nd edition, 1905.

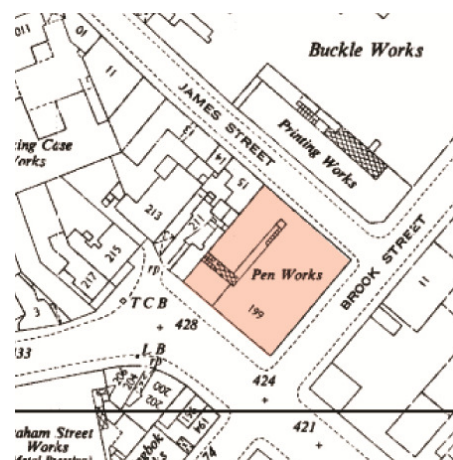
⁴⁵

See Tyler, 2022c for a fuller discussion of the development and evolution of the wider site.

3.2.16 By the time of the third edition 25in. map of 1917-27 (Figure 10a; inset detail, below left), however, the arrangements of the site had been fundamentally changed, with early street frontage housing to Newhall Street, Brook Street and James Street having been removed and the initial redevelopment of the site for Messrs. Baker and Finnemore having begun in c.1911 (see §.3.3.2), the year of incorporation of the firm (see §.3.7.1). A new, large structure (correlating with Block **B** of the recorded buildings),⁴⁶ had been introduced at the angle of Brook Street and James Street with a further composite-plan range to the north-west thereof (Block **C**). The site of the Newhall Street range (Block **A**), however, formerly comprising a terrace of six residential properties,⁴⁷ is shown as vacant; although the street frontage range formed part of the original, submitted design scheme, and it has been established that the southernmost three bays had been erected in c.1915 (see §.3.3.7 below).



Ordnance Survey 1st Edition, 1917-27.



Ordnance Survey 2nd edition, 1955.

3.2.17 By the time of the next available edition, 1955 (Figure 10b; inset detail above right), the full extent of the Newhall Street frontage range had been added and the arrangements of the site and its constituent buildings correspond broadly with those that survived in 2020; they are labelled as '199' Newhall Street⁴⁸ and annotated as a 'Pen Works' (although other documentary sources indicate that the main thrust of Baker and Finnemore's production had shifted to 'fasteners' by this date). The block of composite plan lying to the north-west of the main workshop range had been enlarged/modified to cover a more regular footprint, and extended south-westwards to meet the rear elevation of the Newhall Street frontage block, where a glazed cross-passage is indicated (cross-hatched). The enlarged block was separated from the main workshops by a narrow, open passage incorporating an external stair serving the upper level of the workshops.⁴⁹

3.2.18 Little significant change is illustrated within the site boundary in the OS edition of 1970 (Figure 7a; inset detail below left), though a number of adjacent buildings had been removed, viz. Nos. 13-15 James Street and Nos. 209/211 and 217 Newhall Street (no related planning materials are listed online). A large, rectangular range (corresponding to part of Building 15 of the Harper's Hill site) had been erected over the footprint of Nos. 209/211 Newhall Street and No.15 James Street, flanking the north-western side of No. 199, though Nos. 213/215 remained *in situ*. These last buildings had been removed by the time of the 1980-91 edition (Figure

⁴⁶ Constituent blocks of the Bldg. 2 manufactory complex are defined and illustrated at §.4.1 below.

⁴⁷ See late 19th-century census returns at §.3.6.2.

⁴⁸ **NB.** Historical trade directories down to 1970 continue to list the premises as '197-207 Newhall Street' (Appendix C). Indeed, the registered address recorded on signage affixed adjacent to the main entrance door to Block **A** continues to use '199-207 Newhall Street'.

⁴⁹ Passage **[G16]** and stair **C** of the extant range (see building description at §.4.2). The extant north-western wall of the passage retains some early fabric at ground floor level, possibly related to a former heat treatment block or engine house (see §.3.3.2).

7b; inset detail below right),⁵⁰ and the western section of the extant Building 15 introduced (extending westwards over site of No. 217).⁵¹



Ordnance Survey Edition of 1970.



Ordnance Survey edition of 1980-91.

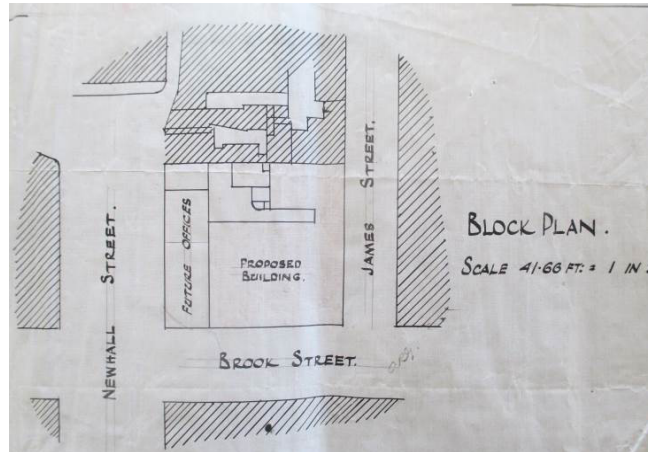
3.3 Planning History

'Birmingham Building Plans' (BBP)

- 3.3.1 Prior to 1876, there was no statutory obligation or requirement for developers to submit planning drawings for approval; after this date, however, plans were presented for consideration and a large number of these drawings are retained by the Birmingham City Archives in the 'Birmingham Building Plans' (BBP) collection. Deposited plans are listed in a series of annual registers, recorded by street name only. Thus, a search of submissions for Newhall Street, Brook Street and James Street was made for the date range 1876-1960, with a total of four relevant projects identified, described below. Extracts of pertinent drawings are reproduced, as appropriate, with the permission of Birmingham City Archives.
- 3.3.2 BBP ref. **22011** relates to a 'Proposed factory for Baker and Finnemore, Newhall Street, Birmingham', with designs prepared by Ewen Harper and Bro., architects, of Ruskin Buildings, Corporation Street Birmingham, dated March 1911 (see §.5.2 below). A block plan accompanying the designs (inset below) clearly indicates that the submitted drawings apply to the rear, workshop blocks (**B**) of the recorded building, set in the angle of Brook Street and James Street, together with associated ranges (**C**) to the north thereof which, though varying in form and detailing (see §.4.4), are thus assumed to be broadly contemporary. Although the associated office range fronting Newhall Street (**A**) is included on the plans, it is clearly annotated as 'future offices', signifying a phased development, which tallies with the evolution of the premises indicated by historical Ordnance Survey mapping.

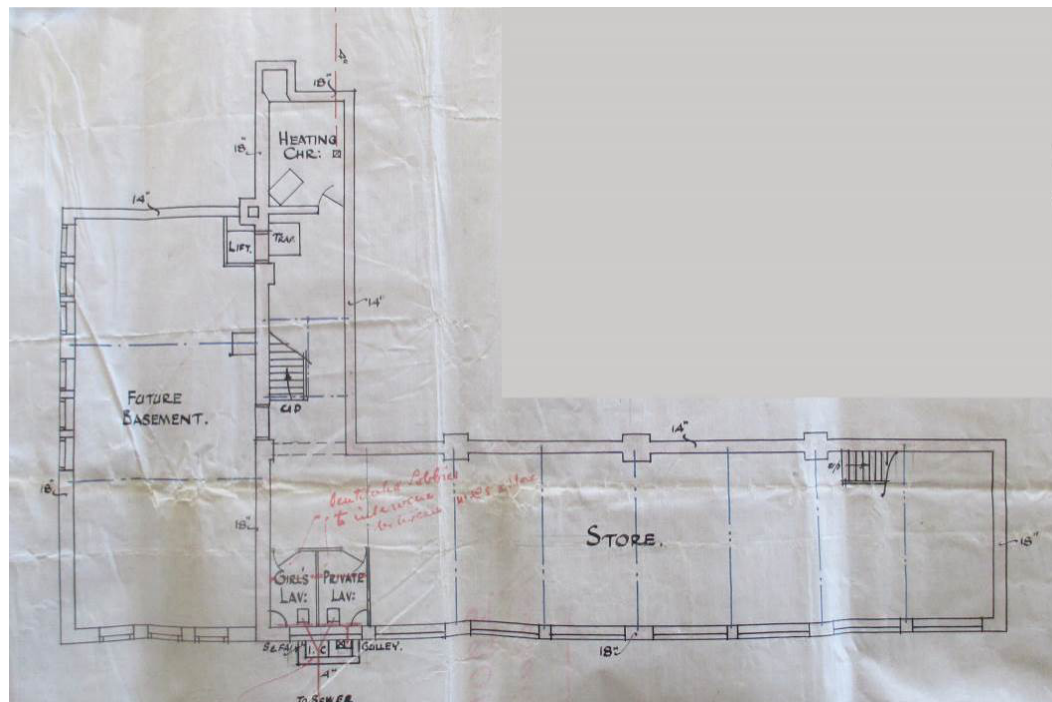
⁵⁰ No planning information related to the demolition of these properties has been identified to date, though PAs 2855 and 1762/1 (21.02.1949) relate to the rebuilding part of the premises at 215 Newhall Street to form a 'packing and case store' for Messrs. Mole and Son of 51-56 Charlotte St.

⁵¹ Reported elsewhere; Russon (in Jones 2013, 133) records that the Graham Street premises 'attached to the Newhall Street site' were 'bought' in 1976 to create additional production space.



Block plan accompanying detailed designs (BBP 22011; 1911).

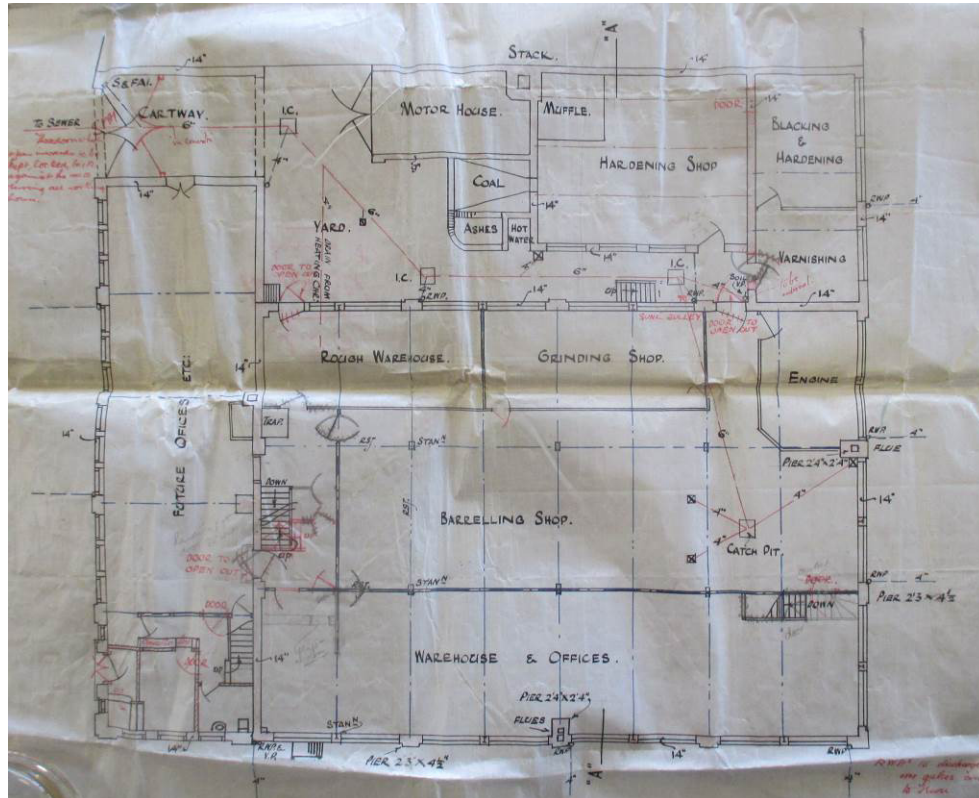
- 3.3.3 Basement level (inset below) comprised a single, open 'store' of four structural bays (with intermediate, transverse ceiling beams), extending beneath the southern bay of block (B), aligned parallel to Brook Street, lit by low level lights within the street elevation and accessed by a stair descending at the north-east angle. Two discrete WCs were incorporated the southern side of the westernmost bay. The main range returned northwards to the west, flanking a 'future basement' (beneath Block A) aligned parallel to Newhall Street, the northern return accommodating the lower flight of an access stair and terminated to the north in a heating chamber at Bay 4 of the extent range.



Basement level plan (BBP 22011; 1911)

- 3.3.4 Ground floor level (inset below) comprised three contiguous ranges aligned east/west, parallel to Brook Street, of four principal structural bays with intermediate, transverse ceiling beams over. The southern range, annotated as having formed 'warehouse and offices' was screened from the two northern bays by an ephemeral, part-glazed partition, with a straight-flight stair descending to basement level at the north side of

the easternmost bay. The central range accommodated a 'barrelling shop' and the northern bay was subdivided to form a 'rough warehouse' (west), 'grinding shop' (centre) and 'engine room' (east, with flue to south-east angle).⁵² The western ½-bay of the combined range was screened off to form a circulation space, with a further stair affording access to basement and first floor levels. To the north of the main range, a series of smaller, single-storey structures to the north and east of a small, enclosed yard accommodated 'varnishing', 'blackening' and 'hardening' shops, a 'motor house' (with stack) and coal/ash stores. The full, six-bay plan of the Newhall Street frontage range is shown, again annotated as 'future offices etc.'; it is of note that the transverse cart entry is shown at the northernmost bay (Bay 6), not at Bay 5 as in the recorded structure.⁵³

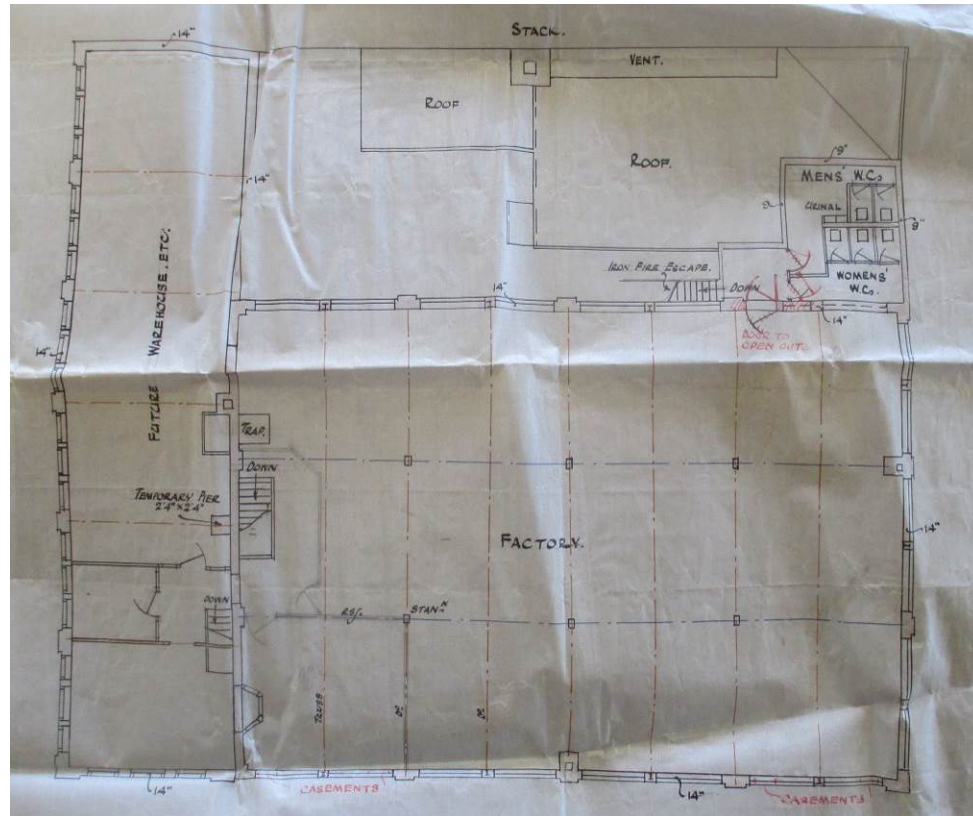


Ground floor plan (BBP 22011; 1911).

3.3.5 First floor level (inset below), was approached via the internal, straight-flight stair to the west side of the central range, and by an external stair rising at the east end of the north elevation (both of which survive). It is shown to have formed a single, open space, unencumbered save for regular support stanchions at principal bay divisions, and is annotated simply as 'factory', generously lit by large window openings to north, south and east.

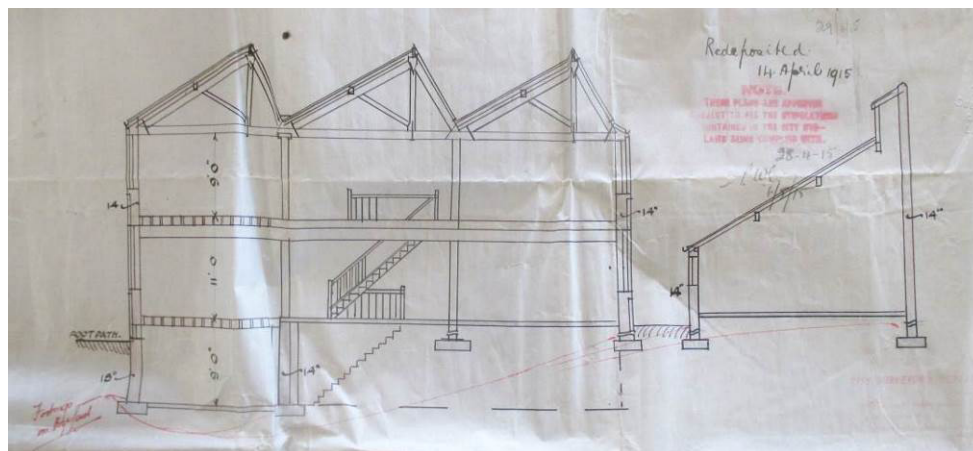
⁵² Extant, though redundant, within recorded range (see Plate 94).

⁵³ No evidence was recorded during the current study for the relocation of the transverse cart entry, and it is thus assumed that the design was modified at some point between the preparation of the original drawings and the construction of the northern end of the range in 1936 (see §.3.3.7); the Bay 5 location is illustrated in a 'bird's eye' aerial photograph of 1948 (inset at §.3.4.1).

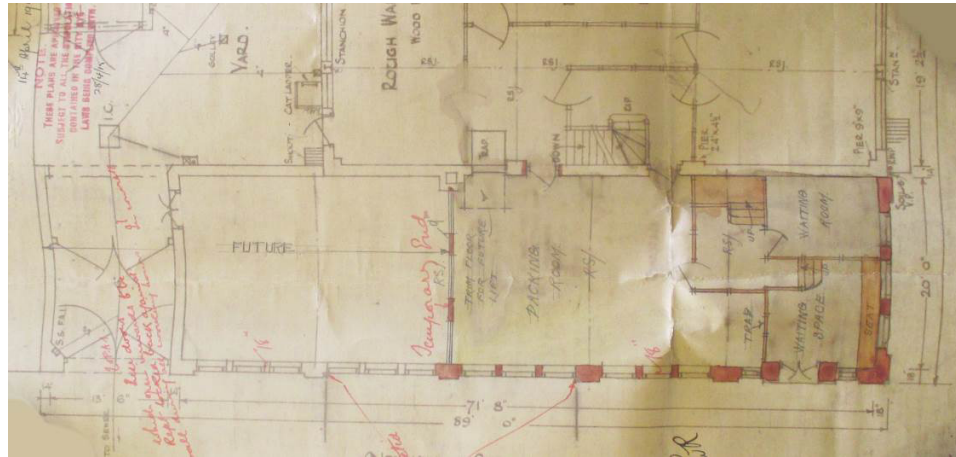


First floor plan (BBP 22011; 1911).

- 3.3.6 An accompanying, transverse cross-section (inset below) depicts the vertical arrangements of the two-storey, partially basemented workshop range, the upper floor furnished with a distinctive, saw-tooth 'north-light' roof supported on asymmetrical king-post trusses. To the north of the main workshop range, the single-storey 'hardening shop' of Block C is shown backing onto the site boundary wall, furnished with a mono-pitch roof with ridge vent.

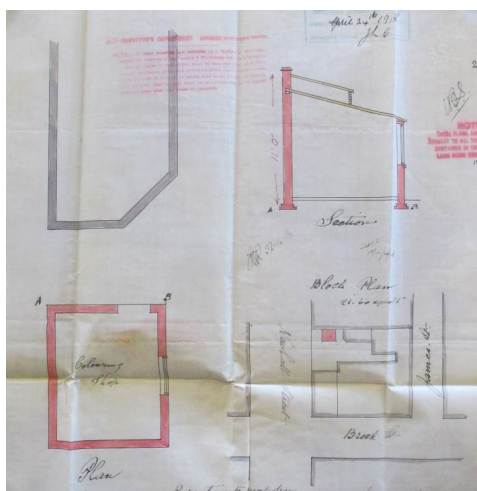


Transverse cross-section looking west (BBP 22011; 1911) including 'hardening shop' [G14] to right.

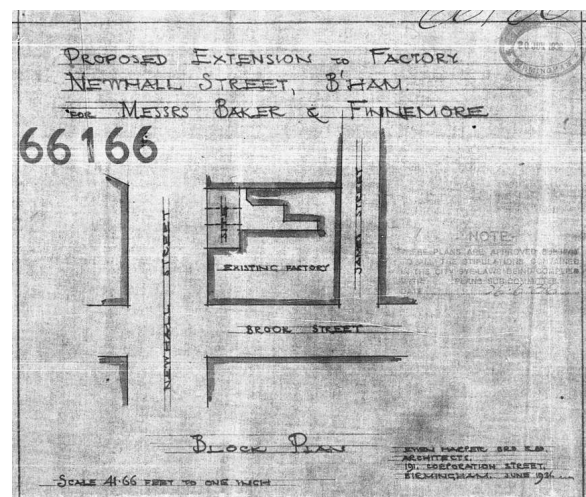


Part of Newhall Street frontage range, ground floor plan 1915 (appended to BBP **22011**; 1911).

- 3.3.7 Construction of the Newhall Street frontage block commenced shortly afterwards, with a further plan, appended to the original drawings and dated April 1915, illustrating the ground floor arrangements of the southern three bays only of the range (*viz.* Bays 1-3; Figure 12). The northern three bays, including a transverse cart entry (again shown at Bay 6), are annotated 'future' and were to be added at a later stage (BBP **66166**, 1936; see below). Bay 1 was occupied by a 'waiting space' to the west, served by double-doors within the street elevation, with a discrete, enclosed 'waiting room' to the east thereof. Bays 2-3 were occupied by an enclosed internal stair and by a large, two-bay 'packing room'. The north side of Bay 3 is shown as having been defined by a 'temporary end' including three regular window openings. No accompanying first-floor plan of the original two-storey range survives.
- 3.3.8 BBP ref. **28978** relates to the introduction of a 'Colouring Shop' to the Newhall Street works for Messrs. Baker and Finnemore, design drawings being prepared by James Ludlow, builder, of Albion Street, Birmingham, dated April 1918 (inset below, left). The simple, single-storey colouring shop, rectangular in plan beneath a mono-pitch roof, was located against the northern boundary wall of the site, close to the original 'motor house' within the area of the later occupied by the northern extension of the Newhall Street frontage block **A**, erected in c.1936 (see below).

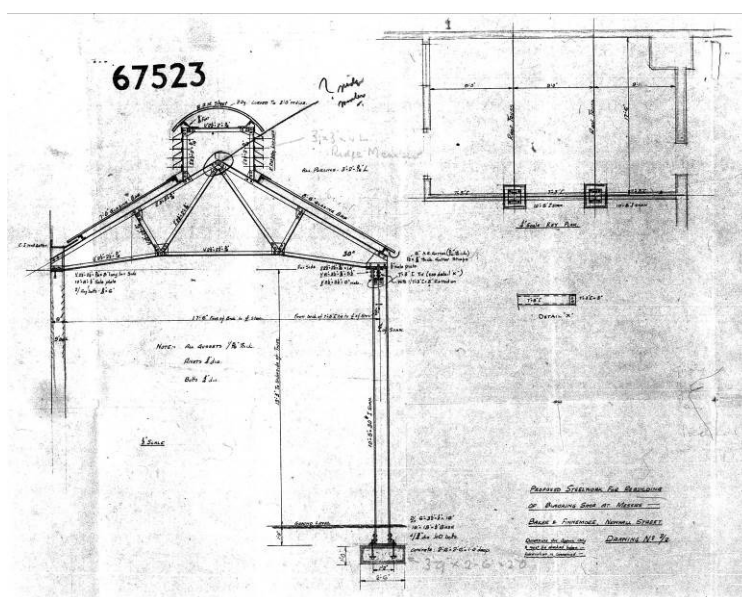


Colouring shop (subsequently lost) erected in 1918.
(BBP **28978**).



Block plan for extension of Newhall St. frontage range, 1936.
(BBP **66166**)

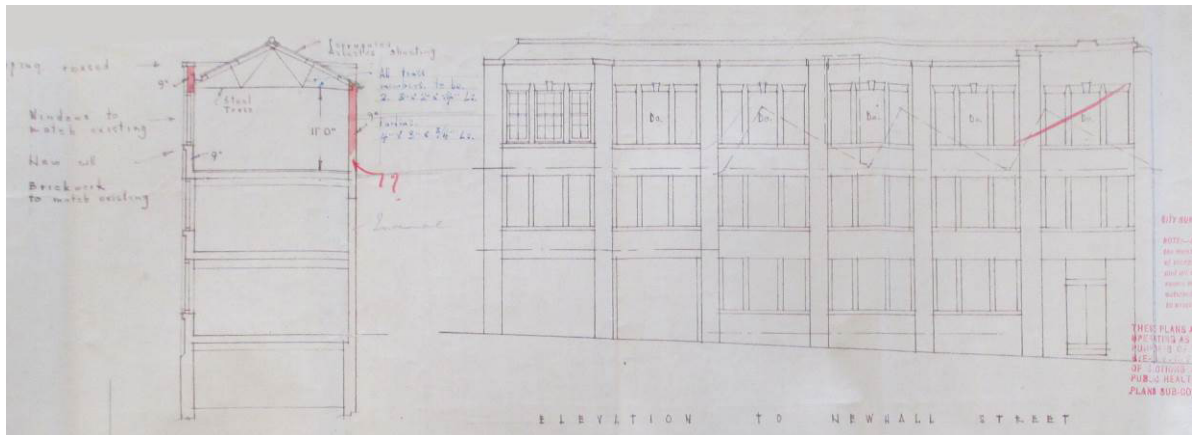
- 3.3.9 The Newhall Street office range, initially (c.1915) a two-storey structure of three bays (see above), was doubled in length in c.1936 (BBP ref. **66166**), when the three northern bays (Bays 4-6; Figures 16/17) were appended. Only a block plan survives for the work (inset above, right),⁵⁴ the drawing being prepared by Ewen Harper Bro. and Co. of 191 Corporation Street, Birmingham (see §.5.2 below). Later applications, together with historical photographs, confirm that the range continued to be of two storeys at this time, not being raised to three storeys until after the Second World War, while it would appear that the ground floor transverse cartway entrance was incorporated at Bay 5 as opposed to Bay 6 as illustrated in the original design drawings.
- 3.3.10 BBP ref. **67523** (microfilm only) relates to the rebuilding of a 'blacking shop' for Baker and Finnemore, also dating to 1936, corresponding to modifications to room [G15] of the recorded structure (see Figure 12; Plates 110/111).



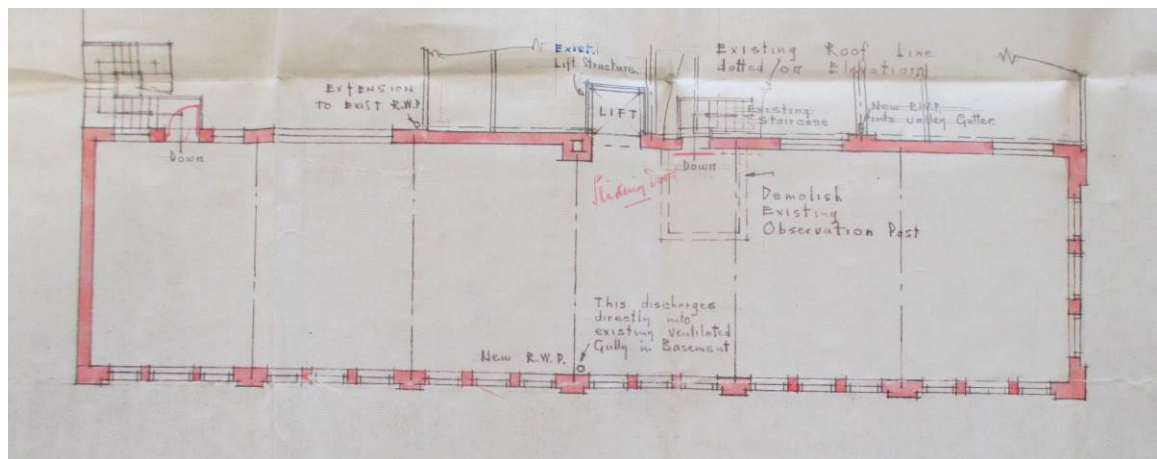
Repairs to blacking shop, 1936 (BBP **67523**).

- 3.3.11 As noted above, the Newhall Street frontage block originated as a two-storey range, erected in two phases (Bays 1-3, 1915; Bays 4-6, 1936); BBP ref. **90080** relates to the addition of a 'proposed additional storey' to the full length of the range, to the designs of Ewen Harper Bro. and Co., architects, of 191 Corporation Street, Birmingham,⁵⁵ drawings dated December 1948. A letter attached to the drawings, dated 18th January 1949, clarifies that 'the original was submitted in 1936 and was approved under plan No. 66166, dated June the 20th 1936'. A street elevation, cross-section and floor plan survive (insets below). Fabric was closely matched to the original/earlier work throughout. It is of note that both Bays 5 and 6 are shown blank at ground floor level on the street elevation, though other sources indicate that the cartway entrance was sited at Bay 5. The floor plan indicates an open, unencumbered workshop space, approached via an 'external' straight-flight stair at Bay 3 (extant) and an 'open well' fire-escape stair at Bay 6 (subsequently removed); a roof level observation post (evident on historical photographs) was removed as part of the work. The lift-shaft, shown internal to range **A** on earlier plans, is indicated external to the street frontage range at Bay 3, annotated 'existing lift structure'.

⁵⁴ Drawing survives on microfilm only.



Transverse cross-section and street elevation of heightened range (BBP ref. **90080**).



Upper-level plan of heightened range (BBP ref. **90080**).

Later Planning Materials

- 3.3.12 Planning Ref. **02836000** of February 1949 relates to the introduction of an additional storey to one of the ranges at 199 Newhall Street. No documentation is available online, though given the date of the application, it would seem reasonable to assume that this reference is related to BBP 90080, described above, for the heightening of the Newhall Street office frontage block.
- 3.3.13 Planning Ref. **1992/03921/PA** of October 1992 relates to the addition of a three-storey extension for production and storage, and presumably relates to the later enlargement of the manufactory premises (Building 15).

3.4 Historical Views and Photographs

- 3.4.1 A search of readily available primary and secondary sources has revealed no historical terrestrial images of the premises under consideration. A 'bird's eye' aerial photograph of 1948 (see inset below),⁵⁶ however, is of

⁵⁵ Successor company to the architects of the original workshop range (see §.5.2).

⁵⁶ Britain from Above; image ref. EAW013562

particular interest and significance in that it clearly depicts the Newhall Street frontage block as a two-storey, six-bay range at that date, prior to the introduction of the upper floor (BBP **90080** above), with the saw-tooth profile of the rear workshop range extending above the level of the original flat roof of the frontage block. A square projection extending above roof level at Bay 3 comprised an 'observation post' related to the recent Second World War, and was to be removed as part of the works related to the heightening of the range (see floor plan above), as was a large (?) water tank located over Bays 5/6.



Extract from 1948 'bird's eye' photograph on 1948, looking south-east **NB**. 2-storey Newhall St. frontage range.

- 3.4.2 As noted above (§.3.3.11), the second floor of the range was added soon after the date of this photograph, with application BBP **90080** of 1948/9 referring to the introduction of an additional storey. Also of note is the location of the transverse cart entry to the range, located at Bay 5 of the elevation, at variance with earlier design drawings, though this reasonably reflects an alteration in design rather than a modification to the fabric. The photograph also provides a 'roofscape' view of the collection of former buildings occupying the north-east angle of the site (Block **C**), evident on the 1917-27 OS map but significantly modified by the time of the 1955 edition; a tall tapering chimney, which survives in truncated form, rises to the north-west side of this area indicating the presence of a heat treatment block or engine house.⁵⁷
- 3.4.3 More recent, vertical aerial imagery, available via Google Earth (see insets below), indicates no significant external modifications in the time period 2000-2020.

⁵⁷

Sketch plans of 2007 identify this area of Block **C** as a heat treatment area, suggesting a continuity of use.



Historical Google Earth aerial photographic imagery from 2001 (left) and 2019 (right); **NB.** 199 Newhall St. outlined in red.

3.5 Historical Trade Directories

- 3.5.1 Baker and Finnemore, metallic pen makers, are listed at No. 1 James Street from 1855, when they bought out the company from Charles Wagner (who is listed at the address in Slater's Directory of 1852), down to 1908. They are first recorded at Nos. 197-207 Newhall Street in 1913 (Kelly's Directory) which accords with the recorded purchase of the Newhall Street site in 1911 (see §.3.7.1); it should be noted that the '197-207' address was subsequently used somewhat interchangeably with '199' as late as 1970 (compare trade advertisements at §.3.7.3 and trade directories, listed at **Appendix C**).⁵⁸

3.6 Historical Census Data⁵⁹

- 3.6.1 Historical census returns are useful in clarifying the occupation of the Baker and Finnemore site prior to the erection of the extant buildings in the early years of the 20th century. As they relate to buildings lost for the construction of the extant ranges, return data will not be transcribed in full, though the 1891 returns are illustrative, and are presented below in tabulated form.⁶⁰
- 3.6.2 The houses of Newhall Street, north of Brook Street, were all in private occupation, as follows:

Property	Surname	Forename	Rel.	Age	Occupation
197 Newhall Street	Blinkinsop	John L.	Head	35	Tailor
	Blinkinsop	Annie	Wife	35	---
	Massey	William	Nephew	21	Brass Worker
	Talbot	Horace	Nephew	6	---
199 Newhall Street	Willington	Joseph L.	Head	60	Brass Worker
	Willington	Emma	Wife	58	
	Willington	Joseph	Son	29	Brass Caster

⁵⁸ Indeed, the registered address recorded on signage affixed adjacent to the main entrance door to Block **A** continues to use '199-207 Newhall Street'.

⁵⁹ Accessed via www.ancestry.co.uk.

⁶⁰ Other late-19th-century returns (not listed here) display a fluid pattern of residential occupation. No. 197 Newhall Street, however, is not listed as a residential address in returns of 1901, suggesting it was in use for commercial purposes by that date; it is listed as a post office in Kelly's Directory of 1905, under the charge of one Drew Thomas.

	Willington	William	Son	24	Brass Caster
	Willington	Henry	Son	19	Jeweller
	Willington	Kate	Dau.	17	Jeweller
	Willington	Florence L.	Gr.-Dau.	3	
201 Newhall Street	Woodall	David	Head	43	Jeweller
	Woodall	Emily M.	Wife		
	Woodall	Ada E.	Dau.	17	Button Maker
	Woodall	Loretta M.	Dau.	14	Paper Folder
	Woodall	Ellie G.	Dau.	11	Scholar
	Woodall	Alfred B.	Son	9	Scholar
203 Newhall Street	Wiseman	William	Head	33	Machine Stamper
	Wiseman	Jane	Wife	30	
	Wiseman	Lilian Jane	Dau.	10	Scholar
	Wiseman	May	Dau.	7	Scholar
	Wiseman	Florence	Dau.	5	Scholar
	Wiseman	William J.	Son	1	
205 Newhall Street	Greaves	William	Head	51	Copper Plate Engraver
	Greaves	Fanny M.	Wife	30	
	Greaves	William J.	Son	8	Scholar
	Greaves	James D.	Son	2	
207 Newhall Street	Poulter	Arthur	Head	46	Bellows Maker
	Poulter	Elizabeth H.	Wife	44	
	Poulter	Louisa	Dau.	21	Steel Pen Glazier
	Poulter	Ada	Dau.	18	Steel Pen Grinder
	Poulter	Emily	Dau.	14	
	Poulter	John	Son	11	Scholar
	Poulter	Arthur	Son	5	
	Poulter	David	Son	1	

Table 2:

1891 Census returns for 197-207 Newhall Street

- 3.6.3 With respect to Brook Street, only one property (No. 2) is listed in the census returns, indicating that the remaining houses were in commercial / light industrial use.⁶¹

Property	Surname	Forename	Rel.	Age	Occupation
2 Brook Street	Watkins	William	Head	55	Gold Jeweller
	Watkins	Sarah	Wife	54	---
	Watkins	Walter J.	Son	25	Machine Fitter
	Carless	Elizabeth	Mother -in-law	74	---

Table 3:

1891 Census returns for Brook Street

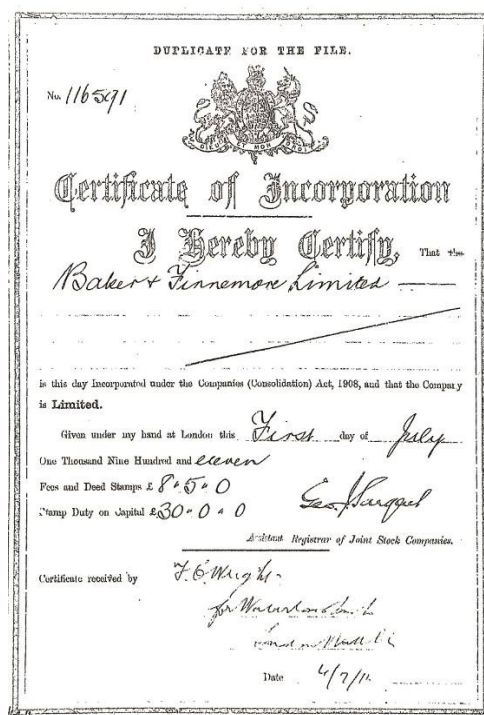
3.7 Historical Occupation and Associated Companies

- 3.7.1 Archival research has established that the factory premises at Newhall Street were originally erected in the early-20th century for the company of Baker and Finnemore, in whose hands they have remained, in extended and modified form, until immediately prior to recording related to the current project. Baker and Finnemore were one of the oldest and most successful pen nib manufacturers in Birmingham, one of the 'Big Thirteen' companies of the late-19th century (Russon 2013, 124).⁶² The company originated as a steel pen-nib

⁶¹ By 1899, Kelly's Directory records all properties to the north side of Brook Street between Newhall Street and James Street in commercial occupation with Thomas Walker and Sons, a maker of belt fittings, at Nos. 1-3 and James Rushbrooke, a letter cutter, at No. 4.

⁶² Info: <https://www.bakfin.com/bakfin-history.html>, see also Russon in Jones 2013, 124-134.

manufacturer, 'Wagner and Co.', established in 1849/50⁶³ by German industrialist Mr. Charles Wagner in collaboration with Mr. Daniel Baker and Mr. Joseph Finnemore, the latter both having previously worked for Hinks, Wells and Co. in Buckingham Street.⁶⁴ In its early years, Wagner's concern was based at premises at No. 1 James Street (see **Appendix C**), later expanding to premises at No. 2 James Street and No. 4 Brook Street, lying to the east side of the street on the site occupied, since 2000, by the Royal Birmingham Society of Artists (RBSA), the whole being annotated as the 'James Street Pen Works' on the Ordnance Survey 1:500 town survey of 1889 (reproduced in Jones 2013, 129). Soon afterwards, Wagner wished to diversify,⁶⁵ and Baker and Finnemore bought out the company, changing the name to 'Baker and Finnemore', first listed in White's directory of 1855. Historical documents record a workforce in 1861 of just over 100 staff, the clear majority of whom were female.⁶⁶ When Finnemore died in 1874, Baker purchased his former partner's shareholding and continued the business with Joseph Barnwell, his great nephew, as works manager. Upon Baker's own death in 1897, Barnwell assumed full ownership of the company and it was his sons, Leslie and Arthur Barnwell, who incorporated Baker and Finnemore as a Limited Company in 1911 (see below) and bought the Newhall Street site,⁶⁷ allowing for the expansion and reorganization of their production premises, later to be known as the 'Bak-Fin Works'.



Baker and Finnemore; Certificate of Incorporation, 1st July 1911.⁶⁸

⁶³ Recorded in an engraved stone plaque above the door of 199 Newhall Street (see Plate 7).

⁶⁴ Finnemore was a toolmaker who had learned his trade under George Wells of Hinks-Wells, where he patented several machines to improve the manufacture of steel pens. On leaving Hinks-Wells in 1845, he initially attempted to open his own pen manufactory in partnership with Joseph Evans, though the venture proved unsuccessful, and he subsequently became works manager at Wagner Pens in November 1850. Baker began work as a warehouseman alongside Finnemore at Hinks-Wells in 1839; in 1841 he worked for J. A. Chatwin (Pin Manufacturers) and in 1849 joined Wagner Steel Pens as an accountant.

⁶⁵ Wagner eventually became a Director of the Joint Stock Bank in Birmingham (established 1861), which later (1889) became part of Lloyds Bank.

⁶⁶ As was common within the pen trade; see Morrall H 'Women and Work' in Jones (2013, 110-121). See employment breakdown inset at §.3.7.2.

⁶⁷ Russon (2013, 131) offers the date of 1922 for the move to the new site, though this is at odds with deposited design drawings and the evidence of historical trade directories (**Appendix C**), where Newhall Street is first listed in 1913.

⁶⁸ <https://beta.companieshouse.gov.uk/company/00116591/filing-history/OTQ4MjAzODJhZGlxemtjeA/document?format=pdf&download=0>

- 3.7.2 During the First World War, Baker and Finnemore, in common with many manufacturers in the area, were contracted for war production, with stamping and pressing machinery being ideally suitable for adaptation to production of, *inter alia*, ammunition clips and chargers. This is reflected in a listing from the 1918 'Directory of Manufacturers in Engineering and Allied Trades' (inset below). It is significant that this listing places the company premises, known as the 'Bak-fin Works' in Newhall Street as opposed to James Street.

814 Baker & Finnemore, Ltd., Bak-fin Works, Newhall Street, Birmingham.
Phone : Central 2838.
T/A : "Bak-fin," Birmingham.
Area No. 4.

Chargers, cartridge clips, machine gun belt links. Steel pens, and fine springs.
Employees : Male 22, Female 100.

Bak-fin steel pens. Press work. Steel springs and clips to micrometer accuracy for magnetos weaving machinery, motor and cycle accessories. Lamps and brass foundry. Stationery small wares.

Entry from 1918 'Directory of Manufacturers in Engineering and Allied Trades' (www.gracesguide.co.uk)

- 3.7.3 In the middle years of the 20th century, the company developed the 'Everlock' (later 'Starlock') push-on fastener washer (see inset below) which subsequently surpassed pen nibs as the main item of manufacture.⁶⁹ Arthur Barnwell bought out his brother Leslie just before the Second World War and, on his death 1953 the company passed into the control of his son, Edward Barnwell, and Tom Sadler. The company stayed in Barnwell family hands until a management buyout in 2006, and was subsequently bought by Germany-based company Titgemeyer of Osnabrück, one of Baker & Finnemore's oldest European customers, in July 2012. Baker and Finnemore vacated the premises in 2020, after over 100 years at the site, relocating to parent company Titgemeyer's existing premises in Keighley, West Yorkshire.⁷⁰



Trade advertisement for Baker and Finnemore, 1945 (top) and 1956 (bottom)
Source: www.gracesguide.co.uk

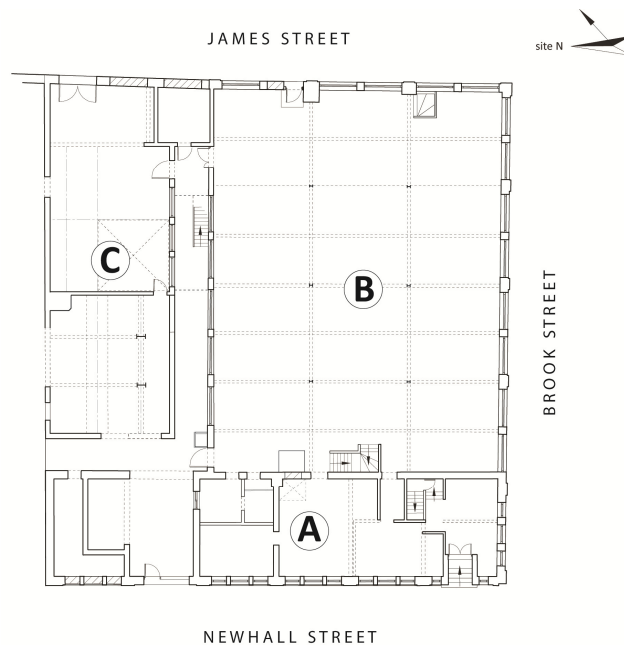
⁶⁹ The post-WWII years witnessed the increasing popularity of the ball-point pen or Biro, adversely affecting demand for steel dip pens and fountain pens (Hanks in Jones 2013, 58).

⁷⁰ J. Bassi, *pers. comm.* Registered address changed 05.08.2020 (<https://beta.companieshouse.gov.uk/company/00116591/filing-history>).

4 SITE / BUILDING DESCRIPTIONS

4.1 General Site Arrangements

- 4.1.1 The site comprises three discrete elements (see key plan, inset below); viz. a three-storey, Newhall Street frontage range (A), a two-storey workshop range (B), in the angle of Brook Street and James Street, and a composite block (C) formed of a number of modified and adapted buildings in the north-east angle of the former two. Each structure/area will be described in turn.



199 Newhall Street: Key Plan

- 4.1.2 Together with Building 15 (reported elsewhere),⁷¹ the ranges form part of an extensive site occupied until recently by the company Baker and Finnmere Ltd. (see inset below; Plates 1-3).



Panoramic view of former Baker and Finnmere premises with Bldg. 15 to left, and ranges A/B of Building 2 to centre / right respectively.

⁷¹ See Tyler, 2022c.

Reference System

- 4.1.3 The overall site is laid out with its principal axis aligned approximately NW to SE; for the purposes of the current project, so as to avoid overly long orientational descriptions, this will be simplified to N/S, such that Newhall Street will be referred to as lying to the west, Brook Street to the south and James Street to the east. Both 'grid' (true) and 'site' north are indicated on floor plans reproduced at Figures 15-18 below.
- 4.1.4 For the purposes of the current project, a simple alpha-numeric system has been adopted for reference to individual rooms, with a single-letter prefix (**B, G, F, S**) to indicate floor level, combined with a single-digit running sequence for each floor (**[G1]→; [F1]→; [S1]→**).⁷² Where rooms are, or were obviously historically sub-divided, a single-letter suffix 'a'/'b' etc. may be appended as necessary. Principal entrance doors are likewise referred to by an alpha-numeric sequence (**[d1]** etc.) with the numerical element forming a continuous sequence covering all floor levels (ie. no floor-level signifier). Windows are described by reference to their physical location (viz. floor/bay number), while principal staircases have been designated stairs **A / B** etc. (all references are included on Figures 12-18).

Units of Measurement

- 4.1.5 As a general rule, the measurements employed in the following descriptions will follow the system current at the time of the buildings' construction. Thus, dimensions for early-20th-century buildings will be given in Imperial units (feet/inches), while later structures will be described in metric units (metres/centimetres) as appropriate.

4.2 Block A: Newhall Street Frontage Range

- 4.2.1 The street frontage range is first depicted on the Ordnance Survey edition of 1955, though it is broadly contemporary, in its planning at least, with the adjoining workshop Block **B** (see §.4.3), the latter being erected in c.1911 and first shown on the Ordnance Survey edition of 1917-27 (inset at §.3.2.16). Although included on original planning drawings for Block **B**, submitted in 1911, the range as recorded was actually erected over three discrete phases in c.1915, c.1936 and c.1948/9, the dates included on related design drawings (§.3.3). It comprises a three-storey range (originally two) over basement, of six bays fronting onto Newhall Street to the west, built in a simplified and restrained Neo-Georgian style with overall plan dimensions of 87ft. (N/S) x 16ft. (E/W); it is centred on NGR SP 06339 87417.

Exterior

- 4.2.2 The **west elevation** onto Newhall Street (Figure 12; Plate 4) is brick-built in a mid-red/orange brick, laid to a regular English bond, 87ft. wide of six bays (here numbered 1 to 6 from south to north, defined by shallowly projecting brick pilasters) rising through three full storeys above a basement (Bays 1-4 only), standing a maximum of 39ft. tall above external street level to a stone-capped parapet wall, behind which a shallowly pitched roof is clad in secondary, corrugated cement-fibre sheets.⁷³ Originally built in c.1915 as a two-storey range of three bays (southern bays 1-3 only; see §.3.3.2) the range was subsequently doubled in length in c.1936 (see inset AP at §.3.3.2), and raised to three storeys by the introduction of an additional level in c.1948/49 (see §.3.3.11). Fabric and detailing at each stage were well matched to original work, with no clearly discernible distinction between the three phases, though the keystones to central windows at second-floor

⁷² The reference system does not reflect any system currently or historically in use.

⁷³ The aerial photograph of 1948 indicates a flat roof to the original, two-storey range.

level are simpler in form. The elevation is asymmetrical in aspect, with a prominent, pedestrian entrance bay to Bay 1 (Plate 5), at the corner with Brook Street, and a vehicular entrance at Bay 5 (Plate 12).⁷⁴ The entrance bay incorporates the main pedestrian access to the range (Plate 6), approached via short flight of stone steps (ground floor level is set some 3ft. above exterior street level to the south end of the range); the doorway is set within a moulded ashlar surround bearing an inscribed 'No. 199' to the centre of the lintel, above which a shallow hood supports a stone plaque (Plate 7), inscribed 'ESTAB.' 1850' (referencing B&F's original, precursor company, Wagner and Co.; see §.3.7.1), flanked by scrollwork and extending to the cill of the central, first-floor window. Door [d1] is of two, panelled-leaves and is part-glazed, with margin-lights and X-pattern glazing bars to the central pane. The doorcase is flanked to left and right by narrow, fixed-light windows beneath a common hood (Plate 6), again with margin-lights and two tiers of X-pattern glazing bars. First- and (secondary) second-floor fenestration over is formed of tri-partite groups, with a central, segmentally-headed 6/6 horned-sash, flanked to either side by narrower, 4/4 sashes beneath flat heads (Plate 8), separated by narrow piers of brick. Windows are furnished with exposed, flush frames, shallowly projecting, bracketed stone cills (Plate 11) extending fully between bay pilasters, and heads of rubbed brick, the central openings being enhanced by a stone key (enlarged and more elaborate at first floor level; Plate 8). The stone-coped parapet wall is stepped up over Bay 1, with a rectangular panel framed by brick stretchers with small, stone blocks marking the angles, and a scroll moulding to the centre of the coping band. Fenestration to Bays 2 to 6 follows a similar pattern, though all openings are here flat-headed (Plate 9); ground floor openings at Bay 6 are blocked in brick (Plate 10).⁷⁵ Bay 5 incorporates a ground floor vehicular entrance way (Plate 12), spanned by an exposed concrete lintel, now furnished with a pedestrian side-door and sliding 'concertina' type door, though surviving stone hinge-blocks to both jambs indicate a former, pin-hung double gate. Pavement level 'basement lights' (Plate 13) light the cellar which extends beneath Bays 1 to 4.

4.2.3 The **south elevation** to Brook Street (Figure 13) is of five bays (here numbered 1 to 5 from west to east),⁷⁶ measuring 86ft. long (E/W) in total and formed of two distinct parts, with Bay 1 (Plate 14) to the west representing the return of the entrance bay of the Newhall Street façade (Block **A**). Detailing matches that of the Newhall Street elevation, with grouped windows at each floor level beneath a stepped, raised parapet. As noted above, Block **A** was originally constructed as a two-storey range with the second floor being added in c.1948/9, though fabric and detailing are again well matched to original work, with no clear distinction between the two phases. As per Bay 1 of the Newhall St. frontage (Plate 5), central windows at first and second floor level are furnished with segmental arches, while that at ground floor is spanned by a flat arch of rubbed brick. Three basement lights serve the internal cellar, that to the west being blocked in brick; 2007 drawings (Appendix **D**) record a 'safe' in this location, subsequently removed.

4.2.4 The **east elevation** of Block **A** is largely obscured from view by abutting structures, though the (secondary) upper level of Bay 1, brick-built to English bond, is visible to the south (Plate 15), where a simple multi-pane window beneath an exposed concrete lintel lights the second-floor workshops. Further windows are located to Bays 2, 5 and 6 (Plate 16), with the central window of Bay 6 formed from a former door, originally serving an external stair (see 1948 floor plan at §.3.3.11). A brick stack, flush with the exterior wall, and the head of a projecting lift shaft, rise at Bay 3 (Figure 14; Plate 17).

⁷⁴ Original design drawing place the transverse cartway entrance at the northernmost Bay 6, though it appears that its current location represents the primary location, and thus it is assumed that the designs were amended prior to/during construction (1911-1936).

⁷⁵ These windows serve room [G8], an electricity sub-station; the northern of the three windows appears to have been open at the time of the 1948 aerial photograph (§.3.4.1).

⁷⁶ Bays 2 to 5 are described below at §.4.3.2.

Interior

Basement Level

- 4.2.5 The **basement** level of Block **A** (Figure 15) extends beneath Bays 1 to 4 only, viz. that part of the range lying to the south of the ground level entrance bay; it has unimpeded, through access to the basement level of Block **B** at the east side of Bay 1, and is served by a longitudinal passage [**B2**] flanking the 'exterior' side of the eastern wall. In its extant form, the basement is subdivided principally on a bi-partite plan ([**B4/5**]), with a single, solid brick transverse partition at Bay 3/4, though subsidiary partitions have been introduced, and other ephemeral partitions (subsequently removed) are shown on historical survey drawings of 2007, dividing the space into a series of store rooms. The basement is accessed via a vertical continuation of Stair **B** which descends north-south as a timber, straight-flight (enclosed) from ground floor level against the 'exterior' side of Block **A** at Bay 2, opening within passage [**B2**] (Plate 18),⁷⁷ while a narrow, ladder access to the north end of passage [**B2**] / boiler room [**B6**] affords an emergency 'fire-escape' egress (Plates 19/20).
- 4.2.6 The basement is floored in face-laid, blue engineering brick, though this has been largely overlaid/replaced by a bitumous coating and/or concrete screed, the first-floor over is supported on a series of boxed-in, transverse RSJs (14 x 5½in.) at 7ft. 3in. centres (on bay divisions and at intermediate spacings), with an underdrawn ceiling applied to north-south aligned common joists, the latter sitting atop the transverse beams. The space is lit by a series of basement-lights at exterior pavement level to the west and south walls. Room [**B4**] occupies Bays 1-3, with an ephemeral plyboard partition (modern) at Bay 1/2. Bay 1, to the south (Plate 21), is currently used as a press store, with numerous items left upon B&F's recent vacation of the premises, stacked on 'Dexion' shelving units; survey drawings of 2007 (Appendix **D**) indicate a 'parts store' and a 'safe', the latter to the south-west angle of Bay 1, which accounts for the blocking of the basement-light at this location, though any further trace of historical usage has been lost. A 'corbelled' section of walling to the west (Plate 22) is associated with the ground level steps serving door [**d1**]. The remainder of [**B4**] comprises a single space (Plate 23), though with a shower block inserted at Bay 3, enclosed by breeze-block walling (Plate 24). The lower west wall of Bays 2-3 is clad in vertically-set matchboard cladding (Plate 25), which extends around a small, enclosed room to the west side of Bay 3 (Plate 26), presumably an early toilet/washroom (the door incorporates a towel rail). There is no direct communication between [**B4**] and the north end of the basement, which is thus approached via corridor [**B2**] flanking the 'exterior' of the eastern wall of the block (Plate 27), the latter accommodating the base of stair **B** (Plate 17) and a goods-lift / hoist shaft (Plate 28). The north end of passage [**B2**] opens onto a small boiler room [**B6**] (Plate 29),⁷⁸ accommodating a boiler for the workshop pipe-heating system⁷⁹ and which, in turn, communicates with room [**B5**] at Bay 4 of the main range. Room [**B5**] accommodates a large, free-standing steel-plate oil tank (Plate 30), while a range of twelve wooden sample chests, stacked in six sets of two, are ranged somewhat incongruously against the western wall (Plate 31). Here, a total of 85 drawers house a series of hand-labelled card boxes (Plate 32) containing product samples (springs/pressings/catches etc.), catalogued by numerical product references (Plate 33). Two filing cabinets to the south wall of [**B5**] (Plate 34) contain a series of related card indexes, with hand-written summaries of products, filed by product number, including product name and material, together with operation and tools, production rate etc. (Plate 35).

⁷⁷ The Block **A** basement can also be accessed directly from the basement of Block **B**, which is furnished with a further stair (**D**) to the east.

⁷⁸ Ceilings over passage [**B2**] and boiler room [**B6**] are formed of shuttered concrete.

⁷⁹ A related stack rises at the eastern angle of Bays 3/4, extending to the full height of the range and projecting above eaves level (Plate 17).

Ground Floor

- 4.2.7 The **ground floor** of Block **A** (Figure 16) is arranged on a basic two-part plan,⁸⁰ with Bays 1-3 to the south (erected c.1915) forming a single space, subdivided by a series of ephemeral partitions (of various dates),⁸¹ and Bays 4-6 to the north (1936) which form three discrete spaces, defined by 9in. transverse brick walls (partly broken through at Bay 5/6).⁸² The range is accessed via the principal doorway [**d1**] located at Bay 1 of the Newhall Street elevation (Plate 6), approached via a short flight of steps, while at Bay 5 a wide entranceway serves a transverse passage / loading bay with onward access through to the rear workshop/production areas.⁸³ Door [**d1**] opens onto a small entrance hall [**G1**] at Bay 1 (Plate 36), from where a dog-leg stair (**A**) rises to first floor level at the north-east corner (Plate 37), and a doorway to the north leads through to the body of the range. Entrance Hall [**G1**] is generously lit by the group of three sash windows to the south elevation and by the narrow window flanking the south side of doorway [**d1**] to the west. The room has been extensively modified, however, with studwork and plasterboard partition walls, evidently of no great age, carpeted floor and a suspended ceiling of mineral fibre tiles, though original drawings (inset at §.3.3.4/5) depict a broadly similar functional arrangement; stair **A** has likewise been modified/renewed, though is sited in its original location.
- 4.2.8 To the north of entrance hall [**G1**], Bays 2/3 form a single, unencumbered space [**G2**] (Plates 38/9), encroached upon to the south-east by the rising flight of Stair **A** and an enclosed passage [**G3**] communicating with Block **B** to the east.⁸⁴ [**G2**] is floored in softwood boards aligned east-west and has an exposed first-floor structure over (Plate 40), comprising 11 x 3in. common joists at 16in. centres, carried by deep, transverse RSJs at bay divisions; joists are formed in bay lengths, staggered at bay divisions and are braced mid-span by plank-section solid-strutting. The room is lit by six sash windows to the west, three per bay with moulded timber cills (Plate 41), and is served two further doorways, one to the east at Bay 3 (Plate 42), opening onto passage [**G9a**] and Block **B** beyond, and one (inserted when the range was extended in 1936)⁸⁵ offset to left of centre to the north wall (Plate 38), communicating with room [**G4**] at Bay 4. A further doorway (blocked) is located to the north end of the east wall (Plate 43);⁸⁶ this doorway backs onto the enclosed goods-lift/hoist within passage [**G9a**], which deposited drawings indicate was originally sited internally to the range, evidenced by a trimmed opening in the ceiling of [**G2**] (c.4ft sq.) adjacent to the blocked door (Plate 44). The room is serviced by high-level, 4in. diam. heating pipes, suspended from the lower flange of the transverse RSJs (Plates 38/9; marked on Figure 16), with risers from basement level to either side of the eastern doorway (Plate 42).
- 4.2.9 Bay 4 originally comprised a single space, accessed from passage [**G9a**] to the east, though it has been subdivided by the introduction of a series of ephemeral stud partition walls; a connecting door to [**G2**] to the south was formed when the range was extended in 1936. [**G4**] to the west forms a small office/workshop space (Plate 45), lit by the three sash windows to the western, Newhall Street elevation; floor and ceiling are exposed and mirror arrangements within Bays 2/3. The eastern half of Bay 4 has been subdivided to form two small offices [**G5/6**], [**G5**] to the south having been further spilt to create a small 'wash area' [**G5a**] accessed via

⁸⁰ Reflecting the two-phase evolution of the building plan.

⁸¹ Survey drawings of 2007 (Appendix **D**) indicate additional partitions, subsequently removed.

⁸² Transverse wall annotated as 'temporary end' on 1915 plan.

⁸³ When the northern half of Block **A** was erected in 1936, the cross-passage would have opened onto a small yard within the western part of Block **C**, though this has been subsequently been built over by the enlargement of [**G15**] and the formation of a lateral passageway [**G9/F9**].

⁸⁴ Survey plans of 20007 (Appendix **D**) show the western part of Bay 2 closed off to form a separate office.

⁸⁵ The head of the opening is flat as opposed to a segmental arch, as elsewhere, while the jambs, though bull-nosed, show signs of patching suggestive of insertion.

⁸⁶ Door in similar location at first floor level (Plate 57).

an inserted door from [G9a] (Plate 46). Room [G6] thus occupies the north-east angle of Bay 5, accessed from [G9]; it comprises a goods office and is furnished with a sliding window/hatch onto the goods entrance passageway [G7] at Bay 5.

- 4.2.10 Bay 5 comprises a transverse entrance passageway [G7] (Plates 47/8), served by 'concertina'-type sliding door [d2] to the west, opening to Newhall Street.⁸⁷ It is floored in tarmac, ramping up gently from west to east, and furnished with an underdrawn ceiling; a sliding window hatch in the south wall (Plate 47) opens to office [G6]. The north wall has been broken through to the east to form an enclosed storage area [G7a] within Bay 6. Reference to original design drawings and historical Ordnance Survey mapping indicates that, when built, the passageway would have opened to the east onto a small, open yard, though this has been encroached upon by the extension and remodelling of heat treatment block [G15] (visible in Plate 47).
- 4.2.11 Bay 6 is occupied by an electricity sub-station [G8] and was not accessed; ground floor windows to the Newhall Street frontage are here blocked (Plate 10).

First Floor

- 4.2.12 The **first floor** of Block **A** (Figure 17) is approached via stair **A** at Bay 1/2, rising from entrance hall [G1] (Plate 37) to landing [F1] (Plate 49), and via stair **B** which rises against the eastern 'exterior' wall of the block at Bay 2/3 (Plates 50/51); it is also accessible from the first floor of adjacent Block **B**. As noted above, stair **A** has been subject to major modification and retains no physical evidence for its original arrangements (though see early drawings at §.3.3.4/5), while stair **B** represents a simple, utilitarian straight-flight timber stair rising south-north, with a lower quarter-turn (Plate 51), plain handrail and no balusters; the lower section of the stair is partly enclosed by matchboard cladding (Plates 50/51).
- 4.2.13 As at ground floor level, the range can be broken down into two major sections, reflecting its phased development, with Bays 1-3 to the south comprising a single space, sub-divided by ephemeral partitions of various dates, and Bays 4-6 forming a series of discrete bays defined by 9in., transverse brick walls. Flooring is again of softwood timber boards, aligned east-west, though largely covered over in linoleum at this level, while ceilings are largely underdrawn; the second-floor structure is carried on transverse RSJs at bay intervals. Heating at Bay 4 is again by ceiling mounted pipes (Plate 59), though Bays 2/3 include a number of wall-mounted, cast-iron panel radiators (Plate 54), reasonably reflective of an original higher-status, administrative function as opposed to industrial use, a distinction also implied by the rooms' proximity to the head of the main stair **A**.
- 4.2.14 Bays 1/2 have been subject to major modifications, largely fitted out as contemporary office / circulation space with little indication of original arrangements (though see plan at §.3.3.4); stair **A** rises to landing [F1] (Plate 49), opening to the south onto [F2] at Bay 1 (Plate 52) which forms a board/meetings room (shown as two discrete offices in 2007) generously lit to west and south. The remainder of Bays 2/3 are simply finished, with linoleum flooring and underdrawn ceilings (Plate 55), with a small enclosed office [F4] (Plate 53) formed by ½-glazed partitions (Plate 56); as noted above, the presence of wall-mounted radiators suggests an early administrative function.⁸⁸ A blocked door to the north end of the east wall of Room [F3] (Plate 57) accords with a similar blocked door at ground floor level ([G2]; Plate 43), backing onto a secondary goods lift within passage [F9].⁸⁹ A

⁸⁷ Stone hinge blocks to the jambs of [d2], visible externally (Plate 12), indicate original paired, pin-hung gates.

⁸⁸ An undated (recent) floor plan identified on site records rooms [F3/4] as 'capping stores'.

⁸⁹ A further trimmed opening is evident over, as at ground floor level, indicating an original, internal hoist served by lifting gear at roof level (see 1948 AP at §.3.4.1).

doorway in the centre of the north wall of [F3] (Plate 55), flanked by blocked windows to east and west,⁹⁰ opens to [F4] at Bay 4, with additional access from passage [F9] to the east (Plate 58). The second-floor structure over is here partly exposed, formed of north-south aligned common joists (11 x 3in. at 16in. centres) carried atop the transverse RSJs at bay divisions.

- 4.2.15 There is no internal through access from Bay 4 to Bays 5/6, with rooms [F6] (Bay 5; mess room) and [F7/8] (Bay 6; toilets) thus being accessed solely from covered passage [F9b]⁹¹ which here flanks the eastern side of the range beneath a mono-pitch, patent-glazed roof (Plates 60/61).

Second Floor

- 4.2.16 **Second floor** (Figure 18), representing a tertiary addition of c.1948/49, is approached via a vertical continuation of stair **B**, rising from south to north against the 'exterior' wall of the range as a simple, open-riser straight-flight, with plain handrail and no balusters (Plate 62).⁹² The stair rises beneath the southern roofslope of the 'saw-tooth' roof over the central bay of workshop Block **B** (Figure 15), to the south of the projecting, secondary lift-shaft and opening onto the range to the south side of Bay 3 (Plate 63). Unlike at ground and first floor levels, the second floor comprises essentially a single open space, including a number of ephemeral, ½-glazed stud partitions though lacking the solid transverse walls to Bays 4-6 as at lower levels. The range is floored in softwood timber boards, aligned east-west, and ceiled at eaves level (11ft 10in. above FL) by a secondary suspended ceiling. Four longitudinal alignments of doubled heating pipes are suspended at ceiling level (Plate 64), affixed to the lower chords of steel roof trusses over (see below), extending to the full length of the range. The block is generously fenestrated to the west and to the south, three windows per bay, by timber sashes matching the detailing of lower floors, and by simple, multi-pane steel windows at Bays 1, 2, 5 and 6 of the east wall. Bays 1 and 2 are closed off by a full-width, transverse stud partition (Plate 64) which bisects the southern window of Bay 3 to the west, with a central doorway opening to a series small maintenance workshop areas [S2/2a/3], defined by further ephemeral partitions, furnished with free-standing workbenches and associated storage racking (Plate 65). Room [S1] occupies Bays 3-5 (Plate 66), most recently functioning as a 'projects' workshop, with a small office [S4] to the west side of Bay 5 enclosed by ½-glazed stud partitions (Plate 67); taped off areas to the floor presumably indicate the former location of items of machinery. Bay 6 accommodates a small workshop [S5] to the west, retaining an *in-situ* cylindrical grinding machine (Plate 68), and staff toilet facilities [S7] to the east; a narrow axial passageway [S6] leads through to (later) Building 15 beyond.

The Roof

- 4.2.17 The **roof** over Block **A**, partly visible from a small access hatch within the inserted, suspended ceiling at Bay 1, is of six regular bays defined by basic, 'Fink' pattern trusses formed of steel angle-sections (Figure 18; Plate 69),⁹³ supporting three tiers of angle-section longitudinal side-purlins. Cross-bracing to each roofslope was noted at Bay 2 (see Plate 69) and may be repeated to the north, though this was not directly observed. The roof is clad in corrugated cement-fibre sheeting; relic cladding applied directly below this sheeting, extending in panels between purlins, indicates that the upper storey was formerly fully open to the underside of the roof. The

⁹⁰ For a period of c.20 years, the wall here formed a 'temporary end' (see inset at §.3.3.6).

⁹¹ Reasonably, given the documented development of the building, a secondary modification. The exterior brickwork and Crittall-type window at Bay 5 (Plate 16) suggest a rebuild/remodelling of c.1950, and so possibly related to works associated with the raising of the range.

⁹² Design drawings of 1948 indicate a second, external stair at Bay 6, subsequently removed.

⁹³ The 'Fink' truss is a basic webbed design with web members arranged in a simple 'W' pattern.

current roof was introduced when the range was raised by one storey in c.1948/49; historical photographs (inset at §.3.4.1) show that the original, two-storey range was furnished with a flat roof.

4.3 Block B

- 4.3.1 Block **B** comprises a purpose-built, utilitarian workshop range of two storeys over partial basement, fronting Brook Street to the south and James Street to the east, and backing onto the rear elevation of the Newhall Street frontage block to the west. It is rectangular in plan comprising three parallel ranges beneath a distinctive 'saw-tooth' profile, north-light roof, with overall plan measurements of 58ft. (N/S) x 80ft. (E/W), and is centred on NGR SP 06363 87450. The building is delineated in submitted design drawings of 1911 (BBP ref. **22011**, §.3.3.2), and is first shown on the third edition Ordnance Survey map of 1917-27.

Exterior

- 4.3.2 The **south elevation** to Brook Street (Figure 13; Plates 70/71) is of four bays, here numbered Bays 2 to 5 from west to east, Bay 1 to the west representing the return of the Newhall Street frontage block (Plate 14), described above. The façade is simpler and more utilitarian in aspect than Block **A**, brick-built in orange/red brick laid to a regular English bond, rising through two storeys above a semi-basement and standing a maximum of 22ft.⁹⁴ to a dentilated eaves band of headers on edge, beneath a pitched, slate-clad roof, gabled to the east and abutting the rear elevation of Block **A** to the west. The façade is generously fenestrated with pairs of large, superimposed steel windows per bay (Plate 72), the latter defined by shallowly projecting brick pilasters. Ground floor windows comprise multi-pane frames (5x7 panes with three-pane, bottom-hinged opening 'hopper' panels; Plate 73), set beneath exposed steel lintels and furnished with projecting blue-brick cills above a dentil course (Plate 74). Upper windows are steel framed, three-light transomed and mullioned casements, set beneath encased lintels, with opposing, side-hung opening lower lights and central, top-hinged upper panel (Plate 75); cill details as per ground-floor openings. Three, vertically aligned tie-plates are evident at first-floor level, central to the brick piers separating window openings at each bay (visible on Plate 75). Pavement level basement-lights afford natural lighting the basement, which extends to the full length of the range.
- 4.3.3 The **east elevation** to James Street (Figure 14) is of three bays (here numbered 1 to 3 from south to north), extending to two full storeys beneath the 'saw-tooth', north-light roof (Plates 76/7). It is again brick-built to English bond with bays defined by shallowly projecting pilasters. Fenestration follows the pattern of the Brook Street elevation with superimposed pairs of large window openings per bay, with multi-pane frames to ground floor and three-by-three pane casements to first floor (Plate 78),⁹⁵ cill and lintel details match the Brook Street façade, lintels here exposed at both levels. The 'saw-tooth' gables are finished with a dentilated band and are each furnished with a circular vent, edged in headers (Plate 81); the northern roof slope at each bay is steep, set at c.60° to horizontal, and is fully clad in Georgian-wired patent glazing (Plate 80).⁹⁶

⁹⁴ Street level slopes slightly from east to west.

⁹⁵ The southern GF window of Bay 3 has been partly infilled and converted to a doorway [d3](Plate 79).

⁹⁶ The term 'patent glazing' refers to a non-load bearing, two-edge support cladding system; its name relates to the large number of patents that were taken out in the 19th and 20th centuries for different versions of the system. It supports its own weight, and provides resistance to wind and snow loading, but does not contribute to the stability of the primary structure of the building. 'Georgian-wired' glazing includes a welded steel mesh incorporated within the body of the semi-molten glass before it is passed between two rollers, one of which forms a pattern on the surface of the finished pane (info. <https://www.pilkington.com/en-gb/uk/architects/helpandadvice/glassary>).

- 4.3.4 The **north elevation**, more fully exposed following the removal of the adjacent/abutting structures of composite range **C** (Plate 82), reflects the general arrangements of the Brook Street elevation, of four bays (2-5 from west to east) and two storeys, here rising beneath the steeply-pitched slope of the patent-glazed north-light roof, with regular fenestration in particular to the central bays, though here with simpler window details of 12- and 9-pane steel casements to GF/1F respectively. Bay 5 to the east includes superimposed, segmental-headed doorways opening to the interior of the range, though is otherwise blind, reflecting the contemporaneity of the lost, abutting structures of Block **C**, while at Bay 2 to the west, secondary accesses have been historically introduced (compare with inset plans at §.3.3.4/5), serving secondary link range **[G9/F9b]** flanking the east side of range **A** (removed as part of current scheme).

Interior

Basement Level

- 4.3.5 The **basement level** of Block **B** (Figure 15) extends beneath the southernmost range only, flanking Brook Street, and is accessed via an original, utilitarian timber stair (stair **D**), enclosed by inserted breeze-block walls, descending from **[G10c]** at the east end of the range (Plate 83); the basement connects with the basement level of Block **A** at Bay 2 to the west, where the lower flight of stair **B** affords additional access from ground level (Plate 18). The basement comprises, essentially, a single unencumbered space **[B1]** (Plate 85), standing 9½ft. high to the soffit of the ground floor, floored in face-laid grey engineering brick. The first floor over is supported on a series of exposed, transverse RSJs (15 x 6in.) at 7ft. 3in. centres (on bay divisions and at intermediate spacings); RSJs at Bay 5 are supported mid-span by 8 x 5in. steel columns (Plate 84). The ground floor is carried on 9 x 3in. common joists at 16in. centres, aligned east-west and set atop the transverse RSJs, laid in bay lengths and staggered at bay divisions. The room is lit by high-level basement lights to the south wall, and is heated by ceiling level pipework, suspended from the lower flange of the transverse RSJs. The south-west corner of Bay 2 is enclosed to form two discrete former toilets with paired timber doors (Plate 86), illustrated on original design drawings and thus a primary feature. The basement was originally used for storage (see inset plan at §.3.3.3), a function it retained until recently, with free-standing 'dexion' type metal racking recorded to the full extent of the northern wall and elsewhere.

Ground Floor

- 4.3.6 The **ground floor** of Block **B** (Figure 16) comprises three contiguous, parallel workshop ranges, aligned east-west, here designated **[G10a-c]** from north to south, largely inter-connecting with no solid, longitudinal partitions (Plates 87-89). The range stands 10ft. 10in. high from floor level to the soffit of first floor floorboards over which, where exposed, retain traces of a painted finish, though an inserted ceiling has been introduced over much of the range. Ephemeral partitions enclose stair **B** and a small, secondary first aid room **[G11]** at Bay 2 to the west end of **[G10b]**, while Bay 5 of **[G10a/b]** is also partitioned off to form **[G12]**, recently used as a 'varnishing' shop. The workshop area is liberally fenestrated by large, multi-pane windows to the eastern, James Street elevation and the southern, Brook Street façade (Plate 87) and at Bays 2-4 of the north elevation (Plate 89), the latter flanking passage **[G16]** within Block **C**. The range is floored in 4½in. softwood boards aligned north-south, largely covered over, while the first floor over is supporter on transverse RSJs at bay division and intermediate spacings. First-floor support beams, both transverse and longitudinal, are supported at bay intersections by a grid of six, 10 x 8in. steel columns (Plates 90/91),⁹⁷ intermediate transverse beams being bolted to the vertical web of the main longitudinal members (Plate 92). As at basement level, the

⁹⁷

NB. steelwork by Dormon Long and Co. of Middlesbrough.

floor over is formed of timber common joists, 9 x 3in. at 16in. centres, aligned east-west and staggered at bay divisions, braced mid-bay with plank-section solid strutting. [G10a/c] are heated by ceiling-level pipework suspended from the lower flange of the transverse beams (Plate 96), with risers from basement level at the west end of [G10c] (Plate 97) and in the north-west angle of [G10a].

- 4.3.7 A doorway at the east end of the north wall ([G10a], Bay 5; Plate 93) opens to passage [G16], while an exterior door [d3] has been inserted into a modified (partly blocked) original window opening to the east wall of the northern range ([G12]; Plate 94). A primary, straight-flight stair with upper ¼-turn winders (Plate 95) descends to Bay 5 of [G10c], affording access to the basement, while stair **B** rises to first floor level at the west end of [G10b] (Bay 2), the lower section being partly enclosed by matchboard cladding (Plate 50).
- 4.3.8 The range had been fully cleared at the time of site visits related to the current project, with little evidence for historical usage. Original design drawings are annotated as 'warehouse and offices' (G10c), 'barrelling shop', 'rough warehouse', 'grinding shop' and 'engine room' (see inset at §.3.3.4). The liberally fenestrated and well-lit nature of the range is characteristic of workshop accommodation of the period and, when originally built, would reasonably have been furnished with bench mounted presses and other, free-standing items of machinery/plant. Annotated on 2007 survey drawings (Appendix D) as 'maintenance area' ([G10a/G12]) and 'warehouse' ([G10b/c]), recent survey drawings identified on site were annotated simply as 'warehouse' with [G12] as a discrete 'varnishing' shop.

First Floor

- 4.3.9 The **first floor** of Block **B** (Figure 17) is approached via Stair **B** to the west and via external stair **C**, a metal, open-riser straight-flight stair which rises from open yard/passage [G16] to the north side of the block (Plate 99). Originally of similar layout to the ground floor described above, with extensive fenestration to exterior walls affording generous natural light, the block has here been significantly modified by the conversion of the southern section to administrative use, possibly when additional production space was introduced with the erection of Building 15 to the north in the mid-1970s, thereby relieving pressure on the original workshop areas. The southern range flanking Brook Street has been partitioned off from the rest of the level by the introduction of a longitudinal partition wall,⁹⁸ and remodelled to form an open-plan office space [F12] (Plate 100), with discrete offices at Bay 5 to the east [F13a/b] and at Bay 2 to the east [F14/15]. Support columns at bay intervals have been boxed in and a suspended ceiling introduced, with little of historical significance surviving, though original, high-level heating pipes remain exposed.
- 4.3.10 The northern 2/3 of the range [F10] retains more of its original aspect and until recently functioned as an 'assembly shop', forming a single unencumbered space interrupted only by the vertical support columns of the roof structure over, though with a small office [F11] to the west, enclosed by ½-glazed partitions (Plate 102). Walls are of exposed brick and flooring of softwood boards aligned east-west; the northern range is again heated by high-level heating pipes, suspended from the tie-beams of the roof trusses over. The range is generously lit by windows, two per bay, to the north and east and, prior to the introduction of the extant suspended ceiling, would have been further illuminated by the patent-glazed north-lights of the 'saw-tooth' profile roof. As at ground floor level, a doorway to the east end of the north wall opens to the 'exterior' of the block, where [F16] forms a small lobby at the head of stair **C**.

⁹⁸ Formerly defining a longitudinal corridor (see 2007 floor plan at Appendix D).

The Roof

- 4.3.11 The **roof** over Block **B** forms three parallel bays of distinctive 'saw-tooth' profile,⁹⁹ more steeply pitched (c.60° from horizontal) to the north side, and c.25° to the southern slope (Figure 20). The northern slopes are fully clad in Georgian-wired patent-glazing sheets (Plates 80/82), originally affording diffuse natural 'north-light' to the space below, ideal for workshop activities;¹⁰⁰ the southern slopes are slate-clad. Each roof is formed of four structural bays, with trusses located at principal bay divisions and intermediate, mid-bay locations. Trusses are of timber construction, with tie beams plate-bolted to the web of the longitudinal I-beams (Plate 102), of asymmetrical king-post form with single, raking struts rising to the south only, from joggled KPs to principal rafters. The joints of principal rafter/tie to north and south are strapped (Plates 103/4) while the KP/tie joint is supported by an iron stirrup, gib and cottered (Plate 105).

4.4 Block C

- 4.4.1 Block **C** occupies the north-east angle of Block **A** and **B** and comprises a series of early-20th-century structures, contemporaneous with workshop block **B**, but significantly modified and extended in the mid-20th century and incorporates passageway [**G16**] (part open; Plate 99, part covered; Plate 108) flanking the north side of Block **B**. It has overall dimensions of 70ft. (E/W) x 30ft. (N/S) and is centred on NGR SP 06431 87449.
- 4.4.2 The **east elevation** to James Street (Figure 14; Plate 106) presents a simple, unadorned façade, brick-built in orange/red brick laid to a regular English bond, two storeys tall to the south, backing onto a locker room / toilet block [**F17**], and a single-storey to the north, both rising to flat parapets of headers on edge. The fabric and detailing of the elevation suggest that it is contemporary with the construction of Block **B** to the south, and this is confirmed by its inclusion of original design drawings of 1911 (see §.3.3.4). The ground floor was originally pierced by three window openings of similar proportions to those of Block **B**, though the southern two have subsequently been blocked in brick; the northern opening, spanned by an exposed steel lintel (as per Block **B**) accommodates a two-leaf loading door [**d4**], opening inwards. The first-floor level to the south is blind save for a horizontal alignment of grouped ventilation holes, each comprising four 'header' voids set out in a 'lozenge' pattern.
- 4.4.3 The composite block comprises three principal, conjoined buildings, accessed from within the complex from passages [**G9/16**] (Plate 108), and with through access to adjacent Building 15 to the north; the complexity of the group is evident from its roofscape, visible from Block **A** (Plate 107). To the east, [**G14/17**] clearly retain early fabric, particularly evident in the south wall of [**G14**] which includes three segmentally-arched windows housing cast-iron, multi-pane frames (Plates 109/116). Overlaying the extant ground plan onto early Ordnance Survey mapping suggests that these elements incorporate elements of structures first illustrated in 1917-27, and their inclusion on original drawings confirm that, although displaying variation in detailing, they form part of the original design with, contemporary with workshop block **B**.
- 4.4.4 Block [**G15**] comprises a tall, single-storey structure, rectangular in plan aligned east-west, 24ft. wide (N/S) x 28ft. long (E/W), standing 14½ft. to eaves level and 19ft. to ridge, the latter furnished with a raised, longitudinal ridge vent. The southern, blind wall, forming the north side of passage [**G16**] (Plate 110), represents an in-line extension of the south wall of [**G14**] to the east, the junction of the two structures being

⁹⁹ Roof only partially visible over northern part of range.

¹⁰⁰ Abundant natural lighting would have had the additional benefit of reducing energy costs in terms of artificial lighting (see Adriaenssens et al, 2013).

marked by a clear, vertical straight-joint. The alignment of the extant south wall reflects a widening of the range, however, effected in the mid-20th century (compare OS maps of 1917-27 and 1955; §.3.2.16), with the original southern side of the building being indicated by two steel columns within, inset 6½ft. from the extant exterior wall (Plate 110), and further evidenced by a relic, stepped brick gable visible at roof level (Plate 107).¹⁰¹ The block is accessed from passage [G9] to the west, where an access door has been recently enlarged (Plate 110), and from [G14] to the west; two flat-headed openings spanned by steel lintels have been formed in the north wall, affording through access to adjacent Building 15. Internally, the block comprises a single, unencumbered space, fully open to the underside of the roof, the latter of three even bays defined by two 'Fink'-pattern steel trusses (with cambered lower chord), supporting two tiers of longitudinal side-purlins. Lower chords are embedded in brick walling to the north though, to the south they are carried by the two secondary steel columns, the southern roof line here being extended out over the widened block (post-1936). The base of a square, brick-built stack, illustrated in original design drawings and extent on the 1948 aerial photograph, survives to the north-east angle of the block (subsequently reduced in height; Plate 113), reflecting the historical use of the range as a 'heat treatment' area.

- 4.4.5 Block [G14] forms an in-line continuation to the east of [G15], of a single storey beneath a tall, mono-pitch roof rising from a low southern elevation to abut the south wall of Building 15, the former incorporating a doorway and three window openings, all segmental-headed (Plate 116), distinct from, though contemporary with Block B. The range occupies a ground plan measuring 42ft. long (E/W) x 24ft. wide (N/S) and stands to a maximum height of 20ft. to the north, where a raised, longitudinal louvred-vent flanks the south wall of Building 15 (Plate 107). The range is accessed from passage [G16] via the segmental-headed doorway to the east end of the south wall, and via a further door at the south end of the west wall, formerly opening to the exterior, though now serving the mid-20th-century extended section of [G15]. The interior comprises a single unencumbered space (Plate 114), an original north-south aligned partition wall having been removed to the east to extend the plan fully to the James Street elevation, the latter incorporating a double loading door [d4] and a blocked window. The roof, which is supported on three trussed purlins (Plate 118), has been raised over the south-western angle as a flat-roofed vent (Plates 109/115), the cut off original rafters being visible at the southern plate (Plate 117). As per [G14] to the west, the space has historically been used for 'heat treatment' processes.
- 4.4.6 In the south-east angle of Block C and Block B, fronting onto James Street, is a small two-storey, flat-roofed block [G17; F16/17], much modified, though retaining some early fabric. The ground floor level [G17] comprises a small, unlit oil store,¹⁰² with segmental headed doorway onto passage [G16] and a face-laid brick floor. The upper level, approached via external stair C, incorporates a small lobby [F16], with access through to the first floor of Block B, and a locker/toilet block [F17].
- 4.4.7 Deposited design drawings of 1911 (inset at §.3.3.4) indicate that [G14] and [G14a] originally functioned as a 'hardening shop' (with muffle)¹⁰³ and 'blackening/hardening shop' respectively, [G17] as a 'hardening shop' with gents and ladies' washrooms [F17] over (accessed from workshop range B), and [G15] as a 'motor house' with integral stack to the north-east corner.

¹⁰¹ The original plan is illustrated in drawings for the 'rebuilding' of a blackening shop in 1936 (BBP 67523, see §.3.3.10). The subsequent widening of the range reduced the size of the yard served by access passage [G7] at Block A.

¹⁰² A window to James Street to the east having been historically blocked in brick.

¹⁰³ A muffle kiln is a furnace where the subject materials (pen-nibs) were heated to c.800/850°C in isolation from fuel and products of combustion.

5 DISCUSSION AND CONCLUSION

5.1 Summary of Development

- 5.1.1 A total of four broad 'phases' of development (see Figure 21) are identifiable within the manufactory buildings, here termed Phase Ia – Phase IV, summarised as follows:

Phase Ia: Early-20th century; c.1911

- 5.1.2 The Newhall Street site was purchased by Baker and Finnemore in 1911, and initial plans for development were submitted in the same year (see §.3.3.1), to the designs of Ewen Harper and Bro. of Corporation Street, Birmingham (see §.5.2).¹⁰⁴ The first stage of B&F development (Phase 1a on Figure 21) is represented by the clearing of the site and the erection of the two-storey (semi-basemented), purpose-built north-light workshop range **B**, first illustrated on the OS edition of 1917-27 in the angle of Newhall Street, James Street and Brook Street. Annotations to deposited drawings (BBP **22011**) indicate original storage/office and workshop functions. The composite ranges at Block **C** (hardening / blacking / varnishing shops and engine room), though varying stylistically from the main workshop range, are included on original design drawings, and are thus assumed to be contemporary.

Phase Ib: Early-20th century; c.1915

- 5.1.3 Being both functionally related and physically attached to the workshop range, the Newhall Street frontage range (Block **A**), was broadly contemporary with the workshops, in terms of its design at least, and was included in original, deposited drawings, though it was evidently constructed in a series of planned, discrete stages. The first stage, here included as 'Phase Ib' (Figure 21) on account of its broad contemporaneity with workshop **B**, was the southern half of the range (Bays 1-3), initially rising to two storeys over a basement, erected in c.1915, again to the designs of Ewen Harper and Bro.¹⁰⁵ The early range combined offices and packing warehouse functions at ground floor and (assumed) warehouse storage a first-floor level; the north elevation was formed of a 'temporary end' including three window bays.

Phase II: Mid-20th century; c.1936

- 5.1.4 Phase II comprises the northern extension of the Newhall Street frontage block, erected in c.1936 (BBP **66166**), when the three northern bays (Bays 4-6) were appended, again originally to two storeys only (see AP at §.3.4.1). Only a 'block plan' survives for the work, the designs being prepared by Ewen Harper Bro. and Co., successor company to the original designs (see §.5.2 below). Materials and details were matched closely to original work and the phase break is not readily discernible within the exterior fabric of the building.

Phase III: Mid-20th century; c.1948

- 5.1.5 The tertiary stage of development of the street frontage range (Phase III) comprised the addition of the upper storey to the full length of the building, occurring soon after the date of the 1948 aerial photograph, and firmly datable by BBP **90080** of Dec. 1948 and planning application ref. **02836000** of 1949. The 1948 drawings were

¹⁰⁴ The company may have retained former premises temporarily; Russon (in Jones 2013, 131) quotes a 'relocation' date of 1922.

¹⁰⁵ Design drawings appended to original submission BBP **22011**. Interestingly, it is not depicted on the 1917-27 edition map, which shows the cleared, vacant plot to the west of the workshop range, suggesting either a delay in the construction or outdated OS survey data, and is not illustrated until the 1955 edition, by which point it had been extended (Phase II/III).

prepared by Ewen Harper and Co. (see §.5.2 below), with an attached letter indicating that the upper floor had formed part of the Phase II application of 1936, but had not been effected at that time. Again, materials and details were matched closely to original work and the phase break is not readily discernible within the exterior fabric of the building.

- 5.1.6 The introduction of the upper floor was accompanied by internal modifications, for example the re-siting of the goods lift/hoist at Bay 3, originally internal to the range. Modification/adaptation of the early ranges within Block C (BBP 67523) would also appear to have been undertaken at around this time, and are here grouped together, though they do not necessarily form part of a single programme of development.

Phase IV: Later modifications

- 5.1.7 Later modifications to the wider site include the introduction / relocation of internal partitions to accommodate changing patterns of use, in part related to the expansion of production space in mid-late 1970s (introduction of Building 15). Lateral passage [F9b] was formed contemporary with the introduction of the latter, and an external, fire-escape stair (shown on 1948 drawings) removed. The introduction of Bldg. 15 would have eased pressure on space within the earlier buildings which, by that date, may no longer have been ideally disposed for the accommodation of more modern manufacturing machinery/processes and evolving production requirements.

5.2 Architectural Associations¹⁰⁶

- 5.2.1 Both major elements of the Newhall Street manufactory were erected to the designs of Ewen Harper and Bro., architects, of Corporation Street, Birmingham or their successor practices. Ewen Harper was born in Darlaston in the Black Country in 1853, moving to Aston, Birmingham with his parents in 1861. He embarked on an architectural career in 1870, at the age of 17, when he was articled to David Smith & Son of Cherry Street, before going on to establish his own practice in 1875, working out of Bennett's Hill. Initially involved in domestic work, he was later responsible for a number of significant buildings in the area, including a number of non-conformist (Wesleyan) churches together with commercial and industrial projects, and is noted for his use of terracotta. From 1897 until shortly before his death in 1920, Harper worked in partnership with his younger brother, James Alfred Harper, operating as Ewen Harper and Bro. From 1898, the partnership was increasingly involved in larger-scale commercial projects and were based, from 1900, at offices in the Grade II listed Ruskin Buildings on Corporation Street,¹⁰⁷ which they built to their own designs (Foster 2007, 106). Following Harper's death, the practice continued under the name of Ewen Harper Bro. & Co., a name it had assumed on Harper's retirement in 1919, with his brother Alfred and son Leonard as partners. In 1936 the company split, with Leonard continuing to operate from Ruskin Buildings as Ewen Harper & Co., and Alfred setting up a practice with his own son Geoffrey, trading as J. Alfred Harper & Son based at Union Chambers, Temple Row.
- 5.2.2 Within the wider Harper's Hill site, Ewen Harper and Bro. were responsible for the premises of CH Doley at 12 Northwood Street (Bldg. 12; BBP 17005), for Davenport's at 119 Northwood Street (Bldg. 6; BBP 25847), and for Zimmerman's at 123 Northwood Street (Bldg. 7/8; BBP 17510).

¹⁰⁶ Info. from Harper and Shackley, 2009.

¹⁰⁷ <https://historicengland.org.uk/listing/the-list/list-entry/1075606>

5.3 Historical Patterns of Use

- 5.3.1 Pen-nib manufacture would have involved a series of discrete processes including rolling, blanking, piercing, annealing, stamping and marking, raising, tempering, scouring, grinding, slitting, barrelling, burnishing, polishing etc. (summarised in Jones 2013, 35-45).¹⁰⁸ All of these processes would have been accommodated within the constituent buildings of the manufactory complex, together with associated administrative offices, warehousing, stores, packing and despatch areas. Original drawings are useful in identifying the functional arrangements of the ranges (insets at §.3.3.3-5), though these inevitably evolved over time in response to changing production methods and product lines, and the expansion of premises in the later-20th century.
- 5.3.2 Much of the stamping, pressing and cutting activities would have originally been undertaken with hand-operated, bench-mounted machinery,¹⁰⁹ with a requirement for well-lit, 'light and airy' workshop spaces (Block B). The modified buildings of Block C have evidently been used for an extended period of time for 'hot' works, while it is assumed that the southern bays of Block A, at first floor level at least, originally accommodated administrative functions (offices/meeting/board rooms etc.), as they did until recent vacation of the premises, with the lower levels most reasonably reserved for packing / despatch activities.

5.4 Assessment

- 5.4.1 The constituent buildings that comprise No. 199 Newhall Street present a complex of significant historical interest and considerable architectural merit, the latter in particular with respect to the formal treatment of the Newhall Street frontage range, the presence of which was accentuated by its heightening in the late-1940s, and this is reflected in its inclusion on the Statutory List as a Grade II Listed building. The buildings were erected, in the early-mid 20th century for the company of Baker and Finmore, manufacturers of steel pens, who remained in occupation until mid-2020, though latterly occupied in the production of 'push on' fasteners, lockbolts and precision steel pressings. The complex combines office/administrative accommodation with extensive manufacturing workshops, warehousing and stores in a purpose-built, composite site redolent of earlier, 19th-century 'integrated' manufactories. The juxtaposition of the formal administrative range A, prominently sited to Newhall Street, with the more utilitarian, liberally fenestrated workshops B to Brook Street / James Street, the latter set beneath its distinctive 'saw-tooth' north-light roof, presents a particularly interesting aspect, and it is to be welcomed that both these elements are to be retained and re-purposed/refurbished as part of the consented scheme. The component structures of Block C have been subject to considerable modification and their significance as 'representative' manufactory buildings is thus somewhat limited.

5.5 Conclusion

- 5.5.1 The current programme of recording has allowed for a detailed record to be made of the buildings under consideration, to a level of detail commensurate with their accepted relative significance, in accordance with the approved Written Scheme of Investigation. As such, the current document presents a useful 'point in time' record of the constituent ranges of 199 Newhall Street, and forms part of a more wide-ranging record of the wider Harper's Hill site prior to the consented redevelopment. Documentary and archival research has successfully established an historical context within which to interpret the origin and development of the recorded structures.

¹⁰⁸ The precise number and order of processes varied according to the type and finish of the product (Jones 2013, 35).

¹⁰⁹ Russon, in Jones (2013, 133) records members of staff continuing to be employed on hand presses in the mid- to late-20th century.

6 SOURCES AND BIBLIOGRAPHY

a) Cartographic Sources (in chronological order)

- 1731 Westley's map of Birmingham.
- 1750 Bradford's map of Birmingham.
- 1778 Hanson's map of Birmingham.
- 1818 Kempson's map of Birmingham.
- 1828 Piggott-Smith's map of Birmingham.
- 1850-55 Piggott-Smith's town survey of Birmingham.
- 1870-71 Birmingham Ratings Plan.
- 1889 Ordnance Survey 1:500 town plan.
- 1890 Ordnance Survey County Series 25in. (1:2500) map.
- 1905 Ordnance Survey County Series 25in. (1:2500) map.
- 1917/18 Ordnance Survey County Series 25in. (1:2500) map.
- 1955 Ordnance Survey National Grid Series 1:2500 map.
- 1970 Ordnance Survey National Grid Series 1:1250 map.
- 1980-91 Ordnance Survey National Grid Series 1:1250 map.

b) Primary Sources

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- **BBP 22011** (1911): 'Proposed factory for Baker and Finnemore, Newhall Street, Birmingham'. Ewen Harper and Bro., architects, of Ruskin Buildings, Corporation Street Birmingham [Bldg. **2B**]. Later addendum of 1915 pertains to southern three bays of [Bldg. **2A**].
- **BBP 28978** (1918): 'Colouring Shop' for the Newhall Street works of Messrs. Baker and Finnemore. James Ludlow, builder, of Albion Street, Birmingham [subsequently demolished].
- **BBP 66166** (1936): 'Proposed extension of factory in Newhall Street, B'ham for Messrs. Baker and Finnemore'. Ewen Harper Bro. & Co. [northern three bays of Bldg. **2A**].
- **BBP 67523** (1936): rebuilding of a blacking shop for Baker and Finnemore. Unattributed. Part of [Bldg. **2C**].
- **BBP 90080** (1948): 'Proposed additional storey' of the office frontage range at Newhall St. Birmingham for Messrs. Baker and Finnemore. Ewen Harper Bro. and Co., architects, of 191 Corporation Street, Birmingham. Upper level of [Bldg. **2A**]; originally formed part of BBP **66166**.

Trade Directories (Birmingham Library; History Research Area)

As listed at **Appendix C**.

c) Historical Planning Applications (BCC online planning portal)

- Planning ref.: **02836000**, February 1949; introduction of an additional storey to Block **A** (see BBP **90080**).
- Planning ref.: **1992/03921/PA**, October 1992; addition of 3-storey extension for production and storage.

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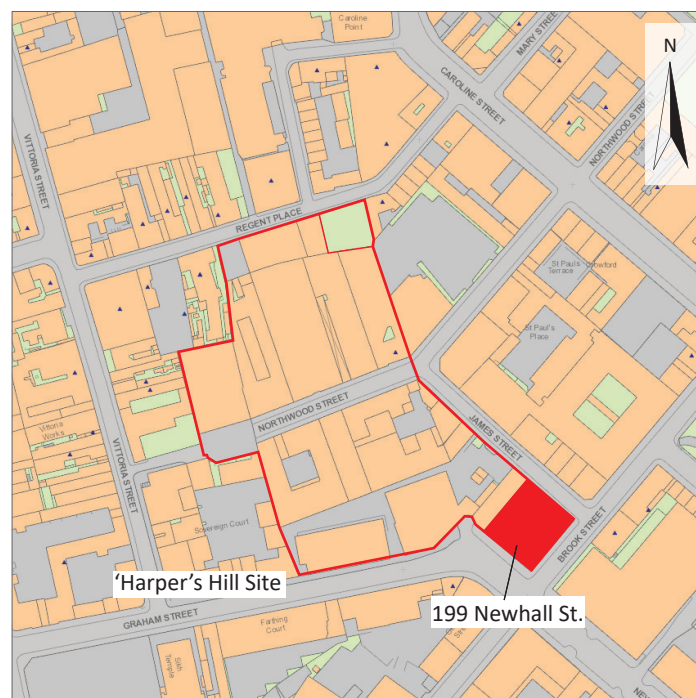
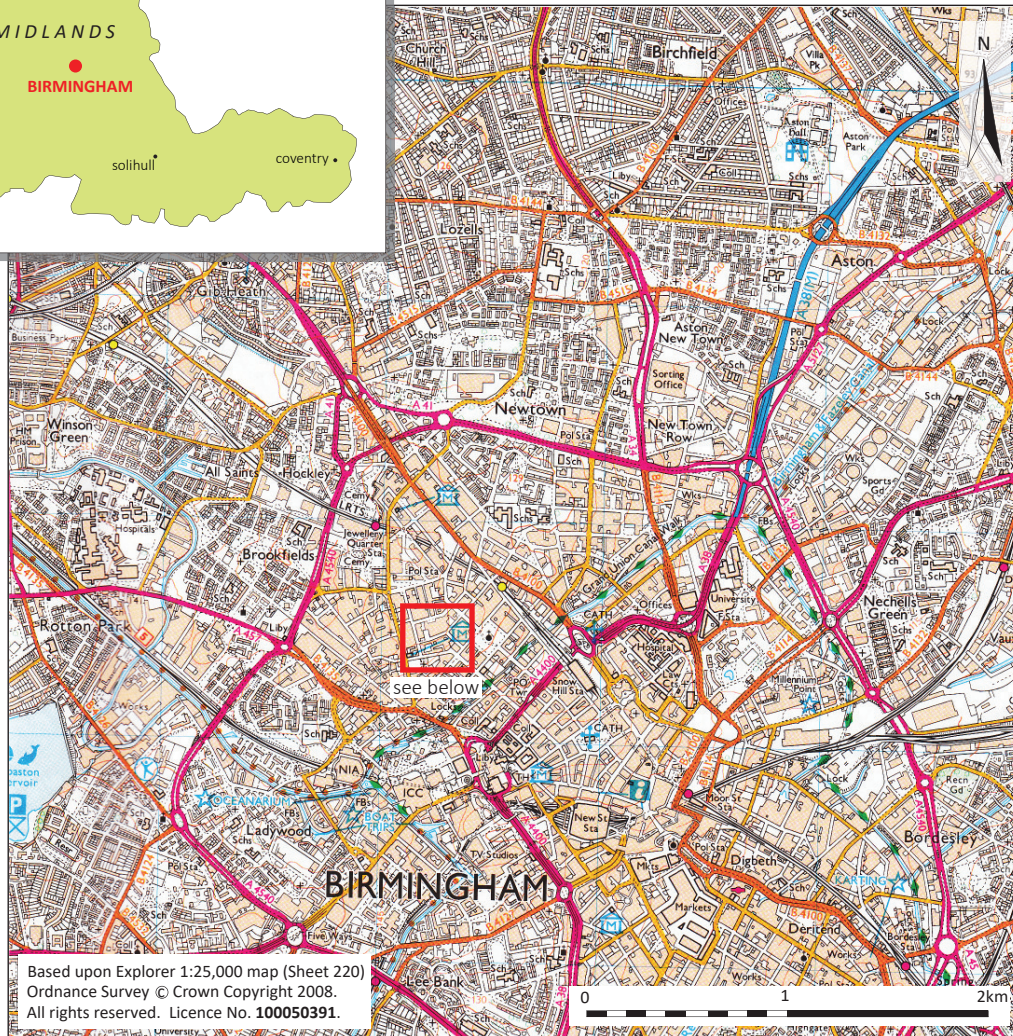
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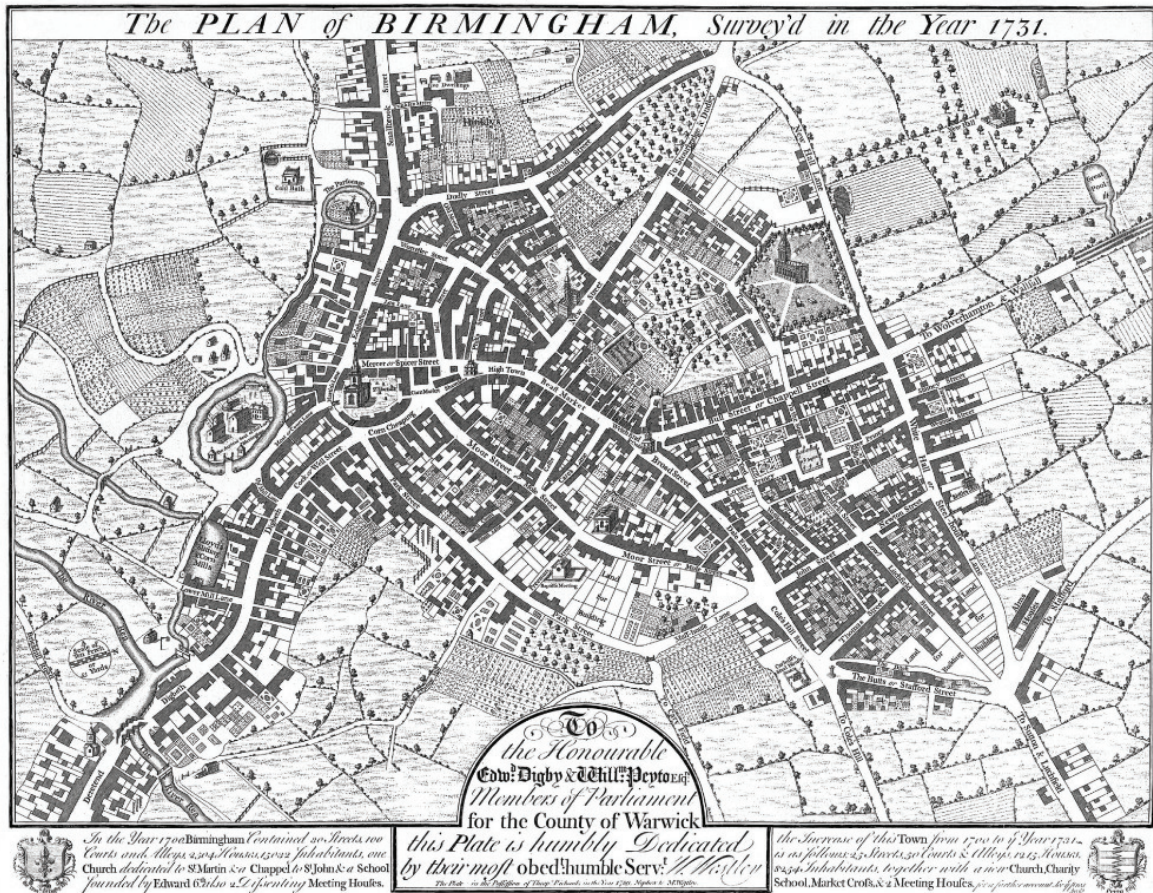
Report prepared by:

Ric Tyler MCIJfA
22.09.2022

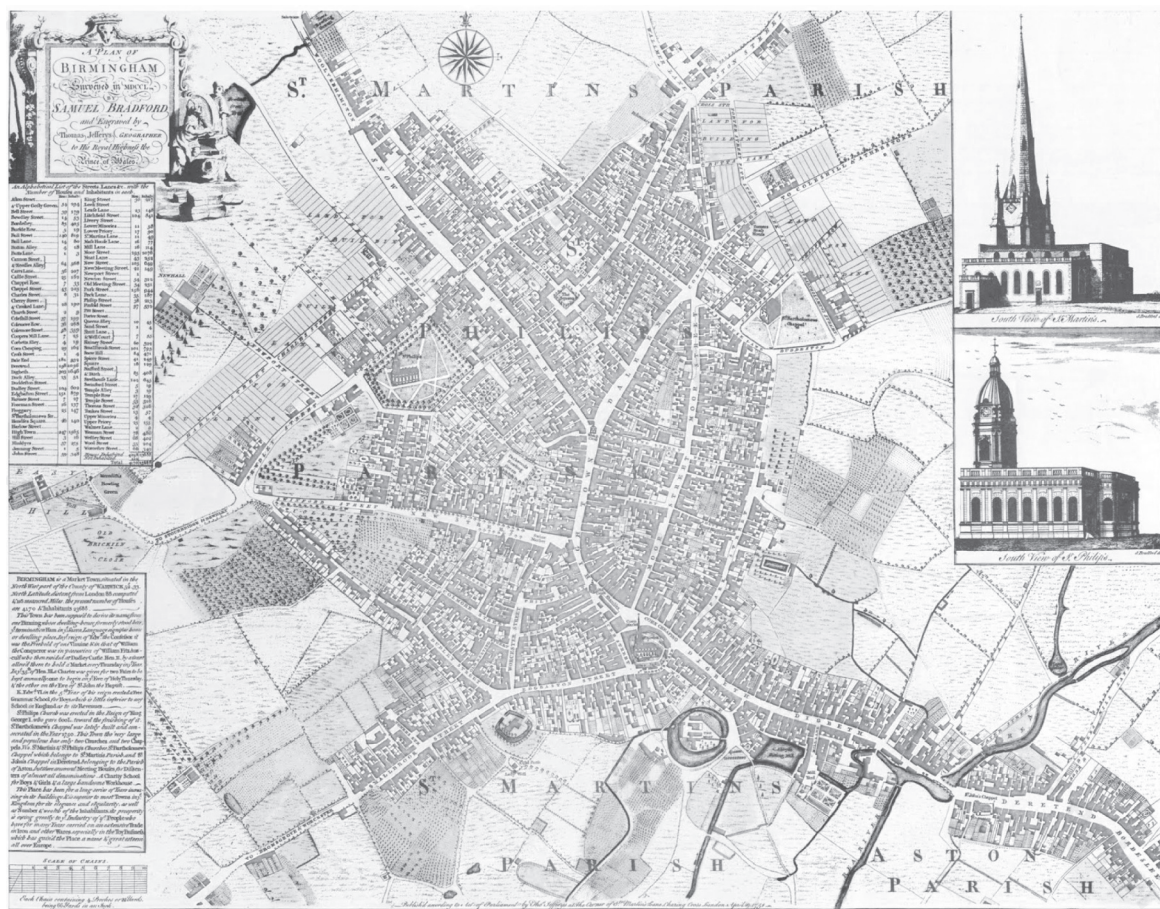


Selection of pen nibs by Baker and Finnmere (<https://starlocks.wordpress.com/>)

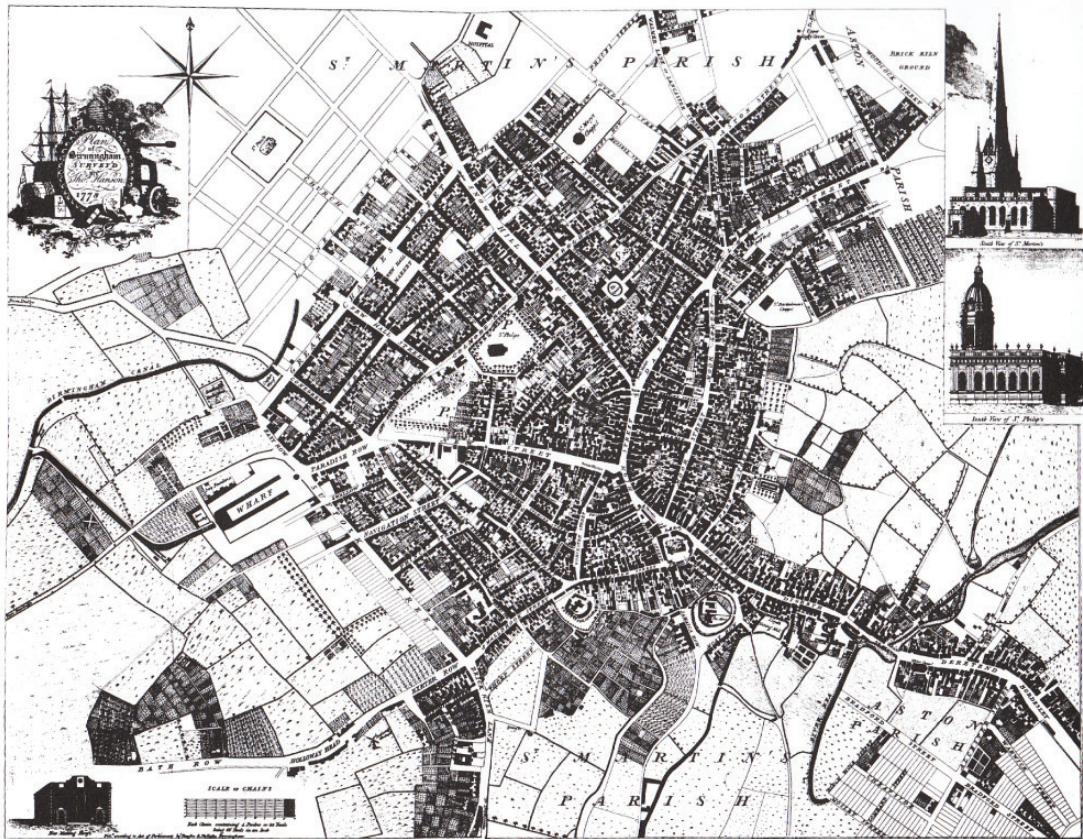




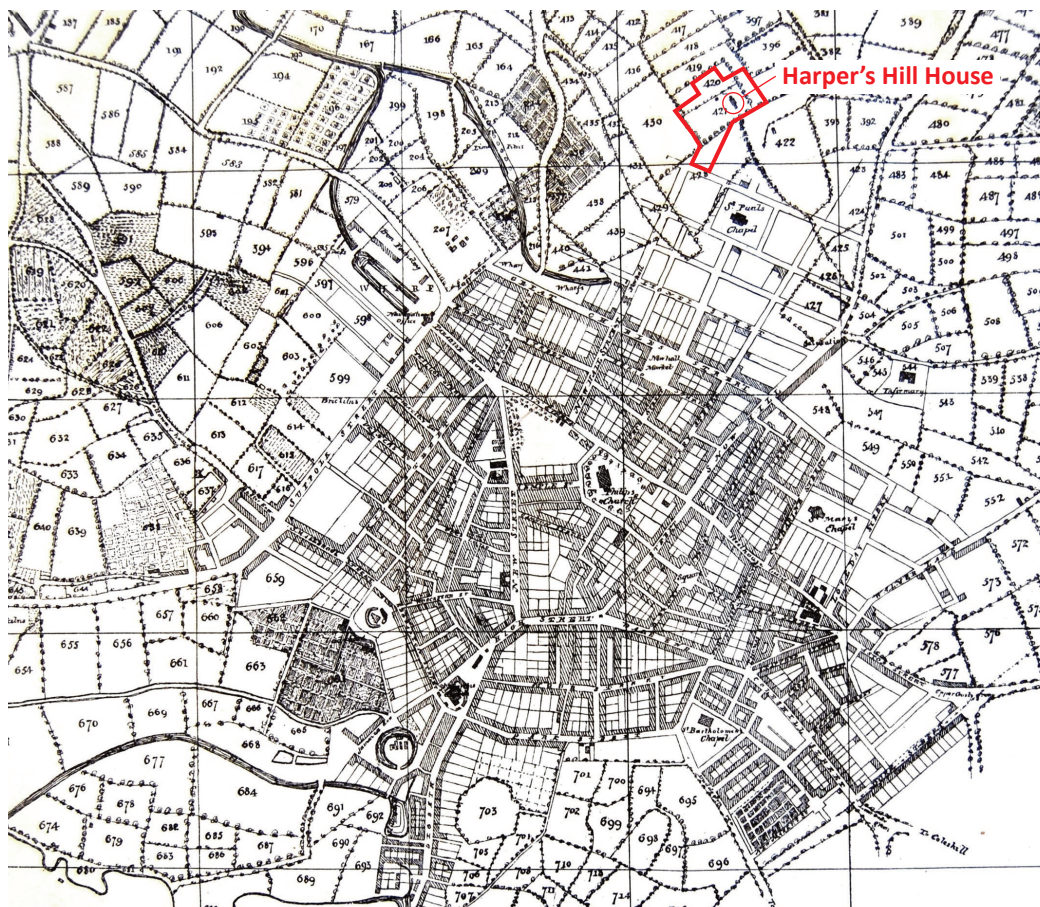
a Westley's map of 1731 (NB. north to right hand side of map; Harper's Hill site beyond area of map to top right).



b Bradford's Map of 1750 (NB. Harper's Hill site behind cartouche to top, left of image).



a Hanson's map of 1778 (NB. Harper's Hill site behind cartouche to top, left of image).



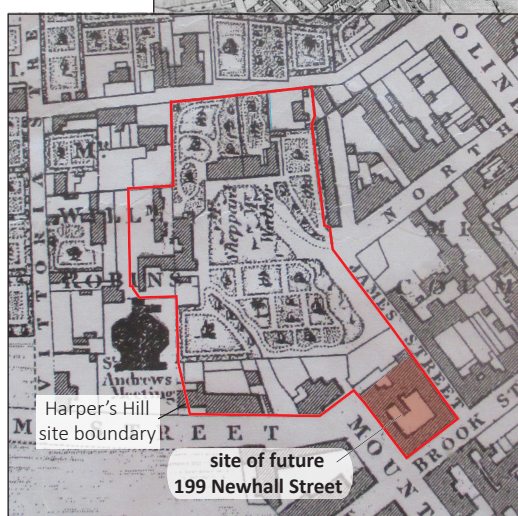
b Snape's Map of 1779 illustrating Harper's Hill House (north to right, approx.); Harper's Hill Site (approx.) outlined in red.



a Pye's Map of 1795 (first depiction of Northwood Street / James Street); Harper's Hill Site (approx.) outlined in red.



b Kempson's Map of c.1818 (rotated through 90°): Harper's Hill Site (approx.) outlined in red.



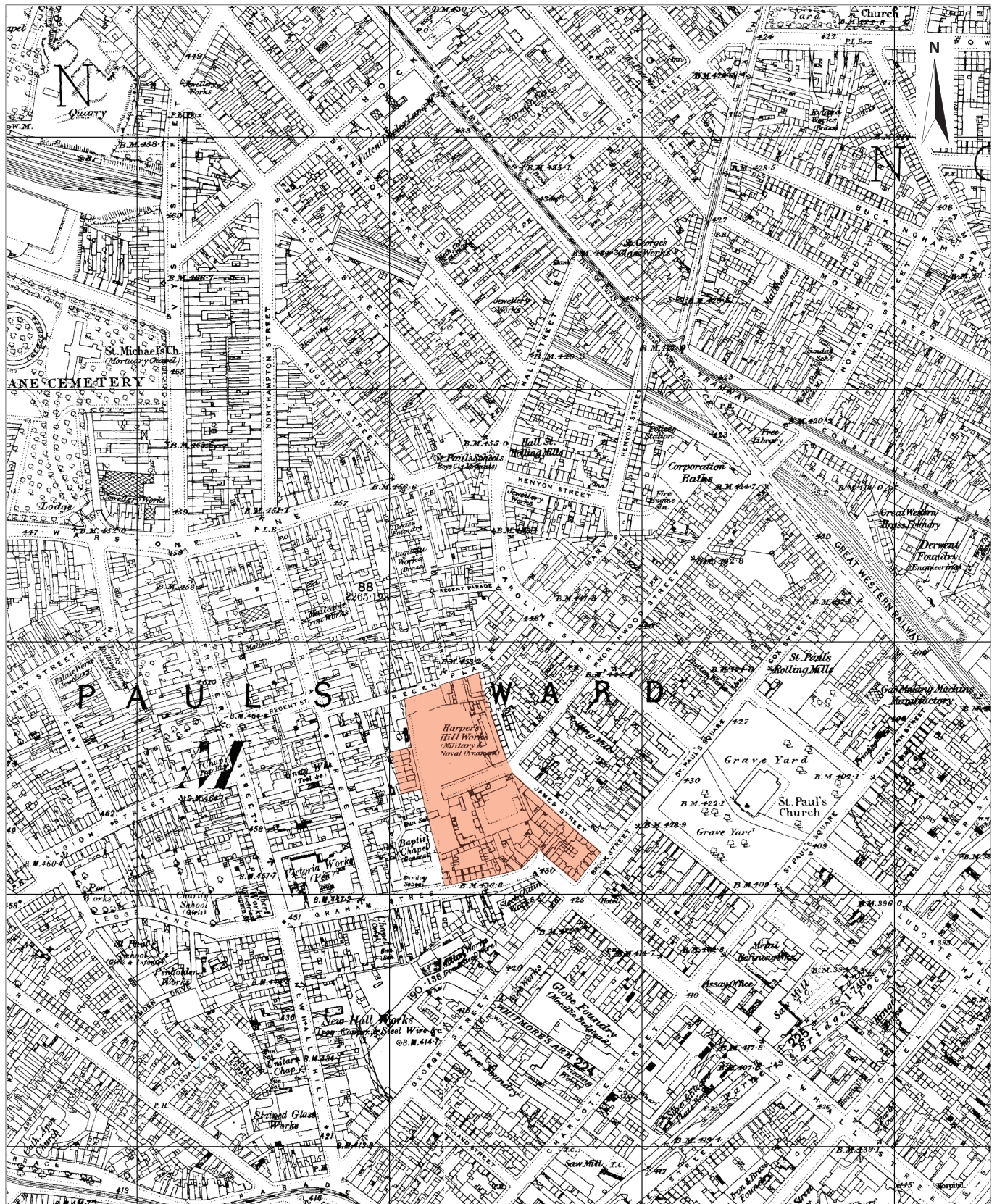
detail of Harper's Hill Site area

Harper's Hill, Jewellery Quarter, Birmingham Building 2: 199 Newhall Street

Figure 5: Piggott-Smith's map of 1828 (surveyed in 1824/5)

(BCA ref. B899/10472)





Harper's Hill, Jewellery Quarter, Birmingham

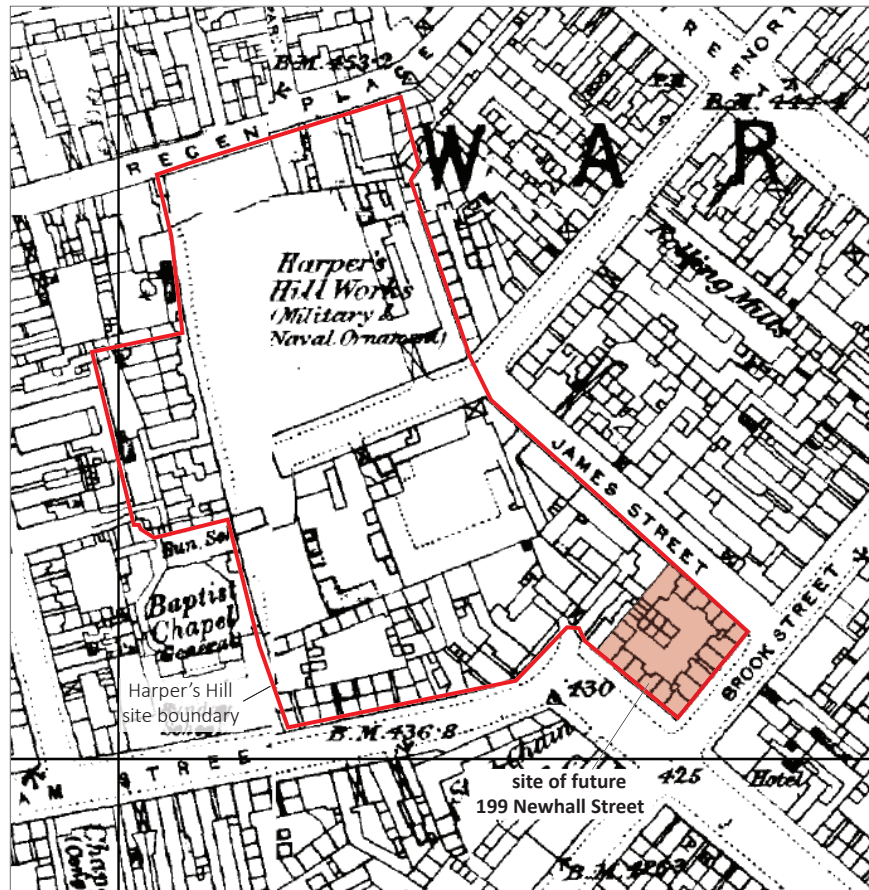
Building 2: 199 Newhall Street

Figure 8: Ordnance Survey 1:2500 first edition of 1890

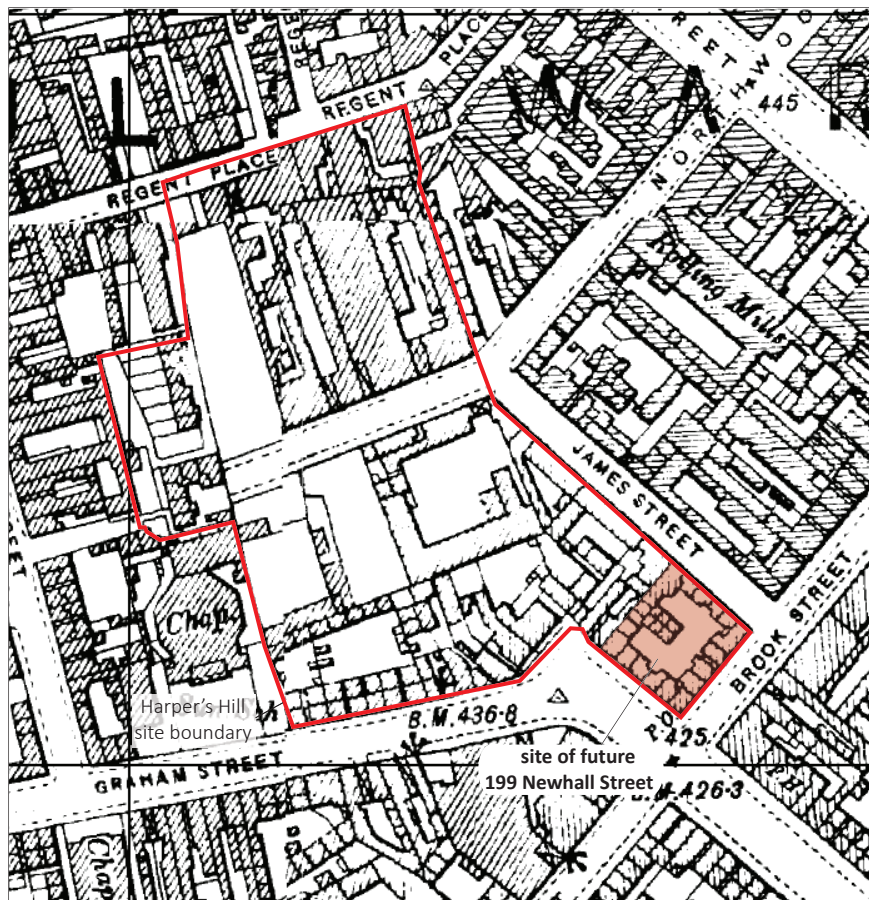
(wider site context: Harper's Hill site highlighted in red)

RIC TYLER

MCIFA PG Cert. Arch. Hist (Oxf)



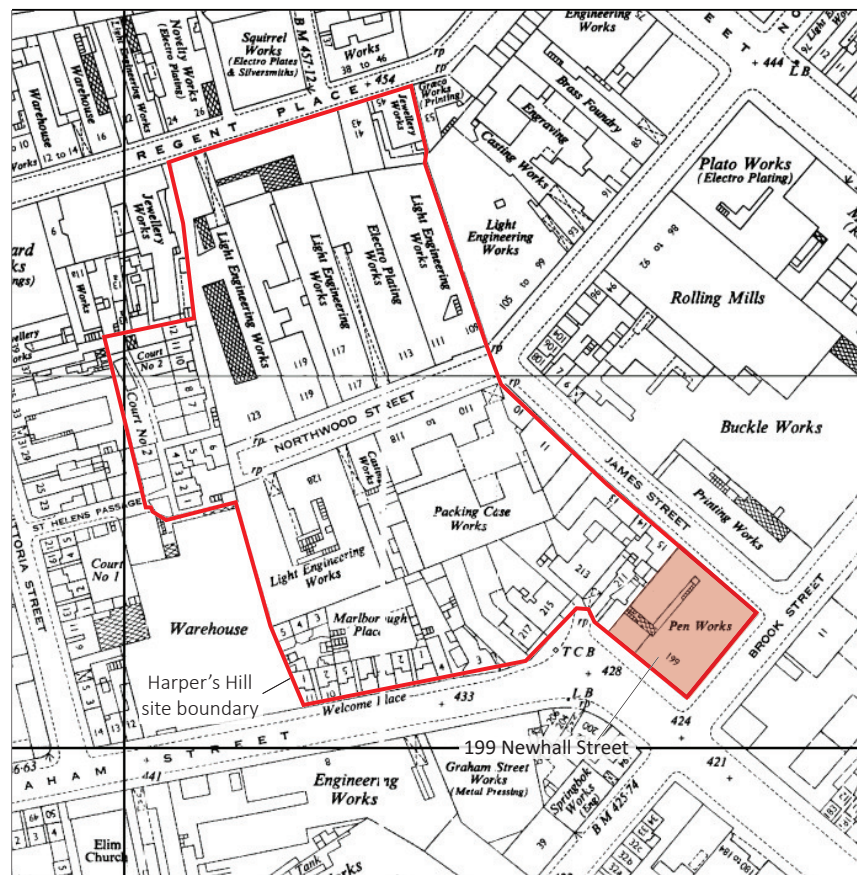
(a) 1890 1:2500 edition



(b) 1905 1:2500 edition

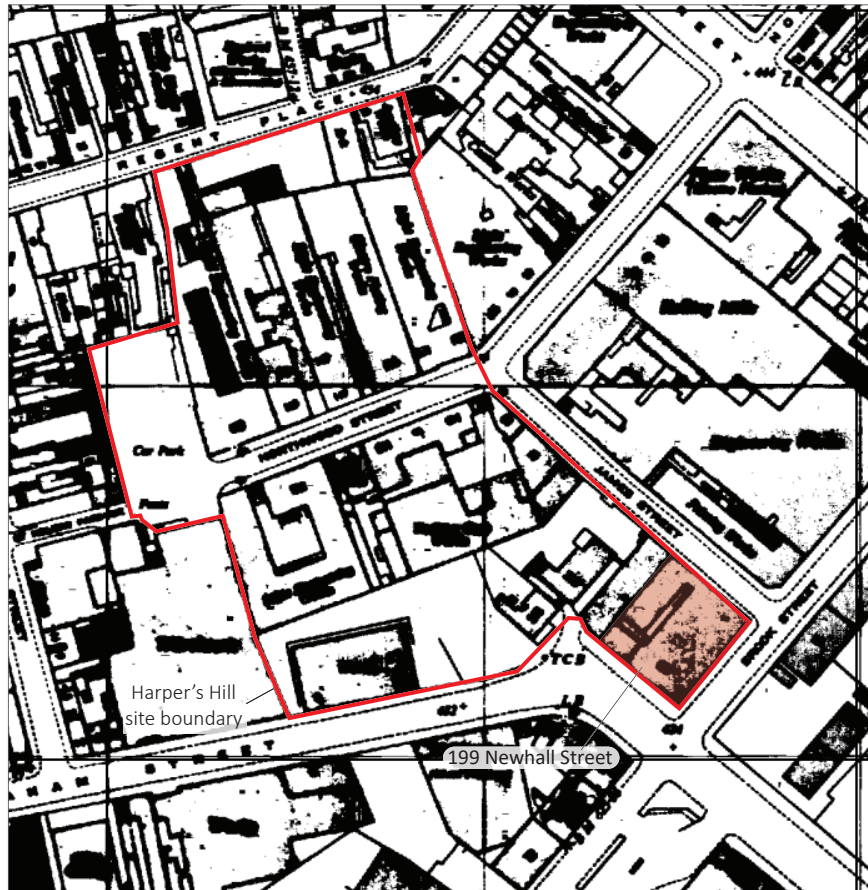


(a) 1917/27 1:2500 edition

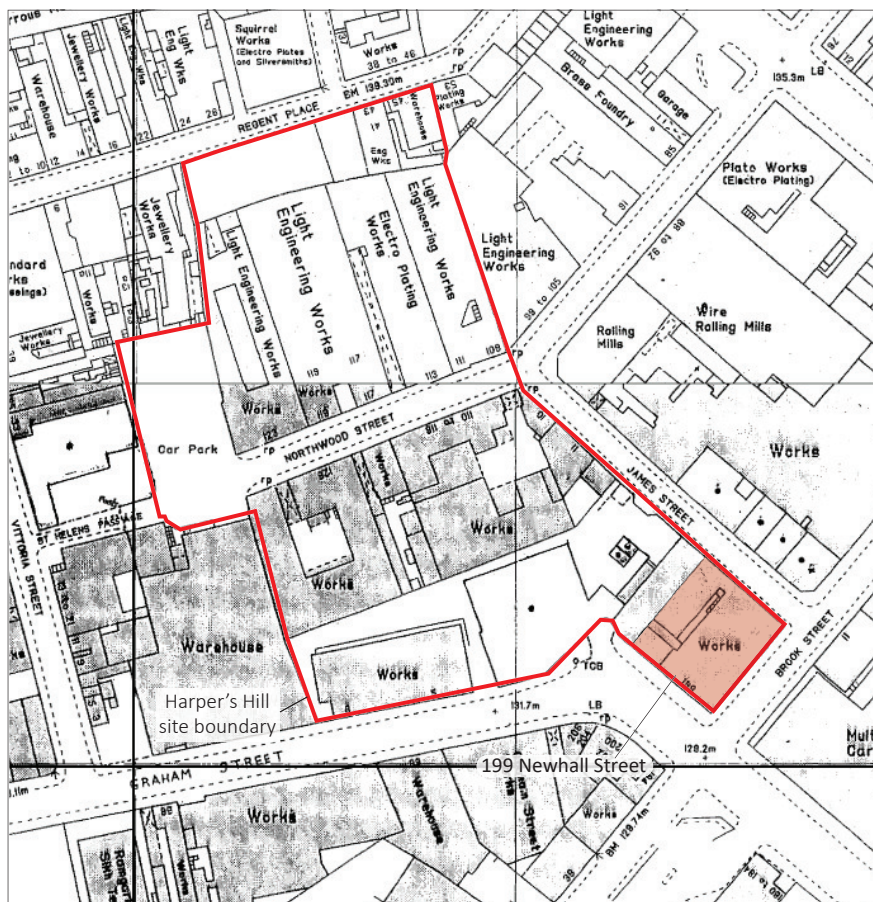


(b) 1955 1:2500 edition

N



(a) 1970 1:2500 edition



(b) 1980 1:2500 edition

NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing



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0 5 10m
Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

Harpers Hill, Jewellery Quarter, Birmingham
Building 2: 199 Newhall Street

Figure 13: Elevation to Brook Street

(Based in part on Glenn Howells Architects Drg. No. 2144/DPA-Q-200 of September 2018, amended)

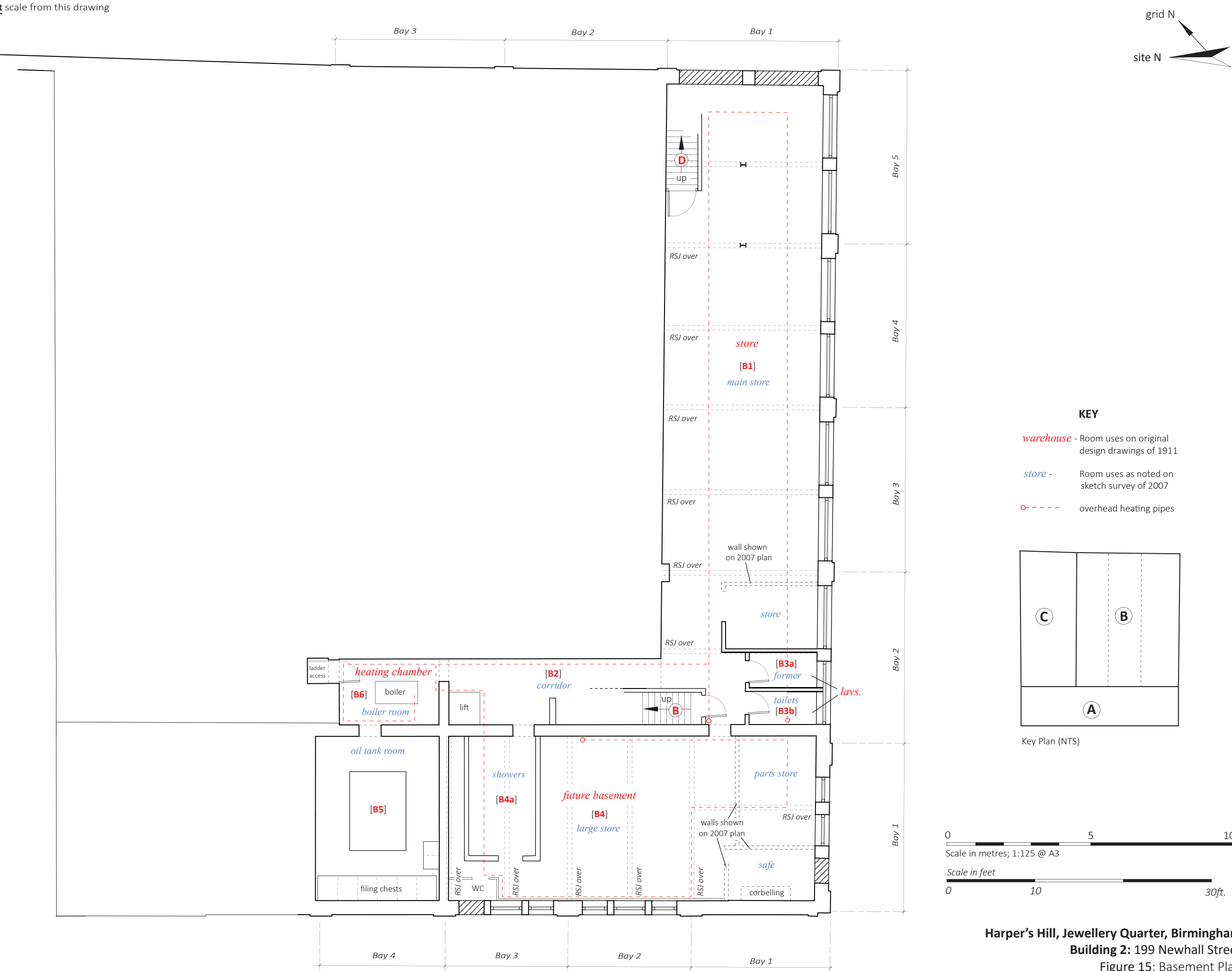
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Harper's Hill, Jewellery Quarter, Birmingham
Building 2: 199 Newhall Street
Figure 14: Elevation to James Street
(Based in part on Glenn Howells Architects Drg. No. 2144/DPA-Q-201 of September 2018, amended)

NB. for illustrative purposes only, **do not** scale from this drawing

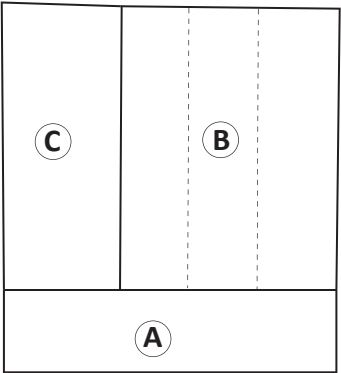


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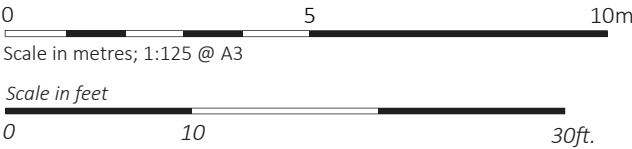


KEY

- warehouse* - Room uses on original design drawings of 1911
- warehouse* - Room uses as noted on sketch survey of 2007
- o - - - overhead heating pipes



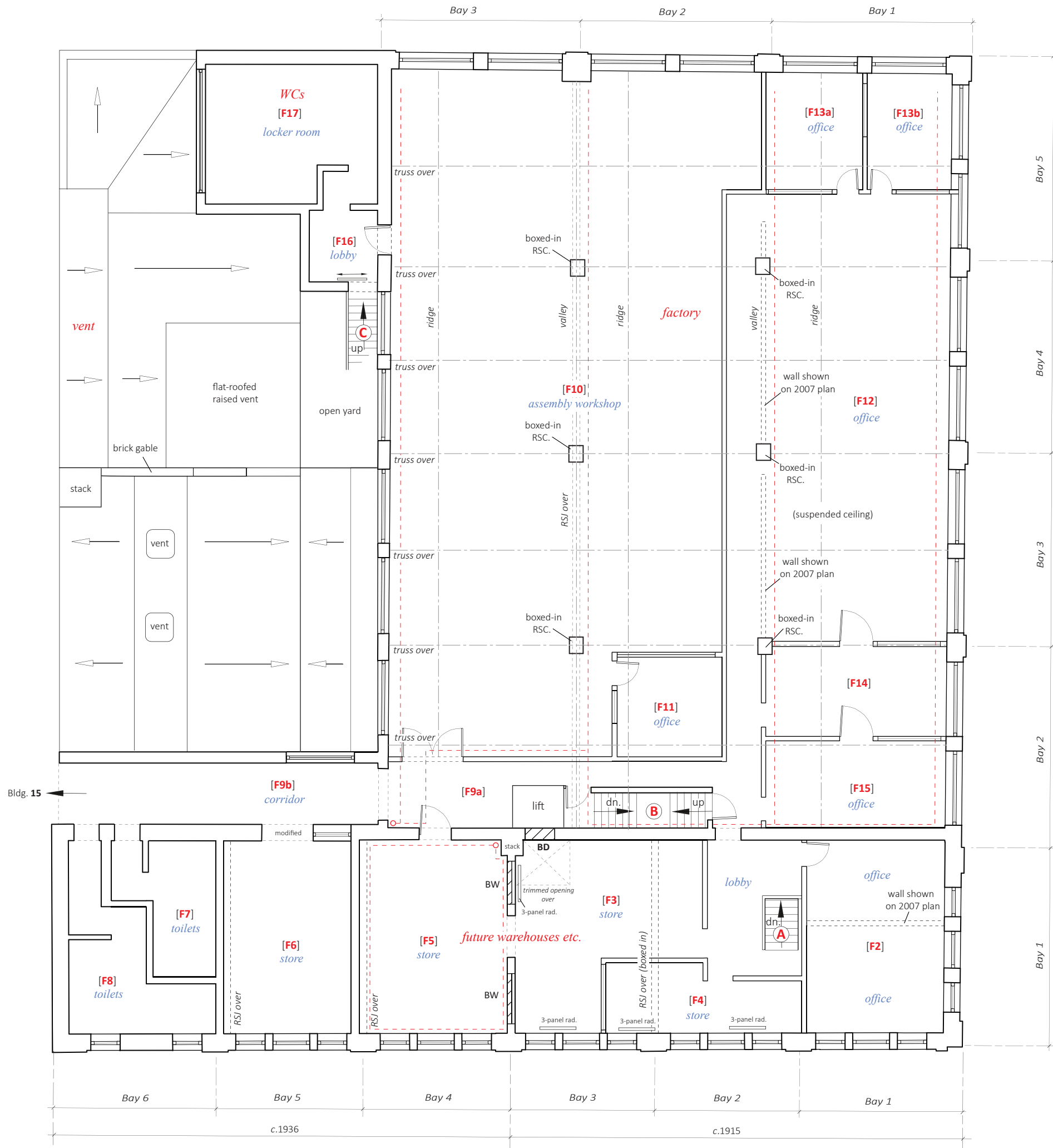
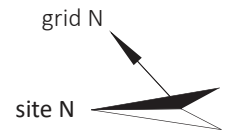
Key Plan (NTS)



Harper's Hill, Jewellery Quarter, Birmingham
Building 2: 199 Newhall Street
Figure 16: Ground Floor Plan

(Based on Glenn Howells Architects Drg. No. 2144/DPA-Q-100 of September 2018 and DTZ Debenham Tie Leung survey of 2007)

NB. for illustrative purposes only, do not scale from this drawing

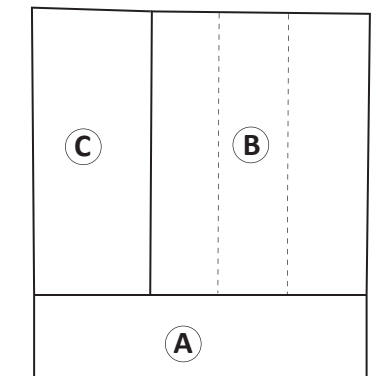


KEY

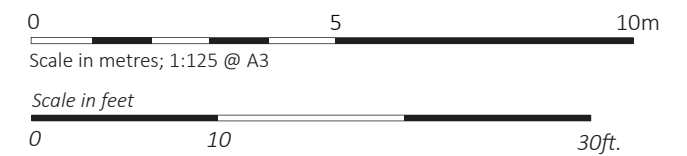
warehouse - Room uses on original design drawings of 1911

workshop - Room uses as noted on sketch survey of 2007

○ - - - - overhead heating pipes



Key Plan (NTS)

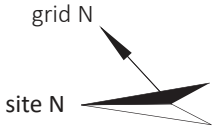


Harper's Hill, Jewellery Quarter, Birmingham
Building 2: 199 Newhall Street

Figure 17: First Floor Plan

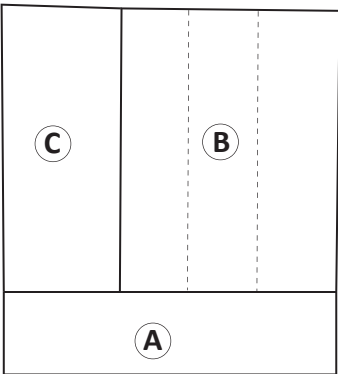
(Based on Glenn Howells Architects Drg. No. 2144/DPA-Q-101 of September 2018 and DTZ Debenham Tie Leung survey of 2007)

NB. for illustrative purposes only, **do not** scale from this drawing

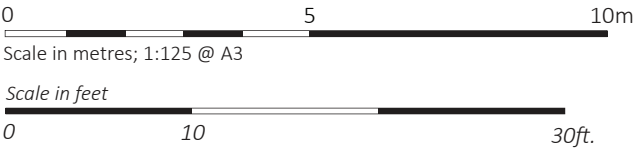


workshop - Room uses as noted on sketch survey of 2007

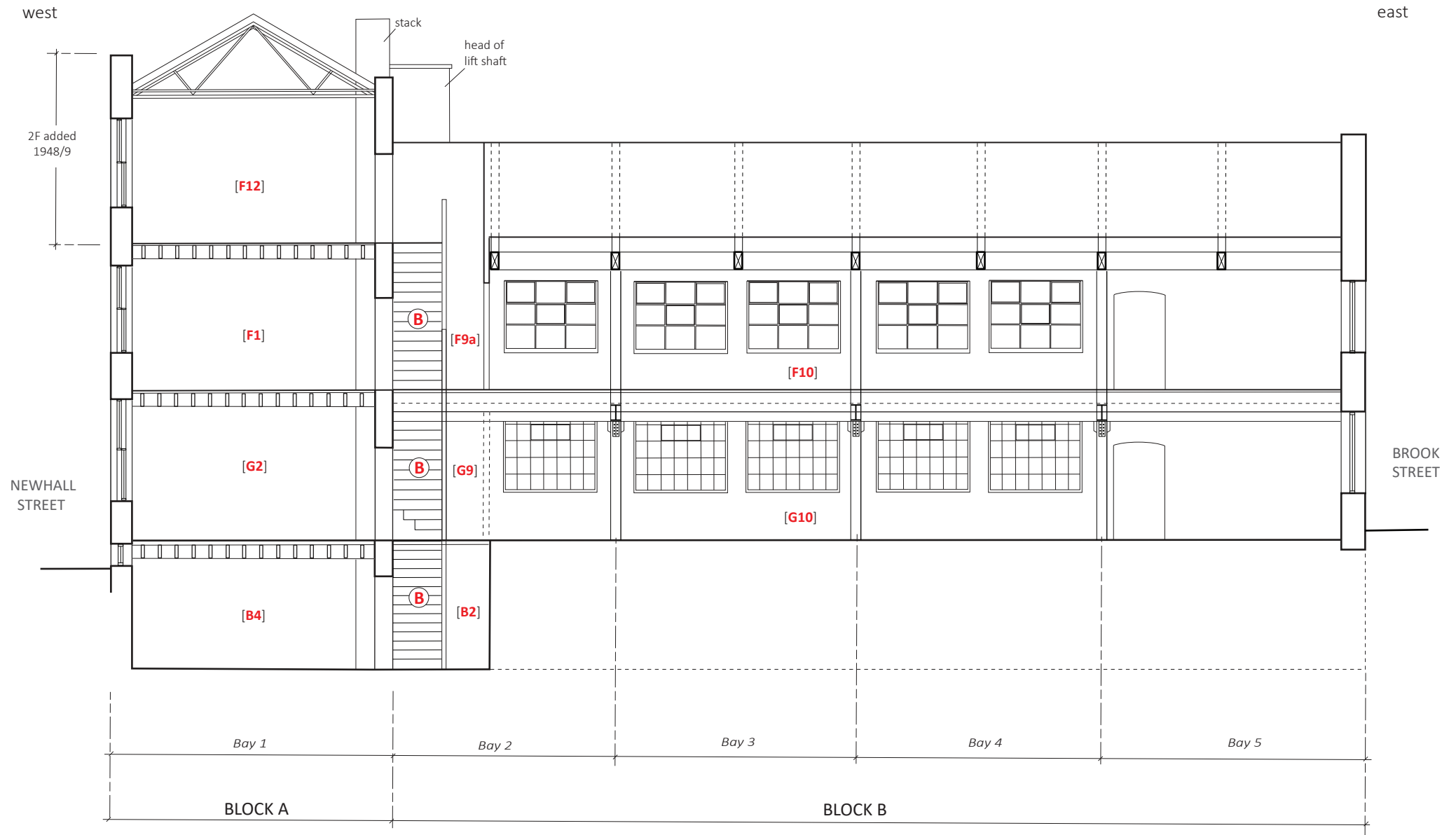
○ - - - overhead heating pipes



Key Plan (NTS)



NB. for illustrative purposes only, do not scale from this drawing



0 5 10m

Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

RIC TYLER
MCIFA PG Cert. Arch. Hist (Oxf.)

Harper's Hill, Jewellery Quarter, Birmingham
Building 2: 199 Newhall Street
Figure 19: Blocks A/B; cross-section looking north

NB. for illustrative purposes only, do not scale from this drawing





(a) ground floor plan



(b) west elevation

KEY TO PHASING

PHASE Ia: c.1911	PHASE III: c.1948 (planned, 1936)
PHASE Ib: c.1915	PHASE IV: pre-1955
PHASE II: c.1936	

Harper's Hill, Jewellery Quarter, Birmingham

Building 2: 199 Newhall Street

Figure 21: Outline Phasing
(as evident from historical records)



Plate 1: Baker and Finnemore buildings at north end of Newhall Street, looking north with 199 Newhall Street (Street frontage range) to centre.



Plate 2: Baker and Finnemore buildings looking east along Graham Street.



Plate 3: 199 Newhall Street; oblique view of Block A (street frontage range) and Block B (rear workshops) looking north-east.



Plate 4: Block A; Newhall Street frontage.



Plate 5: Block A, street facade; entrance Bay 1 looking east.



Plate 6: Main entrance door [d1].



Plate 7: Detail of number to lintel and date plaque over.



Plate 8: First floor fenestration, Bay 1.



Plate 9: Ground floor fenestration, Bay 4.



Plate 10: Blocked ground floor windows at Bay 6.



Plate 11: Detail of moulded cill.



Plate 12: Goods entrance [d2] at Bay 5.



Plate 13: Basement lights at Bay 2.



Plate 14: Block A, south elevation to Brook Street.



Plate 15: Section of east wall (2F) visible above roof of Block B.



Plate 16: Block A, east elevation; windows and former door to Bays 5/6.



Plate 17: Stack and head of lift shaft at Bay 3.



Plate 18: Base of Stair **B** from GF to basement.



Plate 19: Emergency escape ladder from basement to boiler room [B6].

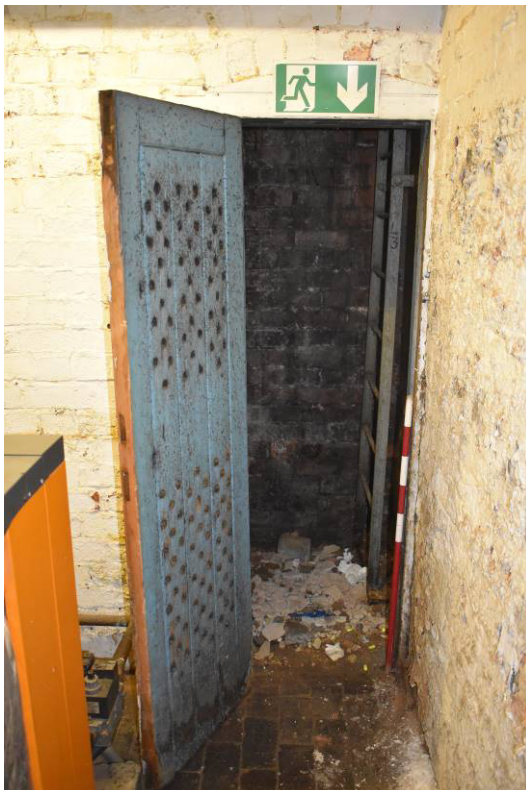


Plate 20: Base of emergency escape ladder opening off GF [G16].



Plate 21: Press storage area at south end (Bay 1) of Block A, [B4].



Plate 22: Corbelled section of walling to west wall, Bay 1, rel. main stair of Newhall Street frontage.

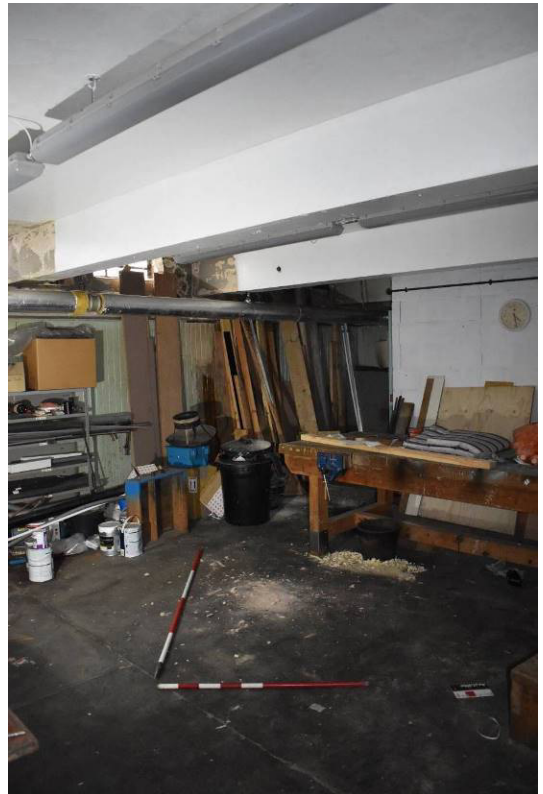


Plate 23: Room [B4] looking north-west.



Plate 24: Inserted shower room [B4a] at Bay 3.



Plate 25: Matchboard lining to west wall of [B4].



Plate 26: Small enclosed room to NW angle of [B4].



Plate 27: Basement passage [B2] looking north.



Plate 28: Base of lift/hoist within [B2].



Plate 29: Boiler room [B6] looking north.



Plate 30: Oil tank room [B5] looking west.



Plate 31: Sample chests to west side on [B5].



Plate 32: Drawer of sample boxes.



Plate 33: Details of sample boxes.



Plate 34: Card index cabinets.

2948 NAME <i>Lock up (small)</i>		OUR NO. 2948	
MATERIAL <i>032 Steel</i>		THEIR NO. 0324	
OPERATION	TOOLS	RATE	GROSS PER HR.
<i>Cut m/c Set Raise ends</i>	<i>N31 m/c</i>	<i>2947</i>	<i>40 pps</i>
			<i>O.D. 2 1/2 inch</i>
FINISH & REMARKS			
<i>Shot</i>			

2946 NAME <i>Lock up</i>		OUR NO. 2946	
MATERIAL <i>7/32 x .024 Steel</i>		THEIR NO.	
OPERATION	TOOLS	RATE	GROSS PER HR.
<i>Chop Raise</i>	<i>3 1/2</i>		
FINISH & REMARKS			
<i>Black Finger</i>			

2947 NAME <i>Lock up large</i>		OUR NO. 2947	
MATERIAL <i>036 Steel</i>		THEIR NO. 0326	
OPERATION	TOOLS	RATE	GROSS PER HR.
<i>Cut top m/c Set m/c Rise ends</i>	<i>N32 m/c</i>	<i>2948</i>	<i>40 pps</i>
FINISH & REMARKS			
<i>Grind punch turning to match Jelly sample</i>			
<i>Shot</i>			

2945 NAME <i>Catch up</i>		OUR NO. 2945 B	
MATERIAL <i>5/32 x .028 Steel</i>		THEIR NO.	
OPERATION	TOOLS	RATE	GROSS PER HR.
<i>Chop lances Form in m/c Rise</i>	<i>2 1/2</i>	<i>2097</i>	
FINISH & REMARKS			
<i>Thunders</i>			
<i>Black end</i>			

Plate 35: Detail of hand-written product index cards.



Plate 36: Entrance Hall [G1] looking west.

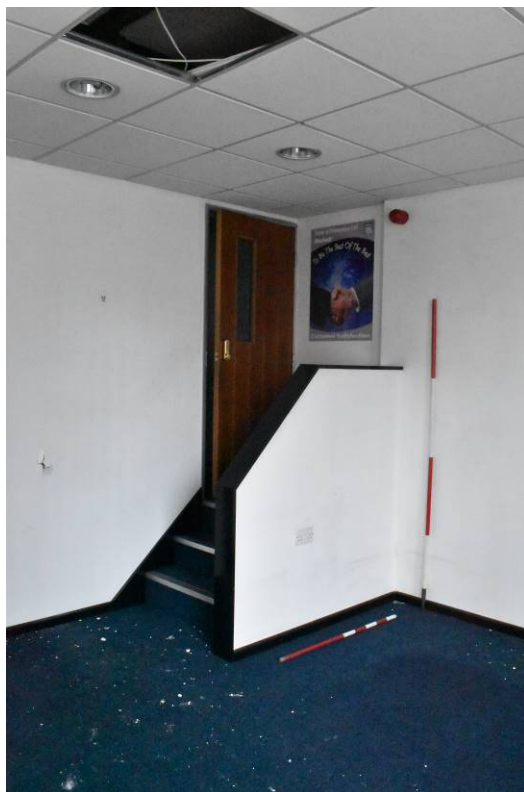


Plate 37: Entrance Hall [G1] looking north-west with base of modified stair A.



Plate 38: Room [G2], originally a 'packing room', looking north.

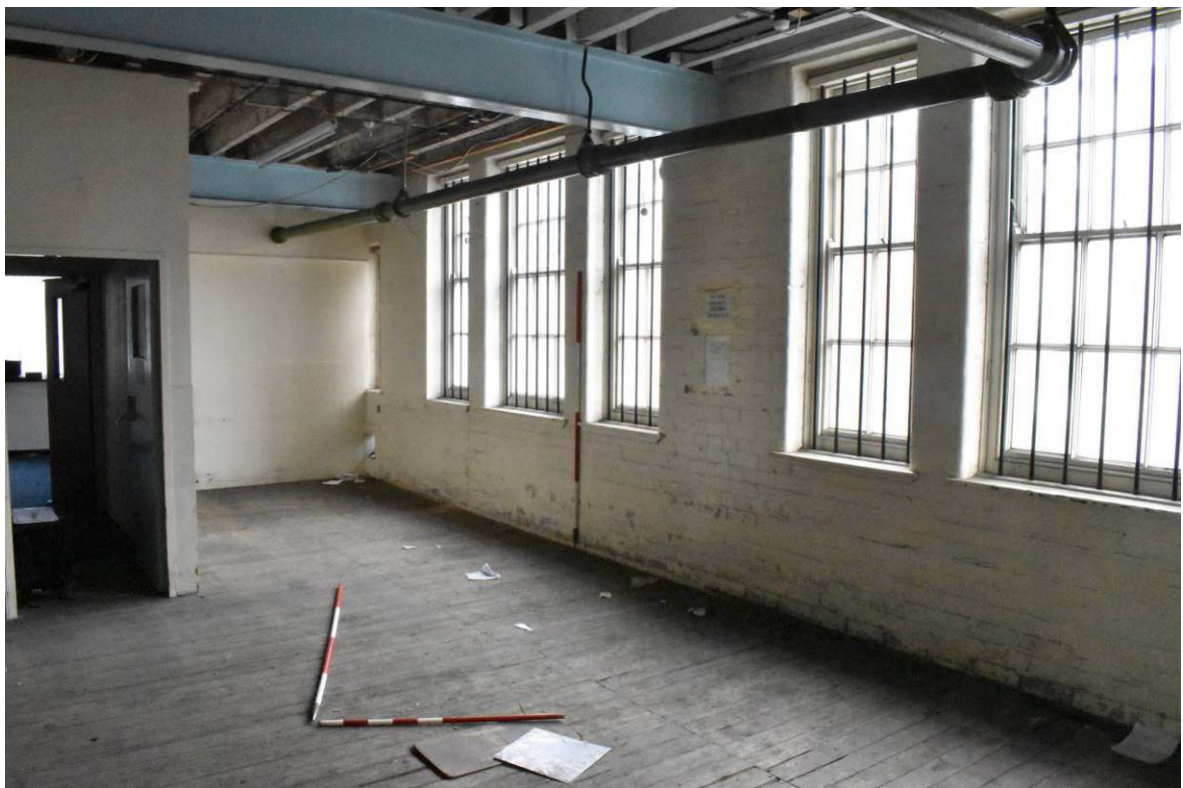


Plate 39: Room [G2] looking south.



Plate 40: 1F structure over.



Plate 41: Moulded cill detail (10cm scale).



Plate 42: Heating pipes risers to each side of door, [G2].

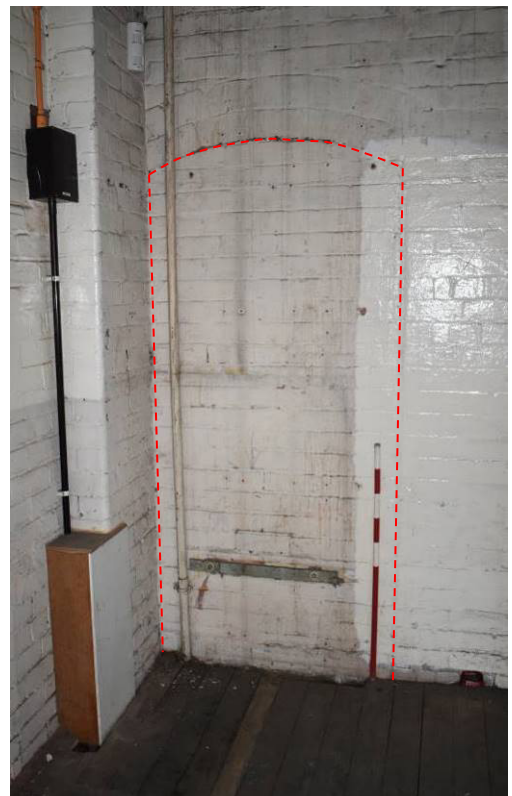


Plate 43: Blocked door, [G2], Bay 3.



Plate 44: Trimmed former opening at north-east corner of [G2] (NB. orig. design drawings of 1915, inset at §.3.3.5, annotated 'trim floor for future lift'.



Plate 45: Room [G4] looking north.



Plate 46: Doors to [G5a/G6] from passage [G9].



Plate 47: Entrance Bay 5 looking east, with hatch to office [G6].



Plate 48: Entrance Bay 5 looking west.



Plate 49: Head of Stair A at landing [F1].



Plate 50: Base of Stair B at Bay 2.



Plate 51: Looking down Stair **B** from passage [F9a] with lower $\frac{1}{4}$ -turn and matchboard cladding.



Plate 52: Board room / office [F2] looking west.



Plate 53: Room [F4] looking south-west.



Plate 54: Detail of 3-panel, wall-mounted cast-iron radiator, Room [F4].



Plate 55: Room [F3] looking north-west.



Plate 56: Room [F3] looking west.



Plate 57: Blocked door to north-east corner [F3].

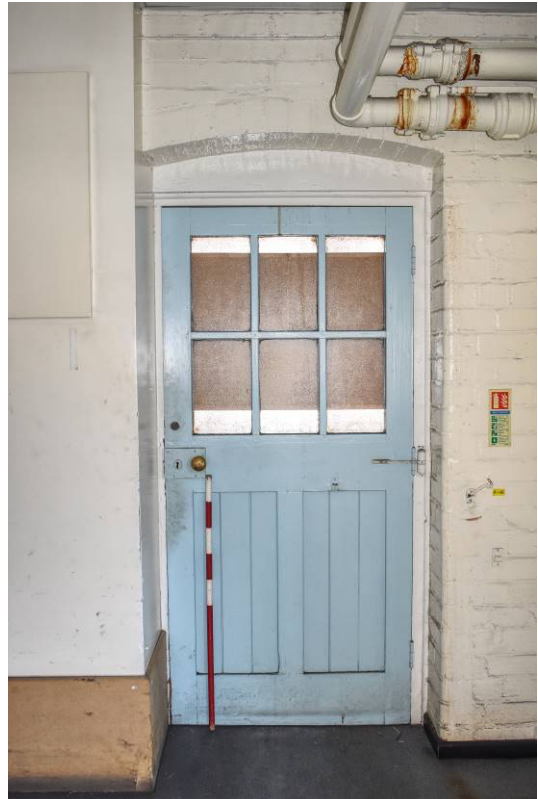


Plate 58: Door to [F5] from passage [F9a].



Plate 59: Room [F5] looking west.



Plate 60: Looking north along 1F corridor [F9b].



Plate 61: Looking south along 1F corridor [F9b].



Plate 62: Stair B rising to 2F level from [F9a].

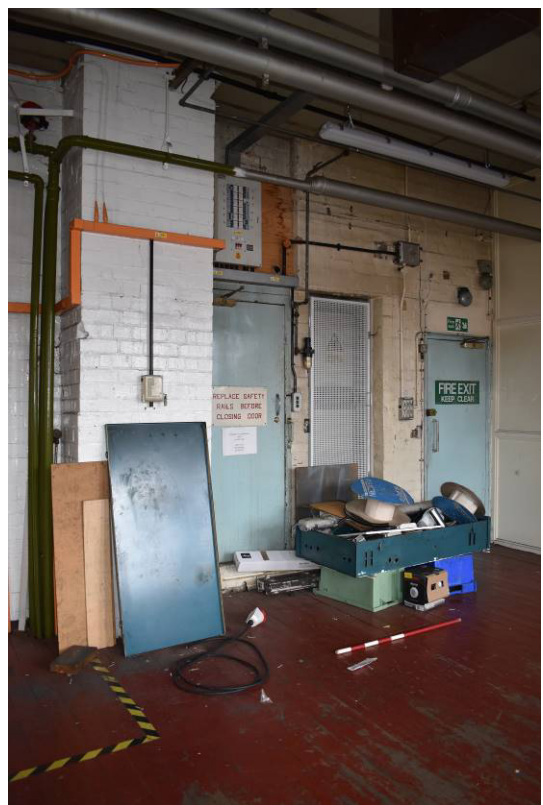


Plate 63: Head of stair B (right) with lift access (centre) and stack (left).



Plate 64: Principal 1/2-glazed transverse partition at Bay 3.



Plate 65: [S2] looking south.

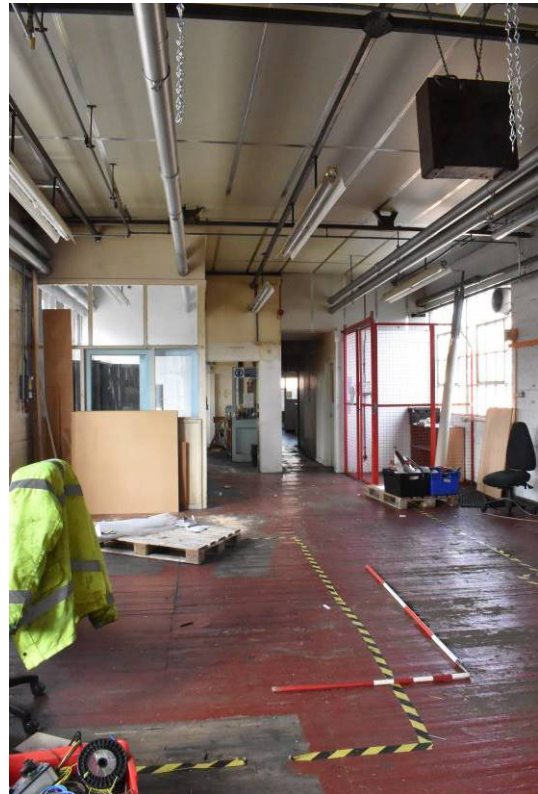


Plate 66: [S1] looking north.



Plate 67: Enclosed office [S4].



Plate 68: *In-situ* cylindrical grinder at [S5] (sliding door through to Bldg. 15 beyond).



Plate 69: Steel roof structure over Block A, looking north from Bay 1 [S2a].



Plate 70: Block B of 1911, Brook Street frontage looking north-west.



Plate 71: Block B of 1911, Brook Street frontage looking north-east.



Plate 72: Block B, Brook Street frontage; representative bay (Bay 5).

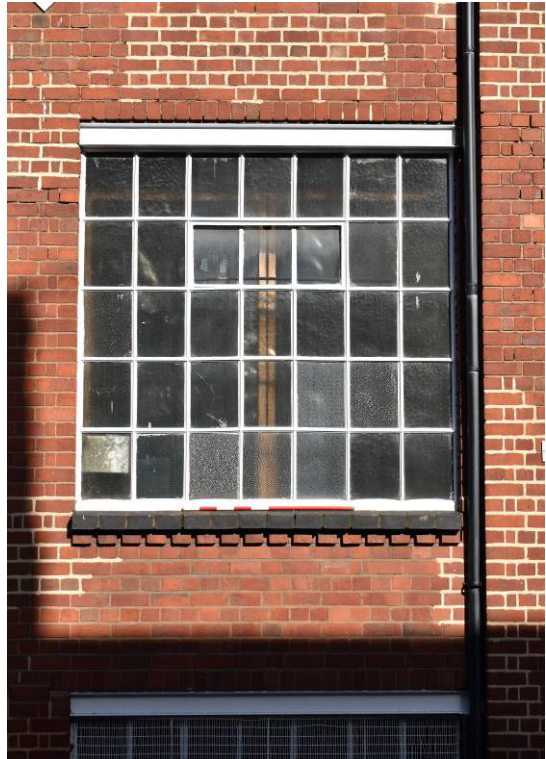


Plate 73: Block B, Brook Street frontage; ground-floor multi-pane window (Bay 5).



Plate 74: Block B, window cill detail.



Plate 75: Block B, Brook Street frontage; first-floor steel casement window (NB. tie end plates to left).



Plate 76: Block B of 1911, James Street frontage looking south-west.



Plate 77: Block B, James Street frontage looking NW.



Plate 78: Block B, James Street frontage (Bay 1).



Plate 79: Block B, James Street frontage; converted GF window at Bay 3.



Plate 80: Block B; patent-glazed north-light roof over Bay 3 (seen from Block A, 2F looking east).



Plate 81: Block B, James Street frontage; 'saw tooth' gable with circular vent and tie bars.



Plate 82: Block B, north elevation after removal of adjacent, component ranges of composite Block C (image: 21.09.21).

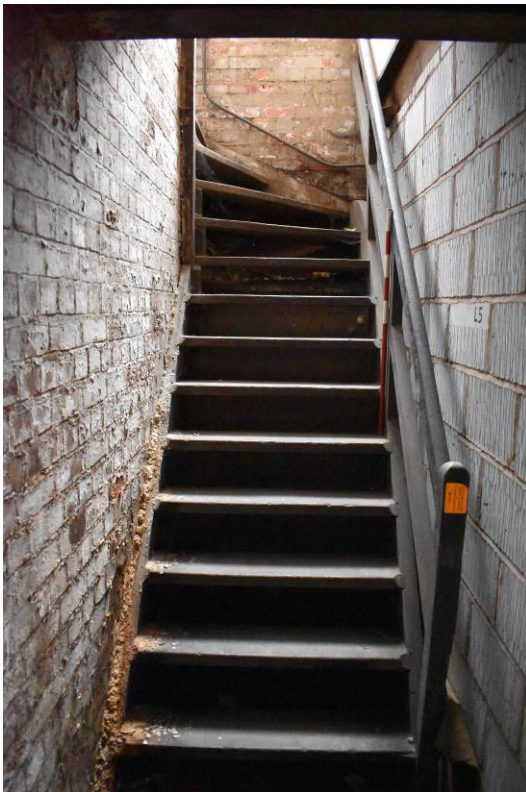


Plate 83: Stair D descending to basement at east end of Block B.



Plate 84: Mid-span RSJ support at east end of [B1].



Plate 85: Block B basement 'main store' [B1] looking west.



Plate 86: Basement WCs [B3a/b] at Bay 2.



Plate 87: Block B, Bay 1 ([G10c]) looking east (NB. annotated 'warehouse and offices' on original design drawings).



Plate 88: Block B, looking north-west from Bay 1 ([G10c]) across Bays 2/3 ([G10b/a]).



Plate 89: Block B, Bay 3 ([G10a]) looking west (NB. partitioned to form 'rough warehouse' and 'grinding shop' on original design drawings.



Plate 90: Block B, exposed GF support column (Bay 1/2).



Plate 91: Detail of GF column head supporting transverse and longitudinal RSJs.



Plate 92: Block B, 1F structure exposed at Bay 3.



Plate 93: Doorway at [G10a], Bay 5 opening onto passage [G16].

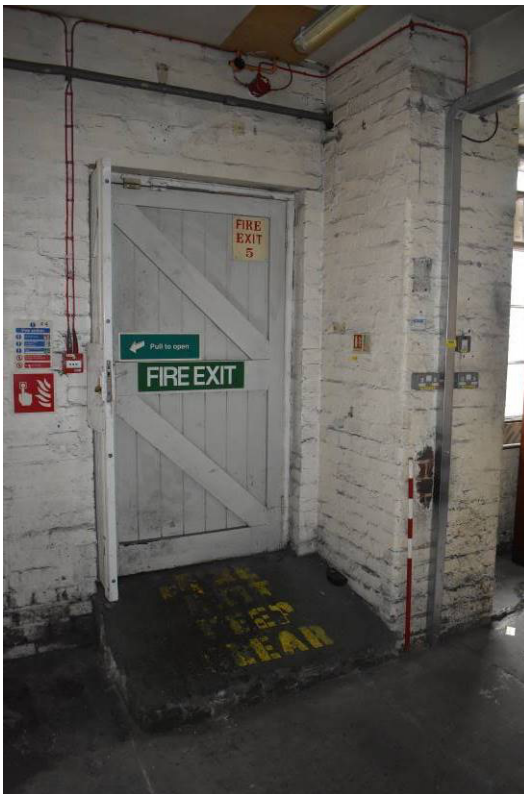


Plate 94: Door inserted in former window at [G12] with projecting former flue (see plan at §.3.3.4)

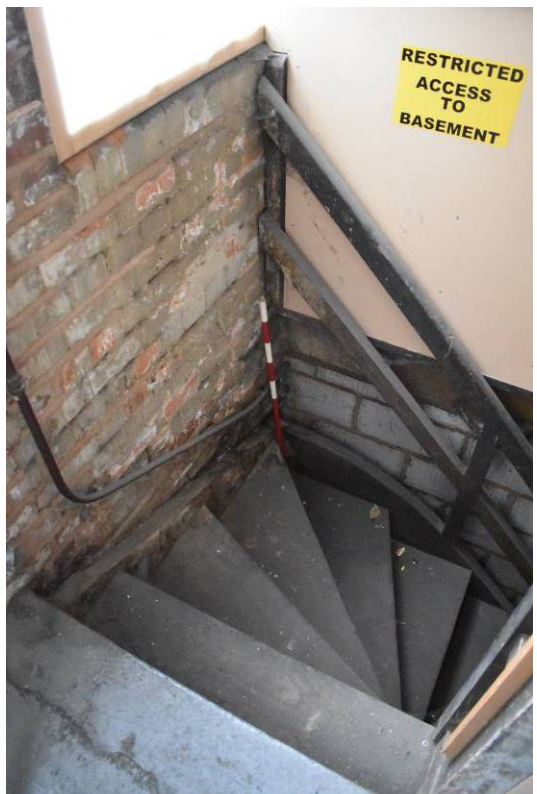


Plate 95: Stair D descending to basement level.



Plate 96: Ceiling mounted heating pipes at Bay 5.



Plate 97: Heating pipe risers at west side of Bay 2.



Plate 98: Surviving section of quadrant skirting, Bay 2.



Plate 99: External stair C rising to 1F level against north elevation from open passage [G16].



Plate 100: Block B, first floor Bay 1 looking east; refitted as modern open-plan office [F12] (NB. annotated as 'factory' on original design drawings).

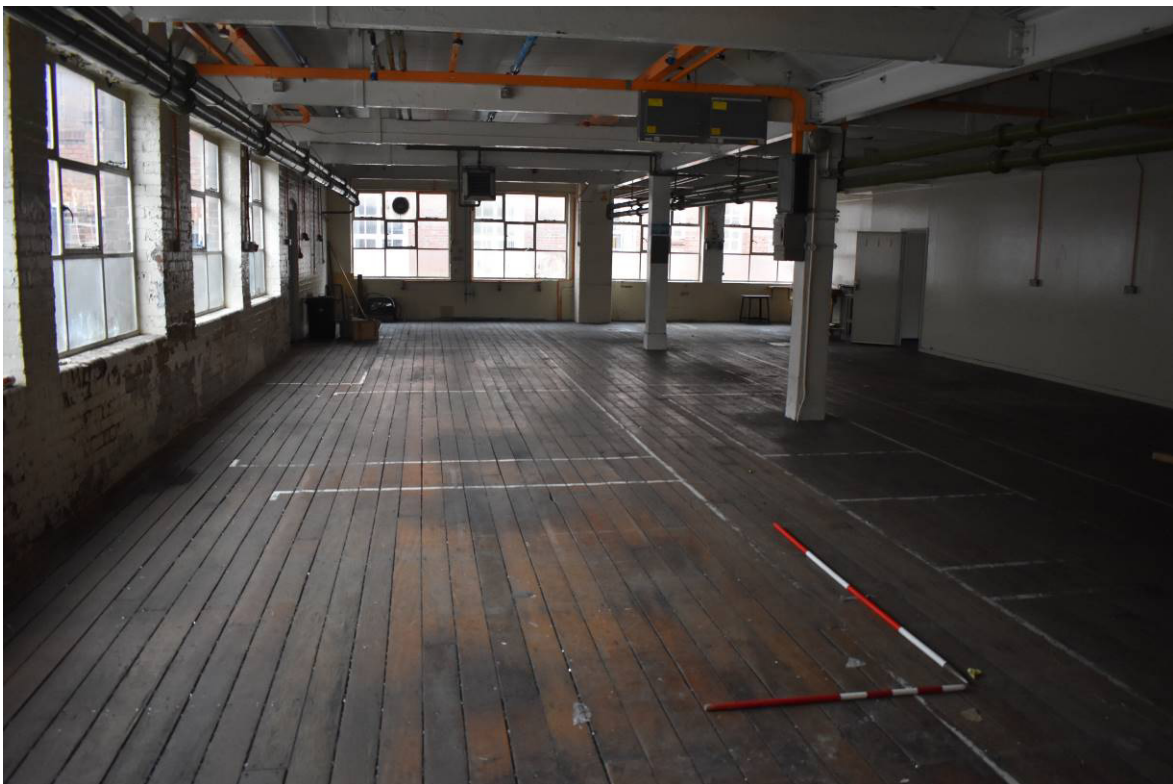


Plate 101: Block B, first floor Bay 2/3 looking east (NB. annotated as 'factory' on original design drawings).



Plate 102: Enclosed office [F11] to west end of Bay 2.



Plate 103: Detail of roof structure at valley between Bays 2/3.



Plate 104: Strapped joint to tie / principal rafter.



Plate 105: Stirrup strap (jib and cottered) to tie / king-post.



Plate 106: Block C, elevation to James Street looking south-west.



Plate 107: Block C, looking east over roof-scape towards James Street (NB. truncated square stack and raised brick gable).



Plate 108: Looking east along covered section of passage [G16] with Block C structures to left.



Plate 109: Looking west along open section of passage [G16] with early windows of [G14] to right.



Plate 110: South-west angle of [G15].



Plate 111: Room [G15] looking east.



Plate 112: Room [G15] looking north-west.



Plate 113: Brick stack at north-east corner of [G15].



Plate 114: Room [G14] looking north-east.

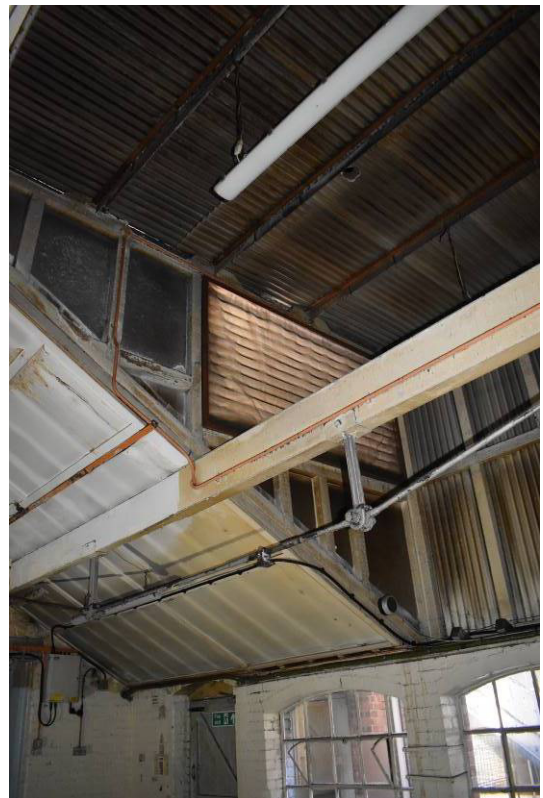


Plate 115: Secondary section of roof over [G14], raised as flat-roofed vent.



Plate 116: South wall of [G14] with doorway and three early windows.



Plate 117: Original southern plate of [G14] with cut-off rafters.

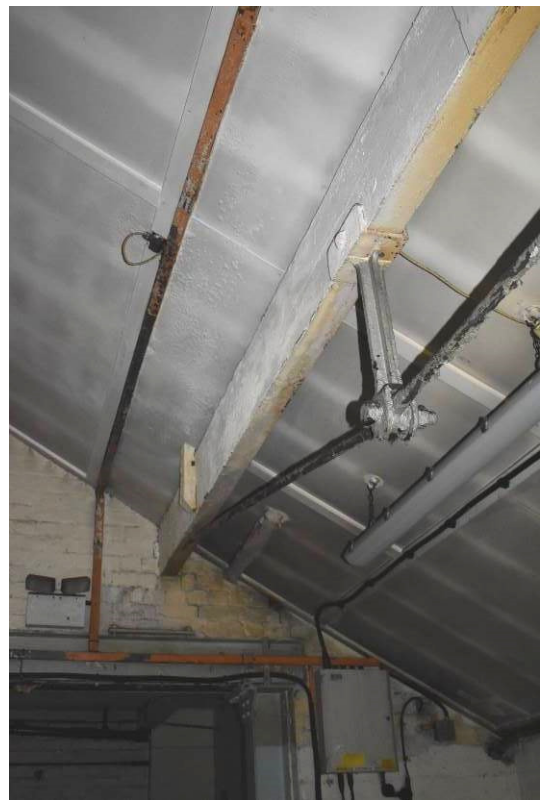


Plate 118: [G14]; detail of 'trussed' purlin.

APPENDIX A: Written Scheme of Investigation (WSI)

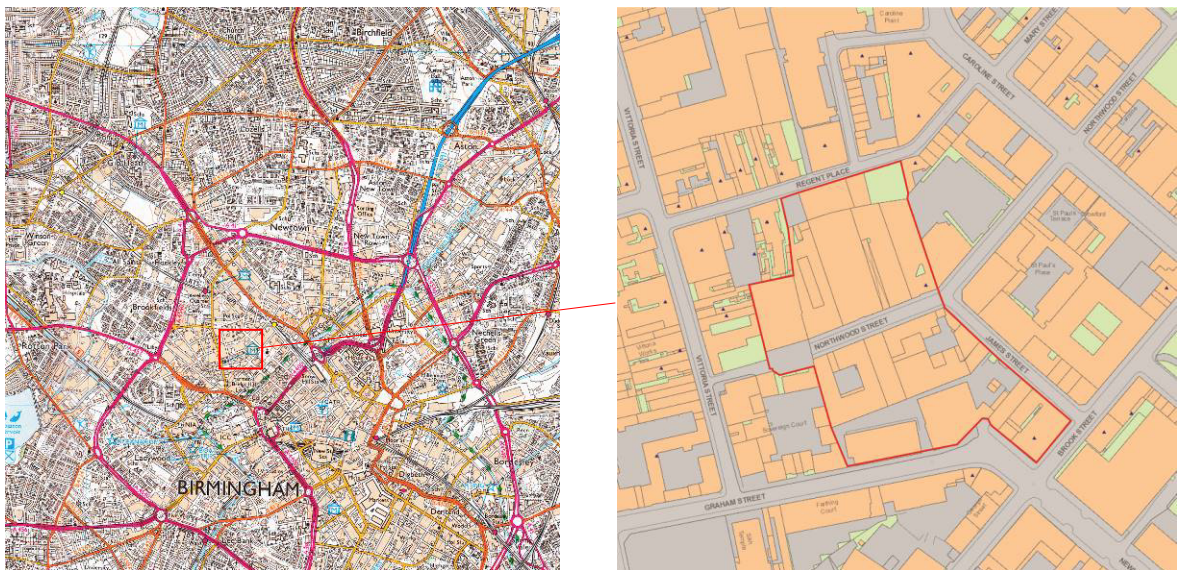
1 INTRODUCTION

1.1 Introduction to Project

- 1.1.1 The following document represents a **Written Scheme of Investigation** (WSI) for a programme of Historic Building Recording to be undertaken in respect of a total of 15 buildings within the 'Harpers Hill' site (aka. St. Paul's Quarter) in Birmingham's Jewellery Quarter. It has been prepared in response to a request from Mr. Nick Cooke of RPS Group, working on behalf of the site developers, Galliard Homes and Apsley House Capital.

1.2 The Site

- 1.2.1 The Harpers Hill site is located within Birmingham's Jewellery Quarter, c.1km NW of the city centre (see inset, below left). The site, which extends to a total area of c.1.48ha and is centred on NGR SP 06275 28750, is bordered by Regent Place to the north, James Street to the east, Brook Street and Graham Street / Newhall Street to the south and by properties fronting Vittoria Street to the west; Northwood Street bisects the site, aligned approximately east-west (see inset, below right). The site is fully built over, comprising street frontage ranges with related back-buildings and associated yards; until recently, the site was largely occupied by engineering firm AE Harris Ltd., while No. 199 Newhall Street currently remains in the occupation of Baker & Finnmore Ltd.¹



Harpers Hill site: site location (© Crown Copyright; OS Licence 100050391).

- 1.2.2 The application site covers 15 individual buildings/complexes, details as follows:

- 109 Northwood Street – Grade II Listed building.
- 199 Newhall Street – Grade II Listed building.
- Modern steel warehouse to rear of 109 Northwood Street.
- 113, Northwood Street – Unlisted modern shed with sections of red brick on the frontage.
- 37-39 Regent Place - Mid 20th-century warehouse.
- 117 and 119 Northwood Street – modern shed with reduced historic frontage on to Northwood Street. 123 Northwood Street - 1930s-40s range with a late 19th-century range behind.
- Workshop to the rear of 123 Northwood Street.
- 125 Northwood Street – modern steel building.
- 10-12 James Street. 19th century with 20th-century alterations.
- 110-118 Northwood Street. 19th-century workshop.
- 124 Northwood Street. Mid-20th-century building, heavily altered.
- 128-138 Northwood Street. Early 20th-century building fronting Northwood Street, with rear ranges forming a courtyard.
- 1970's workshop, Newhall Street
- Baker & Finne more buildings; Late 20th-century workshop.



Harpers Hill site: Bird's eye view looking north-east, site outlined in red (image: Google Earth).

1.3 Planning Background

- 1.3.1 A planning application (ref. 2018/04882/PA)² was made on 12th June 2018 to Birmingham City Council (BCC), under the terms of the Town and Country Planning Act, 1990³ and the Planning (Listed Buildings and

¹ Baker and Finne more are currently progressing plans to relocate to premises in Tipton (addendum to BCC Officer Report, 07.11.19), with Newhall Street premises due to be vacated in the near future.
² <http://eplanning.idox.birmingham.gov.uk/publisher/docs/F6C66683E421A770FB3EA5EECCBD5313/Document-F6C66683E421A770FB3EA5EECCBD5313.PDF>.
³ <http://www.legislation.gov.uk/ukpga/1990/8/contents>

Conservation Areas) Act, 1990⁴ in respect of the mixed-se redevelopment of the Harpers Hill site, the works summarised in associated documentation as follows:

*Partial demolition of buildings, change of use of retained buildings at 109, 123 & 128 Northwood Street from B2 to A1-A4, B1 and C3 uses, change of use of retained building at 199 Newhall Street from B2 to B1, conversion and erection of new buildings to provide 305 one, two and three bed apartments and 9,132 sqm of non-residential floorspace for A1-A5, B1 & D2 uses with associated parking and landscaping.*⁵

- 1.3.2 Formal approval of the application is pending at the time of preparation of the current document, though draft conditions have been proposed by BCC.⁶ The Historic Building Record covered by the current WSI has been required under the terms of National Planning Policy Framework (NPPF, 2019),⁷ the Birmingham Development Plan 2017 and Supplementary Planning Guidance. Specifically, draft Condition 3 of consent states that:

'No development, demolition or alterations shall take place until the applicant has secured the implementation of a programme of structural recording in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.'

Reason: This is required as a pre-commencement condition in accordance with the SI 2018 566 The Town and Country Planning (Pre-Commencement Conditions) Regulations 2018 as the information is required prior to development commencing in order to ensure that features which will be destroyed, removed or altered in the case of the works for which consent has been given are properly recorded in advance of destruction, removal or alteration in accordance with Policies PG3 and TP12 of the Birmingham Development Plan 2017, the National Planning Policy Framework and Regeneration through Conservation SPG.'

- 1.3.3 No formal 'brief' has been issued by BCC in respect of the recording work; the current WSI represents the scope for building recording survey as required by the condition, and will thus form the basis for completion of the recording project.

National Planning Policy Framework

- 1.4.4 Section 16 of National Planning Policy Framework (MoHC&LG 2019, 54-57) addresses 'Conserving and Enhancing the Historic Environment'. The following paragraphs can be seen to be pertinent:

Para 189:

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which

⁴ <https://www.legislation.gov.uk/ukpga/1990/9/contents>

⁵ <https://eplanning.birmingham.gov.uk/Northgate/PlanningExplorer/Generic/StdDetails.aspx?PT=Planning%20Applications%20On-Line&TYPE=PL/PlanningPK.xml&PARAM0=932642&XSLT=/Northgate/PlanningExplorer/SiteFiles/Skins/Birmingham/xslt/PL/PLDetails.xslt&FT=Planning%20Application%20Details&PUBLIC=Y&XMLSIDE=/Northgate/PlanningExplorer/SiteFiles/Skins/Birmingham/Menus/PL.xml&DAURI=PLANNING>

⁶ Copy of draft conditions supplied by Nick Cooke (RPS Group).

⁷ <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

Para. 199:

Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.

Birmingham Development Plan (BDP)⁸

- 1.3.5 The Birmingham Development Plan (BDP) was adopted in January 2017. Policies related to the historic environment are outlined at Chapter 6 (Environment and Sustainability), paras. 6.67-79; para 6.67 establishes that:

'Birmingham's character is shaped by its historic development, which is represented by a rich and varied environment consisting of archaeological remains, historic buildings, townscapes and landscapes. Some, such as the Jewellery Quarter and Bournville are nationally renowned. All contribute to the unique essence of the City, identifying it as a place with its own special character and history.'

- 1.3.6 Specifically, Policy **TP12** 'Historic Environment' stipulates that:

'Applications for development affecting the significance of a designated or non-designated heritage asset, including proposals for removal, alterations, extensions or change of use, or on sites that potentially include heritage assets of archaeological interest, will be required to provide sufficient information to demonstrate how the proposals would contribute to the asset's conservation whilst protecting or where appropriate enhancing its significance and setting. This information will include desk-based assessments, archaeological field evaluation and historic building recording as appropriate.' (BDP 2017, 84).

- 1.3.7 Further, Policy **PG3** 'Place Making' (BDP 2017, 31). notes that:

'All new development will be expected to demonstrate high design quality, contributing to a strong sense of place. New development should:

- *Reinforce or create a positive sense of place and local distinctiveness, with design that responds to site conditions and the local area context, including heritage assets and appropriate use of innovation in design.'*

and:

- *'Make best use of existing buildings and efficient use of land in support of the overall development strategy.'*

Jewellery Quarter Conservation Area Management Plan

⁸ https://www.birmingham.gov.uk/downloads/file/5433/adopted_birmingham_development_plan_2031

- 1.3.8 The Reliance Works site is located within the Jewellery Quarter Conservation Area (see §.1.4.4-5 below). Part 2 of the *Birmingham Jewellery Quarter Conservation Area Character Appraisal and Management Plan* (BCC, 2002), adopted as Supplementary Planning Guidance in 2002, establishes that BCC will require that 'historical documentary research be carried out in support of proposals for alteration or demolition within the conservation area' and that 'where deemed necessary, will require the recording of a building where consent for demolition or alteration has been granted, prior to the commencement of works' (BCC 2002, 64-5; Part 2, paras. 1.8-1.9).

1.4 Designations

- 1.4.1 In determining submitted applications for planning permission and listed building consent, BCC has statutory duties under the Planning (Listed Building and Conservation Areas) Act of 1990 to have special regard to the desirability of preserving the special interest and setting of listed buildings (s.66) and to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas (s.72).

Listed Buildings

- 1.4.2 The application site includes two statutorily listed buildings, viz. No. 109 Northwood Street and No. 199 Newhall Street. Both are included on Historic England's Statutory List of Buildings of Special Architectural or Historical Interest' as Grade II listed buildings (LB ID 1246343 and 1392743 respectively),⁹ where they are described as follows:

109 NORTHWOOD STREET

25-APR-01

II

Manufactory, comprised of office and warehouse range with attached rear workshop range. Late C19 with late C20 alterations. Red brick with cut and moulded decoration and ashlar stone dressings, brick coped gables and a slated roof. PLAN : Elongated L-plan with office and warehouse range to street frontage, and rear workshop range to rear, with C20 infill of former courtyard. EXTERIOR. Northwood Street frontage an asymmetrical 6 bay range of 3 storeys above a basement. Entrance bay to right, with wide, segmentally arched opening with moulded brick surround,. Set within this, a moulded ashlar doorcase with a semi-circular head, bearing a banner motif and double 4-panel doors. Above, a shallow curved oriel with transomed lights , its corbelled base and window head frieze with acanthus leaf enrichment. 3- light upper floor window with flat mullions and plain sash frame to centre light. Enriched frieze above window head, and base of former pediment (removed post 1977). To left, 3 central bays with stacked window openings, 2 at ground floor level replaced by wide opening and C20 shutter. To right, blocked window with shallow brick arched head. Above, 3 first floor openings with shallow brick-arched heads and painted springers, moulded surrounds and 2 over 2 pane sash frames. Stepped string course above, forming hoods to windows. 3 shallow upper floor windows with deeply recessed frames in moulded surround beneath flat heads. Further left, a wide, advanced chimney breast with recessed central panel with stepped base and stepped arched head, the stack shouldered at upper floor level and truncated above the dentilled eaves. Vehicle entrance to left-hand end bay beneath wide metal lintel with keyblock motif. Double string courses above, with inset moulded apron to window opening above with moulded surround and deeply recessed 2 over 2 pane sash. At upper sash level, the surrounding brickwork slopes inwards to the set-back vertical face which aligns with that of the building to the right of the chimney. The window surround terminates at a flat canopy to the window head. To the rear, attached range of 4-storeyed workshops with asymmetrically pitched roof and small-paned workshop windows to each bay at all levels. INTERIOR: Not inspected. A medium-sized late C19 metal-working complex, combining highly distinctive architectural detailing with the functional plan

⁹ <https://historicengland.org.uk/listing/the-list/list-entry/1290966>

form characteristics of the manufactories which developed within a specialist industrial district of Birmingham, now recognised as being of international significance.

109 Northwood Street: Statutory List Entry (LB Entry Number: 1246343)

199 NEWHALL STREET

29-APR-04

II

Manufactory. Early C20. Red brick with ashlar detailing . Simplified Neo- Georgian style. PLAN: Street frontage office and warehouse range, with parallel workshop ranges to the rear. EXTERIOR: Newhall Street elevation of 6 bays, 3 storeys with basement at south-east end. Asymmetrical frontage, with entrance bay to south -east end, and vehicle entrance to bay 5, the bays delineated by plain pilasters. Main entrance with ashlar surround, with shallow hood supporting a moulded plaque, bearing inscription 'Est. 1850'. Flanking the doorway are integral lancets set below the door hood. Above, tripartite glazing bar sash windows, the centre opening 6 over 6 pane, with rubbed brick shallow arched head with keystone, the flanking lights 4 over 4 pane with flat brick heads. Shallow bracketed cills. Upper floor windows of matching pattern, but with stone lintels. Above a shallow stepped parapet with plain coping. Remaining bays with stacked tripartite windows of matching pattern. Entrance bay with double doors beneath flat lintel, and end bay with blind ground floor lights. James Street elevation with single bay return to the entrance bay, and tripartite windows set between plain pilasters and below a stepped parapet. To the north east, attached 4-bay range of 2 storey workshops, with 2 wide windows to each bay, mostly with small-paned iron frame beneath steel lintels A prominently-sited early C20 manufactory incorporating warehousing, office and workshop functions in an integrated design. It is one of a small number of early C20 designs which further develop the late C19 concept of the integrated manufactory using a current architectural vocabulary in a manufacturing district of Birmingham now considered to be of international significance.

199 Newhall Street: Statutory List Entry (LB Entry Number: 1392743)



109 Northwood Street (image: Turley Heritage).



199 Newhall Street (image: Nick Cooke, RPS Group).

1.4.3 It should be noted that statutory listing extends to cover the whole of a building, including its interior, unless parts of it are specifically excluded in the list description;¹⁰

It can also cover:

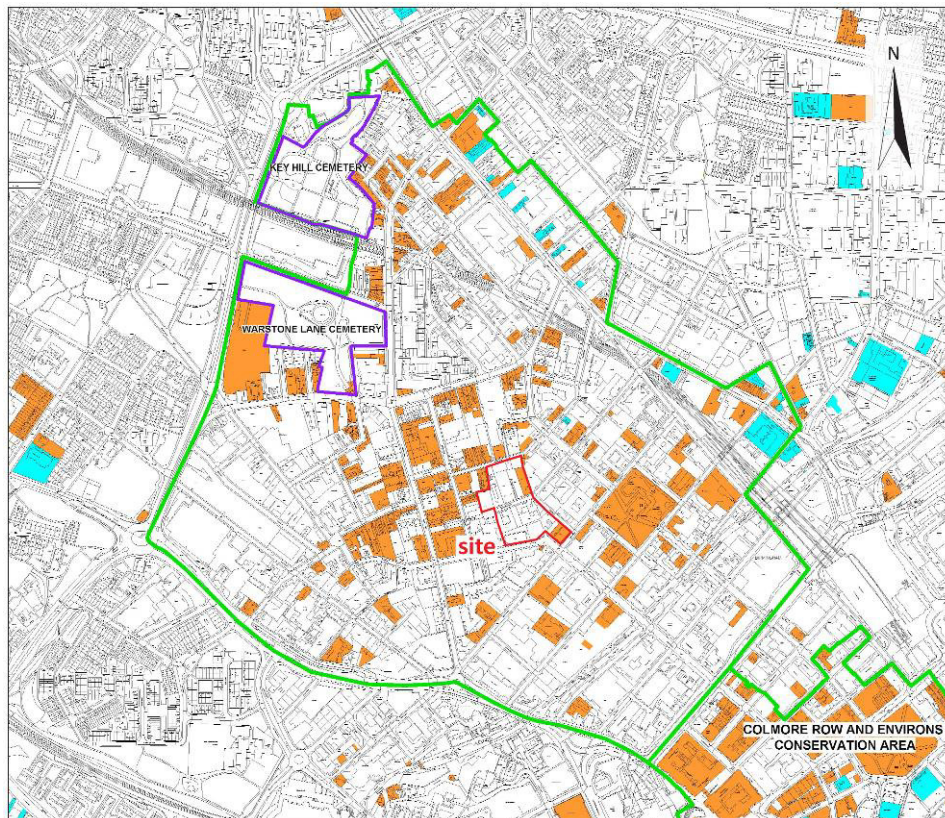
- Other attached structures and fixtures
- Later extensions or additions

¹⁰ <https://historicengland.org.uk/advice/your-home/owning-historic-property/listed-building/>

- Pre-1948 buildings on land attached to the building ('curtilage' buildings)¹¹

Conservation Areas

- 1.4.4 The Harpers Hill site lies at the centre of Birmingham City Council's 'Jewellery Quarter' Conservation Area, No.17, originally designated in January 1980, later extended in January 1996 and September 2000, subsuming the St. Paul's Square and Key Hill Conservation Areas, designated 1971 and 1980 respectively (BCC 2002, 15).



Harpers Hill Site: location of site within Jewellery Quarter Conservation Area.¹²

- 1.4.5 The site lies within the 'Industrial Middle' Character Zone of the wider Conservation Area, as defined within the Birmingham Jewellery Quarter Character Appraisal and Management Plan (BCC 2002, 32-4; Map 4). The Character Appraisal defines the 'Industrial Middle' as being characterised by:
- 19th-century houses with attached workshops. Brown/red brick or stucco fronts with slate roofs. Timber sash windows to house, multi-pane cast-iron windows to workshop ranges.
 - Medium-sized, early-19th-century purpose-built manufactories of three storeys. Restrained red brick facades with characteristic slightly recessed curved bay at street corners. Hipped slate roofs. Timber sashes to lower floors, multi-pane cast-iron windows to upper floors.

¹¹ See Historic England Advice Note **10**: *Listed Buildings and Curtilage* (2018).

¹² https://www.birmingham.gov.uk/downloads/file/1245/jewellery_quarter_conservation_area_map.

- Medium-sized mid- to late-19th-century purpose-built manufactories of three to four storeys. red/brown brick with slate roofs. Timber sashes to front buildings. Brick, stone and terracotta details.

Non-Statutory Designations

- 1.4.6 A search of the Birmingham City Historic Environment Record (HER) on-line mapping¹³ would appear to indicate that none of the buildings under consideration are included.

2 AIMS AND OBJECTIVES

- 2.1 As noted above, no formal project brief has been issued in respect of the recording work and the current WSI, upon approval by BCC as per condition wording (§.1.3.2), will form the basis for completion of the project. A scale of recording approach has been agreed between Mr. Nick Cooke of RPS Group and Mr. Chris Patrick of BCC,¹⁴ based upon the perceived relative importance of the buildings concerned, with HE levels 1 to 3 being variously applied as outlined below.



Harpers Hill Site: Site plan showing building reference numbers and recording requirements

Bldg. Ref.	Address	Status	Proposal	Recording Requirement
1	109 Northwood Street	LBII	Retention	Level 3
2	199 Newhall Street	LBII	Retention	Level 3
3	Modern warehouse to rear of 109 Northwood Street	unlisted	Demolition	Level 1

¹³ No full search of the Birmingham City HER has been undertaken as part of preparation of the current WSI.

¹⁴ Nick Cooke (RPS), *pers. comm.*

4	113 Northwood Street	unlisted	Demolition	Level 1
5	37-39 Regent Place	unlisted	Demolition	Level 2
6	117 and 119 Northwood Street	unlisted	Demolition	Level 1/2
7	123 Northwood Street	unlisted	Retention	Level 3
8	Workshop to the rear of 123 Northwood Street	unlisted	Demolition	Level 2
9	125 Northwood Street	unlisted	Demolition	Level 1
10	10-12 James Street	unlisted	Demolition	Level 3
11	110-118 Northwood Street	unlisted	Demolition	Level 3
12	124 Northwood Street	unlisted	Demolition	Level 1
13	128-138 Northwood Street	unlisted	Partial retention	Level 3
14	1970's workshop, Newhall Street	unlisted	Demolition	Level 1
15	Baker & Finnemore buildings fronting Graham Street and James Street	unlisted	Demolition	Level 2

2.2 Historic England's 'Understanding Historic Buildings: A Guide to Good Recording Practice' (HE 2016, 25-6) defines Level 1 to 3 surveys as follows:

*Level 1 is essentially a **basic visual record**, supplemented by the minimum of information needed to identify the building's location, age and type. This is the simplest record, and it will not normally be an end in itself, but will be contributory to a wider study. Typically it will be undertaken when the objective is to gather basic information about a large number of buildings – for statistical sampling, for area assessments to identify buildings for planning purposes, and whenever resources are limited and much ground has to be covered in a short time. It may also serve to identify buildings requiring more detailed attention at a later date'.*

*Level 2 is 'a **descriptive record**, made in similar circumstances to Level 1 but when more information is needed. It may be made of a building which is judged not to require a more detailed record, or it may serve to gather data for a wider project. Both the exterior and interior of the building will be seen, described and photographed. The examination of the building will produce an analysis of its development and use and the record will include the conclusions reached, but it will not discuss in detail the evidence on which this analysis is based.'*

*'Level 3 is an **analytical record**, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.'*

3 METHODOLOGY

3.1 Documentary Research¹⁵

- 3.1.1 A search will be made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs and drawings, written descriptions, trade directories, historical planning materials (1876-1960) and other pertinent primary and secondary sources related to the site at the Birmingham City Archives' Historic Research Area (HRA) and Wolfson Centre for Archive Research (WCAR). Standard on-line sources including NHLE, Heritage Gateway, Access to Archives and the National Monuments Record (Swindon) will also be consulted, while historical census records, if appropriate, will be

¹⁵

At the time of preparation of the current WSI, Birmingham Library and related archives services remain closed to the public in response to the COVID-19 pandemic. If these resources are not accessible during the timeframe of the current recording project, documentary research will need to be undertaken at a later stage, and interim reports will be issued in the first instance covering field observations only, and general historical background as evident from available secondary sources.

accessed via www.ancestry.com. More recent planning history for the site will be reviewed via BCC's on-line planning portal.

- 3.1.2 The site has been the subject of a previous 'Heritage Statement', prepared for Apsley House Capital Ltd. by Turley Heritage in May 2018 (updated October 2018), submitted to BCC at an earlier stage in the planning process related to the current development scheme. This document will be reviewed and built upon, as appropriate, within the historical background sections of the historic building reports.

3.2 Structural Recording and Analysis

- 3.2.1 The study will comprise an examination of all safely accessible areas of the buildings and the compilation of drawn, photographic and written records thereof, as follows:

Drawn Record

- 3.2.2 In respect of buildings to be recorded to Level 3, the drawn record will comprise the preparation of plans, cross-sections and elevations sufficient to illustrate the dimensions, features and construction, phasing and development of the buildings so far as practicable from a non-intrusive survey. Level 1, 2 and 1/2 surveys will comprise records to a lesser level of detail, as stipulated in 'Understanding Historic Buildings: A Guide to Good Recording Practice' (HE 2016).
- 3.2.3 Records will be based upon pre-existing survey data where available, otherwise site drawings will be prepared at an appropriate scale in pencil on archivally stable drafting film, measurements being obtained by a combination of taped measurement and hand-held laser (disto).

Photographic Record

- 3.2.4 To complement the drawn survey, a photographic record will be made comprising high resolution digital photography using a Nikon D3000 DSLR camera (10MP), commensurate with the respective HE level for each building / complex. Where practically feasible, photographs will include graded photographic scales. A register of site photographs will be made recording subject, orientation, date and photographer.

Written Record

- 3.2.5 A written record will be maintained by way of annotations to site drawings and as free text to accompany the drawn and photographic records, and will form the basis for the building descriptions in the final reports (see below). This will extend to cover a summary of the buildings form and type, its function (historically and at present), materials of construction, date and sequence of development so far as practicable from a non-intrusive survey.

3.3 Fieldwork Timetable

- 3.3.1 Documentary research and field survey will be undertaken at a time and to a timetable to be agreed, beginning most probably in mid to late-July 2020.¹⁶ It is envisaged that the recording work will be undertaken as a series of discrete phases as buildings become available for examination.

¹⁶ Fieldwork in respect of No. 109 Northwood Street will be prioritised in the first instance.

4 REPORTING

4.1 Report Format

4.1.1 Upon completion of the documentary research and fieldwork, the results of the historic building records will be combined and presented in a series of three discrete, fully illustrated, interpretive reports.

- Report 1: 109 Northwood Street and related back-building (Buildings 1 and 3)
- Report 2: 199 Newhall Street (Building 2)
- Report 3: All remaining buildings (Buildings 4-15)

4.1.2 Reports will conform to Annex 2 of the IFAs *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* and containing the following information:

Text

- Non-technical summary;
- Introduction and site location;
- Statement of aims and objectives;
- Methodology;
- Summary of documentary history (general and building specific);
- Description of the building and its surviving/evidenced features (to appropriate level);
- Discussion and conclusion;
- Detailed list of sources consulted.

Illustrations

- Appropriate illustrations including location plan and a selection of historic maps;
- Plans, elevations and cross-sections of the buildings as appropriate to illustrate the appearance and development as apparent from historical sources and a non-intrusive examination of the building;
- A selection of colour plates.

Appendices

- Copy of this WSI;
- Register of project drawings;
- Register of project photographs.

4.2 Reporting Timetable

4.2.1 Formal reports will be prepared, normally within four weeks of the completion of related site work.¹⁷ Draft copies of reports will be submitted to BCC Conservation Team in digital format (*.PDF) for review/comment prior to finalisation; further to approval, digital (PDF) copies of the final reports will be lodged with the City HER within three months of the completion of fieldwork.

¹⁷ NB. Report 3 as defined at §.4.1.1 above may require a more extended preparation time, due to the number of individual buildings covered.

- 4.2.2 Digital copies of the approved final reports will be uploaded to OASIS, the on-line, grey-literature library of the Archaeology Data Service (ADS), while a short summary report of the results of the wider project will be prepared and submitted for inclusion within the relevant Council for British Archaeology (CBA) journal, viz. West Midlands Archaeology.

5 STAFFING

- 5.1 Documentary research, site recording and report preparation will be undertaken by Mr. Ric Tyler MCIfA (see profile at **Appendix A**).

6 PROFESSIONAL STANDARDS

- 6.1 The project will follow the requirements set down in the *Standard and Guidance for Historic Environment Desk-Based Assessment* (ClfA, 2017) and *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (ClfA, 2019). Recording work will conform to guidelines set down by Historic England's *Understanding Historic Buildings: a guide to good recording practice* (HE, 2016), and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*, (ALGAO, 1997).
- 6.2 The *Code of Conduct of the Institute for Archaeologists* (ClfA, 2019b) will be adhered to at all times.

7 HEALTH AND SAFETY

- 7.1 All current health and safety legislation, regulations and guidance will be complied with during the course of the project.

8 REFERENCES

Association of Local Government Archaeological Officers (ALGAO), 1997. *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*.

Birmingham City Council, 1999. 'Regeneration through Conservation: Birmingham Conservation Strategy, 1999'.

Birmingham City Council, 2002. 'Birmingham Jewellery Quarter Conservation Area Character Appraisal and Management Plan.'

Birmingham City Council, 2017. 'Birmingham Development Plan'.

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Historic England, 2016. *Understanding Historic Buildings: A Guide to Good Recording Practice*.

Ministry of Housing, Communities and Local Government, 2019. *National Planning Policy Framework*.

Turley Heritage May 2018 (updated October 2018). 'Heritage Statement: Harpers Hill, AE Harris Site, Jewellery Quarter, Birmingham'. Unpublished client report.

WSI prepared by:

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14.07.2020

APPENDIX B: Register of Project Photographs

NB: All photographs taken with Nikon D3500 digital SLR camera. Photos highlighted in **BOLD** are reproduced as plates within the current document, with plate references at Column 2.

Photo No.	Plate No.	Subject	Orientation	Date	Photographer
DSC_0351		Block A , Entrance Hall [G1] looking south-west	→ SW	19.08.2020	R Tyler
DSC_0352	36	Block A , Entrance Hall [G1] looking north-west	→ NW	19.08.2020	R Tyler
DSC_0353		Block A , Entrance Hall [G1] ; main entrance door [d1]	→ W	19.08.2020	R Tyler
DSC_0354	37	Block A , Entrance Hall [G1] ; stair A rising at north-east corner	→ NE	19.08.2020	R Tyler
DSC_0355		Block A , Entrance Hall [G1] ; stair A rising at north-east corner	→ NE	19.08.2020	R Tyler
DSC_0356	39	Block A , Room [G2] looking south	→ S	19.08.2020	R Tyler
DSC_0357	38	Block A , Room [G2] looking north	→ N	19.08.2020	R Tyler
DSC_0358		Block A , Room [G2] looking north-east; door to Block B	→ NE	19.08.2020	R Tyler
DSC_0359	42	Block A , Room [G2] looking north-east; door to Block B	→ NE	19.08.2020	R Tyler
DSC_0361	41	Block A , Room [G2] ; detail of moulded window cill	detail	19.08.2020	R Tyler
DSC_0362	40	Block A , Room [G2] ; detail of 1F structure over	↑	19.08.2020	R Tyler
DSC_0363	44	Block A , Room [G2] ; detail of trimmed opening to ceiling at NE corner	↑	19.08.2020	R Tyler
DSC_0364	43	Block A , Room [G2] ; detail of blocked door to north end of east wall	→ E	19.08.2020	R Tyler
DSC_0365		Block A , Room [G2] looking south-east (partitioning)	→ SE	19.08.2020	R Tyler
DSC_0366		Block A , Room [G2] ; doorway to north wall (?inserted/modified)	→ N	19.08.2020	R Tyler
DSC_0367		Block A , Room [G2] ; ceiling mounted heating pipes	↑	19.08.2020	R Tyler
DSC_0368		Block A , Room [G2] ; ceiling mounted heating pipes	↑	19.08.2020	R Tyler
DSC_0370	45	Block A , Room [G4] looking north	→ N	19.08.2020	R Tyler
DSC_0371		Block A , Door [G2/4] ; detail of stopped, bull-nosed jambs	detail	19.08.2020	R Tyler
DSC_0372		Block A , Goods-lift shaft within [G9]	→ W	19.08.2020	R Tyler
DSC_0373	50	Block A , Base of stair B within [G9]	→ SW	19.08.2020	R Tyler
DSC_0374		Block A , Goods-lift shaft within [G9]	→ W	19.08.2020	R Tyler
DSC_0375		Block A , Passage [G9] looking north-east; doors to [G5/6]	→ NW	19.08.2020	R Tyler
DSC_0376		Block A , Passage [G9] looking north-east; doors to [G5/6]	→ W	19.08.2020	R Tyler
DSC_0377	46	Block A , Passage [G9] looking north-east; doors to [G5/6]	→ W	19.08.2020	R Tyler
DSC_0378		Block A , Door to room [G6]	→ W	19.08.2020	R Tyler
DSC_0380		Block A , Room [G6] ; sliding shutter/hatch to entrance bay [G7]	detail	19.08.2020	R Tyler
DSC_0381		Block A , Basement Room [B4] (Bay 1) looking south-west	→ SW	19.08.2020	R Tyler
DSC_0382	21	Block A , Basement Room [B4] (Bay 1) looking north-west	→ NW	19.08.2020	R Tyler
DSC_0383		Block A , Ceiling structure over Basement Room [B4] (Bay 1)	↑	19.08.2020	R Tyler
DSC_0385	22	Block A , Basement Room [B4] (Bay 1); corbelled section of west wall	detail	19.08.2020	R Tyler
DSC_0386	23	Block A , Basement Room [B4] (Bays 2/3) looking north-west	→ NW	19.08.2020	R Tyler
DSC_0387	25	Block A , Basement Room [B4] (Bays 2/3); matchboard cladding to west wall	→ W	19.08.2020	R Tyler
DSC_0388		Block A , Basement Room [B4] (Bays 2/3); detail of matchboard cladding	detail	19.08.2020	R Tyler
DSC_0389		Block A , Basement Room [B4] ; detail of cellar-light windows to west wall	↑	19.08.2020	R Tyler
DSC_0392	26	Block A , Enclosed room at NW corner of [B4] , Bay 3	→ N	19.08.2020	R Tyler
DSC_0393	24	Block A , Shower block [B4a] at Bay 3	→ E	19.08.2020	R Tyler
DSC_0394		Block A , Door from [B1] to [B3]	→ W	19.08.2020	R Tyler
DSC_0395	18	Block A , Base of Stair B at [B2]	→ NW	19.08.2020	R Tyler
DSC_0396	85	Block A , Doors to WCs [B3a/b]	→ S	19.08.2020	R Tyler
DSC_0398	27	Block A , Looking north along passage [B2]	→ N	19.08.2020	R Tyler
DSC_0399	28	Block A , Base of goods lift within [B2] (Bay 3)	→ NW	19.08.2020	R Tyler
DSC_0400	29	Block A , Boiler Room [B6] looking north	→ N	19.08.2020	R Tyler
DSC_0401		Block A , Room [G6] ; door to emergency ladder egress (closed)	→ N	19.08.2020	R Tyler
DSC_0402	20	Block A , Room [G6] ; door to emergency ladder egress (open)	→ N	19.08.2020	R Tyler
DSC_0403	30	Block A , Oil Tank Room [B5] (Bay 4), looking west	→ W	19.08.2020	R Tyler
DSC_0404		Block A , Shuttered concrete ceiling over [B2]	↑	19.08.2020	R Tyler
DSC_0405		Block A , Shuttered concrete ceiling over [B2]	↑	19.08.2020	R Tyler
DSC_0406	31	Block A , Sample chests to west wall of [B5] (portrait)	→ SW	19.08.2020	R Tyler
DSC_0407		Block A , Sample chests to west wall of [B5] (landscape)	→ SW	19.08.2020	R Tyler
DSC_0409		Block A , Open drawer of sample cabinet	detail	19.08.2020	R Tyler
DSC_0410	32	Block A , Open drawer of sample cabinet	detail	19.08.2020	R Tyler
DSC_0411		Block A , Open drawer of sample cabinet	detail	19.08.2020	R Tyler

DSC_0412		Block A, Open drawer of sample cabinet	detail	19.08.2020	R Tyler
DSC_0413		Block A, Open drawer of sample cabinet	detail	19.08.2020	R Tyler
DSC_0414	34	Block A, Filing cabinets to south wall of [B5]	→ S	19.08.2020	R Tyler
DSC_0415		Block A, Detail of sample chest	detail	19.08.2020	R Tyler
DSC_0416	33b	Block A, Detail of sample box (open)	detail	19.08.2020	R Tyler
DSC_0417		Block A, Representative sample drawer	detail	19.08.2020	R Tyler
DSC_0418	33a	Block A, Representative sample drawer	detail	19.08.2020	R Tyler
DSC_0419		Block A, Open drawer of sample cabinet	detail	19.08.2020	R Tyler
DSC_0420		Block A, Looking east to north side of oil storage tank, room [B5]	→ E	19.08.2020	R Tyler
DSC_0421		Block A, Open drawer of index card cabinet	detail	19.08.2020	R Tyler
DSC_0423	35	Block A, Representative sample of index cards	detail	19.08.2020	R Tyler
DSC_0427	69	Block A, Roof over Block A looking north from Bay 1	→ N	19.08.2020	R Tyler
DSC_0428	87	Block B, [G10c] looking east	→ E	19.08.2020	R Tyler
DSC_0429	88	Block B, [G10c] looking north-west	→ NW	19.08.2020	R Tyler
DSC_0430		Block B, [G10c]; head of stair D	→ E	19.08.2020	R Tyler
DSC_0431		Block B, [G10c]; head of stair D	→ E	19.08.2020	R Tyler
DSC_0432	95	Block B, [G10c]; ¼-turn at head of stair D	↓	19.08.2020	R Tyler
DSC_0433	83	Block B, basement room [B1]; base of stair D	→ E	19.08.2020	R Tyler
DSC_0434	90	Block B, detail of ground floor support column	detail	19.08.2020	R Tyler
DSC_0435	91	Block B, ground floor support column; detail of head	detail	19.08.2020	R Tyler
DSC_0436	96	Block B, ceiling level heating pipes	↑	19.08.2020	R Tyler
DSC_0437	97	Block B, heating pipe risers to west end of [G10c]	→ SW	19.08.2020	R Tyler
DSC_0438	98	Block B; detail of quadrant skirting, west end of [G10c]	detail	19.08.2020	R Tyler
DSC_0439		Block B, [G10a] looking south-east	→ SE	19.08.2020	R Tyler
DSC_0441	89	Block B, [G10a] looking north-west	→ NW	19.08.2020	R Tyler
DSC_0442		Block B, detail of ground floor support column (encased)	detail	19.08.2020	R Tyler
DSC_0443		Block B, [G12] looking north	→ N	19.08.2020	R Tyler
DSC_0444	94	Block B, [G12] east wall, door to exterior	→ E	19.08.2020	R Tyler
DSC_0445	93	Block B, [G12] door to north wall	→ N	19.08.2020	R Tyler
DSC_0446		Block B, detail of GF window	detail	19.08.2020	R Tyler
DSC_0447		Block B, detail of bottom hinged opening panel to GF window	detail	19.08.2020	R Tyler
DSC_0448	92	Block B, detail of 1F floor structure over	↑	19.08.2020	R Tyler
DSC_0449	100	Block B, [F12] looking east (open plan office)	→ E	19.08.2020	R Tyler
DSC_0451		Block B, [G12] inserted modern office partitions	→ E	19.08.2020	R Tyler
DSC_0452	101	Block B, [F10] (Bay 3) looking east	→ E	19.08.2020	R Tyler
DSC_0453		Block B, [F10] (Bay 3) looking west	→ W	19.08.2020	R Tyler
DSC_0454	103	Block B, [F10] detail of support post and roof truss	↑	19.08.2020	R Tyler
DSC_0455		Block B, [F10] detail of roof truss; strap to PR/tie	detail	19.08.2020	R Tyler
DSC_0456	105	Block B, [F10] detail of roof truss; stirrup strap to KP/tie	detail	19.08.2020	R Tyler
DSC_0457	104	Block B, [F10] detail of roof truss; strap to PR/tie	detail	19.08.2020	R Tyler
DSC_0458		Block B, [F10] detail of roof truss; strap to PR/tie	↑	19.08.2020	R Tyler
DSC_0459		Block B, [F10], detail of ceiling mounted heating pipes	↑	19.08.2020	R Tyler
DSC_0460		Block B, [F10], Bay 3 door to [F16]	→ N	19.08.2020	R Tyler
DSC_0461	102	Block B, [F10], enclosed office [F11] to south-west corner	→ SW	19.08.2020	R Tyler
DSC_0462		View looking south along James Street with Blocks C/B to right	→ S	20.08.2020	R Tyler
DSC_0463		Block C, street elevation to James Street	→ W	20.08.2020	R Tyler
DSC_0464	106	Block C, street elevation to James Street	→ W	20.08.2020	R Tyler
DSC_0465		Block C, street elevation to James Street (oblique)	→ NW	20.08.2020	R Tyler
DSC_0466		Block C, ventilation holes to 1F level of street elevation	detail	20.08.2020	R Tyler
DSC_0467		Block B, street elevation to James Street (portrait)	→ SW	20.08.2020	R Tyler
DSC_0468	76	Block B, street elevation to James Street (landscape)	→ SW	20.08.2020	R Tyler
DSC_0469		Block B, east elevation; detail of 'saw-tooth' roof	↑	20.08.2020	R Tyler
DSC_0470		Block B, James Street elevation (Bay 3)	→ W	20.08.2020	R Tyler
DSC_0471	79	Block B, James Street elevation (Bay 3); detail of door inserted into window opening	→ W	20.08.2020	R Tyler
DSC_0472		Block B, James Street elevation (Bay 2)	→ W	20.08.2020	R Tyler
DSC_0473	78	Block B, James Street elevation (Bay 1)	→ W	20.08.2020	R Tyler
DSC_0474		Block B, oblique view looking north-west from Brook Street	→ NW	20.08.2020	R Tyler
DSC_0475	77	Block B, James Street elevation (oblique) looking north-west	→ NW	20.08.2020	R Tyler
DSC_0476		Block B, representative detail of GF window	detail	20.08.2020	R Tyler
DSC_0477	74	Block B, GF window cill detail	detail	20.08.2020	R Tyler
DSC_0478		Block B, James Street elevation; detail of circular vent to saw-tooth	↑	20.08.2020	R Tyler

		gable (portrait)			
DSC_0479	81	Block B , James Street elevation; detail of circular vent to saw-tooth gable (landscape)	↑	20.08.2020	R Tyler
DSC_0480		Block B , James Street elevation; detail of tie rods extending between gables	↑	20.08.2020	R Tyler
DSC_0481		Block B , oblique view looking north-west from Brook Street	→ NW	20.08.2020	R Tyler
DSC_0482	72	Block B , Brook Street elevation, Bay 5	→ N	20.08.2020	R Tyler
DSC_0483	73	Block B , representative detail of GF window (Brook Street, Bay 5)	→ N	20.08.2020	R Tyler
DSC_0484	75	Block B , representative detail of 1F window (Brook Street, Bay 5)	→ N	20.08.2020	R Tyler
DSC_0485		Block B , tie rod end plates to pier between 1F windows	↑	20.08.2020	R Tyler
DSC_0486		Block B , Brook Street elevation, basement-lights at Bay 5	↓	20.08.2020	R Tyler
DSC_0487	15	Block A , 2F eastern return visible above Block B	↑	20.08.2020	R Tyler
DSC_0488		Block A , 2F eastern return visible above Block B (detail of 2F window)	↑	20.08.2020	R Tyler
DSC_0489	70	Block B , oblique view looking north-west from Brook Street	→ NW	20.08.2020	R Tyler
DSC_0490		Block A , south elevation to Brook Street (Bay 1)	→ N	20.08.2020	R Tyler
DSC_0491		Blocks A / B , oblique view looking north-east from Newhall Street	→ NE	20.08.2020	R Tyler
DSC_0492	14	Block A , south elevation to Brook Street; Bay 1, oblique	→ NE	20.08.2020	R Tyler
DSC_0493	71	Block B , oblique view looking north-east from Brook Street	→ NE	20.08.2020	R Tyler
DSC_0494		Block B , oblique view looking north-east from Brook Street	→ NE	20.08.2020	R Tyler
DSC_0495	3	Blocks A / B , general oblique view looking north-east from Newhall Street	→ NE	20.08.2020	R Tyler
DSC_0496		Block B , general oblique view looking north-east from Newhall Street	→ NE	20.08.2020	R Tyler
DSC_0497		Blocks A / B : panorama from Newhall Street (1 of 3)	→ N	20.08.2020	R Tyler
DSC_0498		Blocks A / B : panorama from Newhall Street (2 of 3)	→ NE	20.08.2020	R Tyler
DSC_0499		Blocks A / B : panorama from Newhall Street (3 of 3)	→ NE	20.08.2020	R Tyler
497-9 pano		Blocks A / B : stitched panorama	→ N/NE	20.08.2020	R Tyler
DSC_0500		Block A/B , general oblique view looking north-east from Newhall Street	→ NE	20.08.2020	R Tyler
DSC_0501		Block A/B , general oblique view looking north-east from Newhall Street	→ NE	20.08.2020	R Tyler
DSC_0502		Block A ; Newhall Street elevation looking north-east	→ NE	20.08.2020	R Tyler
DSC_0503		Block A ; Newhall Street elevation looking south-east	→ SE	20.08.2020	R Tyler
DSC_0505		Block A ; Newhall Street elevation representative bay (Bay 4)	→ E	20.08.2020	R Tyler
DSC_0506	12	Block A ; Newhall Street elevation – vehicle entrance at Bay 5	→ E	20.08.2020	R Tyler
DSC_0507	9	Block A ; Newhall Street elevation; GF fenestration (Bay 4)	→ E	20.08.2020	R Tyler
DSC_0508	11	Block A ; Newhall Street elevation; detail of stone cill	detail	20.08.2020	R Tyler
DSC_0509	10	Block A ; Newhall Street elevation; blocked GF windows at Bay 6	→ E	20.08.2020	R Tyler
DSC_0510	5	Block A ; Newhall Street elevation; entrance Bay 1	→ E	20.08.2020	R Tyler
DSC_0511	8	Block A ; Newhall Street elevation; 1F fenestration (Bay 1)	→ E	20.08.2020	R Tyler
DSC_0512	6	Block A ; Newhall Street elevation, Bay 1 detail of main door [d1]	→ E	20.08.2020	R Tyler
DSC_0513		Block A ; Newhall Street elevation, main door [d1] (oblique)	→ NE	20.08.2020	R Tyler
DSC_0514		Block A ; Newhall Street elevation, main door [d1]; number to lintel	detail	20.08.2020	R Tyler
DSC_0515	7	Block A ; Newhall Street elevation, main door [d1]; date plaque over	detail	20.08.2020	R Tyler
DSC_0516		Block A ; window flanking main door [d1] to south	detail	20.08.2020	R Tyler
DSC_0517		Block A ; registered office signage adj. door [d1] NB. '197-2007 Newhall Street'.	detail	20.08.2020	R Tyler
DSC_0518	4	Block A ; Newhall Street elevation looking south-east	→ SE	20.08.2020	R Tyler
DSC_0519	2	Block A ; Newhall Street elevation looking east along Graham Street	→ E	20.08.2020	R Tyler
DSC_0520	13	Block A , Newhall Street elevation; basement lights at Bay 2	↓	20.08.2020	R Tyler
DSC_0521	1	Block A ; long view looking north along Newhall Street	→ N	20.08.2020	R Tyler
DSC_0522		Blocks C/B looking south along James Street	→ S	20.08.2020	R Tyler
DSC_0523	48	Block A ; looking west at GF Bay 5 (goods entry [G7])	→ W	20.08.2020	R Tyler
DSC_0524		Block A ; looking south-west at GF Bay 5 (goods entry [G7])	→ SW	20.08.2020	R Tyler
DSC_0525	47	Block A ; looking east at GF Bay 5 (goods entry [G7])	→ E	20.08.2020	R Tyler
DSC_0526		Block A ; sliding window to south wall of goods entry [G7]	detail	20.08.2020	R Tyler
DSC_0527	19	Head of fire escape ladder access to basement at [G16]	→ SW	20.08.2020	R Tyler
DSC_0528		Head of fire escape ladder access to basement at [G16]	→ S	20.08.2020	R Tyler
DSC_0529	108	Looking east along covered section of passage [G16]	→ E	20.08.2020	R Tyler
DSC_0530		Looking east along open section of passage [G16]	→ E	20.08.2020	R Tyler
DSC_0531		GF window of Block B , seen from [G16]	→ SE	20.08.2020	R Tyler
DSC_0532	99	Stair C rising from [G16]	→ E	20.08.2020	R Tyler
DSC_0533		Early window to south elevation of [G14]	detail	20.08.2020	R Tyler
DSC_0534		Doors to [G14/17] at east end of [G16]	→ E	20.08.2020	R Tyler
DSC_0535	109	Raised roof-vent rising above early wall of [G14]	→ W	20.08.2020	R Tyler

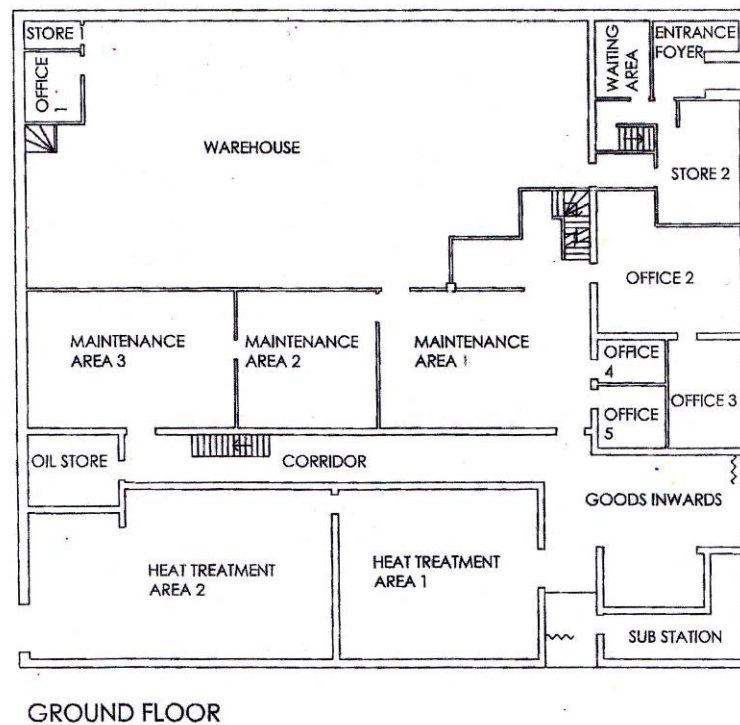
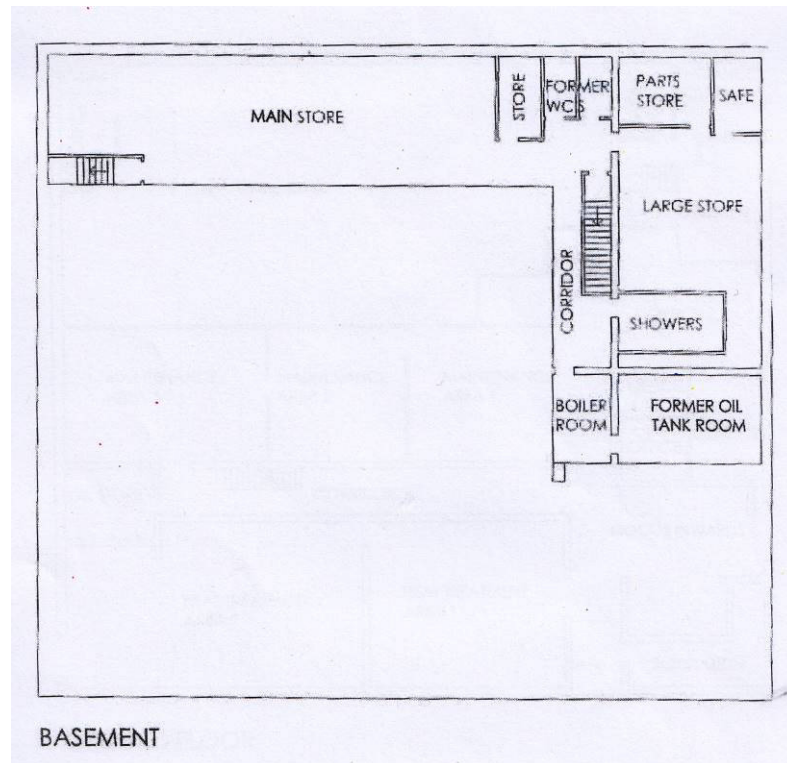
DSC_0536		Looking west towards Block A from head of stair C at [F16]	→ W	20.08.2020	R Tyler
DSC_0537	16	Looking west towards Block A from head of stair C at [F16]	→ W	20.08.2020	R Tyler
DSC_0538		Raised roof-vent rising above early wall of [G14]	→ NW	20.08.2020	R Tyler
DSC_0539		Pitched roof over [G14] from head of stair C at [F16]	→ NE	20.08.2020	R Tyler
DSC_0540		Looking up stair C towards [F16]	↑	20.08.2020	R Tyler
DSC_0541		Looking up stair C towards [F16]	↑	20.08.2020	R Tyler
DSC_0542	17	Block A , east elevation stack and head of lift shaft seen from adj. Bldg 15	→ SW	20.08.2020	R Tyler
DSC_0543		Block C roofscape : [G14/15/ F16] looking east from 2F Bldg. A	→ E	20.08.2020	R Tyler
DSC_0544	107	Block C roofscape : [G14/15/ F16] looking east from 2F Bldg. A	→ E	20.08.2020	R Tyler
DSC_0545		Block C ; truncated stack seen from 2F Bldg. A	→ NE	20.08.2020	R Tyler
DSC_0546	80	Block B ; patent-glazed north-light roof seen from 2F Bldg. A	→ E	20.08.2020	R Tyler
DSC_0547	110	Block C ; room [G15] external SW angle seen from [G7]	→ E	20.08.2020	R Tyler
DSC_0549	111	Block C ; room [G15] interior looking north-east	→ NE	20.08.2020	R Tyler
DSC_0550	113	Block C ; brick stack to NE angle of room [G15]	→ NE	20.08.2020	R Tyler
DSC_0552	114	Block C ; room [G15] interior looking north-west	→ NW	20.08.2020	
DSC_0555	112	Block C ; room [G14] interior looking north-east	→ NE	20.08.2020	R Tyler
DSC_0556		Block C ; room [G14] – loading door to north end of east wall	→ NE	20.08.2020	R Tyler
DSC_0557	116	Block C ; room [G14] ; early south wall	→ SW	20.08.2020	R Tyler
DSC_0558		Block C ; room [G14] ; early south wall	→ SW	20.08.2020	R Tyler
DSC_0560		Block C ; room [G14] ; raised roof-vent over	↑	20.08.2020	R Tyler
DSC_0561	115	Block C ; room [G14] ; raised roof-vent over	↑	20.08.2020	R Tyler
DSC_0562		Block C ; room [G14] ; truncated rafters at raised roof-vent	→ SE	20.08.2020	R Tyler
DSC_0563	117	Block C ; room [G14] ; truncated rafters at raised roof-vent	→ SW	20.08.2020	R Tyler
DSC_0564		Block C ; room [G14] ; early south wall	→ SE	20.08.2020	R Tyler
DSC_0566	118	Block C ; room [G14] ; ‘trussed’ purlin	detail	20.08.2020	R Tyler
DSC_0567		Block C ; room [G14] ; ‘trussed’ purlin	detail	20.08.2020	R Tyler
DSC_0568		Block C ; room [G14] ; ‘trussed’ purlin	detail	20.08.2020	R Tyler
DSC_0569		Block C roofscape: [G14/15/ F16] looking east from 1F Bldg. A	→ E	20.08.2020	R Tyler
DSC_0570	49	Block A ; Landing [F1] head of stair A	→ SW	20.08.2020	R Tyler
DSC_0571	52	Block A ; office [F2] looking south-west	→ SW	20.08.2020	R Tyler
DSC_0572		Block A ; office [F2] looking north-west	→ NW	20.08.2020	R Tyler
DSC_0573		Block A ; Landing [F1] – doorway in east wall to Block B	→ E	20.08.2020	R Tyler
DSC_0575	53	Block A ; room [F4] looking south-west	→ SW	20.08.2020	R Tyler
DSC_0576	54	Block A ; room [F4] ; detail of 3-panel wall-mounted radiator	detail	20.08.2020	R Tyler
DSC_0577		Block A ; room [F4] ; detail of 3-panel wall-mounted radiator	detail	20.08.2020	R Tyler
DSC_0578		Block A ; room [F4] ; studwork partitions	→ SE	20.08.2020	R Tyler
DSC_0579	55	Block A ; room [F3] looking north	→ N	20.08.2020	R Tyler
DSC_0580	56	Block A ; room [F3] looking west	→ W	20.08.2020	R Tyler
DSC_0581		Block A ; room [F3] door to north wall opening to [F5]	→ N	20.08.2020	R Tyler
DSC_0582	57	Block A ; room [F3] ; blocked door to north end, east wall	→ NE	20.08.2020	R Tyler
DSC_0583	59	Block A ; room [F5] looking north-west	→ NW	20.08.2020	R Tyler
DSC_0584		Block A ; room [F5] looking north-east	→ NE	20.08.2020	R Tyler
DSC_0585		Block A ; room [F5] – floor structure over	↑	20.08.2020	R Tyler
DSC_0586	58	Block A ; door to [F5] from Block B	→ W	20.08.2020	R Tyler
DSC_0589	60	Block A ; looking north along passage [F9b]	→ N	20.08.2020	R Tyler
DSC_0590	61	Block A ; looking south along passage [F9b]	→ S	20.08.2020	R Tyler
DSC_0591		Block A ; 1F toilets [F8] at Bay 6	→ W	20.08.2020	R Tyler
DSC_0592		Block A ; 1F toilets [F8] at Bay 6	→ W	20.08.2020	R Tyler
DSC_0593		Block A ; stair B rising to 2F level from [F9a]	→ N	20.08.2020	R Tyler
DSC_0594	62	Block A ; stair B rising to 2F level from [F9a]	→ N	20.08.2020	R Tyler
DSC_0595		Block A ; stair B rising to 2F level from [F9a]	→ N	20.08.2020	R Tyler
DSC_0596	66	Block A ; room [S1] looking north	→ N	20.08.2020	R Tyler
DSC_0597		Block A ; enclosed office [S4] at Bay 5 of [S1]	→ NW	20.08.2020	R Tyler
DSC_0598	67	Block A ; enclosed office [S4] at Bay 5 of [S1]	→ NW	20.08.2020	R Tyler
DSC_0599	68	Block A ; <i>in-situ</i> horizontal grinder within room [S5]	→ NW	20.08.2020	R Tyler
DSC_0600		Block A ; <i>in-situ</i> horizontal grinder within room [S5]	→ S	20.08.2020	R Tyler
DSC_0601	64	Block A ; room [S1] looking south	→ S	20.08.2020	R Tyler
DSC_0602	53	Block A ; room [S1] (Bay 3/4); door / lift access / stack	→ SW	20.08.2020	R Tyler
DSC_0603	65	Block A ; room [S2] looking south	→ S	20.08.2020	R Tyler
DSC_0604		Block A ; room [S3] looking south	→ S	20.08.2020	R Tyler
DSC_0605		Block A ; room [S1] ; lower chord of steel roof truss	detail	20.08.2020	R Tyler

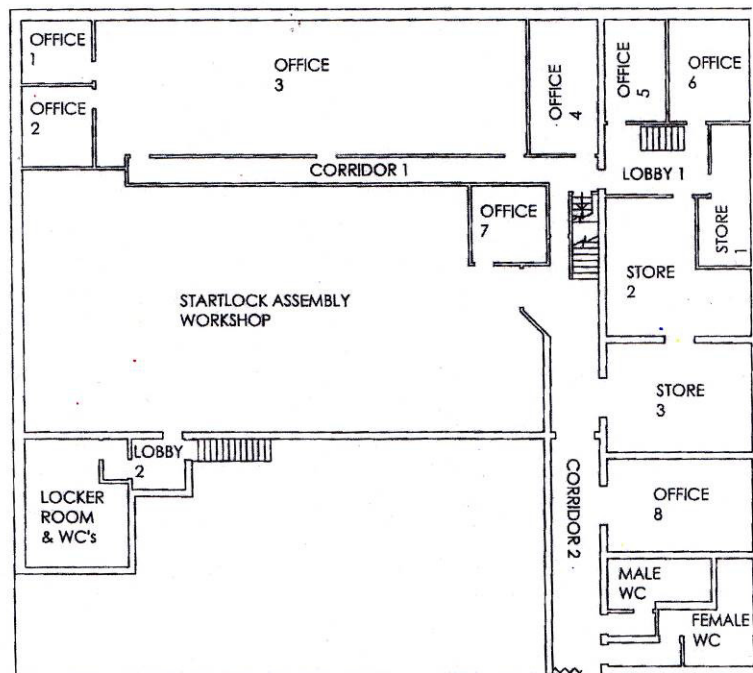
DSC_0606		Block A ; base of Stair B at [G9]	→ SW	20.08.2020	R Tyler
DSC_0607	51	Looking down stair A from 1F level showing lower ¼-turn	↓	20.08.2020	R Tyler
DSC_0608		Block A ; base of Stair B at [G9]	→ NW	20.08.2020	R Tyler
DSC_0609	85	Block B ; basement room [B1] looking west	→ W	20.08.2020	R Tyler
DSC_0610		Base of Stair D at basement level	→ E	20.08.2020	R Tyler
DSC_0611	84	Block B ; basement room [B1] (Bay 5) with mid-span support column	→ SE	20.08.2020	R Tyler
DSC_0612		Block C ; truncated stack and brick gable to east elevation of [G15]	→ NW	20.08.2020	R Tyler
DSC_0613		Block C ; truncated stack and brick gable to east elevation of [G15]	→ N	20.08.2020	R Tyler
DSC_0614		Block C ; raised vent over [G14]	→ NE	20.08.2020	R Tyler
DSC_0615		Block C ; brick gable to east elevation of [G15]	→ NE	20.08.2020	R Tyler
DSC_0616		Block C ; roof over [G15] abutting passage [F9b]	→ NW	20.08.2020	R Tyler
DSC_0617		Block C ; brick gable to east elevation of [G15]	→ E	20.08.2020	R Tyler
DSC_0618		Block C ; looking east towards [F16] from [G9b]	→ E	20.08.2020	R Tyler

APPENDIX C: Historical Trade Directories

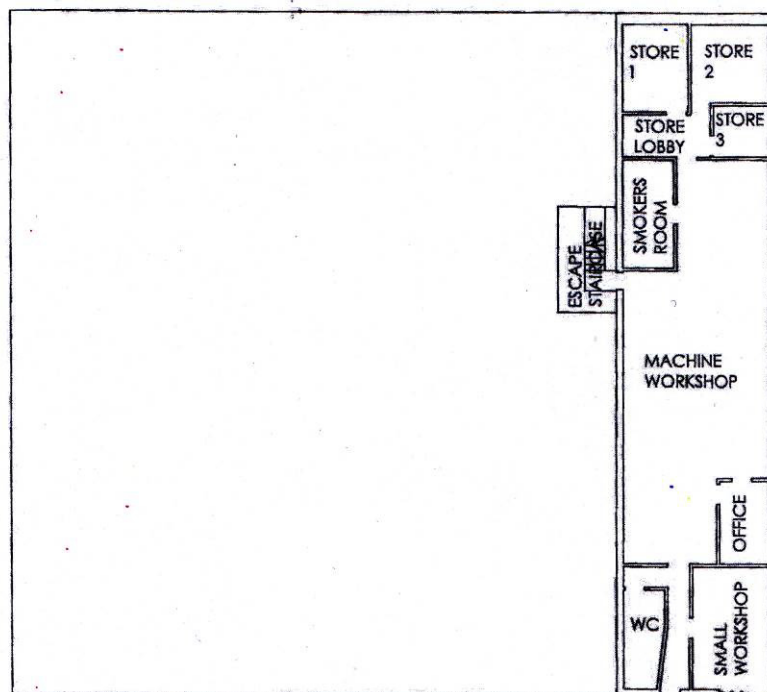
Year	Directory	Name	Address	Occupation
1852	Slater's	Wagner and Co.	1 James Street	Manufacturer of steel pens and pen holders
1855	White's	Baker and Finnemore	1 James Street	Steel pen makers
1862	Corporation	Baker and Finnemore	1 James Street	Steel pen makers
1868	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1883	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1897	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1890	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1900	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1905	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1908	Kelly's	Baker and Finnemore	1 James Street	Metallic pen makers
1913	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel pen manufacturers
1915	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel pen manufacturers.
1930	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel pen manufacturers.
1935	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel pen manufacturers.
1939	Kelly's	Baker and Finnemore	Newhall Street	Steel pen manufacturers.
1945	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel pen manufacturers.
1950	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel pen manufacturers.
1955	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel spring manufacturers.
1960	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel spring manufacturers.
1964	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel spring manufacturers.
1970	Kelly's	Baker and Finnemore	197-207 Newhall Street	Steel spring manufacturers.

APPENDIX D: 2007 Outline Survey Drawings by DTZ Debenham Tie Leung, with room uses (**NB.** north to bottom of images)





FIRST FLOOR



SECOND FLOOR