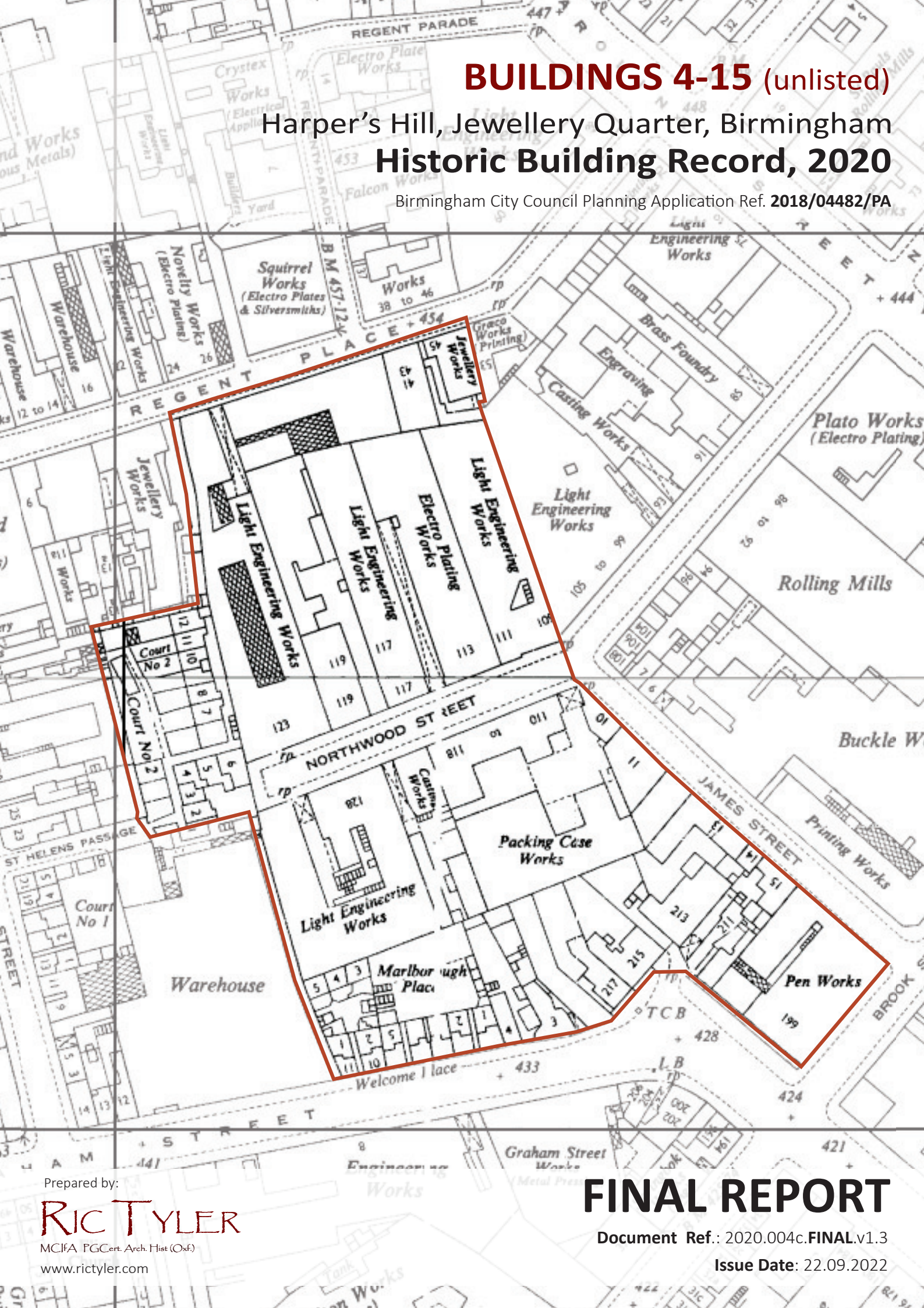


BUILDINGS 4-15 (unlisted)

Harper's Hill, Jewellery Quarter, Birmingham

Historic Building Record, 2020

Birmingham City Council Planning Application Ref. 2018/04482/PA



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FINAL REPORT

Document Ref.: 2020.004c.FINAL.v1.3

Issue Date: 22.09.2022

Project Data: Summary

Project No.: 2020-004

Client Name: RPS Consulting on behalf of Galliard Homes and Apsley House Capital

Site Name: Buildings 4 to 15 (unlisted), Harper's Hill, Jewellery Quarter, Birmingham

NGR: centred on **SP 06275 87500**

Planning Authority: Birmingham Metropolitan Authority
Ward: Soho and Jewellery Quarter

Designations: Unlisted Buildings
Birmingham 'Jewellery Quarter' Conservation Area

Planning Ref.: 2018/04482/PA

HER ref.: N/A

Document Data

Document Ref. 2020.004c.FINAL.v1.3

Document Title: Historic Building Record, 2020
Issue No.: **Final Report:** v1.3

Prepared by: Ric Tyler MCI^fA

Issue Date: 22.09.2022

OASIS Ref. No.: rictyler1-505176

Revision	Date	By	Comment
Rev.1.v1.1	08.03.2022	R Tyler MCI ^f A	Final report including archival research; draft for comment
Rev.1.v1.2	15.03.2022	R Tyler MCI ^f A	Final report including archival research; reviewed and approved by RPS/BCC
Rev.1.v1.3	22.09.2022	R Tyler MCI ^f A	Final report incorporating comments from G Demidowicz/J Townley

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Cover image: Extract of 1955 edition 1:2500 Ordnance Survey map showing Harper's Hill site.

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BUILDINGS 4 to 15 (unlisted)

Harper's Hill, Jewellery Quarter, Birmingham

Historic Building Record, 2020

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BUILDINGS 4 to 15 (unlisted) Harper's Hill, Jewellery Quarter, Birmingham

Historic Building Record, 2020

Summary

The current document presents the results of a programme of historic building recording undertaken between July and October 2020 in respect of a series of redundant industrial buildings/complexes within the 'Harper's Hill Site' (aka. St Paul's Quarter Development), Jewellery Quarter, Hockley, Birmingham, B3. The project was commissioned by RPS Consulting working on behalf of developers Galliard Homes and Apsley House Capital, and was undertaken as a condition of planning consent (ref. 2018/04482/PA, condition 3) pertaining to the mixed-use redevelopment of the wider Harpers Hill site. It follows, and builds upon, a previously completed 'Heritage Statement', prepared by Turley Heritage and submitted to Birmingham City Council at an earlier stage of the application process, and upon a series of 'interim statements' in respect of the individual, component structures of the site, prepared by the current author and issued in October/November 2020.

The Harper's Hill site is located within Birmingham's Jewellery Quarter, c.1km NW of the city centre. Extending to a total area of c.1.48ha and centred on NGR SP 06275 87500, it is bordered by Regent Place to the north, James Street to the east, Brook Street and Graham Street / Newhall Street to the south and by properties fronting Vittoria Street to the west; Northwood Street bisects the site, aligned approximately east-west. The wider application site is fully built over, comprising street frontage ranges with related back-buildings and associated yards, extending to 15 discrete building units / complexes.

Following a brief synopsis of the historical development of the wider area and a more detailed review of the available historical sources pertaining to the site under consideration, the historic building record presents a detailed description and analysis of the site and its constituent buildings, structures and yards, commensurate with 'Level 1' through to 'Level 3' records as appropriate, and as defined by Historic England in 'Understanding Historic Buildings: A Guide to Good Recording Practice'. Summaries include the date, character and techniques of construction of the component buildings together with an overview of their origin, development and historical occupation, based upon the evidence of both the extant fabric and archival / documentary sources. The textual report is illustrated by a combination of historical images and present-day survey drawings, and is cross-referenced to a comprehensive photographic record.

In summary, historical sources indicate that the Harper's Hill site was developed largely within the grounds of the former Harper's Hill House, erected in c.1775 on land released from the Colmore estate, and demolished about 100 years later in c.1875. The first developments were residential as opposed to industrial in nature, and were concentrated to the south of the villa's southern bounding wall, flanking the north side of Graham Street and in the street block of Newhall Street/Brook Street/James Street, all of which are illustrated on Pigott-Smith's map of 1828. The first purely industrial buildings had been erected by the time of Pigott-Smith's second town plan of c.1855 to the west side of James Street, though major development did not occur until the later 19th century, after the demolition of Harper's Hill House had freed up a large area for new building. Northwood Street was extended westwards from its junction with James Street, and a series of purpose-built industrial ranges erected in fairly rapid succession to both the north and south sides thereof. The northern part of the site had become essentially fully developed by the middle years of the 20th century, including the introduction of infill ranges and the covering over of yards, with the southern section experiencing

development only after the clearance of early 'court' housing in the 1950s. With the exception of buildings fronting Graham Street to the south, the majority of the buildings gradually came under the common ownership of the firm of A.E. Harris & Co. (Birmingham) Ltd. during the second half of the 20th century. Later developments largely comprised the removal of earlier, outdated ranges and their replacement with larger, utilitarian structures, more suited to the accommodation of modern production machinery and processes. A total of eight broad 'phases' of development were identified, from the early-19th century through to the early-21st century.

The Harper's Hill site can be seen to have included buildings of varied quality, date, architectural merit and historical significance. Sadly, a number of the original buildings occupying individual building plots had been subject to late-20th-century remodelling, if not wholesale replacement, in particular to the north side of Northwood Street, a development that can be seen to have had a cumulative negative impact upon the historical streetscape context. Statutorily listed buildings within the site boundary (viz. Nos. 109-111 Northwood Street and No. 199 Newhall Street, both reported separately) were clearly of superior quality, reflected in their designated status, and have been retained, repurposed and refurbished within the consented scheme. The wider site also incorporated a number of buildings that, while not statutorily protected, were considered to be of sufficient architectural merit for retention and incorporation within the development (viz. No. 123 Northwood Street, and a 1920 shopping range at Nos. 118-138 Northwood Street). Other buildings can be seen to be generally representative of their respective eras, though of a form and style easily paralleled elsewhere within the Jewellery Quarter and beyond, while later introductions, being of strictly utilitarian in form, were of limited architectural merit and negligible historical significance.

The opportunity afforded by the conditional programme of recording applied to the large-scale redevelopment of the Harper's Hill site has allowed both for a detailed study to be made of a significant number of individual buildings, so far as possible from a non-intrusive site investigation, to a level reflective of their perceived, relative importance in line with the project, and for an analysis of the development of a wider area in a manner not often possible on more restricted or localised developments. Together with reports prepared separately on the two statutorily listed buildings on the site (109-111 Northwood Street and 199 Newhall Street), the current document provides a useful 'point in time' record of the unlisted buildings of the site prior to the consented development. A programme of archival research has allowed for an historical context to be established with in which to interpret the origins and development of the recorded buildings, while a review of the collection of Birmingham Building Plans (BBP) at the Birmingham City Archives has proved particularly valuable, both in providing precise dates for a number of recorded structures, and in clarifying developments in the cases of sites where original / early buildings had been historically removed.



General view looking west along Northwood Street during AE Harris & Co. Ltd. occupation (image: <https://www.aeharris.co.uk/>).

BUILDINGS 4 to 15 (unlisted)

Harper's Hill, Jewellery Quarter, Birmingham

Historic Building Record, 2020

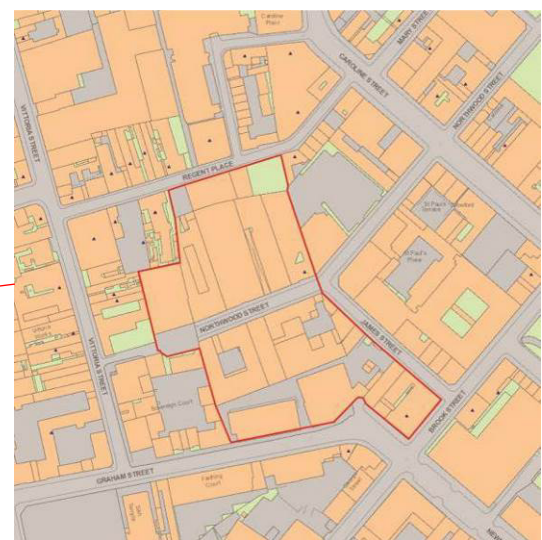
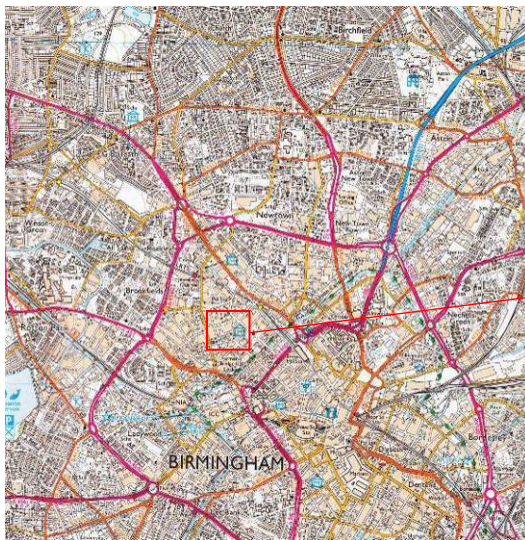
1 INTRODUCTION

1.1 Background to the Project

1.1.1 The current document presents the results of a programme of historic building recording undertaken between July and September 2020 in respect of a series of redundant industrial buildings/complexes within the 'Harper's Hill Site' (aka. St Paul's Quarter Development), Jewellery Quarter, Hockley, Birmingham, B3. The project was commissioned by RPS Consulting working on behalf of developers Galliard Homes and Apsley House Capital, and was undertaken as a condition of planning consent (ref. 2018/04482/PA, condition 3) pertaining to the mixed-use redevelopment of the wider 'Harper's Hill' site (aka St Paul's Quarter Development). It follows, and builds upon, a previously completed 'Heritage Statement', prepared by Turley Heritage (2018) and submitted to Birmingham City Council at an earlier stage of the application process, and upon a series of 'interim statements' in respect of the individual, component structures of the site, prepared by the current author and issued in October / November 2020.

1.2 The Site

1.2.1 The Harper's Hill site is located within Birmingham's Jewellery Quarter, c.1km NW of the city centre (Figure 1; see inset, below left). The site, which extends to a total area of c.1.48ha and is centred on NGR SP 06275 87500, is bordered by Regent Place to the north, James Street to the east, Brook Street and Graham Street / Newhall Street to the south and by properties fronting Vittoria Street to the west; Northwood Street bisects the site, aligned approximately east-west (see inset, below right). The wider application site is fully built over, comprising street frontage ranges with related back-buildings and associated yards; the site extends to 15 discrete building units / complexes (see §.1.3.3-4 below).



'Harper's Hill' site: location (© Crown Copyright; OS Licence 100050391).

- 1.2.2 The current report pertains to the unlisted buildings (Nos. 4 to 15; see §.1.3.3-4 below); Buildings 1/3 (109/111 Northwood Street and associated workshop range) and Building 2 (199 Newhall Street and associated workshop ranges), both Grade II statutorily listed buildings and largely retained, re-purposed and refurbished within the consented scheme, are addressed in individual, stand-alone reports, separately submitted to BCC.¹



Bird's eye view looking north-east, wider 'Harper's Hill' development site outlined in red (image: Google Earth).

1.3 The Planning Context

- 1.3.1 A planning application (ref. **2018/04482/PA**) was submitted to Birmingham City Council (BCC) on 12th June 2018 to Birmingham City Council (BCC), under the terms of the Town and Country Planning Act, 1990² and the Planning (Listed Buildings and Conservation Areas) Act, 1990³ in respect of the mixed-use redevelopment of the wider Harper's Hill site, the works summarised in associated documentation as follows:

Partial demolition of buildings, change of use of retained buildings at 109, 123 & 128 Northwood Street from B2 to A1-A4, B1 and C3 uses, change of use of retained building at 199 Newhall Street from B2 to B1, conversion and erection of new buildings to provide 305 one, two and three bed apartments and 9,132 sqm of non-residential floorspace for A1-A5, B1 & D2 uses with associated parking and landscaping.⁴

¹ Tyler 2022a and 2022b respectively.

² <http://www.legislation.gov.uk/ukpga/1990/8/contents>

³ <https://www.legislation.gov.uk/ukpga/1990/9/contents>

⁴ <https://eplanning.birmingham.gov.uk/Northgate/PlanningExplorer/Generic/StdDetails.aspx?PT=Planning%20Applications%20Online&TYPE=PL/PlanningPK.xml&PARAMO=932642&XSLT=/Northgate/PlanningExplorer/SiteFiles/Skins/Birmingham/xslt/PL/PLDetails.xslt&T=Planning%20Application%20Details&PUBLIC=Y&XMLSIDE=/Northgate/PlanningExplorer/SiteFiles/Skins/Birmingham/Menus/PL.xml&DAURI=PLANNING>



Plan (left) and 3-D 'birds eye' projection (right) of consented development.
(images: <https://apsleyhousecapital.co.uk/> and <https://www.birminghammail.co.uk/> respectively)

- 1.3.2 The application was approved 28th August 2020, with conditions. Condition 3 stipulated a programme of historic building recording to be undertaken on a site-wide basis, required under the terms of National Planning Policy Framework (NPPF, 2019),⁵ the Birmingham Development Plan 2017 and Supplementary Planning Guidance. The wording of the Condition states that:

'No development, demolition or alterations shall take place until the applicant has secured the implementation of a programme of structural recording in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.'

Reason: This is required as a pre-commencement condition in accordance with the SI 2018 566 The Town and Country Planning (Pre-Commencement Conditions) Regulations 2018 as the information is required prior to development commencing in order to ensure that features which will be destroyed, removed or altered in the case of the works for which consent has been given are properly recorded in advance of destruction, removal or alteration in accordance with Policies PG3 and TP12 of the Birmingham Development Plan 2017, the National Planning Policy Framework and Regeneration through Conservation SPG.'

- 1.3.3 No formal 'brief' was issued in respect of the recording work, though a scope of recording was agreed between Nick Cooke of RPS Consulting and Mr. Chris Patrick, Principal Conservation Officer of BCC, with Historic England recording levels of 1, 1/2, 2 and 3 (as outlined in 'Understanding Historic Buildings: A Guide to Good Recording Practice') variously applied to constituent buildings based upon their perceived, relative importance and the scale and impact of proposed works (recording levels defined at §.1.6.3 below). Recording requirements are summarised in tabulated form as follows:

Bldg. Ref.	Address	Status	Proposal	Recording Requirement
1	109 Northwood Street	LBII	Retention	Level 3
2	199 Newhall Street	LBII	Retention	Level 3
3	Modern warehouse to rear of 109 Northwood Street	unlisted	Demolition	Level 1
4	113 Northwood Street	unlisted	Demolition	Level 1
5	37-39 Regent Place	unlisted	Demolition	Level 2

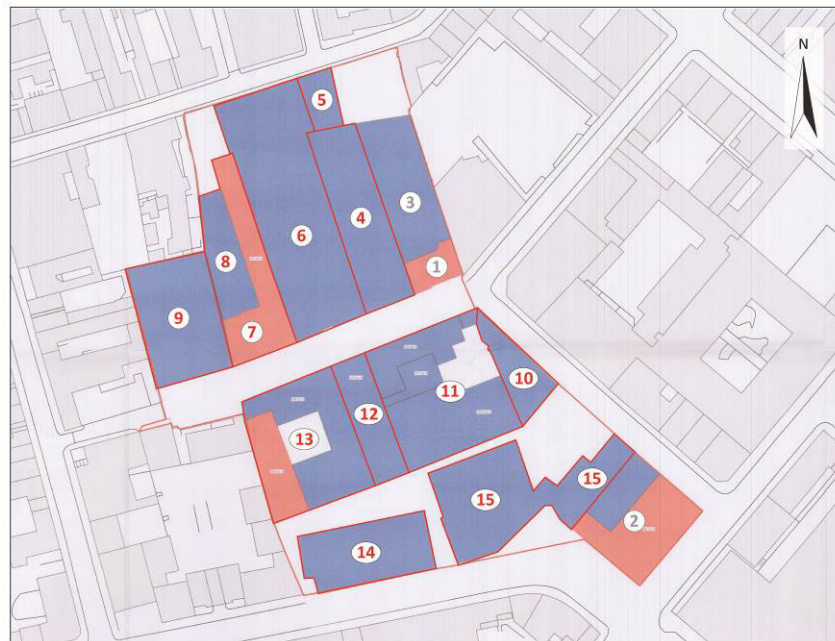
⁵ <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

6	117 and 119 Northwood Street	unlisted	Demolition	Level 1/2
7	123 Northwood Street	unlisted	Retention	Level 3
8	Workshop to the rear of 123 Northwood Street	unlisted	Demolition	Level 2
9	125 Northwood Street	unlisted	Demolition	Level 1
10	10-12 James Street	unlisted	Demolition	Level 3
11	110-118 Northwood Street	unlisted	Demolition	Level 3
12	124 Northwood Street	unlisted	Demolition	Level 1
13	128-138 Northwood Street	unlisted	Partial retention	Level 3
14	1970's workshop, Newhall Street	unlisted	Demolition	Level 1
15	Baker & Finnemore buildings fronting Graham Street and James Street	unlisted	Demolition	Level 2

Table 1:

Schedule of recording level requirements for wider Harper's Hill site (see plan inset below)

- 1.3.4 Based upon this understanding, a Written Scheme of Investigation ('WSI') was prepared by the current author, in accordance with the wording of the condition, submitted to and approved by Birmingham City Council in advance of work.⁶ The approved WSI (reproduced below as **Appendix A**) thereafter formed the basis for recording work.



Key plan showing constituent premises of Harper's Hill site (with Bldg. reference numbers).

1.4 Reasons for Work

National Planning Policy Framework (NPPF)⁷

- 1.4.1 Section 16 of National Planning Policy Framework (MoHC&LG 2019, 54-57) addresses 'Conserving and Enhancing the Historic Environment'. The following paragraphs can be seen to be pertinent:

⁶ E-mail correspondence R. Tyler / C. Patrick (BCC), 21.07.20.

⁷ **NB:** 2019 edition (<https://webarchive.nationalarchives.gov.uk/20210708211349/https://www.gov.uk/government/publications/national-planning-policy-framework--2>) applicable at time of application / recording; subsequently updated, July 2021 (https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf). Paragraph numbers vary in updated document.

Para 189:

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

Para. 199:

Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.

Birmingham Development Plan (BDP)⁸

- 1.4.2 The Birmingham Development Plan (BDP) was adopted in January 2017. Policies related to the historic environment are outlined at Chapter 6 (Environment and Sustainability), paras. 6.67-79; para §.6.67 establishes that:

'Birmingham's character is shaped by its historic development, which is represented by a rich and varied environment consisting of archaeological remains, historic buildings, townscapes and landscapes. Some, such as the Jewellery Quarter and Bournville are nationally renowned. All contribute to the unique essence of the City, identifying it as a place with its own special character and history.'

- 1.4.3 Specifically, Policy **TP12** 'Historic Environment' stipulates that:

'Applications for development affecting the significance of a designated or non-designated heritage asset, including proposals for removal, alterations, extensions or change of use, or on sites that potentially include heritage assets of archaeological interest, will be required to provide sufficient information to demonstrate how the proposals would contribute to the asset's conservation whilst protecting or where appropriate enhancing its significance and setting. This information will include desk-based assessments, archaeological field evaluation and historic building recording as appropriate.' (BDP 2017, 84).

Supplementary Planning Guidance (SPG): Jewellery Quarter Conservation Area Management Plan⁹

- 1.4.4 The site is located within the Jewellery Quarter Conservation Area (see §.1.5.3-5 below). Part 2 of the *Birmingham Jewellery Quarter Conservation Area Character Appraisal and Management Plan* (BCC, 2002), adopted as Supplementary Planning Guidance in 2002, establishes that BCC will require that 'historical documentary research be carried out in support of proposals for alteration or demolition within the conservation area' and that 'where deemed necessary, will require the recording of a building where consent for demolition or alteration has been granted, prior to the commencement of works' (BCC 2002, 64-5; Part 2, paras. 1.8-1.9).

⁸ https://www.birmingham.gov.uk/downloads/file/5433/adopted_birmingham_development_plan_2031

⁹ https://www.birmingham.gov.uk/download/downloads/id/1246/jewellery_quarter_conservation_area_character_appraisal_and_management_plan.pdf

1.5 Designations

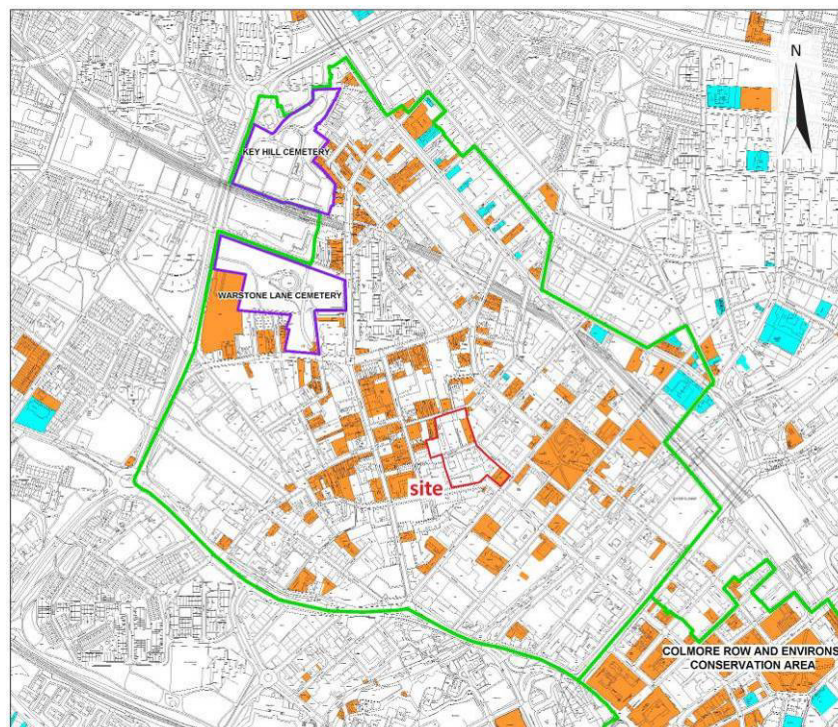
1.5.1 In determining submitted applications for planning permission and listed building consent, BCC has statutory duties under the Planning (Listed Building and Conservation Areas) Act of 1990 to have special regard to the desirability of preserving the special interest and setting of listed buildings (s.66) and to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas (s.72).

Listed Buildings

1.5.2 None of the buildings covered by the current report are statutorily listed. As noted above (§.1.2.2), Building 1 (109 Northwood Street) and Building 2 (199 Newhall Street), both Grade II Listed, are covered by separate, stand-alone reports, separately submitted.

Conservation Areas

1.5.3 The application site as a whole is located at the centre of Birmingham City Council's 'Jewellery Quarter' Conservation Area, No.17 (see inset below), originally designated in January 1980, later extended in January 1996 and September 2000, subsuming the St. Paul's Square and Key Hill Conservation Areas, designated 1971 and 1980 respectively (BCC 2002, 15). The Conservation Area extends to a total of c.0.95km² (94.43Ha), and is bounded by Icknield Street to the west, Sand Pits to the south, Great Charles Street/Queensway to the south-east (where it adjoins the Colmore Row and Environs CA, No. 11),¹⁰ and Hampton Street/ Constitution Hill/ Barr Street to the north-east.



Location of Harper's Hill site within Birmingham's Jewellery Quarter Conservation Area.¹¹

¹⁰ https://www.birmingham.gov.uk/download/downloads/id/864/colmore_row_and_environs_conservation_area_map.pdf

¹¹ https://www.birmingham.gov.uk/downloads/file/1245/jewellery_quarter_conservation_area_map.

- 1.5.4 The Jewellery Quarter Character Appraisal and Management Plan (BCC, 2002) divides the Conservation Area into eight areas or localities, based upon their historical development, predominant uses and architectural character, viz. the City Fringe, St. Pauls and Canal Corridor, the Industrial Middle, the Golden Triangle, the South-West Industrial Fringe, the Cemeteries (Warstone Lane / Key Hill), Great Hampton Street, and Viaduct (ibid., 32-4; Map 4).
- 1.5.5 The current site lies within the 'Industrial Middle' Character Zone of the wider Conservation Area, defined within the Character Appraisal and Management Plan as being characterised by:
- 19th-century houses with attached workshops. Brown/red brick or stucco fronts with slate roofs. Timber sash windows to house, multi-pane cast-iron windows to workshop ranges.
 - Medium-sized, early-19th-century purpose-built manufactories of three storeys. Restrained red brick facades with characteristic slightly recessed curved bay at street corners. Hipped slate roofs. Timber sashes to lower floors, multi-pane cast-iron windows to upper floors.
 - Medium-sized mid- to late-19th-century purpose-built manufactories of three to four storeys. Red/brown brick with slate roofs. Timber sashes to front buildings. Brick, stone and terracotta details.

Proximate Listed Buildings

- 1.5.6 BCC's 'Planning Committee; Final Agenda Report' (2019, 10) establishes that 'the area around the Harper's Hill site contains a considerable number of listed buildings particularly fronting Regent Place to the north. Opposite the Harper's Hill boundary, Nos. 22, 24, 26, 32 Regent Place are all Grade II listed buildings as are Nos. 9, 12 -14, 15-17, 16, 53 and 60 -70 further along the street. These are in predominantly commercial use,¹² but the upper floors of the former Squirrel Works at 32 Regent Street have recently been converted to residential accommodation. On Vittoria Street, the Standard Works at the junction of Regent Street is Grade II listed as are a number of other buildings slightly further away on the opposite side of Vittoria Street. On Graham Street, opposite the application site, Nos. 204 -206, (former Dorman Smith Switchgear Ltd offices) are listed, as is No. 11 Brook Street, located diagonally opposite No. 199 Newhall Street. The Harper's Hill site is located close to St. Paul's Square and the Grade I listed St. Paul's Church'.
- 1.5.7 Brief summaries of proximate heritage assets are given in Turley Heritage's 'Heritage Statement' (2018, table 4.1, p.27-41) and will not be repeated here.

1.6 Scope of Work

- 1.6.1 The Chartered Institute for Archaeologists (CIfA 2020, 6) has stated that 'the preservation of historic buildings and areas of architectural or historic interest is a fundamental aspect of the Government's commitment to the environmental stewardship for the effective protection for all aspects of the historic environment. As part of a proposal to alter or demolish a historic building, it is important to have a record of the structure as found.'
- 1.6.2 As noted above, no formal project brief was issued in respect of the recording work and the current project was completed on the basis of a Written Scheme of Investigation (WSI), submitted to and approved by BCC in advance of work, as per the condition wording. A copy of the approved WSI is included as **Appendix A** below.

¹² Nos. 60-70 are currently in the initial stages of redevelopment as part of a wider mixed-use scheme (BCC PA ref. 2019/04424/PA).

- 1.6.3 The scope of recording agreed between RPS and BCC stipulated variously Level 1, 1/2, 2 and 3 records (see Table 1, above), defined by Historic England's 'Understanding Historic Buildings: A Guide to Good Recording Practice' (HE 2016, 25-6) as follows:

*Level 1 is essentially a **basic visual record**, supplemented by the minimum of information needed to identify the building's location, age and type. This is the simplest record, and it will not normally be an end in itself, but will be contributory to a wider study. Typically it will be undertaken when the objective is to gather basic information about a large number of buildings – for statistical sampling, for area assessments to identify buildings for planning purposes, and whenever resources are limited and much ground has to be covered in a short time. It may also serve to identify buildings requiring more detailed attention at a later date.*

*Level 2 is 'a **descriptive record**, made in similar circumstances to Level 1 but when more information is needed. It may be made of a building which is judged not to require a more detailed record, or it may serve to gather data for a wider project. Both the exterior and interior of the building will be seen, described and photographed. The examination of the building will produce an analysis of its development and use and the record will include the conclusions reached, but it will not discuss in detail the evidence on which this analysis is based.'*

*'Level 3 is an **analytical record**, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.'*

- 1.6.4 The current report has been prepared in broad accordance with guidelines set out by Historic England in *Understanding Historic Buildings: A Guide to Good Recording Practice* (HE, 2016), the Chartered Institute for Archaeologists' *Standard and Guidance for the Archaeological Recording of Standing Buildings or Structures* (CIfA, 2014; Annex 2), and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation of Works to Historic Buildings* (ALGAO, 1997).
- 1.6.5 A digital copy of the current report will be deposited with the Birmingham Historic Environment Record (HER) and uploaded to OASIS, the on-line 'grey-literature' library of the Archaeology Data Service (ADS), ref. **rictyler1-505176**.

1.7 Statement of Limitations

- 1.7.1 The constituent premises of the Harper's Hill site were vacant at the time of site visits (July – September 2020) and thus no record was possible of the more recent pattern of use of the buildings.

1.8 Acknowledgments

- 1.8.1 The project was commissioned by Nick Cooke of RPS Consulting, working on behalf of developers Galliard Homes and Apsley House Capital, to whom thanks are extended for help and assistance throughout. Thanks also to Mr. Jasjeet Singh Bassi, Mr. Jonathan Wilson and Mr. Matt Smith, design co-ordinators for Galliard Homes, to Mr. Christopher Patrick, Principal Conservation Officer for Birmingham City Council and to Mr. Peter Doré and other staff at the Birmingham City Archives (BCA) at Birmingham Central Library. Special thanks also to Mr. R.G. Luckock, former managing director of AE Harris and Co. Ltd., for information on Harris's purchase and occupation of the premises, and to Mr. John Townley and Mr. George Demidowicz for valuable discussions on aspects of the early history of Harper's Hill House and the wider Harper's Hill site.

2 METHODOLOGY

2.1 Documentary Research

- 2.1.1 A search was made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs and drawings, written descriptions, trade directories, historical planning materials (1876-1960) and other pertinent primary and secondary sources related to the wider site at the Birmingham City Archives' Historic Research Area (HRA) and Wolfson Centre for Archive Research (WCAR); see §.2.2.6 below. Standard on-line sources including NHLE, Heritage Gateway, Access to Archives and the National Monuments Record (Swindon) were also consulted, while historical census records, where appropriate, were accessed via www.ancestry.com. More recent planning history for the site was reviewed via BCC's on-line planning portal.
- 2.1.2 The wider Harper's Hill site has been the subject of a previous 'Heritage Statement', prepared for Apsley House Capital Ltd. by Turley Heritage in May 2018 (updated October 2018) and submitted to BCC at an earlier stage in the planning process related to the current development scheme. This document has been reviewed in the preparation of the current report.

2.2 Structural Recording and Analysis

- 2.2.1 The study comprised an examination of all safely accessible areas of the buildings and the compilation of drawn, photographic and written records thereof, as follows:

Drawn Record

- 2.2.2 The drawn record comprised the preparation of plans, cross-sections and elevations sufficient to illustrate the dimensions, features and construction, phasing and development of the building so far as practicable from a non-intrusive survey. Records were based upon pre-existing survey data where available, otherwise site drawings were prepared at an appropriate scale in pencil on archivally stable drafting film, measurements being obtained by a combination of taped measurement and hand-held laser (disto).

Photographic Record

- 2.2.3 To complement the drawn survey, a photographic record was made comprising high resolution digital photography using a Nikon D3500 DSLR camera, commensurate with the specified recording level. Where practically feasible, photographs included graded photographic scales. A register of site photographs was maintained, recording subject, orientation, date and photographer; a copy of the photographic register, broken down by building number, is included below as **Appendix B**.

Written Record

- 2.2.4 A written record was maintained by way of annotations to site drawings and as free text to accompany the drawn and photographic records, and form the basis for the building descriptions included below (§.4). This extends to cover a summary of the buildings form and type, their function (historically and at present), materials of construction, date and sequence of development, so far as practicable from a non-intrusive survey.

Timetable

- 2.2.5 Initial fieldwork was undertaken over the course of a series of site visits between 29.07.2020 and 07.10.2020. A return visit was made to the site on 21.09.2021, by which time the consented demolition of the majority of the constituent buildings had been completed (see images inset below).



Harper's Hill site, 2019 (image: Google Earth).



Harper's Hill site, 2021 (image: Google Earth).

- 2.2.6 Due to access restrictions at Birmingham Archives, imposed in response to the COVID-19 pandemic, it was not possible to complete archival research in advance of, or during, the fieldwork phase of work, as per standard 'best practice'. Research was thus undertaken at a later stage (November 2021), following the relaxation of restrictions, by which time demolition and clearance of a majority of buildings on the site had taken place. 'Interim Statements', based upon on-site observation and limited, 'online' research, were issued to, and approved by, BCC in October/November 2020 in respect of each of the individual, unlisted buildings under consideration, so as to allow work on site to progress.



View of site east of Bldg. 7/8 following demolition (21.09.2021).



View west along Northwood St. following demolition (21.09.2021).

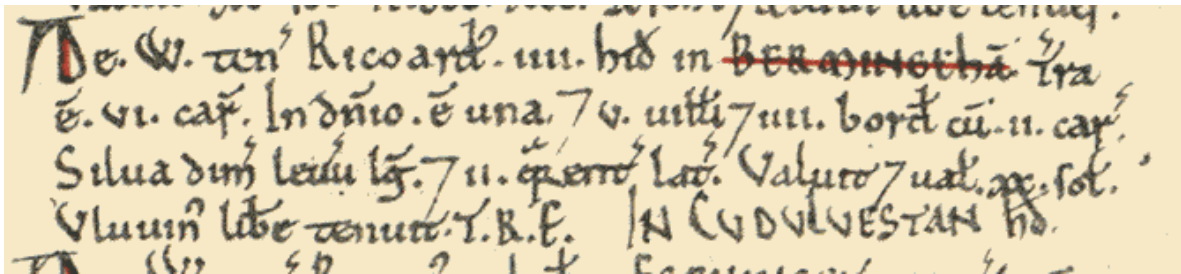
3 HISTORICAL BACKGROUND

3.1 General Historical Context

The Early Development of Birmingham

- 3.1.1 At the time of the Domesday survey, Birmingham constituted an insignificant agricultural settlement with nine peasant households sharing two plough teams and supporting a population of around 50 people; it included woodland 'half a league wide and two furlongs broad'. It is listed among lands belonging to William Fitz Ansculf,

a major local landholder based at Dudley Castle;¹³ it was held of Fitz Ansculf by a man named Richard. Prior to the Conquest, Wulfwine had held the land freely, in his own right (Williams and Martin 2002, 666).



Domesday Book entry for Birmingham ('bermingeham'); source: <https://opendomesday.org/place/sp0786/birmingham/>

- 3.1.2 Following the granting of a market charter in 1166, it would appear the town went through a period of rapid economic growth (Holt, 1985), and within a century the settlement was transformed into a prosperous manufacturing and market town.
- 3.1.3 In 1250, the year in which the town purchased the right to hold an annual four-day fair at Ascensiontide, the lords of the manor transformed Birmingham into a manorial borough. The early growth of the town was associated with a converging pattern of important local transport routes, including roads from Coventry, Warwick, Stratford, Worcester, Wolverhampton and Lichfield. Evidence for the 14th- and 15th-century economy of the town is scarce, though it is apparent both the cloth industry and the regionally important cattle market contributed to the town's growing significance.
- 3.1.4 The early industrial development of Birmingham was focussed on the areas of Digbeth and Deritend, to the south and south-east of the modern city centre, with the area of the future Jewellery Quarter remaining essentially undeveloped until the early years of the 18th century (see below).

The Development of the Jewellery Quarter¹⁴

- 3.1.5 Jewellery and metalware had been made in Birmingham since medieval times and, by the early- to mid-18th century the town was becoming renowned for its production of boxes, trinkets and cheap jewellery, together with buckles and buttons (EH 2000, 10). The burgeoning industry was driven essentially by small-scale family businesses, accommodated both within domestic buildings and in small, purpose-built workshops erected in back gardens and yards, leading to the expansion of the town to the north-west into the southern part of the newly sub-divided New Hall (Newall) estate of the Colmore family,¹⁵ released for development by a private act obtained in 1746 (BCC 2002, 9; Foster 2005, 129),¹⁶ together with lands released by the Inge and Vyse estates. The south-eastern boundary of the New Hall estate was formed by New Hall Lane (later Colmore Row) and its undeveloped aspect in the early-18th century is illustrated by Westley's map of 1731 (Figure 2a). The north-west side of Colmore Row was built up during the mid to late-18th century, illustrated by comparing the 1731

¹³ William inherited lands granted to his father, Ansculf de Picquigny, by William the Conqueror. DB records William holding around one hundred estates of the king, as lord or tenant in chief, spread over 12 counties, though largely concentrated in Warwickshire, Worcestershire and Staffordshire.

¹⁴ The development of the Jewellery Quarter is addressed in detail in §.3 of BCC's 'Conservation Area Character Appraisal and Management Plan' of 2002 and will not be repeated here. A brief summary, based upon this and other secondary sources (eg. Foster, 2005; Mason, 1998) is presented, however, to establish a broad historical context for the buildings currently under consideration.

¹⁵ Down to the 16th century, when it was acquired by the Colmores, the New Hall estate had been owned by St. Thomas's Priory (Foster 2005, 129).

¹⁶ See BCA 'Calendar of Deeds, Maps and other Documents relating to the Colmore Estates'.

map with later surveys of 1750/1778 (Figures 2b/3a). Wealthier masters, merchants and professionals established themselves in substantial terraces around St. Paul's Square, centred on the Grade I listed St Paul's Church of 1776-79,¹⁷ surrounded by a rectilinear grid of newly laid out streets, and in fashionable suburban houses. Within the area to the north-west of St. Paul's, previously dotted with isolated villas and gardens (still evident on Pigott-Smith's map of 1828; Figure 5), these new streets were soon infilled with a mix of larger factories¹⁸ and smaller purpose-built workshops, with or without residential accommodation (*ibid.* 12-16), prompting many of the wealthier residents, in particular those not directly associated with the jewellery trades, to relocate to other, more polite suburbs such as Edgbaston. Caroline Street, running north-westwards from St. Paul's Square to join Hall Street, is relatively wide reflecting its early importance as a route through the Colmore estate (BCC 2002, 33), and it was along this street and its side-roads that some of the earliest manufactories were built (Cattell et al. 2002, 190). Several early houses survive here, of a type once more widespread across the Quarter, with workshops along the sides of their rear plots (BCC 2002, 33). In and around the industrial premises, extensive, densely concentrated areas of blind-back and back-to-back housing, arranged in 'courts', were erected to house the growing workforce.

- 3.1.6 The jewellery and precious metal trades continued to expand in the early-19th century, despite the French wars and the depression of the 1820s and early 1830s, while the 1850s saw a huge expansion in related professions (BCC 2002, 12-13). Industrial and residential development expanded beyond Warstone Lane to the north, while existing terraced houses were increasingly converted to workshop use, often in multiple-occupancy, and new premises erected over back plots as every available space was built on to provide working accommodation, resulting in the dense 'urban grain' of the Quarter (*ibid.*).
- 3.1.7 In addition to jewellery, the quarter produced a wide range of small metal goods including watch-chains, pins, buttons, badges and medals, electroplated wares, spectacle frames and coffin fittings (Cattell et al 2002, 24). In particular, it was renowned in the mid-19th century as a world centre for the pen trade, as represented within the wider Harper's Hill development site by the company of Baker and Finemore, one of Birmingham's oldest and most successful pen-nib manufacturers, based for many years at No. 199 Newhall Street (Bldg. 2 of current site, reported separately),¹⁹ with premises expanding in the later 20th century into Bldg. 15, covered by the current report.
- 3.1.8 Production in the Jewellery Quarter peaked between 1890 and the First World War, when it is estimated that c.70,000 people were employed in the Birmingham jewellery and associated industries, after which trade gradually declined, exacerbated by the Great Depression of the 1930s. During the Second World War production turned largely to munitions and small military items, with few firms continuing in jewellery production. In the post-war period, and increasingly in the 1960s, the restricted space of the densely occupied Jewellery Quarter began to pose a significant problem for companies,²⁰ leading some of the larger concerns to remove to other areas of the city, or to 'greenfield' sites further afield. Ambitious post-war plans envisaged widespread clearance of the quarter and the erection of a series of multi-storey, multi-occupancy 'flatted factories' (EH 2002, 29; fig. 29). These proposals did not come to immediate fruition, however, due in part to the scarcity of materials in the post-war years and, ultimately, only one block was realised, the 'Hockley Centre' or 'Big Peg' of 1971 to the southern end of Vyse Street (*ibid.*, 191; fig. 209), before the scheme was abandoned.

¹⁷ <https://historicengland.org.uk/listing/the-list/list-entry/1220815>. Shown recently completed on Hanson's map of 1778 (Figure 3a).

¹⁸ Such as the 'Harper's Hill Works', constructed to the south side of Regent Place on the grounds of the former Harper's Hill House (see §.3.2.4). The house is illustrated on Pigott-Smith's map of 1828 and was to be demolished in c.1875.

¹⁹ See Tyler 2022b.

²⁰ Despite the clearing of areas of outdated, insanitary 'slum' housing.

- 3.1.9 Post-war infill and redevelopment of 'gap' sites within the area has, in places, introduced new architectural forms and materials which have often varied from the more domestic scale, massing and detailing of earlier buildings. The architectural quality and heritage significance of the area at an international level has now been recognised for some time, however, leading to the establishment of the Jewellery Quarter Conservation Area in 1980,²¹ extended in 1996 and 2000 (see §.1.5.3-5 above), and the adoption of the 'Jewellery Quarter Conservation Area Character Appraisal and Management Plan'²² as supplementary planning guidance (SPG) in 2002.
- 3.1.10 While representing an 'historical area of international importance' (Cattell et al. 2002, 1), the area also remains very much a working entity, an active and productive centre for the jewellery trade, forming Europe's largest concentration of related businesses and producing 40% of all jewellery made in the UK.²³

3.2 Map Regression

Early Town Maps

- 3.2.1 The first map to show the town of Birmingham in any detail is William Westley's map of 1731 (Figure 2a). The developed area of the town is focussed to the south of the future Jewellery Quarter around St. Martin's Church, Digbeth and Deritend and to the east. The recently completed St. Phillip's Church of 1709-25 is shown to the north-western limit of the urban area, to the south side of New Hall Lane, north-west of which the lands of the Colmore's New Hall estate, west of the Wolverhampton road, remained essentially undeveloped at this time. New Hall itself, built before 1620 (BCC 2002, 9), is shown in relative isolation, approached via a long, tree-lined driveway from the south off New Hall Lane.



Details of Bradford (1750, left) and Hanson (1778, right) showing gradual development to north-west of Colmore Row.

- 3.2.2 The second detailed map to illustrate the development of Birmingham is Samuel Bradford's plan of 1750, engraved and printed by Thomas Jeffrys (Figure 2b). In the c.20 years to have elapsed since Westley's, development had begun to the north-west of the cathedral church of St. Philip. New Hall Lane had been renamed 'Colmore Row' and Harlow/ Charles/Hill Street (later, Edmund Street) laid out parallel to the north-west, together with a series of perpendicular streets, viz. Livery Street, Church Street, Newport (later Newhall) Street (see inset, above left). Within this grid, construction had commenced, in particular along the north side

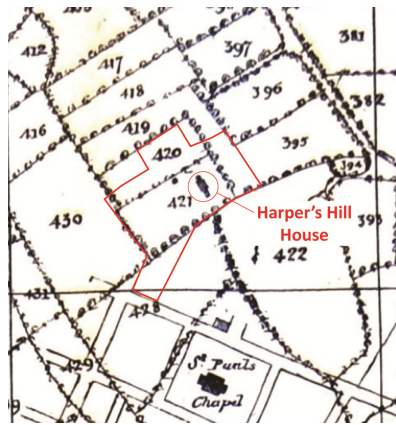
²¹ See Victorian Society, Birmingham Group (1977).

²² https://www.birmingham.gov.uk/downloads/file/1246/jewellery_quarter_conservation_area_character_appraisal_and_management_plan.

²³ <https://www.birminghammail.co.uk/news/local-news/city-focus-birminghams-jewellery-quarter-1292581>

of Colmore Row itself, of substantial townhouses with associated rear gardens, while a large number of plots had been laid out awaiting development, being annotated as 'land for building'. New Hall remained extant at this stage, though soon afterwards to be subsumed into the expanding town.

- 3.2.3 By the time of Thomas Hanson's survey of 1778 (Figure 3a), development was accelerating, with Great Charles Street and Lionel Street having been laid out parallel to Colmore Row, and with Church Street having been extended to the north-west (later Ludgate Hill) leading to the recently completed St. Paul's Church.²⁴ A regular grid of vacant streets are shown to have been laid out around the church, including the southern end of Caroline Street. The land parcels between Colmore Road and Great Charles Street had been fully developed by this date and building was well under way to the north side of the latter (inset, above right). The Newhall Branch Canal, actively encouraged by Charles Colmore as a device to increase his land values (BCC 2002, 9), had been opened in 1772 with a terminus just west of Old Hall, below Great Charles Street. New Hall itself, evident on earlier maps, was being increasingly encroached upon by the expanding town and, after having been used temporarily as a storage warehouse by Matthew Boulton of the Soho Manufactory, was to be ultimately demolished in 1787.



Detail of Snape's map of 1779 showing 'Harper's Hill' site boundary and Harper's Hill House.



Engraving of 'Watt's House' at Harper's Hill (from Smiles, 1865).

- 3.2.4 A near contemporary 'Plan of the Parish of Birmingham' of 1779 by John Snape (Figure 3b)²⁵ illustrates the extent of the developed town superimposed onto a surrounding pattern of hedged field plots.²⁶ Plots are numbered, with the Harper's Hill site lying predominantly within Nos. 395, 420 and 421; unfortunately, no associated schedule survives to proffer details of ownership / occupation / state of cultivation. The map presents the first graphic depiction of Harper's Hill House (inset, above left),²⁷ sited within plot No. 421. Harper's (or 'Harpur's) Hill House, was one of the earliest suburban villas to be constructed on the Colmore Estate (BCC 2002, 11; see inset above, right). Demidowicz (2021, 9) has established that the 'villa' was in fact a pair of 'semi-detached' houses erected by one John Twigg, factor, in c.1775 on a c.2-acre plot of land leased on a 99-year term from 1771-2.²⁸ Described by Samuel Smiles in 1865 (214-5) as 'a double house, substantially built in brick, with stone facings, standing on the outskirts of the town, surrounded by fields and gardens', part

²⁴ <https://historicengland.org.uk/listing/the-list/list-entry/1220815>

²⁵ <https://www.search.birminghamimages.org.uk/details.aspx?ResourceID=12760&ExhibitionID=12772&SearchType=3>.

²⁶ The alignment of a number of the field boundaries are preserved to the modern day in street alignments (eg. Graham St. / Regent Place).

²⁷ A number of historical sources (eg. Smiles 1865), and more recent publications (Cattell et al, 2002) refer to Harper's Hill House as 'Regent's Place'. Demidowicz (2021, 11) has established that the villa was never known as 'Regent's Place' during its lifetime, and that the misnomer, unfortunately perpetuated over an extended period of time, derives largely from Smiles' 1865 account.

²⁸ John Twigg, recorded at 4/5 King Street in 1770, is listed at 'St. Paul's' in Pearson and Rollason's directory of 1781.

of the villa is known to have been leased to the renowned engineer James Watt for a period of 15 years (1775 to 1790) by Matthew Boulton of the Soho Manufactory in Handsworth (*ibid.*).²⁹ The footprint of the house lies within the area of Bldgs. 4/6 of the Harper's Hill site and has been investigated archaeologically as part of the mitigation work related to the current development.³⁰

- 3.2.5 A photograph of c.1872 (inset below) depicts a house of three high-storeys and five window-bays with symmetrically opposed, detached, two-storey pavilions, most probably housing services (kitchens/bakehouses), connected to the main block by linking walls, the latter with central, pedimented 'Gibbsian' doorways. The brickwork of the upper storey of the main house is clearly distinct, possibly suggesting an historical raising of the range from two to three storeys, while an area of evident 'patching' around the central, ground-floor window of the south front, extending to ground level, is suggestive of a converted doorway, though it is difficult to draw firm conclusions from the evidence of a single photographic image. The five window-bay plan would not lend itself to symmetrical subdivision and, as Deminowicz has suggested, it is probable that the house was subdivided on a 3(W)/2(E) bay pattern which would account for discrepancies in recorded rating values (Deminowicz 2021, 9).



Photograph of Harper's Hill House, c.1872 (Birmingham City Archives)

- 3.2.6 Pye's map of 1795 (Figure 4a) illustrates Caroline Street extending north-westwards from St. Paul's Square, with Northwood Street aligned perpendicularly, extending from Livery Street to the east as far as the junction with James Street (laid out in 1790)³¹ to the west. The map presents little additional detail as regards the Harper's Hill site itself, however, which is shown as vacant (although Snape's map has established that Harper's Hill House was extant by that time). Graham Street had been recently laid out, marked in dashed line, though remained undeveloped, while to the north-west of the Harper's Hill site, a grid of roads³² was in the process of being laid out in the angle of Camden Street and Warstone Lane.
- 3.2.7 John Kempson's map of c.1818 (Figure 3b) indicates development along and around the streets north-west of St. Paul's Square, first illustrated on Hanson's survey of 40 years earlier, with Caroline Street occupied as far

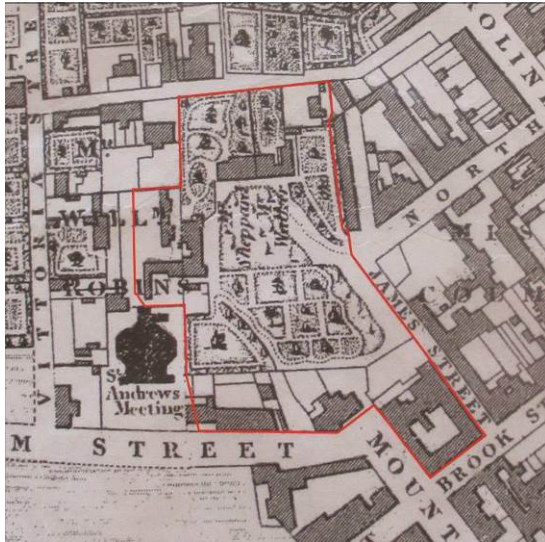
²⁹ Commemorated in a 'blue-plaque' applied (inaccurately; see Demidowicz 2021,11) to the street frontage of Deakin and Francis at 15-17 Regent Place. The house was thus in existence at the time of Kempson's and Hanson's maps, though is depicted on neither. Watt is recorded at 'Harper's Hill' in Pearson and Rollason's directories of 1780/1781 and in Pye's directories of 1788.

³⁰ Reported elsewhere: Archaeology Warwickshire, Report No. 2140, May 2021; see George Demidowicz's 'Short History of Harper's Hill House' at §.3.11-3.20 of the AW report (p.8-11) for further detail. Also, see photo inset at §.3.2.9.

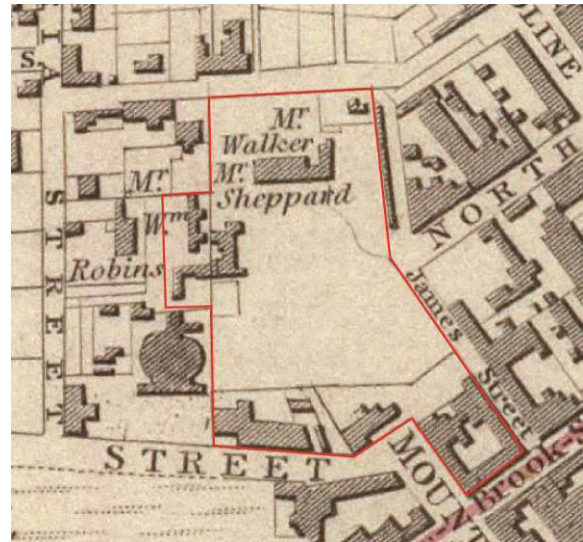
³¹ BCC Listed Building file notes.

³² Carver St., Moreton St., Tenby St., Albion St. etc.

north as Regent Place/Hall Street. Northwood Street is shown extending perpendicularly to either side of Caroline Street, c.100 yards north-west of St. Pauls Square, terminating to the west at the junction with James Street. The area bound by James Street to the east, Regent Place to the north,³³ Martin Street (later 'Vittoria Street') to the west and Graham Street (unlabelled)³⁴ to the south is shown as largely undeveloped.³⁵ Within the Harper's Hill site, the first signs of development are illustrated to the south-east, with the site of Bldg. 2 (199 Newhall Street) fronting Newhall Street, Brook Street and James Street being shown for the first time as having been built over, with later maps and directories indicating a combination of commercial and residential premises.



Detail of Pigott-Smith's survey of 1828 (surveyed 1824-5).



Detail of Henshall's map of Birmingham, 1839.

NB. Harper's Hill Site (approx.) outlined in red on both maps.

Pigott-Smith survey, 1828

3.2.8 The first map to afford a detailed view of the Harper's Hill development site (if not the buildings currently under consideration) is John Pigott-Smith's map of Birmingham of 1828, based upon survey of 1824/5 (Figure 5; detail above, left). Much of the central area of the wider Harper's Hill site was occupied by the Harper's Hill House (see above) and its associated grounds; a major east-west aligned boundary, deflecting northwards to the east towards James Street, defined the south side of the gardens (on an alignment that survived within the complex of buildings recorded in 2020). Pigott-Smith's survey confirms that the villa comprised two private dwellings, shown with an off-centre north/south aligned internal division and annotated as being in the ownership/occupation of a Mr. Sheppard (west) and a Mr. Walker (east),³⁶ also annotated on Henshall's map of 1839 (detail inset, above right). The combined property was accessed from the east via a driveway opening off the angle of James Street and Northwood Street, and was furnished with an extensive garden to the south side and smaller plots to the north, flanking Regent Place. A group of buildings to the western side of the Harper's Hill site, south-west of the villa, are understood to have been industrial ranges erected by the Sheppard family, initially used for vinegar production, though later adapted for brass cock, candlestick and bell founding, and

³³ Here labelled 'Regents Place' and shown extending eastwards from Martin Street (later Vittoria Street), the road does not extend as far as Caroline Street to the east.

³⁴ Named after General Thomas Graham who played a prominent role in the Battle of Vittoria in 1813 (Chin, nd.: <https://historywm.com/articles/vittoria-street>).

³⁵ Although, as noted above, it is known that the Harper's Hill House existed at this time.

ultimately converted to accommodate the gun-making business of Merideth & Sheppard (John Townley, *pers. comm.*).

- 3.2.9 Overlaying the boundary of the Harper's Hill development site onto Pigott-Smith's survey, the original Harper's Hill House can be seen to have lain within the footprint of Buildings 4 and 6 (113 and 117-9 Northwood Street); the building footprint was investigated archaeologically as part of mitigation works related to the current project (see inset below).³⁷ Buildings 1 and 3-13 occupied the area of the former villa gardens, while buildings 2 and 14/15 were located to the south of the main garden boundary wall, with early buildings here extant by 1828.



Cellars of Harper's Hill House exposed during archaeological investigation by Archaeology Warwickshire within footprint of Bldgs. 4/6 (image: N. Cooke, RPS Consulting).

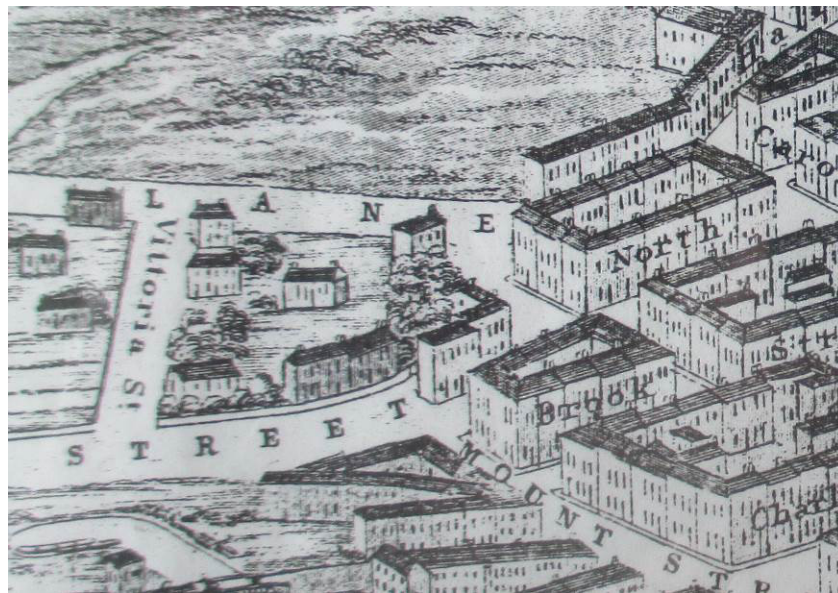
- 3.2.10 Further afield (Figure 5), fairly intensive infill development is evident within the street blocks defined by Caroline Street, Graham Street, Warstone Lane and Vittoria Street. St. Andrews Meeting House (annotated on later maps as 'Baptist Chapel') was located to the south-west, fronting Graham Street (site of the extant 'Sovereign Court') while a large house in the ownership of a Mr. William Robins lay to the west, fronting Vittoria Street. Beyond Warstone Lane to the north-west, however, development was still limited in extent, with lands annotated as being in the ownership, variously, of Sir Thomas Gooch, Colonel Vyse and WP Inge Esq., laid out largely to 'small gardens' (aka. 'guinea gardens').

³⁶ Joseph Walker is listed in Wrightson's directory of 1825 at 'Harper's Hill, St Paul's', as are Sheppard & Tart, brass and cock founders

³⁷ See Archaeology Warwickshire, 2021.

Panoramic View of Birmingham, 1847

3.2.11 A 'Panoramic View of Birmingham', published in April 1847 (inset below),³⁸ while schematic in form³⁹ and distinctly stylised in its rendering of individual buildings and structures, is nonetheless of some use in its general depiction of the site currently under consideration. As per Pigott-Smith's survey of 1828 and Henshall's map of 1939, it shows a group of street frontage buildings, arranged around a central yard, occupying the street block bounded by Brook Street, Mount Street (Newhall Street) and James Street; residential buildings are shown fronting the north side of Graham Street to the southern boundary of the site, while a free-standing house to the centre of the plot may be assumed to represent a stylised Harper's Hill House. The site is shown at the limit of the developed town, with open fields extending beyond Warstone Lane to the north.



'A Panoramic View of Birmingham', published in April 1847.

Pigott-Smith survey, 1855

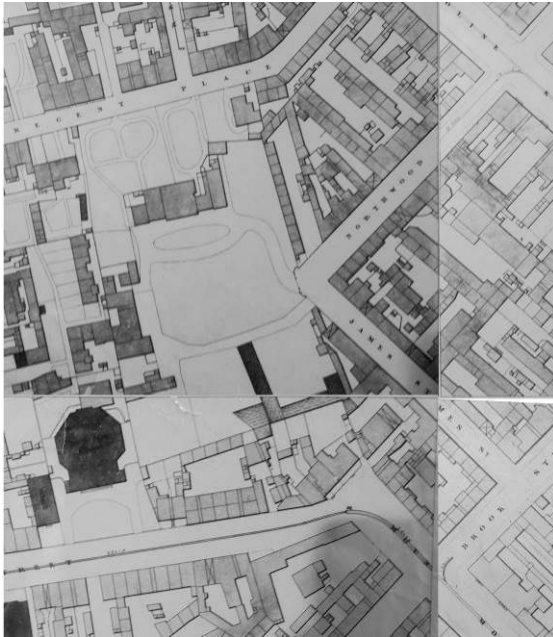
3.2.12 A further town survey was produced by Pigott-Smith in 1855 (Figure 6; inset below left), depicting the Harper's Hill site increasingly enclosed by surrounding buildings, though itself still largely undeveloped and dominated by Harper's Hill House,⁴⁰ with the industrial ranges to the south-west thereof, and the first signs of development to the south-east of the garden plot (in the form of a number of perimeter ranges around a central yard, open to the north (corresponding to Bldg. 11 of wider site – see inset plan at §.1.3.4). To the southern side of the site, beyond the major east-west boundary wall, the street frontage to Graham Street and the street block bounded by James Street, Brook Street and Newhall Street shown as having been fully developed, as per the earlier survey. Further, both sides of James Street, from Brook Street to the south to the

³⁸ Printed facsimile copy in collection of Birmingham City Archives.

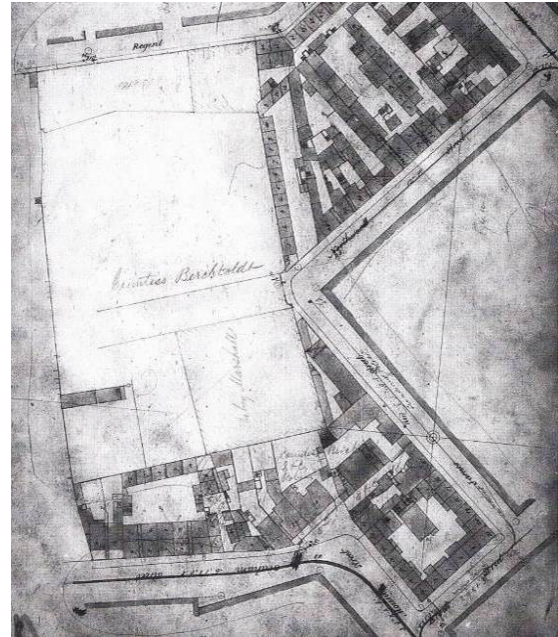
³⁹ Regent Place (road) is absent from the view, and the site is somewhat foreshortened between Warstone Lane and Graham Street.

⁴⁰ Smiles (1865, 214-5) records that, at that time, the house 'is in the countryside no longer; it is now surrounded in all directions by dense buildings, and is itself inhabited by working people'. The house was subsequently split into three units and was to be demolished in c.1875 and sold for building materials (Cattell et al 2002, 11); it is recorded that the Caretaker's House of Deakin and Francis at 15-17 Regent Place (<https://historicengland.org.uk/listing/the-list/list-entry/1392804>) may represent a surviving outbuilding of the villa.

angle with Northwood Street to the north, had been fully occupied, with a composite block of small, conjoined premises illustrated fronting the north end of the western side (corresponding to Bldg. 10 of wider site).



Detail of Pigott-Smith's map of Birmingham, 1850-55.



Ratings plan of 1870-71 (Sheet No. 275).

Ratings Plan of 1870-71

3.2.13 A ratings plan of 1870-71; Sheet 275 (Figure 7; inset above right) is somewhat ambiguous in nature, with the full area of Harper's Hill House and its associated gardens evidently 'blacked out' (evidently a secondary modification to the map), and it is pertinent that the villa itself is known to have been demolished at around the time of the preparation of this plan. The vacant site is marked, evidently as a secondary annotation, with the projected western extension of Northwood Street, beyond the junction with James Street; to the north the site is inscribed with the name 'Countess Berchtoldt',⁴¹ while the area to the south of the projected Northwood Street (east end; area of Bldg. 11) is annotated 'Jabez Marshall';⁴² the ranges marked here on Pigott-Smith's plan of 1855 are absent, however, though they are illustrated again on early edition Ordnance Survey maps (see below). The James Street frontage premises (Bldg. 10), first indicated on the 1855 map, remain in essentially unaltered form, as do the buildings to the south side of the site fronting Graham Street, Newhall Street and Brook Street.

⁴¹ Countess Berchtoldt was Matilda Strachan, the adopted daughter of the Marquis of Hertford (Francis Charles Seymour Conway), whose daughter Charlotte Leopoldina Strachan (Countess Zichy Ferraris) was left £10,000 in a codicil to The Marquis of Hertford's will secured on his 'Birmingham Estate'. On his death, Caroline Colmore's father, Charles, had stipulated in his will that if both Lionel and Caroline died without issue, then the estate should pass to his friend Francis Seymour-Conway, 1st Marquis of Hertford, or his son, also Francis. Since the first Marquis had died before Charles Colmore in June 1794 and his son in June 1822, it was not clear that the estate would automatically pass to the third Marquis, Francis Charles, after Caroline Colmore's death. In 1825, she applied to the Court of Chancery and in 1829 the Colmore estates were divided between her and the third Marquis. Caroline Colmore retained the sole and undisputed title of all of the Colmore's Birmingham estates. (A chancery dispute, Berchold v. Capon, sought to establish whether this legacy transferred to the mother following the death of the daughter; Chancery found in favour of the mother). Very many thanks to Mr. George Demidowicz for information on Matilda Stachan and her relationship to the Colmores.

⁴² Jabez Marshall Jnr. was a cooper, listed in trade directories of the early-20th century (1903-1929) at No. 110 Northwood Street (Bldg. 11).

Ordnance Survey Maps

- 3.2.14 The earliest Ordnance Survey map of the area is the 1:500 town plan of 1889 (not reproduced here), which shows the manufactory at 109 Northwood Street (Bldg.1) for the first time, labelled as '*Harper's Hill Works: Military and Naval Ornament*', on the north side of the street which had been extended westwards of the junction with James Street.⁴³ Erected in 1882 for the company of Bent & Parker to the designs of Thomson Plevins. A similar picture is afforded by the first edition 25in (1:2500) map of 1890 (Figure 9). The premises comprising the surviving street frontage block (Building 1) with a cart entrance to the westernmost bay, and with a long workshop block extending backwards therefrom, flanking the eastern side of an open yard. A second workshop range is depicted flanking the western side of the yard, with a short, eastwards return to the north end, though terminating short of the main street frontage block to the south to allow free access from Northwood Street via the cart entrance.
- 3.2.15 To the north side of the site, Nos. 37-45 had been erected on the south side of Regent Place while the site to the west of No. 109 remained undeveloped. The terrace of nine small domestic dwellings backing onto the eastern side of the Harper's Hill Works, opening onto a long yard opening off Northwood Street, is annotated as Court 13/19 on the 1:500 town plan. A series of buildings had also been erected to the south side of the extended road, within the areas of recorded Bldgs. 11-13,⁴⁴ including the Bldg. 11 ranges shown on Pigott-Smith's earlier surveys, here closed to the north by an elongated range flanking the south side of the street (Bldg. 11a).
- 3.2.16 By the time of the second edition 25in. map of 1905 (Figure 10), significant development had occurred; the line of Northwood Street had been extended to the full width of the recorded Harper's Hill site, blocked off to the west by a transverse wall at the 'court' housing of St. Helens Passage, the latter accessed via a narrow passage opening off Vittoria Street. Industrial ranges had been erected west of Bent and Parker's '*Harper's Hill Works*' of 1882, viz. Bldg. 4 (113/115 Northwood Street, for CB Partridge & Son) and Bldgs. 6a/b (117/119 Northwood Street for PG Allday and Co. and Wm. Devenport respectively).⁴⁵ To the south side of the extended road, a number of ranges had been erected within the area of Bldg. 13 (128-138 Northwood Street),⁴⁶ while the site of future Bldg. 12 (126 Northwood Street) had been cleared.⁴⁷
- 3.2.17 By the time of the 1917/18 edition 1:2500 map (Figure 11) industrial development had continued along the length of the extended Northwood Street, with new premises erected on the site of Bldg. 7/8 (originally for A. & J. Zimmerman, silversmiths, of Regent Place),⁴⁸ and the first elements of recorded ranges at Bldg. 12 and 13 (for CH Doley and Partridges Ltd. respectively).⁴⁹
- 3.2.18 By the time of the 1955 edition (Figure 12) the north and south sides of Northwood Street were fully developed for industrial purposes, annotated variously as 'Light Engineering Works', 'Electro-Plating Works' and

⁴³ Though not to the full width of the site at this stage.

⁴⁴ Structures within the area of Bldgs. 12/13 illustrated on this map are evidently unrelated to the buildings recorded in 2020.

⁴⁵ Bldg. 4 originally erected c.1890-1892, Bldg. 6a in 1892 (BBP **8680**) and Bldg. 6b c.1892-1901.

⁴⁶ Again, structures illustrated on this map are evidently unrelated to the buildings recorded in 2020, although the early ranges of the recorded Bldg. 13 are known to have been constructed around this time for Partridges Ltd. (BBP **17517**, 1902); see §.4.10.3-9 below.

⁴⁷ Bldg. 12 was developed for CH Doley, sand casters, with design drawings (BBP **17005**) dated 1902: as per Bldg. 13, the discrepancy with OS coverage implies either that construction was delayed for a number of years after submission of design drawings, or that the 1905 edition map was based upon outdated survey data. The BBP register volume for 1902 records that the buildings covered by App. No. **17005** were 'completed' in 1903, so it would appear that the latter is the case.

⁴⁸ BBP **17510** 'extension of business premises for Messrs. Zimmerman'; application dated 1903 (though buildings absent from 1904/5 edition map).

⁴⁹ BBP **17005** and BBP **17517** respectively, both submitted 1902.

'Packing Case Works'. The terrace of blind back houses opening off Northwood Street and backing onto the eastern boundary wall of the 'Harper's Hill Works' (Bldg. 1) had been removed and replaced by a further Light Engineering Works (Nos. 99-105 Northwood Street), though the 'court' housing at St. Helens Passage (site of Building 9) remained, as did that at 'Welcome Place' / 'Marlborough Place' on Graham Street (site of Building 14). No. 45 Regent Place, to the north of Bldg. 1 (demolished c.1999/2000), is labelled for the first time as a 'Jewellery Works'.

- 3.2.19 Little significant change is evident in the depiction of the current site in Ordnance Survey editions of 1970 and 1980-91 (Figure 13-14), though the former jewellery works at No. 45 Regent Place is labelled as 'Warehouse' on the latter edition, indicating a change of use from production to storage.

3.3 Birmingham Building Plans

- 3.3.1 Prior to 1876, there was no statutory obligation or requirement for developers to submit planning drawings for approval; after this date, however, plans were presented for consideration and a large number of these drawings are retained by the Birmingham City Archives in the 'Birmingham Building Plans' (BBP) collection. Deposited plans are listed in a series of annual registers, recorded by street name only. Thus, an exhaustive search of submissions for Northwood Street, James Street, Graham Street, and Regent Place was made for the date range 1876-1960, with a total of some 70 potentially relevant projects identified, as listed at §.6b. Of this total, a preliminary search revealed that in 12 cases the related drawings did not survive while, in a further four instances, surviving drawings were found to be in too poor a state of preservation to allow for consultation. Of the remaining 54 projects, 29 were found to be of direct relevance to the current project; these are noted at §.6b and are referenced in the building descriptions at section §.4 below. Extracts of pertinent drawings are reproduced, as appropriate, in the building descriptions below, with the permission of Birmingham City Archives.

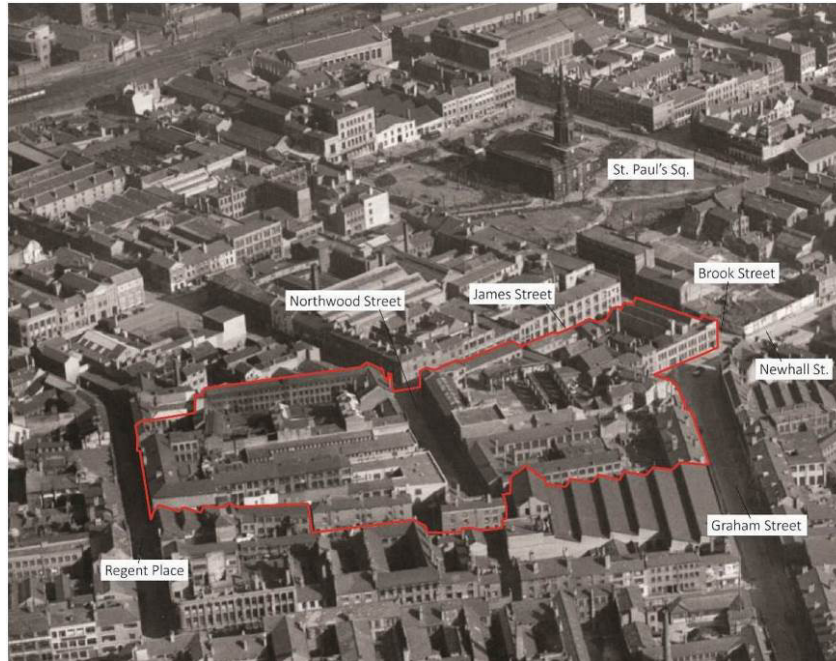
3.4 Historical Views and Photographs

- 3.4.1 Two early aerial photographs from the first half of the 20th-century,⁵⁰ provide 'bird's eye' views of the site in 1937 and 1948.



'Bird's eye' aerial photograph of Harper Hill area in 1937, looking south

⁵⁰ Britain from Above; image refs. EPW053098 (1937) and EAW013562 (1948).



'Bird's eye aerial photograph of Harper Hill area in 1948, looking south-east

3.4.2 Aerial photographs will be discussed in more detail, as appropriate, with respect to individual buildings and structures at section §.4 below.

3.5 Historical Trade Directories

3.5.1 A review of historical trade directories has revealed the pattern of evolving occupation of many of the constituent buildings of the Harper's Hill site; listings are presented in tabulated form at **Appendix C** below and are referenced, where applicable, in the building descriptions presented at section §.4. In summary, the first listed occupation of the recorded component ranges of the site are as follows:

Northwood Street (North Side)

Bent & Parker (Bldg. 1/3), recorded from 1888; CB Partridge & Son (Bldg. 4) and William Devenport (Bldg. 6b) from 1903; PG Allday (Bldg. 6a) from 1904, S Blanckensee & Son (Bldg. 7/8) from 1947.

Northwood Street (South Side)

CH Doley (Bldg. 12) from 1904; Partridges Ltd (Bldg. 13) from 1928; Gosling & Son (Bldg. 11) from 1930.

Regent Place (South Side)

AJ Zimmerman (Nos. 19-35, later part of rebuilt Bldg. 6)

3.6 Published Sources

3.6.1 None of the buildings currently under consideration were covered by English Heritage's area survey presented in *'The Birmingham Jewellery Quarter: An Architectural Survey of the Manufactories'* (Cattell et al., 2002).

3.7 Associated Companies

3.7.1 The wider Harper’s Hill site has historically been associated with two major companies, viz. AE Harris and Co. (Birmingham) Ltd. and Baker and Finnemore Ltd. AE Harris and Co. first moved to Northwood Street in 1964, when they purchased Nos 128-138 (Bldg. 13), and ultimately amalgamated Bldgs. 1 and 3-13 under common ownership. Baker and Finnemore Ltd. have a longer history on the site, acquiring and developing the site of Bldg. 2 from 1911 on and later expanding into Bldgs. 15a-c. A brief summary of A.E. Harris and Co. (Birmingham) Ltd. is given below; other companies associated with individual buildings, where known, are presented with the pertinent building descriptions at section §.4 below.

A.E. Harris and Co. (Birmingham) Ltd.

3.7.2 AE Harris was established as a partnership between brothers-in-law Albert E. Harris and Howard J. Luckock in 1880, the company being incorporated in 1929.⁵¹ In its early days, the firm manufactured ‘fancy’ jewellery, based first in a small workshop premises in Graham Street and, from 1889, at a larger factory at 95 Camden Street, Hockley, purchased for the sum of £300 (Anon. 1980., 7), where they remained for many years.

3.7.3 The company first relocated to larger premises in Northwood Street in 1964 when they acquired the factory buildings at Nos. 128-138 (Bldg. 13). Under the directorship of Russell G. Luckock, the founder’s grandson, the 1970s and 1980s witnessed further expansion and development, leading to the sequential acquisition of neighbouring buildings in Northwood Street⁵² such that by 1999 the whole of Buildings 1, 3-13 within the current application site were in Harris’s ownership/occupation. The sequence of A.E. Harris’s acquisition can be summarised as follows:⁵³

Bldg. No.	Address	Date of purchase	Purchased from
13	128-138 Northwood Street	1964	Partridges Ltd.
1/3	109 Northwood Street	c.1968/72	From liquidators of FanDisc
7/8	123 Northwood Street	early-1970s	Alldays (Windows)
12	124 Northwood Street	late-1970s/early-1980s ⁵⁴	Doleys (sandcasters)
10/11	110-118 Northwood Street 10-12 James Street	mid- to late-1980s	Goslings (case makers)
4/5/6	113-119 Northwood Street	late-1980s/early-1990s	‘Mr Abbott’
9	125 Northwood Street	mid-1990s ⁵⁵	Birmingham City Council
14	Graham Street	2015	Never occupied by Harris’s

Table 2:
Sequence of acquisition of Harper’s Hill site by AE Harris & Co. Ltd.

4 SITE AND BUILDING DESCRIPTIONS

4.1 General Site Arrangements

4.1.1 The application site extends to a total area of c.1.48ha and is centred on NGR SP 06275 28750, located in the heart of Birmingham’s Jewellery Quarter, north-west of the city centre (Figure 1). The site is bordered by Regent Place to the north, James Street to the east, Brook Street and Graham Street / Newhall Street to the south and by properties fronting Vittoria Street to the west (Plates 1/2). Northwood Street bisects the site, aligned approximately east-west (Plates 3/4). The wider site incorporates a significant drop in elevation from

⁵¹ <https://www.aeharris.co.uk/about/heritage>; for early history of company, see also ‘One Hundred Years of Enterprise’ (Anon., 1980).

⁵² Including premises formerly occupied by, *inter alia*, WH Gosling and Son, Jones and Jason Ltd. and Charles Doley.

⁵³ RG Luckock, *pers. comm.*

⁵⁴ Harris largely remodelled the range from GF/1F up.

⁵⁵ Site purchased mid-90s, used as car park; developed 2000/1.

north-west (141m AOD at Regent Place) to south-east (131m AOD at junction of Brook Street/Newhall Street), in particular to the south of Northwood Street (see Figure 16c), the latter most readily apparent to the James Street frontage (Plates 5/6), and clearly evident after the majority of the buildings had been removed (see inset below).



Harper's Hill site (south of Northwood Street); panoramic view looking south-east following demolition of majority of buildings showing significant drop away of ground level from Northwood Street (left) to Newhall Street / Graham Street (right); photographed 21.09.2021.

- 4.1.2 At the time of fieldwork (July to October 2020), the wider application site was largely built over, comprising street frontage ranges together with related back-buildings and associated yards; the site extended to 15 discrete building units / complexes of various dates, ranging from the late-19th century through to the later 20th century (see key plan inset below; Figure 15).
- 4.1.3 The current report pertains to 13 of the recorded buildings, viz. buildings 4 to 15; listed buildings 1/3 (109/111 Northwood Street) and 2 (199 Newhall Street) are reported separately.⁵⁶ Buildings will be addressed sequentially, in numerical order.

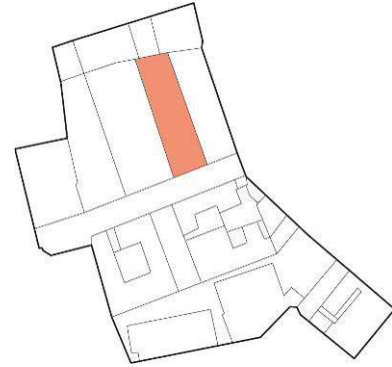


Harper's Hill site: key plan.

⁵⁶ Tyler 2022a and 2022b respectively.

4.2 BUILDING 4: 115 Northwood Street

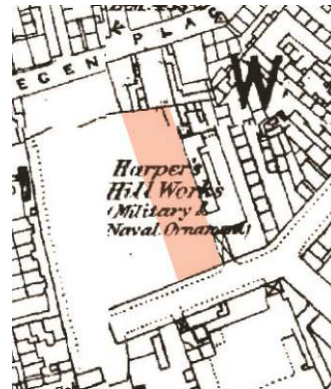
Street Address	113/115 Northwood Street
NGR:	SP 06276 87518
Record Level:	1
Date:	Late-20 th century
Function:	Industrial warehouse
Key Sources:	OS Maps; Aps; BBP 11085 / 19856 ; later planning applications; trade directories; site survey and observation



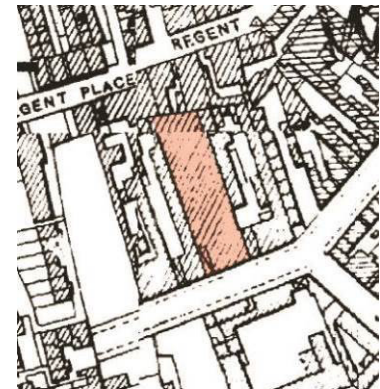
4.2.1 **Building 4** (Nos. 113/115 Northwood Street) was located to the north side of Northwood Street, immediately west of the Grade II listed Nos. 109-111, the 1882 'Harper's Hill Works' of Bent & Parker Ltd.,⁵⁷ it was centred on NGR SP 06276 87518. The site is depicted on Pigott-Smith's map of 1828 (below left) as having lain within the grounds of Harper's Hill House, with the villa itself extending into the northern part of the extant building footprint (see inset at §.3.2.9 above). The villa was demolished in c.1875 and the first edition Ordnance Survey map of 1890 (below centre) shows the plot (adjacent to the west of the 'Harper's Hill Works') as vacant; the second edition OS map of 1905 (below right), however, shows the plot as fully developed, together with Nos. 117-119 (Bldgs. **6a/b**) to the west.



Bldg. 4 overlaid onto 1828 map.



OS map of 1890 (site vacant).



OS map of 1905 (site fully developed).

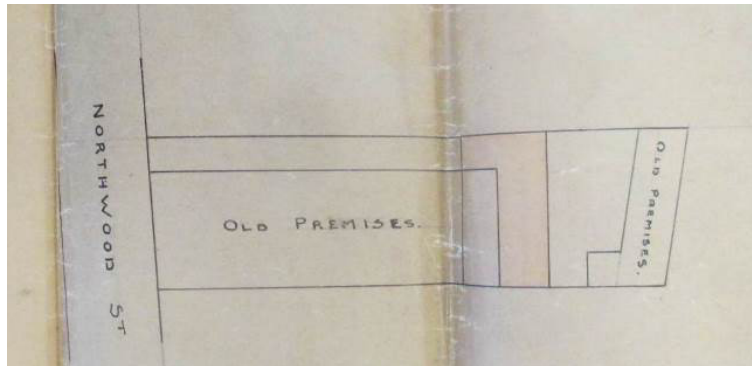
Development

4.2.2 The precise date of the earliest buildings on the site of Bldg. 4 has not been established, though available evidence indicates that they must have been constructed between c.1890 (when the site is shown as vacant on the first edition OS map) and 1892, when deposited drawings for the adjacent plot (Bldg. **6a** for PG Allday; BBP **8680**; see below) illustrate the extension of existing works for C.B. Partridge and Sons (nickel platers). A set of drawings for 'manufacturing shopping etc.' by Essex and Nichol are listed in the BBP registers at Birmingham Archives (BBP **8278**), dated October 1891, though are sadly not in a state of preservation suitable for

⁵⁷ See Tyler 2022a.

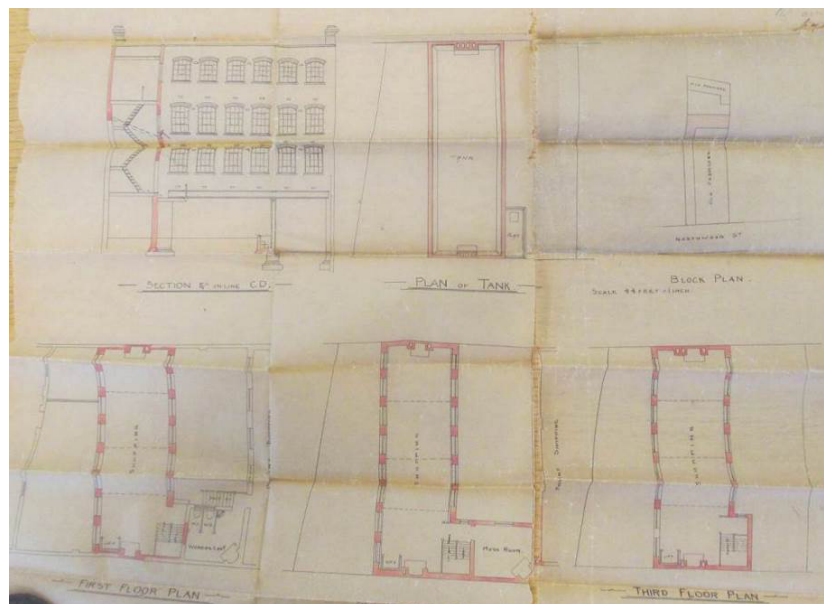
consultation; given that the firm of Essex and Nichol were retained by Partridges to prepare the 1895 extension plans (BBP **11085**), however, it is possible that the 1891 drawings relate to the initial street frontage and shopping ranges of No. 113, though this cannot be verified.

- 4.2.3 A block plan included with the 1895 designs (inset below) clearly indicates the street frontage and shopping ranges that had been erected over the southern part of the site, and to the northern site boundary,⁵⁸ prior to 1895, both these areas being annotated as 'old premises' (though evidently less than five years old).



Block plan included on 1895 plans (BCA; BBP **11085**) illustrating 'old premises' (north to right).

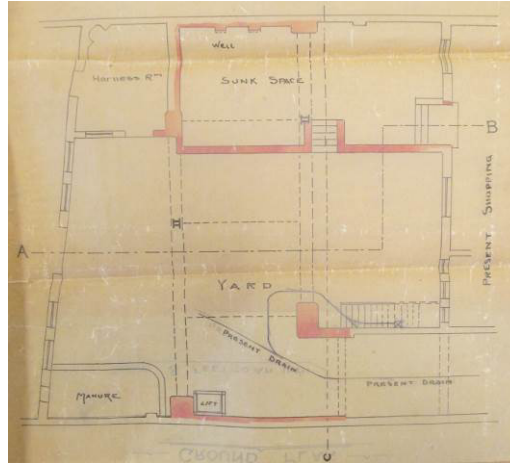
- 4.2.4 Deposited plans (BBP **11085**; inset below) detail the introduction of a transverse range of shopping, aligned across the site towards the northern end, arranged over three storeys, with a roof-level tank, raised above the extant yard and served by the existing access passage flanking the western side of the site. The range was of six window bays, lit at each of the upper levels by segmental headed window to both north and south, each storey comprising an unencumbered workshop space, heated by fireplaces to east and west. A short return to the west end of the south elevation housed a 'dog-leg' access stair, together with women's WCs (1F) and a mess room (2F).



Design drawings for extensions to existing works for CB Partridges, dated 1895 (BCA; BBP **11085**).

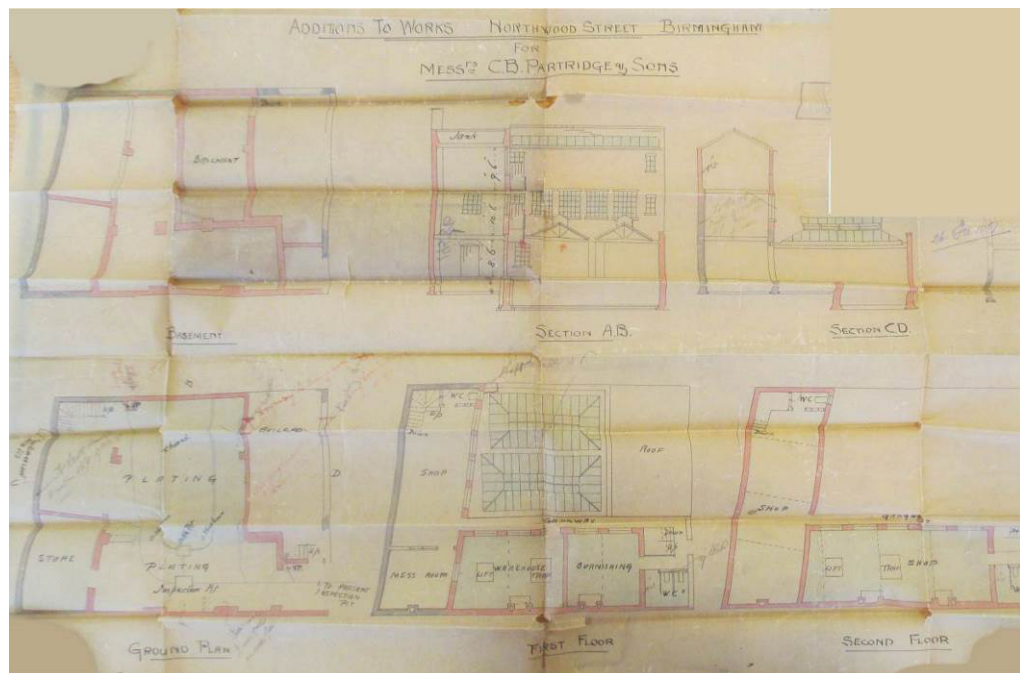
⁵⁸

The latter backing onto premises fronting Regent Place.



Extensions to existing works; GF plan (BBP 11085).

- 4.2.5 The ground floor plan (inset above) indicates a manure store and harness room adjacent to the pre-existing, rear transverse range, clearly suggesting that the latter comprised/incorporated a stables; design drawings of 1907 (see below) indicate that the rear transverse range was originally of a single storey.
- 4.2.6 A further set of drawings of 1907 (BBP 19586; inset below) detail 'additions to the Northwood Street premises of CB Partridge & Sons.' Modifications comprised the modification of the rear transverse range, assumed to have originally housed a stables (see above), to house a plating shop and stores, with the addition of two new floor over (shopping and 1F mess room) with internal stair access. A perpendicular range of three storeys was introduced to the west side of the yard, with a plating shop to GF, burnishing room and warehouse to 1F and shopping to 2F; upper floors were served by external 'gangways' flanking the east elevation. The former open yard to the south was covered over to form a plating shop with fully pitched, glazed roofs with ridge vents.



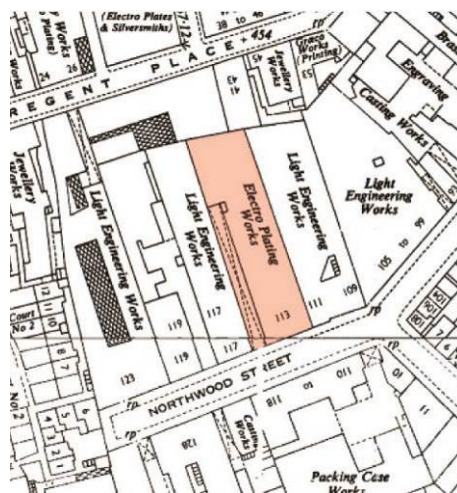
Additions to Northwood Street Works for CB Partridge & Sons, 1907 (BBP 19586).

- 4.2.7 The oblique aerial photograph of 1948 (detail below) illustrates a complex group of buildings occupying the site of the extant range, with a two-storey, pitched-roof range street frontage range flanking Northwood Street (evident as a 'shadow' on the surviving west elevation of Bldg. 1; Plate 11) and three further transverse ranges of three/four storeys extending across the site; the central of these transverse ranges corresponds to the 'extension' of 1895 (BBP **11085**, above), the northern to the original stables, raised to three storeys in 1907 (BBP **19586** above).

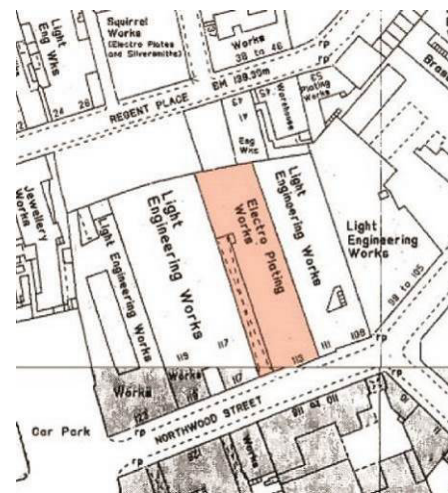


Detail of 1948 aerial photograph showing two-storey street frontage block and transverse shopping ranges.

- 4.2.8 Later OS maps (inset below) illustrate the building plot as fully developed, with no differentiation between individual structures within the overall footprint, though including a long, covered access passage to the western side of the plot. The site is annotated as an 'electro-plating works' on OS editions of 1955 through to 1980. It is unclear as to when exactly the original/early buildings were removed, though two historical planning applications *viz.* **C/03999/009** of November 1989 (for Jones and Jason Ltd.) and **1996/01376/PA** of April 1996 (for AE Harris & Co. Ltd.) for the 'rebuilding of the central area of existing premises and improvements to a 2-storey office building for use of existing anodising establishment' and the 'demolition of existing dilapidated buildings and construction of new industrial workshop' respectively are clearly relevant,⁵⁹ the recorded street elevation is included on submitted planning drawings of February 1998 for the remodelling of No. 119 Northwood Street (Bldg. **6b**).⁶⁰



OS map of 1955 (detail).



OS map of 1980 (detail).

⁵⁹ The implied two-stage modification reasonably accounts for the bi-partite structural division of the recorded range (see §.4.2.12).

⁶⁰ 1998/00634/PA.

Historical Occupation

- 4.2.9 Early directories (Kelly; 1895/1901) record C.B. Partridge and Son (metal platers) to the 'south side' of Northwood Street (**Appendix C.2**);⁶¹ this is somewhat ambiguous, as it has been established that Partridges had erected (and already extended) the premises at Nos. 113/115 to the north side of the street by the earliest of these dates (?1891). That Alldays, who are known to have erected premises to the north side of the street in 1892 (Bldg. 6a; Nos. 117/119), and Devenport's are also listed to the 'south side' of the street in the same directories thus suggests an error in listing. From 1903 on, directories record Partridges (nickel platers), a limited company from 1910 on, to the 'north side' of Northwood Street (**Appendix C.1**),⁶² at premises adjacent to Bent & Parker's Harper's Hill Works' (Building 1). Early listings do not include a street address, though No. 115 is included from 1910 and later (from 1928) Nos. 113/115 are cited.
- 4.2.10 Partridges diversified into screw-making in the early-20th century, for which they established further, separate premises from c.1902/3 at Nos. 128-138 on the south side of Northwood Street (Bldg. 13; see §.4.10). C.B. Partridge and Sons Ltd., later 'Partridges Ltd.', continued to be listed at Nos. 113/115 Northwood Street in directories down to 1940, after which the premises were occupied by the Jason Plating Co., nickel platers (1942-1973), in association, from 1948-1964, with Jason & Jason Ltd. (stampers and piercers), the latter presumably a related subsidiary, being listed at No. 113. No information has been identified regarding either of the latter companies. 'Jones and Jason' were still in occupation in later 1989, when the application for partial rebuilding was submitted to BCC (§.4.2.8) though the site, together with adjacent Nos. 115/117 (Bldg. 6), were acquired by AE Harris and Co. Ltd. in the early-1990s, reportedly purchased from a certain 'Mr Abbott' (RG Luckock, *pers. comm.*). The recorded street frontage was erected in 1996 by AE Harris & Co. Ltd. (**1996/01376/PA**; §.4.2.8).

Description

- 4.2.11 The recorded range comprised a simple, pitch-roofed range extending back from Northwood Street to abut the back elevation of Building 5 (37-9 Regent Parade), the latter a range of mid-20th century date (post-1948). The southern elevation to Northwood Street (Figure 17; Plates 9/10) was brick-built in orange/red brick laid to a regular stretcher bond above a blue-brick, chamfered plinth (English bond, significantly lower to the east) rising to a blue-brick band of stretchers on end and a concrete coping. The gable was broken to the centre above a central roller door, above which the elevation was set back slightly, simply clad in vertically-set profiled aluminium sheeting. A pedestrian doorway opened to the west (left) while high-level, sunken square panels bordered in chamfered blue-brick were symmetrically disposed to east and west of the main door, affording a modicum of architectural detailing.
- 4.2.12 Internally, the range was broken down into two parts, though forming a single unified space. It was of 12 bays (here numbered 1 to 12 from south to north; Figure 18), standing 4.52m to eaves and 7.35m to ridge; floor level was set c.0.8m above exterior street level, with the interior being approached by a gently sloping ramp at Bay 1. Bays 1 to 3 to the south were formed of a simple portal-framed structure (Figure 19a; Plate 12) with RSC stanchions set out at 7.6-8m centres. The northern bays were distinct, formed of 3.65m/12ft. bays with

⁶¹ An entry in the *London Gazette* of 1st March 1887 records that C.B. Partridge and Sons was originally a partnership between Charles Bolingbroke Partridge and his three sons, Charles Harold, William John, and Paul Campbell Partridge. The company, formerly working out of premises known as the 'Forward Nickel Plating Works' at 12 New Bond Street, Birmingham, was dissolved in respect of C.B. Partridge from that date, and was to be carried on by the three sons, initially at the same premises. Partridges are listed at 11-12 New Bond Street in Kelly's directories down to 1892, after which the latter premises were occupied by George Witham, cabinet maker, and John Giles & Sons, nail manufacturers and Partridges became established in Northwood Street.

⁶² Together with PG Allday & Co. and William Devenport.

encased steel columns supporting steel 'Fink' trusses of 'double-inverted' form with full, slightly cambered lower chord and central king-bolt/rod (Figure 19b; Plate 13). The two-part form of the building's construction may reasonably be accounted for by the recorded sequential rebuilding of the central and southern sections of the range in the late-1980s/mid-1990s (§.4.2.8 above). Openings had been formed to the eastern and western walls at Bay 3 (Plate 15), communicating with buildings 3 and 6 respectively, while a wide opening had been formed in the north wall (Plate 16), communicating with Building 5, all introduced as the ranges came under common occupation in the later 20th century. The west wall of Bays 1-4 were furnished with a chamfered plinth (Plate 18), reflecting its origin as a principal property boundary (see block plan at §.4.2.3), though elsewhere, much of the lateral walls had been refaced in concrete blockwork, obscuring any historical features.

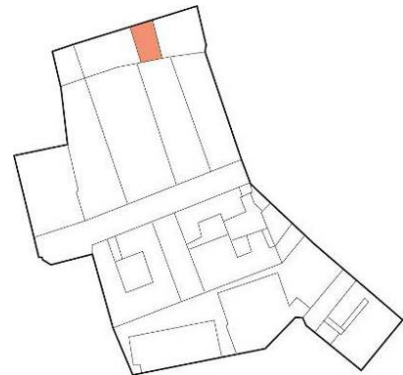
- 4.2.13 Historical fabric pre-dating the two-stage rebuilding of the range in the late-20th century was confined largely to the two longitudinal boundary walls flanking the site to east and west, though it is of note that the brick-built north gable end included a blocked, arched opening (Plates 16/17) reasonably related to the early ranges erected by C.B. Partridge & Sons in the late-19th century.

Assessment

- 4.2.14 As one of the later buildings within the wider Harper's Hill site, Building 4 was of strictly limited historical interest and negligible architectural merit. The survival of historical fabric was limited, though the features of the north wall were of note. The interest of the site lies largely in its precursor ranges, evidenced only by documentary sources, and its former relationship to Harper's Hill House, the latter having been investigated by excavation/evaluation as part of archaeological mitigation measures related to the consented development.

4.3 BUILDING 5: 37-39 Regent Place

Street Address	37-39 Regent Place
NGR:	SP 06270 87552
Record Level:	2
Date:	Mid-20 th century
Function:	Industrial warehouse
Key Sources:	OS Maps; APs; trade directories; site survey and observation



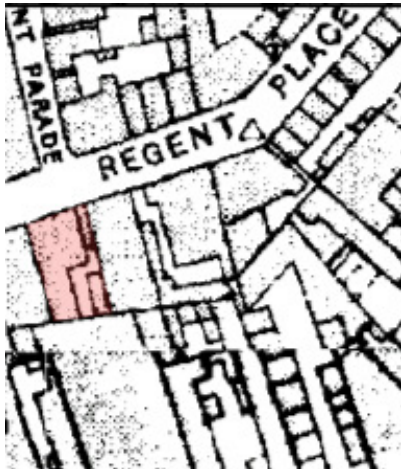
- 4.3.1 **Building 5** (Nos. 37/9 Regent Place) was located to the south side of Regent Place opposite the junction with Regent Parade (Plate 19); it was centred on NGR SP 06270 87552. It comprised a small, two-storey industrial workshop range, stylistically of mid-20th-century date, and had been removed significantly from its historical 'streetscape' context by the demolition of Nos. 41-45 Regent Place to the east in 1999 (ref. 1999/01654/PA)⁶³ and the introduction of Building 6 to the west, the latter comprising a pair of parallel, utilitarian workshops

⁶³ Bldg. 5 was included in the consented, 1999 application, though it was never demolished and the replacement workshop range never erected.

extending through from Northwood Street to the south (Nos.117/119), whose construction involved the removal (pre-1980) of Nos. 19-35 Regent Place.

Development

- 4.3.2 A review of historical Ordnance Survey mapping indicates that the site of the recorded Building 5 has been occupied since at least 1890 (Figure 9) though, unfortunately, no archival planning materials have been identified during research related to the current project for the precursor buildings pre-dating the recorded range.



Precursor ranges to Building 5 as depicted on OS edition of 1917-27 (left; highlighted) and AP of 1948 (right).

- 4.3.3 Both Ordnance Survey mapping on 1917-27 (inset above, left) and aerial photographic records of 1948 (inset above, right) indicate ranges of a significantly different form to the recorded building, with the latter image showing a pitched-roof range flanking Regent Place, and it thus seems likely that the recorded range was erected in the early to mid-1950s,⁶⁴ which would correspond with the building's architectural style and may possibly reflect a change in occupation of the site (see below).

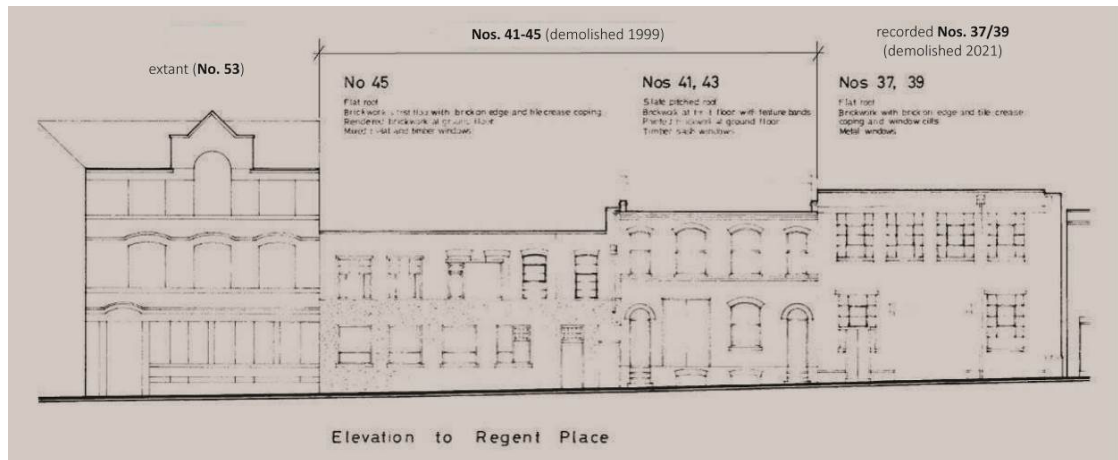
Historical Occupation

- 4.3.4 The street address of 37/39 Regent Place were occupied in the late-19th century by A & J Zimmerman (merchants) and Buckley Brothers (gilders) respectively, though this clearly does not relate to the premises as recorded. By 1900, Zimmermans had relocated to 19-35 Regent Place to the east (rear part of site occupied by recorded Building 6),⁶⁵ though Buckleys continue to be listed at 37/39 as late as 1935 (**Appendix C.3**). Trade directories of the mid-20th century do not list Nos. 37/39 specifically, with properties east of Deakin & Francis (Nos. 15-17) up to No. 41 being recorded as occupied, from 1960, by the British Hub Co. Ltd., a manufacturer of cycle hubs and brakes. Previously operating out of premises at the 'Clyde Works' in Weaman Street, Birmingham, a series of employment advertisements of 1955 (Birmingham Daily Gazette, *passim*.) place the

⁶⁴ A distinctly different plan is indicated on the Ordnance Survey plan of 1955 (Figure 12).

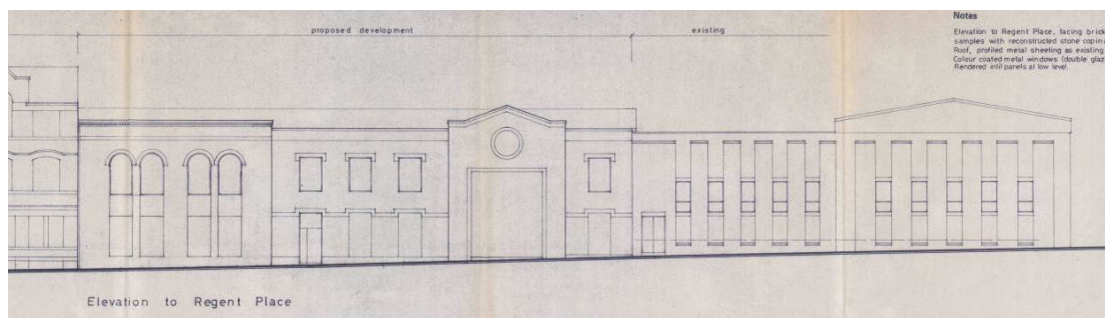
⁶⁵ Later expanding into Building 7.

British Hub Co. at 'Regent Place' (no street number given).⁶⁶ The architectural style of the recorded Building 5 is broadly in accordance with this date, and it is thus possible that the site was remodelled for the British Hub Co. Ltd. on their transfer to the site. It is understood that the range was acquired by AE Harris and Co. in the late-1980s/early-1990s (R.G. Luckock, *pers. comm.*), together with Buildings 4 and 6 (113/115 and 117/119 Northwood Street). The adjoining buildings at 41-45 Regent Place were demolished in October 1999 as part of a proposed development of Nos. 37-45 (1999/01654/PA: see inset below).



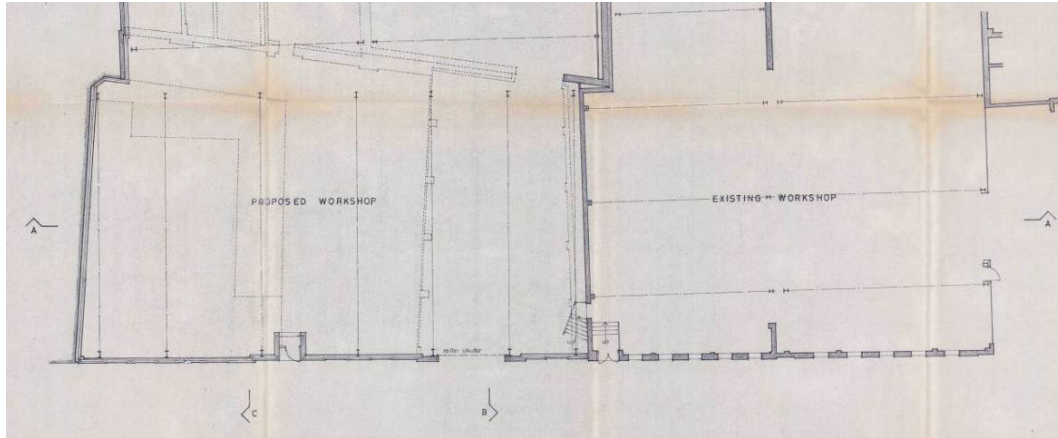
Extract of drawing accompanying planning application showing street elevation 'as existing' in 1999; Bldg. 5 to right.

- 4.3.5 Nos. 37/9 were also included in this proposed development (see insets below), but were ultimately left in place, and the replacement workshop range detailed in submitted plans was never erected.



Proposed street frontage to Regent Place (planning ref. 1999/01654/PA); not realised. (extended Bldg. 6 'as existing' to right).

⁶⁶ Trade advertisements (https://www.gracesguide.co.uk/British_Hub_Co) and contemporary directories (**Appendix C.1**) also place them at 123 Northwood Street (Building 7), where they remained as late as 1973/4, suggesting they had taken over the wider premises originally occupied by A & J Zimmerman / S Blanckensee & Son.



Proposed ground plan of remodelled 37-45 Regent Place (planning ref. **1999/01654/PA**); not realised (extended Bldg. 6 to right).

Description

- 4.3.6 The north elevation to Regent Place (Figure 20a; Plate 20) was simple and purely functional in aspect, brick-built in pale orange/red brick laid to a regular Flemish bond of two storeys, rising above a chamfered, blue-brick plinth to a flat parapet, and of four window bays. A roller door [d1], assumed original, opened to the interior at the centre of the ground floor, flanked by single window openings to east and west, that to the east with a secondary pedestrian doorway [d2] inserted (Plate 22); the upper floor incorporated four regular window openings [w2-5]. Windows were Crittall-type steel casements (Plate 21), set flush to the elevation beneath flat, exposed-concrete lintels (common lintel at 1F level) and furnished with projecting brick/tile cills. To the right hand (west) side of the elevation, a relic brick pier above a chamfered brick plinth (Plate 23) presumably represents a relic survival of the precursor range on the site.
- 4.3.7 The east elevation (Plate 24), rising above an adjacent vacant yard (site of former Nos. 41-45 Regent Place), was more complex in nature, the lower section comprising relic fabric from pre-cursor buildings with evidence for various features related to the ranges removed in the late-20th century (Plates 25/26),⁶⁷ and the 'ghost', to the centre/south, of a four bays of a saw-tooth profile 'north-light' roof, formerly covering a single-storey structure. First floor walling, by contrast, was integral to the reconstructed Building 5, the rough quality of pointing indicating that it was built up, at least in part, against pre-existing ranges. Towards the central/southern section of the range, an angle roof-light of Georgian-wired patent glazing lit the interior first floor, flanked to north and south by areas of white, glazed brick (Plate 27).
- 4.3.8 Internally, the range comprised, essentially, a single unencumbered workshop space of five bays at each floor level, backing onto an angled wall to the south, the latter representing the relic boundary wall with the precursor range to the recorded Building 4. It was accessed from Regent Place to the north and from Building 4 to the south via an inserted doorway. At ground floor level (Figure 21a; Plates 28/29) a small stair (B), roughly constructed in steel with timber treads (Plate 30), had been introduced to the north-east corner, enclosed by ephemeral studwork partitions [G2] (Plate 31) and accessed from the exterior via secondary door [d2] of the street frontage, while to the south, a wide opening had been formed in the south wall affording through access to adjacent Bldg. 4 (Plate 32), reflecting the amalgamation of properties under the common ownership/occupation of AE Harris & Co. (Birmingham) Ltd. in the late- 1980s/early-1990s. Otherwise, the

⁶⁷ *Inter alia*, wall-box for line-shafting (Plate 25), arched fireplace/hearth (blocked) within projecting chimneybreast (Plate 26), 'keying in' for perpendicular wall and scar of a former staircase.

workshop space [G1] was unencumbered, with the first floor over supported on four transverse RSJs (boxed in) carrying timber common joists (9 x 3in. @ 16in. centres; Plate 33). The principal means of vertical communication was via a straight-flight, timber stair (A) rising from north-south against the western wall (Plates 34/5).

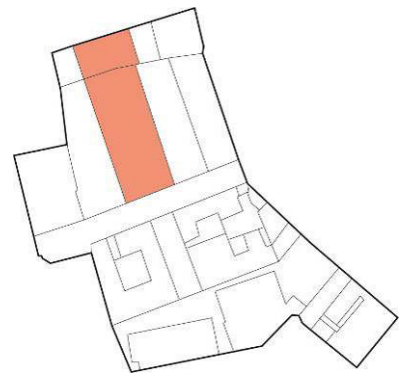
- 4.3.9 The first floor (Figure 21b; Plates 36/7), again largely a single unencumbered space [F1], was generously lit by a pitched roof-light over and by the sloping wall of patent-glazing to the east (Figure 20b; Plate 38). The four windows of the north elevation had been partly obscured by the introduction of a series of ephemeral partitions (Plate 36) enclosing a number of small rooms [F2-4] (top of stairwell B; office; toilets respectively). A floor void (covered over) to the north-west corner (Plates 39/40) formerly served a vertical hoist-drop, with an angled RSJ over set into the brickwork of the north and west walls (Plate 41).

Assessment

- 4.3.10 Building 5 comprised a simple, utilitarian workshop range, characteristic of mid-20th century development within the wider Jewellery Quarter (see Building 7b within the Harper's Hill site, for example), and was thus of limited historical significance or architectural merit (though the pitched roof-light and patent-glazed walling at first floor level represented features of interest), exacerbated by the fact that it had been largely removed from its historical 'streetscape' context by the demolition and/or replacement of adjoining properties to east and west in the late-20th century.

4.4 BUILDING 6: 117 and 119 Northwood Street

Street Address:	117 and 119 Northwood Street
NGR:	SP 06265 87529
Record Level:	1/2
Date:	Late -20 th century (incorporating earlier fabric)
Function:	Industrial workshops/warehouses
Key Sources:	OS Maps; APs; BBP 8680 / 12809 / 16031 / 25847 / 76657 / 79381 / 90996 ; trade directories; site survey and observation

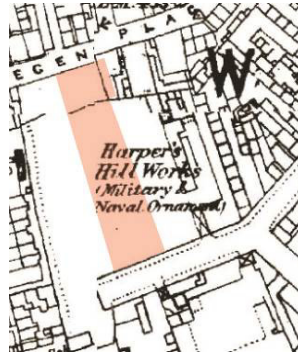


- 4.4.1 **Building 6** (Nos. 117/119 Northwood Street) was located to the north side of Northwood Street, midway along the section of road included within the Harper's Hill site, centred on NGR SP 06265 87529. It incorporated two historical street addresses, viz. 117 and 119 Northwood Street, here designated **6a** and **6b**, originally developed for different companies, P.G. Allday and William Devenport respectively, though subsequently under common ownership/occupation (Alldays, subsequently AE Harris & Co.). The historical sub-division was reflected in the plan form of the ranges as recorded, though both had been largely redeveloped in the later 20th century, save the street frontage of **6a**, which survived at ground floor level. It was flanked to the east by Bldg. **4**, a utilitarian

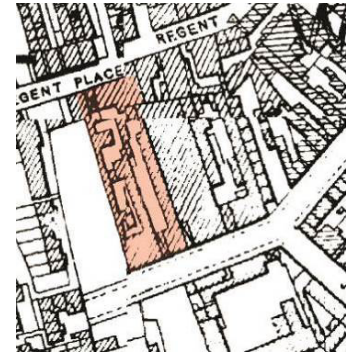
workshop range of c.2000 and to the west by Bldg. **7a**, a mid-C20th office range (1945) with attached, early-20th century (**7b**; 1903) workshop range (flanking west side of No. 119) and covered yard (**8**) of c.1990.



Bldg. 6 overlaid onto 1828 map.



OS edition of 1890.



OS edition of 1905 (Bldg. 6 marked).

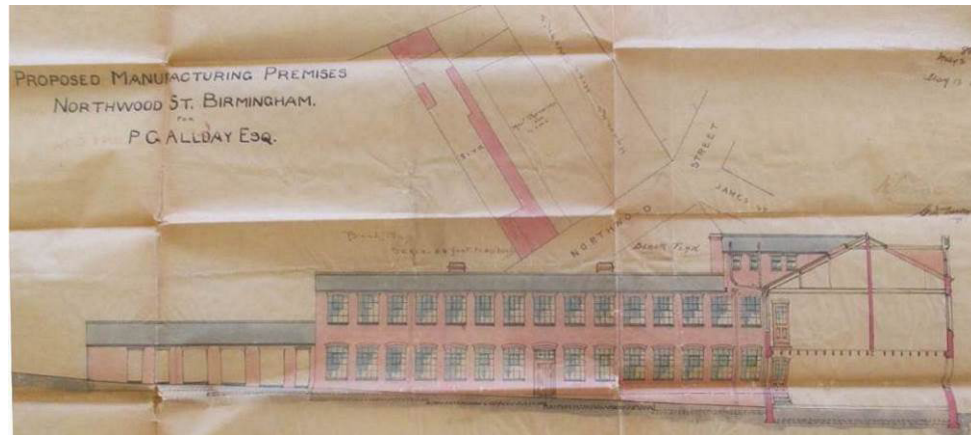
Development

- 4.4.2 At the time of Pigott-Smith's map of 1828 (above, left) the site of the future Bldg. **6** lay within the grounds of Harper's Hill House, with the villa itself extending across the central section of the building footprint. The villa was demolished in c.1875, and the first edition Ordnance Survey map of 1890 (above centre) shows the plot (west of the 'Harper's Hill Works' of 1882) as vacant; the second edition OS map of 1905 (above right), however, shows the plot as fully developed (together with No. 113; Bldg. **4**), comprising two distinct street blocks (Nos. 117/119) extending from Northwood Street to the south to abut the rear of properties fronting Regent Place (Nos. 19-35), occupied by a composite collection of buildings around a series of yards.

Bldg. 6a (117 Northwood Street)

- 4.4.3 Deposited drawings in the BBP collection of Birmingham Archives indicate that the first buildings within the area of **Bldg. 6** (viz. No. 117 Northwood Street; **6a**) were erected in the late-19th century for P.G. Allday Esq.,⁶⁸ with drawings (BBP **8680**) prepared by Essex and Nichol, architects, of 8 Newhall Street Birmingham (see 5.3) dated May 1892, the date being incorporated in the decorative doorhead of the recorded range (Plate 45). Original designs comprised a two-storey street frontage range with utilisable attics, with an extended, narrow workshop range to the north thereof, variously one, two and three storeys, flanking the eastern side of the rear yard, the latter also accommodating two conjoined, single-storey casting shops set transversely to the north end, and a pattern room against the western boundary wall. The overall plan arrangements show a notable similarity to Thomson Plevins' 'Harper's Hill Works' of 1882 for Bent & Parker at 109-111 Northwood Street (Bldg. 1 of the Harper's Hill site).

⁶⁸ PG Allday and Co. (brass founders) are first recorded to the north side of Northwood Street in Kelly's directory of 1904 (no street number given, but following on from following on from Bent & Parker, and Partridges Ltd. and thus No. 117). Previous listings (1895/1901) to the 'south side' of the street (see **Appendix C.2**) appear somewhat ambiguous, but it would appear that a number of companies were incorrectly listed. The 'Board of Labour Trade Gazette' of 1915-18 lists Alldays at Nos. 117/119, at which time they were involved in metal badge production.



Design drawings; cross-section of street frontage range and yard elevation of shopping (BBP **8680**).

- 4.4.4 The street frontage range was of two storeys beneath a pitched and gable roof, the latter incorporating usable storage space. The southern (street) elevation (below, left) was of five window bays arranged on a 1/3/1 pattern with, at ground floor, a pedestrian door to the east (right) and cart entrance way to the west (left), flanking three segmental-headed windows to the centre. The ground floor section of the street elevation survived at the time of survey related to the current project (Plate 44; see §.4.4.23), including an ornately carved, pedimented doorhead with the initials 'PGA' and dated 1892 (Plate 45). First floor level, defined by a horizontal string course, incorporated segmental-headed windows arranged on the same 1/3/1 pattern while a moulded dormer rose above eaves level to the central bays, housing a tri-partite window lighting the attics. Detailing to the rear (yard) elevation (below, right) was simpler, with segmental-headed window openings housing cast-iron multi-pane frames.



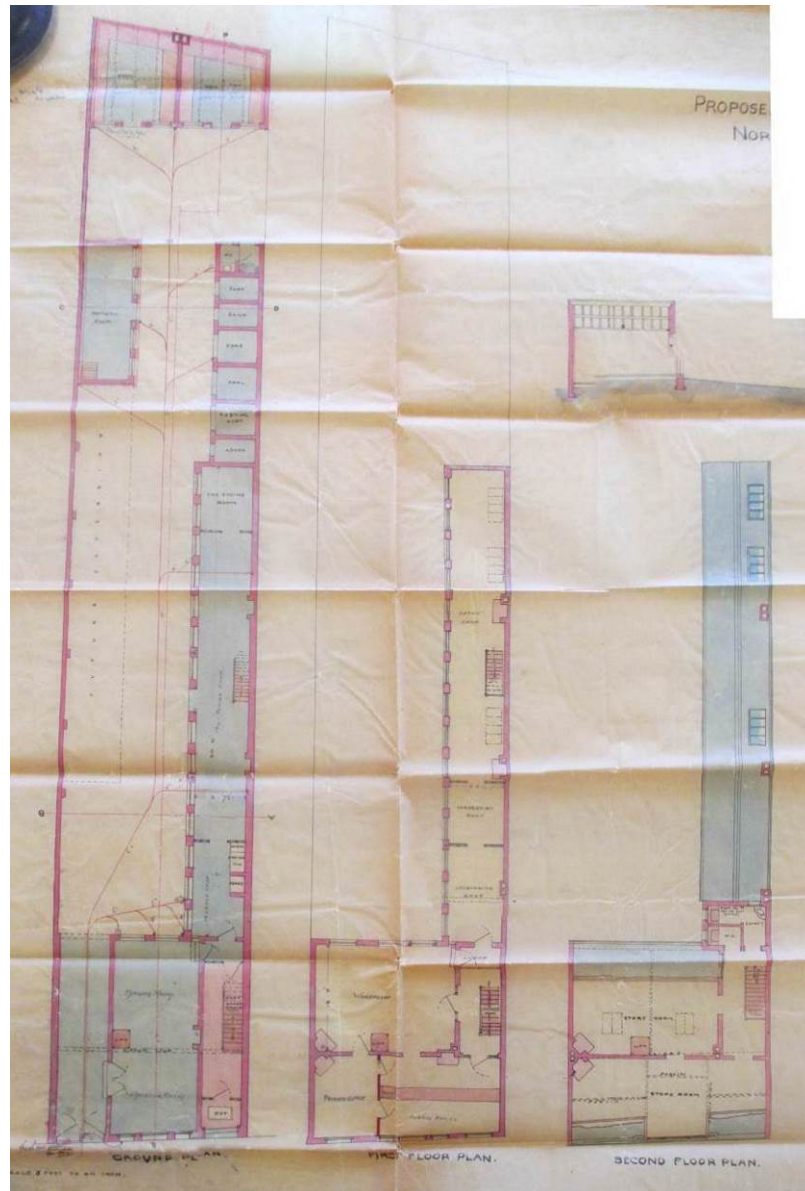
Original design drawings; south (street) and north (yard) elevations (BCA; BBP **8680**).

- 4.4.5 The rear workshop range was of fifteen window bays and two storeys, rising to three at the junction with the street frontage; windows were segmental-headed housing multi-pane, cast-iron frames while a single, central doorway opened to the interior. To the north end of the shopping range was located a low, single-storey range housing various stores and a WC/urinal.
- 4.4.6 The building was accessed via the doorway to the east end of the street elevation which opened onto a small lobby leading through to a narrow stair hall (see plans, inset below). From the latter, a straight-flight stair rose

(north to south) to first floor office and warehousing accommodation, while a pedestrian door opened to the west onto a packing department occupying the full depth of the central bays. A double-door within the west wall opened onto the western cartway passage to allow for despatch, in a manner identical to that employed at the 'Harper's Hill Works' (Bldg. 1). Adjacent to the door was located a goods lift that rose through the full height of the building.

- 4.4.7 Both first and second (attic) floor were subdivided longitudinally by a solid brick wall set vertically beneath the ridge line. First floor accommodated a clerks' office and 'private' office to the south and warehouse room to the north, each independently heated; the attic level comprised storage space throughout. First floor level was interconnected with the first floor of the rear shopping range via a small lobby to the north-east corner, opening off the stairwell (again as per Bldg. 1).
- 4.4.8 The shopping range to the east side of the rear yard accommodated (from south to north) a 'muffle shop',⁶⁹ 'mill power shop' and 'gas engine room' to ground floor, with 'laquering shop', inspection shop' and 'lathe shop' to first floor; the three-storey section adjacent to the street frontage range accommodated WC facilities. Vertical access was via a straight-flight stair rising against the eastern wall.
- 4.4.9 The original buildings of 117 Northwood Street were largely removed in the later 20th century, replaced by a simple utilitarian 'shed', through retaining the ground floor level of the street elevation, including the dated doorhead.

⁶⁹ A muffle kiln is a furnace where the subject materials were heated to c.800/850°C in isolation from fuel and products of combustion.

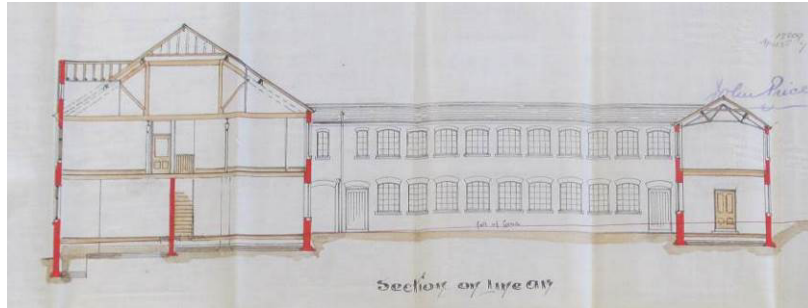


Original design drawings range **6a**; ground, first and second floor plans (BCA; BBP **8680**).

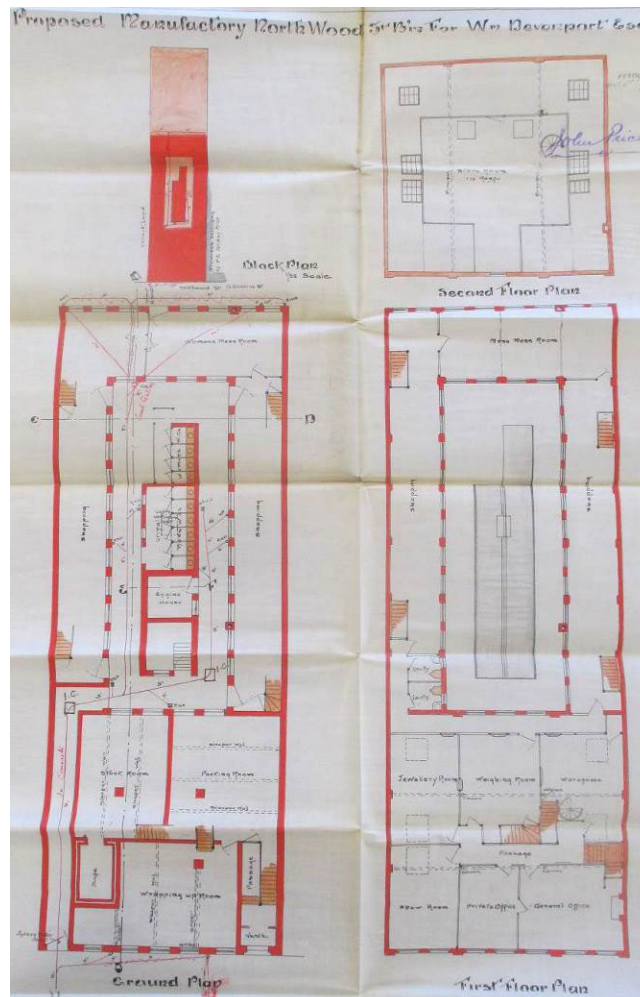
Bldg. 6b (119 Northwood Street)

4.4.10 The original manufactory premises at No. 119 Northwood Street (**6b**) were erected for William Devenport, silversmith, to the designs of Matthew J. Butcher, architect, of Cherry Street Birmingham, with submitted drawings (BBP **12809**; inset below) dated March 1897. Drawings depict a deep, two-storey street-frontage range with utilisable attic, with opposing two-storey, 12 window-bay 'shopping' ranges extending northwards therefrom, flanking a yard area closed to the north by a transverse mess-room block; the enclosed yard accommodated a free-standing, single-storey block housing engine room and toilet block. The street frontage range was of seven bays, with five central windows flanked to the east by a pedestrian doorway, opening onto a vestibule/stair hall, and to the west by a gate opening onto a transverse passage affording access to the rear yard. At ground floor level, the range accommodated a stock room (with associated safe), a packing room and 'wrapping up' room. First floor was approached via a ¼-turn stair rising from the eastern stair hall, and via a

second stair rising from the stock room; it comprised general/private offices, show room, jewellery room, weighing room and warehouse. Attic level comprised a further storeroom and was approached via a spiral stair rising from the first-floor warehouse.



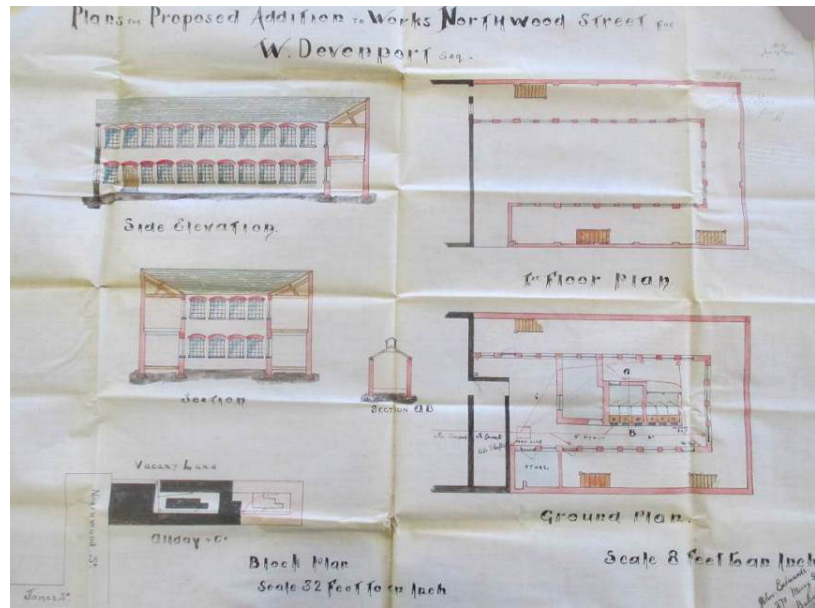
Manufactory (6b) for Wm. Devenport, longitudinal cross-section looking west (BBP 12809, 1897).



Proposed manufactory (6b) for Wm. Devenport, floor plans (BBP 12809, 1897).

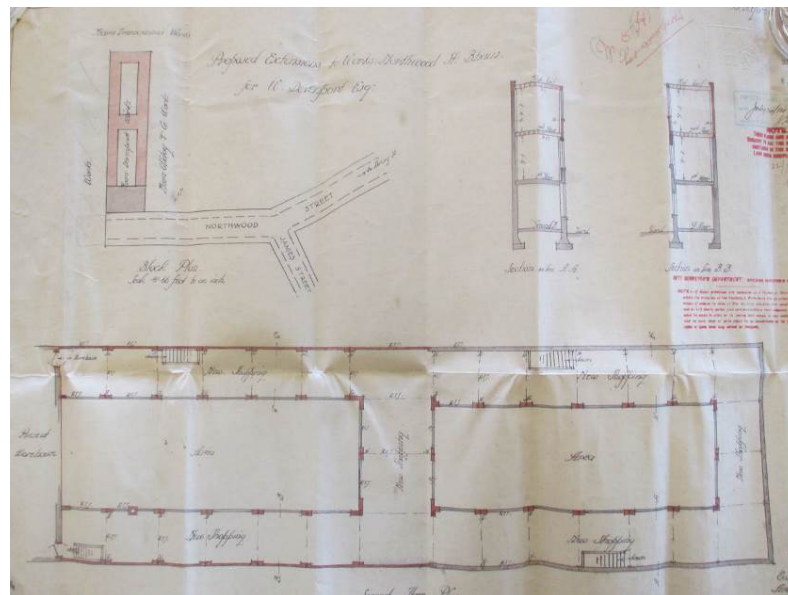
- 4.4.11 A small, single-storey 'dipping shop' was appended to the north side of the original premises in 1898 (BBP 14243), to the designs of EJ Shepherd of King Hill Drive, Birmingham (not reproduced here) before the premises were significantly extended in 1901 (BBP 16031) by the introduction of a further group of shopping

ranges to the north, arranged around a second yard (see inset below). The deposited are signed 'John Edwards, 270 Mary Street, Balsall Heath', though the style of drawings and typeface thereon closely resemble Butcher's drawings for the original 1897 work.



Extension to premises (6b) for Wm. Devenport (BBP 16031, 1901).

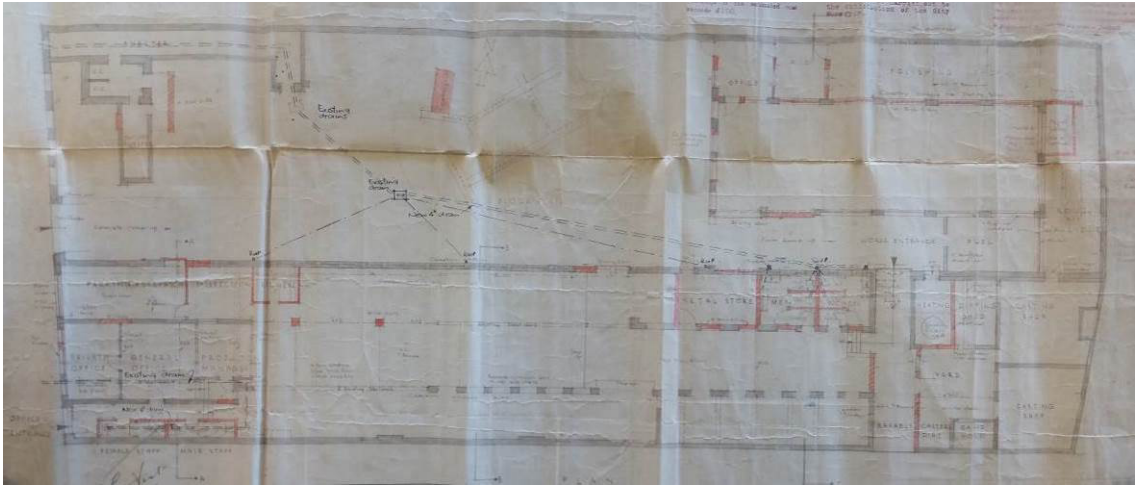
- 4.4.12 Originally of two storeys throughout, the rear shopping ranges to both courtyards were raised by one storey in 1914, design drawings (BBP 25847) being prepared by Ewen Harper & Bro., architects of Corporation Street Birmingham (inset below).



Plan of additional second floor to shopping ranges 6b, 1914 (BBP 25847).

Combined Bldgs. 6a/b (117/119 Northwood Street)

- 4.4.13 The premises of Nos. 117/119 came under common ownership /occupation of PG Allday's in the mid-1920s, being first listed in Kelly's directory of 1928. The ranges were evidently damaged during World War II, with plans for partial rebuilding of the premises 'after enemy action' submitted in April 1943 (BBP **76657**), drawings prepared by TM Ashford FRIBA of 13 Highfield Road, Edgbaston. Plans indicate that both premises survived to a single storey only.



Ground floor plan for 'rebuilding following enemy action' of Bldgs. 6a/b, 1943 (BBP **76657**).

- 4.4.14 The street frontage of both ranges are shown in an undated photograph, possibly of the early-1950s (inset below); both survived at ground floor level only, as per the 1943 drawings, with a wide street access to the west side of Bldg. **6a**.



Street elevation of No.6a/b, undated (?early-1950s); from Rudge and Houghton (2010, 17).⁷⁰

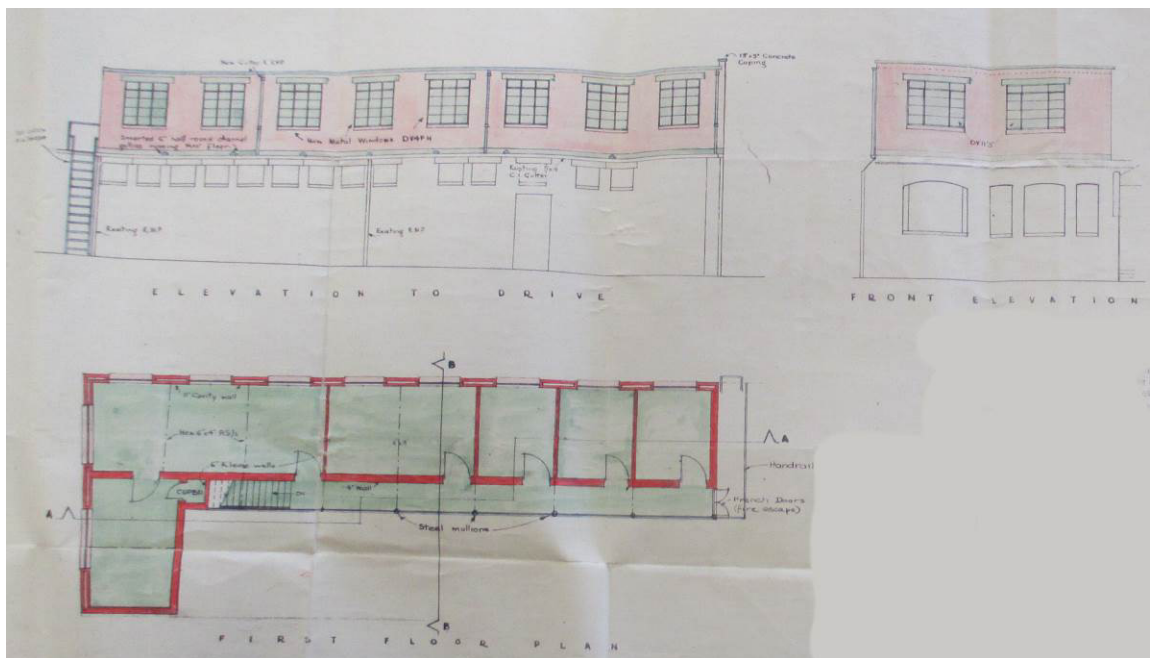
⁷⁰ **NB.** Rudge and Houghton incorrectly cite location of image as Kenyon Street.

that it too remained of single-storey form at the time, and that the modifications outlined in the 1945 application had not been undertaken.



Detail of 1948 aerial photograph showing west elevation of Bldg. 6a, looking east, surviving to GF only with small, clerestory windows (as marked on 1943 plans BBP 76657; see above).

4.4.17 A further application (BBP 90996) of 1949 details the introduction of a new first floor above the retained, historical ground floor fabric (insets below), though it is not clear whether these proposals were realised.

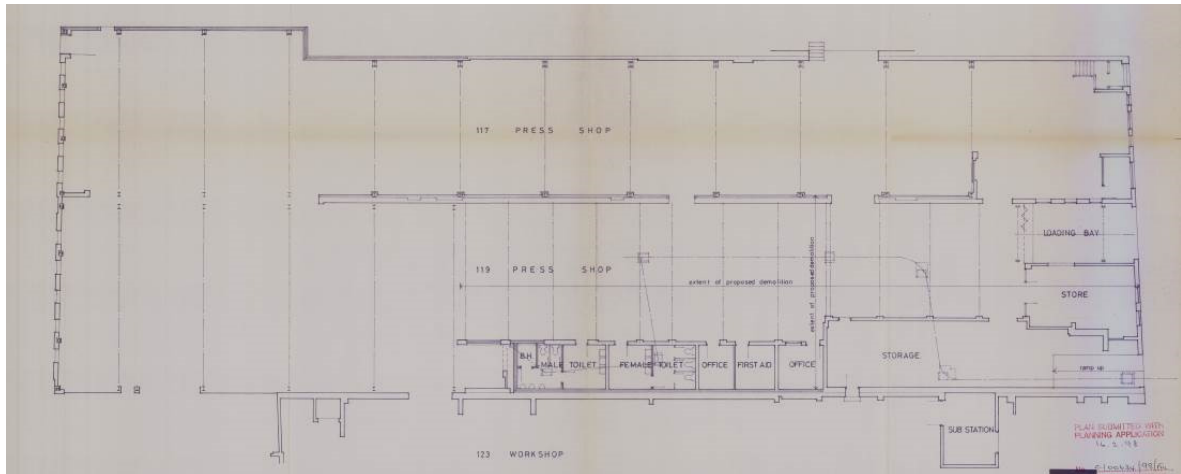


First floor plan and elevations of proposals for remodelling of Bldg. 6a (BBP 90996, 1949).
(NB. high-level windows to 'extant' driveway elevation)

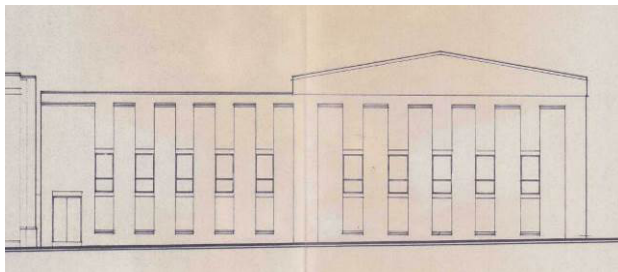
Regent Place frontage

4.4.18 To the north, range 6a/b extended to include a late-20th-century street frontage to Regent Place. An application (BBP 17836) of 1904 relates to a 'proposed workshop and offices' block on this site, lying to the

4.4.20 The current building occupying Nos. 117/119 Northwood Street was erected in the late-20th century for AE Harris and Co. (see insets below), comprising a pair of parallel, utilitarian steel-framed ranges with new street elevations formed to Regent Parade and to Northwood Street (119 only); historical fabric was retained in the form of the GF Northwood Street frontage of No.117 (**6a**) and a small fragment of early shopping range within No.119 (**6b**).



Building 6A/B 'as existing' floor plan in 1998 (1998/00634/PA).



Building 6: North elevation to Regent Place (left) and south elevation to Northwood Street (right)
(Planning refs. C/04598/01/CAC and 1998/00634/PA respectively).

Historical Occupation

4.4.21 Archival sources indicate that Nos. 117/119 Northwood Street were originally developed by PG Allday and Co. (brass founders) and William Devenport (gold and silversmith) respectively. Both Allday and Devenport are recorded in early trade directories (1897/1901) to the south side of Northwood Street (**Appendix C**) though, as has been noted above, this would appear to be the result of erroneous listings as opposed to a relocation of premises. The addresses are recorded in the common ownership/occupation of PG Allday and Co. from c.1928, with the company listed by 1930 as 'shop window fitting manufacturers' (in later years, from c.1950, they specialised in the production of sliding glass doors and windows). Alldays are recorded at Northwood Street down to 1973/4,⁷¹ and the premises came into the ownership of AE Harris and Co. in the late-1970s/early-1980s (RG Luckock, *pers. comm.*).

⁷¹ From 1942 on, listings include the address of '121 Northwood Street' though this street address is not immediately identifiable (the adjacent Bldg. 7, extended by Blanckensee & Sons in 1945 (BBP **78586**) over a former open yard, is annotated as '123' on the Ordnance Survey map of 1955).

Description

- 4.4.22 Building 6 as recorded comprised two interconnected, independently-framed, late-C20th steel-framed ranges, occupying the street frontages of 117/119 (**6a/b**; Figure 22, Plates 42/3) and extending back to front Regent Place (Figure 23; Plate 49), the rear parts overlying the site of the former Nos. 19-35 Regent Place.
- 4.4.23 The Northwood Street elevation of No. 117 (**6a**; Figure 23; Plate 44) retained early fabric, *viz.* the ground floor of the elevation depicted in original design drawings (BBP **8680**, see above) with the date of 1892 incorporated in a moulded stone pediment over the main door (Plate 45; Figure 22, inset detail), together with the initials P, G and A, the latter relating to the company of P.G. Allday and Co. for whom the range was originally constructed. The early elevation was brick-built in red brick laid to a regular English bond above a chamfered plinth, rising to a horizontal, concrete coping, introduced when the range was lowered. The main doorway [**d1**] was sited to the east, approached via a short flight of steps, with a decorative stone pediment over supported on moulded brackets. The central part of the elevation was pierced by three, segmental headed windows with rubbed brick arches and projecting hood moulds (Plate 46). To the west side of the elevation, a wider window had been formed within a former, 8ft. wide vehicular entrance bay (Plate 47; blocked pre-1943), head details as before, the former opening being evidenced by clear infill brickwork below cill level and surviving cast-iron bollards to each lower jamb (Plate 48).⁷²
- 4.4.24 The western frontage, No. 119 (**6b**; Figure 22; Plate 43), presented a tall, modern gable end, the lower walling in orange/red brick laid to Flemish bond above a blue-grey brick plinth and capped, at the height of the adjacent façade of 117, by a 5-course horizontal band of grey brick. Above this level, the elevation was clad in vertically-set, profiled aluminium sheeting, rising to a shallow gable. The range was accessed via a wide roller-door [**d2**] to the centre of the elevation with a small, pedestrian door [**d3**] to the left thereof, set within a shallowly-projecting brick surround.
- 4.4.25 The Regent Place elevation (Figure 23; Plate 49) presented a unified frontage, brick-built in orange/red brick laid to a regular Flemish bond. No 117 to the east rose to a plain, flat parapet; No. 119 to the west extended as a low, pitched gable clad in profiled aluminium sheeting, as to the south. Recessed, vertical window bays (five each to 117/119) were defined by shallowly projecting pilasters of brick, with chamfered caps just below parapet level. A single pedestrian door to the east end of No.117 afforded access to the interior.
- 4.4.26 Internally, Bays 1/2 of No.117 ([G1/G2]; reflecting the ground plan of the original street frontage range of 1892) were accommodated beneath a flat roof (Plate 50), beyond which the range extended northwards as 11 regular (5.8m/19ft.) bays of structural steel construction beneath a mono-pitch roof (Plate 51) sloping up from west (where it met No. 119 in a valley) to east, standing max. 5.3m/min. 3.45m tall, roof clad in corrugated sheets with full-length, longitudinal, semi-translucent panels. The range widened slightly to the east at Bays 11-13, where it wrapped around the angle of Bldg. 4 (Figure 24), and was fully open to the interior of 119 to the west at Bays 5 to 8. The east wall comprised a retained property boundary and included a number of features related to earlier buildings on the site, though nothing of major significance, while a wide, secondary doorway formed at Bay 4 opened to Bldg. 3.
- 4.4.27 No. 119 comprised a simple, portal-framed range of 13 regular bays (**NB.** bay spacings match those of 117), standing 7m tall to eaves and 8.3m to ridge (Plate 52). The roof was clad in profiled metal sheeting with semi-

⁷² ` Adapted by 1943, see inset plan at §.4.4.13.

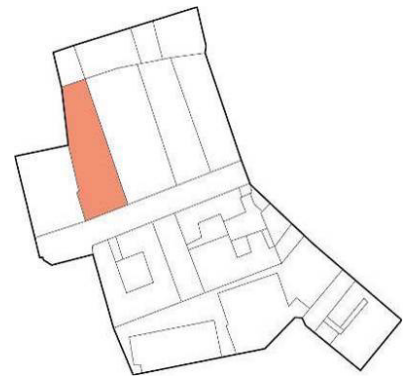
translucent roof-light panels, two per bay. The range was fully open to No. 117 at Bays 4-8 while doorways at Bay 4 (pedestrian) and Bay 9 (vehicular) afforded access to adjacent Bldg. 7; a roller door to the west side of Bay 11 opened onto the yard area north of Bldg. 7. A square, two-storey brick-built structure, appended to the west wall and projecting into the range at Bay 8 (Plate 53) represented a relic survival of an earlier building on the site, part of the shopping range illustrated on plans of 1943/5 and forming part of the early extension of the premises in 1901 (BBP **16031**; inset at §.4.4.1).

Assessment

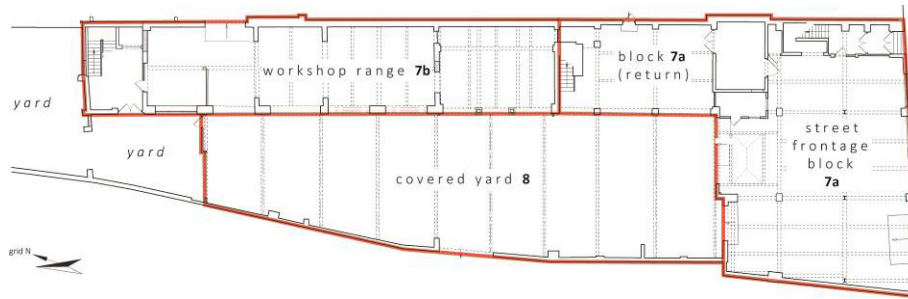
4.4.28 **Building 6** as recorded was generally of limited historical interest and architectural merit, though the late-19th century street frontage of No. 117 (**6a**), while truncated and historically modified, presented a noteworthy feature of significance. The relic section of an early 20th-century shopping range, incorporated within No. 119, represented something of a 'chance' survival, though as a fragmentary part of a formerly more extensive structure, was of strictly limited significance. The development of the precursor ranges is well represented in the archival sources, with a succession of historical planning submissions documenting their origins and subsequent, sequential evolution, though the building as recorded had been largely replaced and removed from its historical 'streetscape' context, to both north and south, by the redevelopment of adjoining and nearby plots. A significant aspect of the site's history and significance is presented by its historical association with Harper's Hill House, which was investigated by excavation/evaluation as part of associated mitigation works.

4.5 BUILDINGS 7/8: 123 Northwood Street

Street Address	123 Northwood Street
NGR:	SP 06232 87509
Record Level:	3/2
Date:	Late-C19 th , early-C20 th
Function:	Workshops / Offices etc.
Key Sources:	OS Maps; APs; BBP 17510 / 19184 / 47762 / 78586 ; later planning applications; trade directories; site survey and observation



4.5.1 **Buildings 7/8** (123 Northwood Street) are/were located to the north side of Northwood Street towards the western boundary of the Harper's Hill site, centred on NGR SP 06232 87509. The recorded buildings comprised three principal elements, viz. (**7a**) a mid-20th century frontage block to Northwood Street with short return to east; (**7b**), an early-20th century (1903) workshop range flanking the eastern side of the site; and (**8**) a covered yard of c.1990 (see key plan inset below), the introduction of which entailed the removal of a further early-20th century workshop range (and a pre-cursor, narrower covered yard). Elements **7a/b**, though unlisted and extended no degree of statutory protection, have been retained within the consented redevelopment scheme.



Buildings 7/8: overall arrangements of 123 Northwood Street.

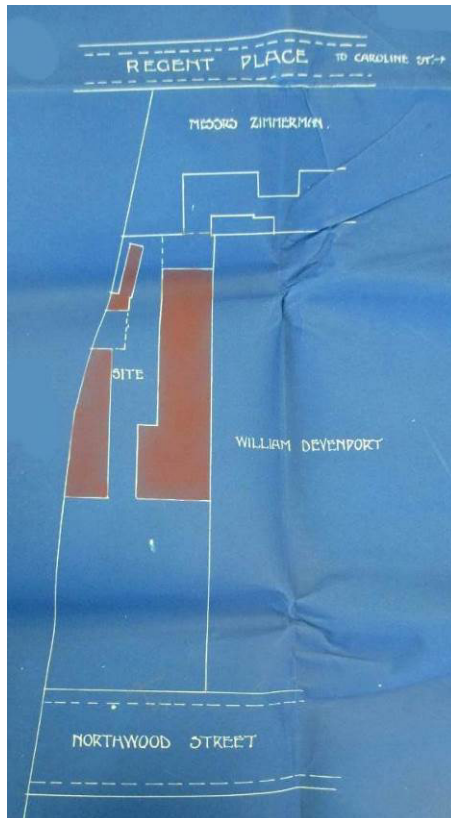
Development

- 4.5.2 Unlike other recorded buildings lying to the north side of Northwood Street, Buildings 7/8 originated as a series of back buildings to the south of premises formerly fronting Regent Place (Nos. 19-35) to the north (see 1903 block plan, inset below), occupied since at least 1884 by A & J Zimmerman, merchants, later silversmiths. The earliest surviving element of the recorded complex is the workshop block **7b**, flanking the eastern side of the site, with deposited drawings in the BBP collection of Birmingham Archives (BBP **17510**) prepared by Ewen Harper and Bros. of Ruskin Chambers, Corporation Street, Birmingham,⁷³ dated May 1903. Described as an ‘extension of business premises for Messrs. Zimmerman’, the drawings accompanying the application (insets below) illustrate the formation of two narrow, opposing workshop ranges flanking the eastern and western sides of the plot, extending back from the Regent Place frontage, incorporating an open yard area to the south fronting Northwood Street (closed by a bounding wall incorporating central, two-leaf gate). The eastern workshop range corresponds to the recorded Building **7b**, comprising a shopping range of three-storeys and eight structural bays, aligned against the eastern plot boundary, extending up to and abutting pre-existing Regent Place buildings to the north. The yard elevation was pierced by two windows per bay, segmental headed to GF/1F, flat headed beneath eaves level to 2F level. To the north end of the range, a ground floor access bay linked up with a transverse passage beneath the street frontage range, thereby affording through access from Regent Place to the shopping ranges and associated yard. To the south end of the range, a ground floor ‘engine room’ projected shallowly into the yard, with a part-glazed wall and glazed, mono-pitch roof. Interestingly, the plans and transverse cross-section indicate that, as built, apart from the northern two bays, which accommodated stairwells and offices above the ground floor access bay, the eastern wall of the first and second floor levels was offset by c.5ft. from the eastern site boundary, with a continuous, mono-pitch glazed sky-light affording natural light to the interior.⁷⁴ The western range, historically lost, comprised a single-storey stamping shop, with axial trench or pit,⁷⁵ beneath a mono-pitch roof rising to the boundary wall to the west and two-bay, two-storeyed section to the north including a ground floor, open-fronted muffle shop (see fn. 69) and coal store.

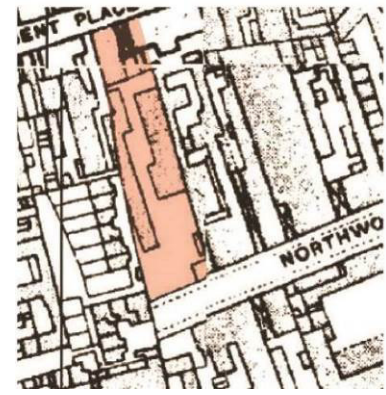
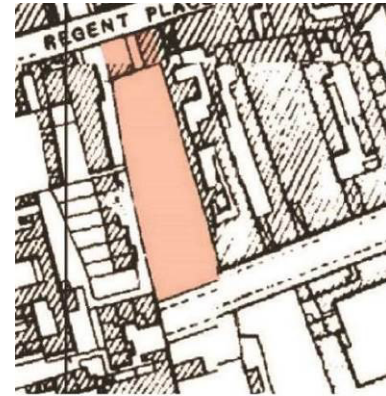
⁷³ See §.5.3.

⁷⁴ Much as per recorded details of the broadly contemporary Bldg. **13a** of 1902 (see §.4.10.4; Figure 51a, Plates 270/277). A horizontal change in the brickwork of the central section of the main flanking wall, clearly evident when adjacent structure **6b** was removed (see Plate 96), reflects this arrangement, though the efficacy of the layout would presumably have been somewhat compromised when the shopping ranges of adjacent building **6b** were raised to three storeys in 1914 (BBP **25847**) and the latter development may have instigated changes to **7b**.

⁷⁵ See Cattell et al 2002, 38.

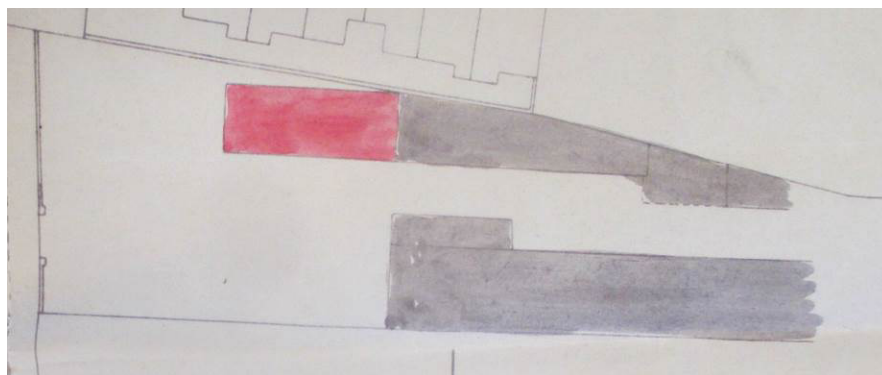


Submitted design drawings for A&J Zimmerman, 1903.
Block plan (BBP **17510**).

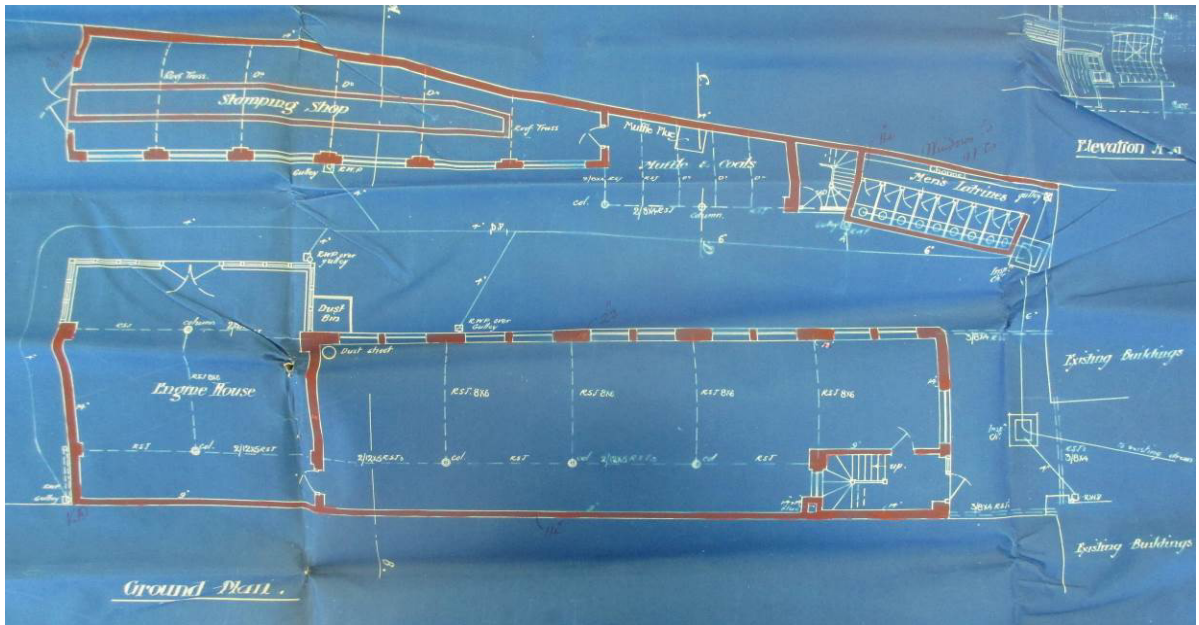


OS editions of 1904-5 (top) and 1917/18 (bottom).

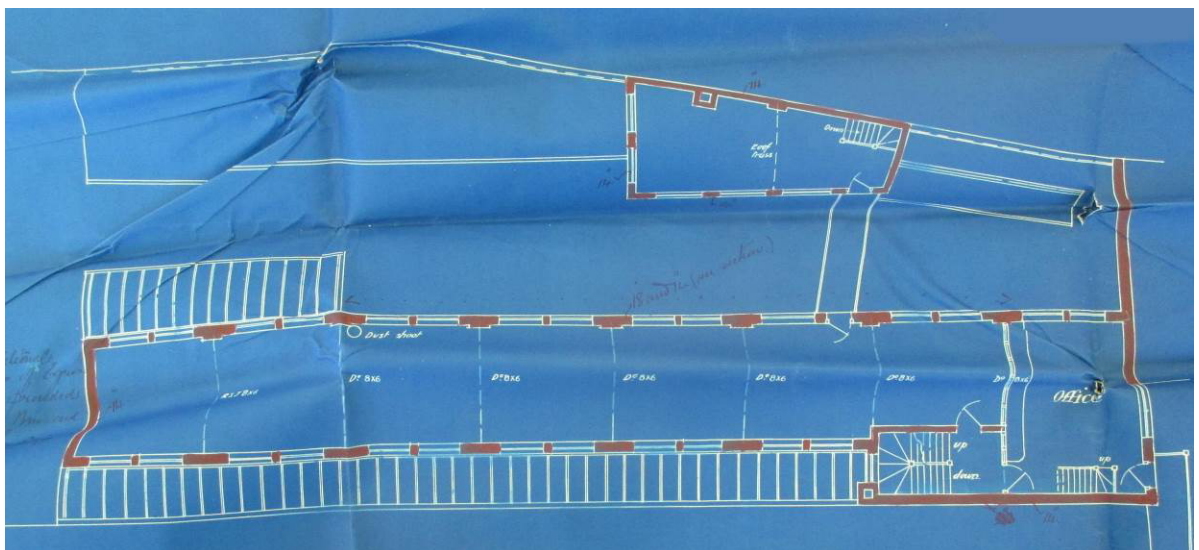
- 4.5.3 The shopping ranges are absent from the Ordnance Survey edition of 1904-5, at which time the rear plot behind the Regent Place frontage is shown as vacant, and are first shown on the Ordnance Survey edition of 1917-27 (insets above, right) though, as noted elsewhere, this may reasonably reflect a delay in the updating of OS survey data. The eastern shopping range is illustrated as terminating short of the Regent Place street frontage ranges, though this reflects the ground floor plan, incorporating an access bay, and submitted upper level plans clearly indicate that the range extended by a further bay to the north to abut the rear of the street frontage buildings. The latter map illustrates the western 'stamping shop' range in enlarged form, extended to the south by two bays in 1906, BBP **19184** (see below), with a spinning shop over, while a small, structure had been erected at the south-east angle of the plot, backing onto the boundary wall).



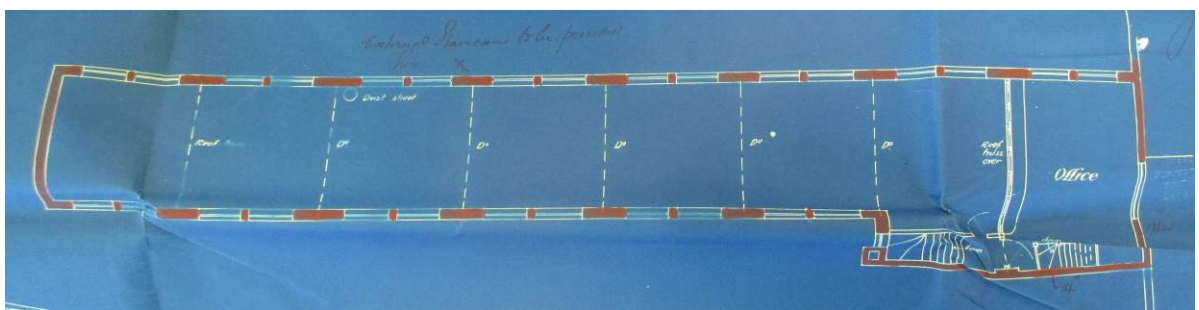
Block plan of 1906 (BBP **19184**) for extension of stamping shop range (south to left).



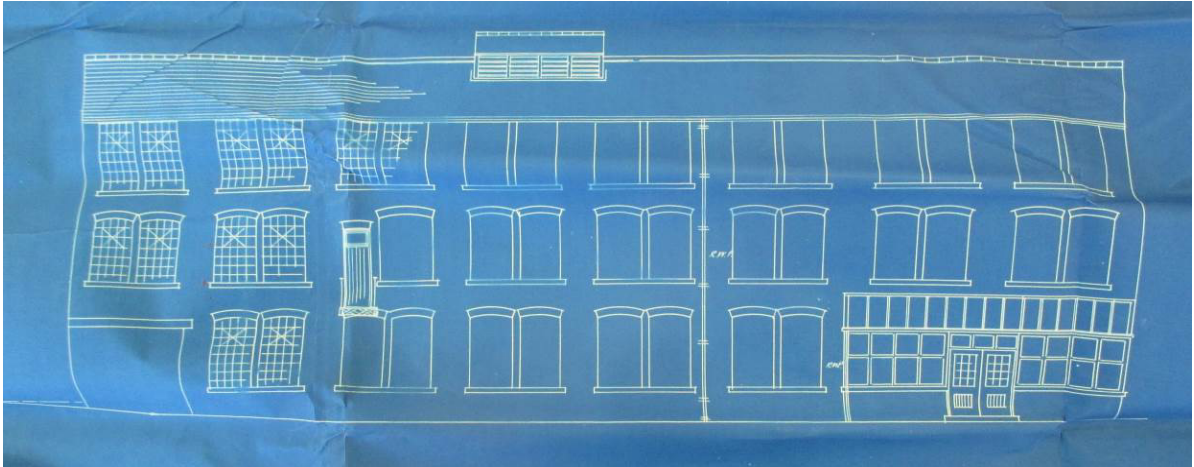
Archived design drawings for 'extension to business premises for Messrs. Zimmerman', 1903; GF plan (BBP 17510) NB. north to right.



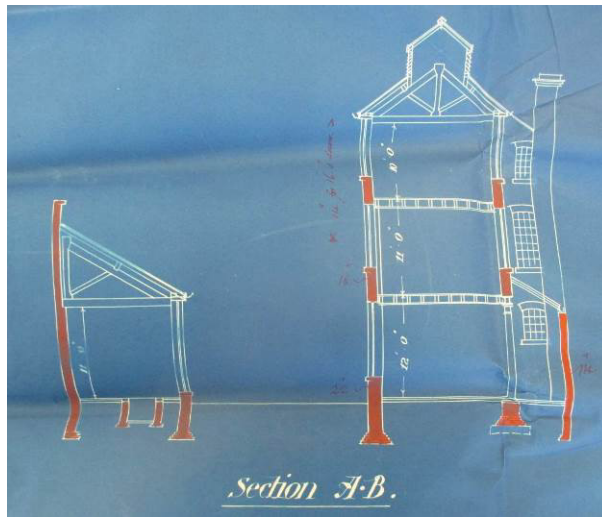
Archived design drawings; first floor plan (7b) (BBP 17510, 1903) NB. north to right.



Archived design drawings; second floor plan (7b) (BBP 17510, 1903) NB. north to right.



Archived design drawings; yard elevation of shopping range (7b) (BBP 17510, 1903) NB. north to left.



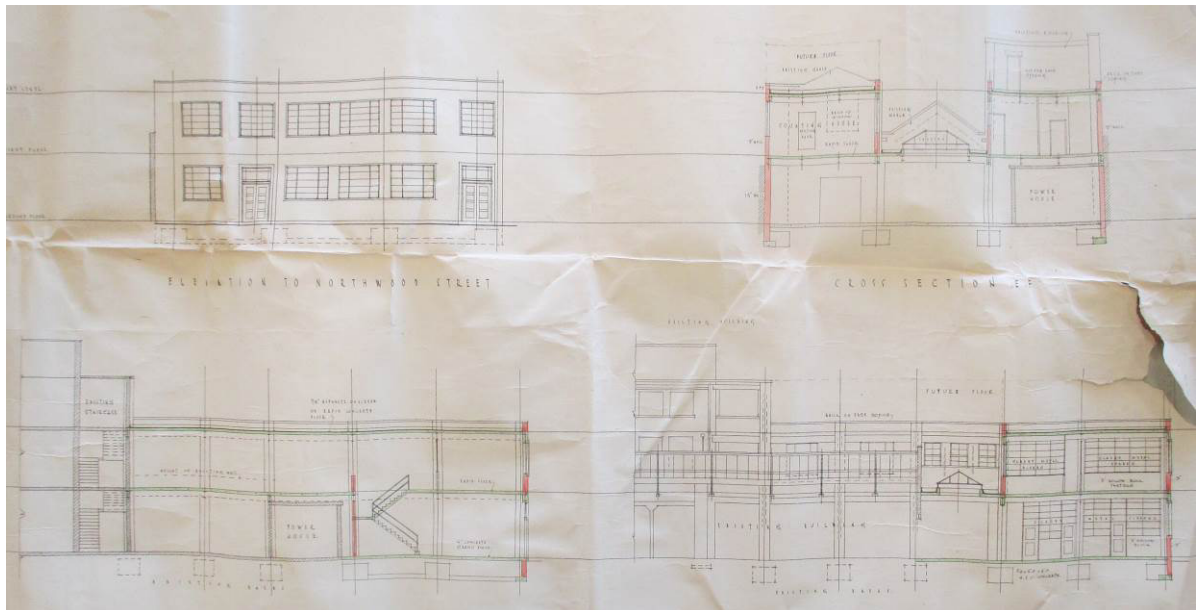
Archived design drawings; cross section of shopping ranges, looking north (BBP 17510, 1903).



Eastern flanking wall of Building 7a/b, as observed following demolition of adjacent ranges (20.09.21); note horizontal change in brickwork at first-floor level to central section of range (7b), assumed related to early layout (see cross-section above).

- 4.5.4 An application of October 1928 (BBP 47762) relates to the introduction of a small, single-storey casting shop to the southern site boundary (block plan inset below), a structure historically removed when the premises were extended after the Second World War. The application is nonetheless of interest in two respects; firstly, it was submitted by Messrs. Blanckensee & Sons Ltd. (see §.4.5.9), the first record of the firm at the site, indicating a

4.5.6 Proposals comprised the introduction of a two-storey, flat-roofed workshop and administration range fronting Northwood Street (**7a**), returning northwards to the east and west to abut the southern gable ends of the pre-existing shopping ranges, the latter flanking a pitch-roofed covered yard annotated as having accommodated a tool room. The Northwood Street façade, stylistically characteristic of its mid-20th century date,⁷⁶ was of six bays (here numbered 1-6 from east to west) and two-storeys throughout,⁷⁷ with ‘Crittall’-type steel casement windows, horizontally emphasized by common lintels/cills, and two panelled, pedestrian doorways, at Bays 1 (annotated ‘office entrance’) and 5 (‘goods entrance’), furnished with over-lights. The doorway at Bay 1 opened onto a stair hall/passage, while that at Bay 5 opened onto a further passage extending through the full depth of the range affording access to the pre-existing shopping range to the west side of the yard, and to workspaces within the newly formed block. Deposited plans (inset above) detail, at ground floor level, a planning and design room (Bays 2-4 south, with discrete offices), a tool room extension (Bays 2-4, north) a meeting room and bullion store (Bay 6), and a ‘power house’, the latter retained from a precursor range. First floor level, accessed via a dog-leg stair at Bay 1, included six discrete offices to the south, one per structural bay, defined by glazed screening, with windows opening to the street, accessed off an axial corridor. To the north of the corridor were typists’ and ‘telephone and enquiry’ rooms, and a counting house to the north-west, extending into the short (one-bay), western return. Further office provision and toilet facilities were accommodated within the longer (three-bay), eastern return, the latter extending to abut the south gable end of the 1903 shopping range. Cross-sections (inset below) indicate provision for a ‘future floor’ over both the eastern and western returns and, though an upper level was subsequently added to the east (post-1948; recorded as part of current project), the western vertical extension was never realised.



Bldg. 7a: Northwood Street elevation and cross-sections (BBP **78586**, 1945).

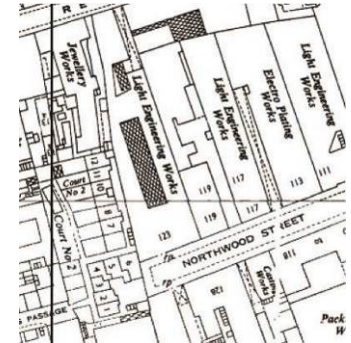
4.5.7 The newly remodelled range is visible on the ‘bird’s eye’ aerial photograph of 1948 and on the Ordnance Survey edition of 1955 (detail insets below); the ranges are annotated as a ‘light engineering works’ on the latter,⁷⁸ which also clearly shows the form of the glazed, covered yard extending northwards from the new

⁷⁶ Broadly analogous to Warehouse Bldg. 5 described above.

⁷⁷ **NB.** the recorded second floor over the eastern return constitutes a later addition, added post-1948.

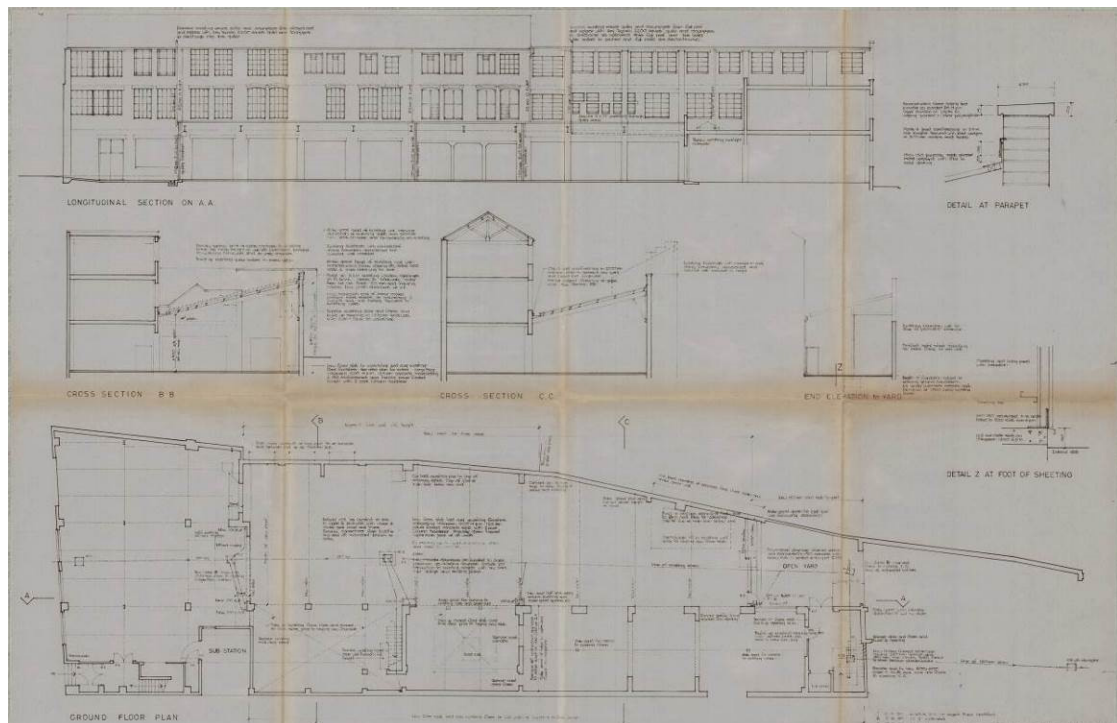
⁷⁸ And on subsequent editions down to 1980.

frontage range, between the two shopping ranges flanking the eastern and western sides of the plot (area obscured and thus not clearly visible on the AP). The covered yard terminated to the south in a brick gable (see transverse section above), which survived in modified form within the recorded complex (Plate 65).



Detail of 123 Northwood Street from 1948 aerial photograph (left) and 1955 Ordnance Survey map (right).

- 4.5.8 The Regent Place frontage plot is shown as vacant by the time of the 1980 Ordnance Survey edition (Figure 14) while the early western workshop range was removed in c.1990 when the current covered yard (**Bldg. 8**) was formed; submitted drawings (Planning ref. **1999/05638/PA**; inset below) were prepared by Tim Cooper Associates of Dixons Green, Dudley, detailing the introduction of a mono-pitch roofed steel-framed structure extending from the west façade of Bldg. **7b** to the western plot boundary.⁷⁹



Planning drawings for 'proposed re-roofing of central area', 1990; Tim Cooper Associates.
(re-submitted as 'buildings as existing 1999' as supporting info for application **1999/05368/PA**).

⁷⁹

A broadly contemporary application (ref. **2001/04597/PA**) for the 'removal of pitched roof and second floor over part of premises to the rear of 123 Northwood Street' was evidently not completed.

Historical Occupation

4.5.9 The earliest recorded shopping range (7b) was erected for A & J Zimmerman in 1903 as back buildings to their premises in Regent Place. Zimmermans had been founded in 1879 by Arthur S. Zimmerman and John Ulrich Zimmerman, and was first registered as a limited company in 1902; they owned workshops in Birmingham and London as well as holding a London showroom.⁸⁰ Arthur and John Zimmerman (merchants, later silversmiths/shippers) are recorded at Regent Place in trade directories from 1884, variously at No. 30 (1884), 37 (1890) and 37-39 (1895) before becoming established at Nos. 19-35 (1900-1925). Kelly's directory of 1925 is the last to list Zimmermans at Regent Place, the company being acquired by S. Blanckensee & Son Ltd. in the late-1920s,⁸¹ the latter company being listed in Kelly's directory of 1930.⁸² Originally founded in Bristol in 1826 by Solomon Blanckensee, the firm relocated to Birmingham in 1863 and registered as a limited company in 1887; operating as a wholesale manufacturing goldsmiths and jewellers, they were based in Frederick Street from the 1880s,⁸³ while also maintaining a warehouse in Ely Place, Holborn, and a showroom at Hatton Garden, London. Having acquired Zimmermans and their Regent Place premises in c.1928, Blanckensee and Son are first listed at 123 Northwood Street in 1947,⁸⁴ corresponding with their development of the former Zimmermans works and the introduction of the Northwood Street frontage block 7a (BBP 78586). Soon afterwards however, in 1948, 'Albion Pressings' are listed at 123 Northwood Street; 'Graces Guide' records Albion Pressed Metal Co. as 'proprietors' of Blanckensee and Son in 1961,⁸⁵ though the precise relationship of the two companies has not been established. The buildings were subsequently occupied by the British Hub Co. Ltd., cycle hub manufacturers (formerly of the Clyde Works, Weaman Street), from 1955 to 1973/4 and it is understood that the premises were purchased by AE Harris & Co. (Birmingham) Ltd. around the latter date (R.G. Luckock, *pers. comm.*)

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Trade advertisements for British Hub Co. Ltd at the Clyde Works (1936, left) and at Northwood Street (1955, right)

⁸⁰ Info.: <https://www.acsilver.co.uk/shop/pc/A-J-Zimmerman-Ltd-Arthur-John-Zimmerman-b31.htm>

⁸¹ Info: https://www.antiques-atlas.com/antiques/maker/s_blanckensee_sons_ltd/.

⁸² Planning application BBP 47762 of 1928 was submitted by Blanckensee indicating their presence at that date.

⁸³ 'Sovereign Hall' at Nos. 14-15 Frederick Street (see Cattell et al 2002, 220-21).

⁸⁴ Government 'Plate Licences' (refs. 62480/64406) for the years 1947/48 (Plate 85), issued in the name of 'S. Blanckensee & Son Ltd. (19-35 Regent Place)' were noted on the safe door at 1F level of Bldg. 7a.

⁸⁵ https://www.gracesguide.co.uk/S._Blanckensee_and_Sons.

Description

Building 7a: Street Frontage Block

- 4.5.10 The street frontage block to Northwood Street (**7a**: Figure 26, Plate 54) is of six window bays (here numbered 1 to 6 from east to west), largely of two storeys though raised to three storeys after 1948 at Bays 1/2 (Plates 55/6). The street elevation is brick-built in mid-orange/brown brick laid to an irregular Flemish bond,⁸⁶ rising to a short parapet wall with flat, concrete coping. Regular fenestration is of 'Crittall'-type steel-casement windows (Plate 57), with concrete cills and flat, reinforced concrete lintels (continuous cills/lintels afford a horizontal emphasis to the elevation at Bays 2-4). The principal pedestrian entrance is via a doorway [**d1**] at Bay 1, set within a simple moulded stone surround (Plate 59), while a vehicular door [**d2**] has been inserted at Bays 5/6 (Plate 58), replacing an original window at Bay 6 and second original doorway at Bay 5 (compare Figure 26 and façade illustrated in deposited drawings; inset at §.4.5.6 above).
- 4.5.11 The main frontage range is three bays deep (here, 1-3; Figure 28b), while the heightened section at Bays 1/2 of the street elevation extends back as an eastern return to an additional two bays (4-5; Plates 60-62), where it abuts a secondary stairwell bay (Bay 6), introduced pre-1945. Bay intervals to the west elevation (Figure 28a; Plate 62) are demarcated externally by shallowly projecting pilasters, brickwork here being of a paler orange/red brick, laid to a regular Flemish bond, and the secondary nature of the upper floor is clearly expressed by a clear change in the exterior brickwork (Plate 63). Window details are similar to the street elevation, though projecting cills are of brick/tile (similar to those of Bldg. 5). The rear (north) section of street frontage Bays 3/4 is of a single storey only, with a fully-pitched, patent-glazed rooflight (Plate 64) affording natural light to the interior (which originally formed an extension of the tool room to the north, sited beneath the precursor covered yard between the rear shopping ranges).
- 4.5.12 The interior of the street frontage range is accessed via door [**d1**] (Plate 67), opening to a small entrance hall [**G1**] at Bay 1 (Figure 28b) which in turn opens to the main body of the ground floor to the west, and from where stair **A** (Plate 68) rises to first floor level on a dog-leg plan, originally top-lit. Bays 2-6 of the ground floor (Plate 69) comprise a single unencumbered space [**G2**] (formed from a series of sub-divided rooms illustrated on 1945 plans; inset at §.4.5.5), interrupted only by the vertical columns supporting the first floor level (of concrete beam construction between a grid of RSJs; Plate 70); the rear section of street front bays 3/4 is of a single storey only, furnished with a fully-pitched, patent-glazed roof-light over (Plate 73). The conjoined space is served by a wide vehicular access door, historically introduced at Bay 5/6, replacing a former, second pedestrian door (see 1945 plan). An enclosed sub-station [**G3**] (Plates 71/2) is located to the rear of stair **A** at Bay 1, beyond which the eastern return also forms a single space [**G5**]; deposited plans of 1945 indicate that the ground floor of the eastern return, including the sub-station / 'power house' [**G3**], was retained from an earlier extension of the original 1903 shopping range, present by 1928; an additional stair **B** at Bay 6 (Plate 75) rises through the full height of the heightened range, originally appended to afford additional vertical access at the south end of workshop range **7b**,⁸⁷ though later modified to serve the upper levels of the street frontage range **7a** via its eastern return, added in 1945 (GF/1F) and post-1948 (2F).⁸⁸

⁸⁶ Occasional multiple headers.

⁸⁷ Historical aerial photographs are somewhat unclear (§.3.4.1), though may indicate that stair **B** at Bay 6 was added post-1937.

⁸⁸ The exterior brickwork of Bay 6 is clearly distinct from both street frontage block **7a** and workshop block **7b**, and it is shown as 'existing' on 1945 proposal drawings for **7a**.

- 4.5.13 Stair **A**, formerly top-lit by a glass-block ceiling panel (see below; Plate 88), rises on a dog-leg plan to first floor landing **[F1]** (Figure 29a; Plate 76), from where top-lit axial passage **[F2]** (Plate 77) formerly served a series of six discrete offices to the southern, street front (see 1F plan inset at §.4.5.5; dividing wall lines evidenced by scarring to the floor; Plate 78), though most of the partitions have been removed to form two more open-plan areas **[F3/4]** at Bays 1-4 and 5-6 respectively (Plates 79/80). The semi-glazed partition between **[F3/4]** (Plate 81) is assumed original (see 1945 plan) and indicative of primary detailing, while some contemporary panelled doors survive *in-situ* (Plate 82). To the north side of the passage lie store **[F5]**, office **[F6]** and strong room **[F8]**, accessed from the west (Plate 83); the door of the strong room retains a maker's label of 'Milners' Safe Co. Ltd.' of London and Liverpool (Plate 84). This arrangement is at variance with the plan depicted in deposited design drawings, though the presence of 'Plate Licences' for the years 1947/48 appended to the inside of the strong room door (see fn. 84; Plate 85), suggests its location is primary and indicates a degree of deviation from the submitted designs. The northern part of the western return at Bays 5/6 accommodates an office **[F9]** and circulation passage **[F7]**, the latter formerly communicating with the western shopping range (doorway blocked off in c.1990). The eastern return, beyond Stair **A**, accommodates further offices **[F11]** and toilet/wash-room facilities **[F12]**, both opening off corridor **[F10]**, the latter extending to communicate, via the landing of stair **B**, with the first floor of range **7b**.
- 4.5.14 The (post-1948) second floor at street bays 1/2 (Figure 29b), accessed via vertical continuation of stair **B** at Bay 6 (introduced c.1937-945), comprises a single unencumbered space **[S2]** (Plate 86) though, again, scarring to floor finish indicates a former subdivision of the space. Room **[S2]** is accessed from the head of Stair **B** via a doorway formed in the south wall of landing **[S1]**, while a doorway at Bay 1 of the west wall affords access to the flat roof over the street frontage block (Plate 61). The space is generously lit by regular fenestration to south and west walls and by a longitudinal, mono-pitched sky-light against the eastern wall at Bays 3-5 (Plate 87). Set within the floor, a panel of glass blocks (Plate 88) represents a former top-light to stair **A**, pre-dating the raising of the range.

Building 7b: Workshop Range

- 4.5.15 Workshop range **7b** is of three storeys and eight bays (Bays 7-14; Figures 28/9, Plate 90-92), brick-built mainly to a regular English bond, with paired windows per bay, of varied form, at 1F/2F levels (Plates 93/4); the ground floor level of the west elevation has historically been fully opened up to the adjacent covered yard (Figure 28a; Plates 91/2), though evidence survives (Plate 95) for the fenestration pattern depicted on 1903 design drawings (inset at §.4.5.3). The range is covered by a pitched roof, gabled to north and south, re-clad in incongruous, profiled metal sheeting.
- 4.5.16 The west elevation (Figure 28a; Plates 90-92) is of three storeys rising to a plain eaves band. First-floor windows are largely of segmental-headed form, with triple-header arches (Plate 93), while second-floor windows are flat headed set beneath RSJ lintels at Bays 7-10 and extending to eaves level at Bays 11-14. Exterior detailing, in particular the treatment of window openings, suggests phases of historical modification, though reference to deposited plans indicates the recorded extent correlates largely with the range as built. A variant, tall window opening beneath a flat, RSJ lintel at Bay 9 (1F) with a partially blocked door over, at 2F level, may suggest an original external hoist,⁸⁹ while a blocked first-floor door at Bay 10 (N) originally served a raised link-bridge to the western shopping range (see 1903 1F plan at §.4.5.3). Bay 14 to the north end of the

⁸⁹ An RSJ projecting from the elevation at 2F level adjacent to the upper door at Bay 9 may have supported an exterior landing platform.

range is clearly distinct in terms of its brickwork and fenestration, and though forming part of the original range (see inset elevation at §.4.5.3), has clearly been subject to significant modification.

- 4.5.17 The east elevation (Plate 96) is largely blind and presents a patchwork of varying brickwork. A feature of note is presented by a clear, horizontal change in brickwork at first floor level, reasonably related to the original arrangements illustrated in the submitted design drawings (see plans and transverse cross-section inset at §.4.5.3), where the 1F/2F wall was offset from the main plot boundary to accommodate a longitudinal sky-light.
- 4.5.18 The north gable end (Figure 27; Plate 97) presents a complex pattern of multi-phase brickwork, and retains a number of features of interest including blocked doorways at three levels, reflecting the fact that, when originally built for A & J Zimmerman in 1903, the range was associated with street frontage ranges, subsequently lost, to Regent Place (Nos. 19-35). Insufficient survives to attempt any reasoned reconstruction of the former arrangements of the adjoining ranges, though much of the brickwork is of relatively recent original and may be associated with the reconfiguration of Bay 14 (see above).
- 4.5.19 Internally, ground floor level (Figure 28b) presents a broad tri-partite plan, defined by transverse brickwork partitions; viz. Bays 7/8 [G6] to the south (site of original engine house; see plan at §.4.5.3), Bays 9-13, and Bay 14 to the north. Formerly enclosed to the west, the range has historically been fully opened up to the adjacent covered yard (Bldg. 8), first unambiguously illustrated in the Ordnance Survey map of 1955 (Figure 12). The first-floor structure over is largely of transverse timber joists with herring-bone strutting (Plate 98). Space [G6] (Plate 99) retains no clear evidence for its former function as an engine house, though details of the floor structure over, in particular a longitudinal RSJ supported to north and south on brick piers (Plate 100), reflect the general arrangements of the range as depicted in submitted drawings, specifically the original incorporation of a longitudinal skylight. Likewise [G7/8] at Bays 9-11 (Plates 101/2) retain little of historical / interpretive significance. Bay 12 has been modified to form a transverse passage [G9] (Plate 103), opening to Bldg. 6 to the east, presumably when the ranges came into the common ownership of AE Harris & Co. Ltd. in the late-1980s, while Bay 14, originally an open access bay, has been enclosed to form an internal circulation bay [G11], housing stair C (Plate 105/6)⁹⁰ and adjacent elevator,⁹¹ the latter furnished with scissor-gate doors and timber-lined car (Plates 107/8).
- 4.5.20 First-floor level (Figure 29a) is approached via stair B to the south, with through access to street frontage range 7a via landing [F13] and passage [F14], and by Stair C at Bay 14 to the north.⁹² The range at this level is essentially a single unencumbered space (Plate 109/10), save the enclosed stairwell/elevator bay to the north (Plate 106), though with short stub walls projecting from the lateral walls at Bay 8/9, Bay 10/11 and Bay 11/12 defining 'rooms' [F15], [F16], [F17] and [F18] (from south to north). The space stands 11ft. tall and is generously lit by regular window openings, two per bay, to the western, yard-side elevation. A blocked door (Plate 112) in the yard-side wall at Bay 10 (N) reflects the location of an original raised link-bridge, connecting to the early shopping range flanking the western side of the yard (see 1F plan/elevation at §.4.5.3), while a flat headed, tall window at Bay 9 (S) may be related to a former external hoist.⁹³

⁹⁰ Submitted design drawings indicate an original stair location to the east side [G10] at Bay 13.

⁹¹ Elevator by 'Express SMS Lifts' a company formed in 1930 (providing a *terminus ante-quem* for modifications to Bay 14). The Express Lift Company had been formed in 1917 as a merger between Easton Lift Company and The General Electric Company (GEC); in 1930, Express Lift merged with Smith, Major & Stevens (SMS), to form Express SMS, and production moved to the latter's Abbey Works in Northampton (info: <https://www.gracesguide.co.uk>).

⁹² The extant stair C dates to modifications of 1990, undertaken for AE Harris & Co. Ltd. (Inset plan at §.4.5.8); it can be seen in several locations to cut across former doorway openings (Plates 105/106, 113).

⁹³ Both link-bridge and hoist would have been rendered obsolete by the covering over of the open yard (pre-1955).

- 4.5.21 The range is floored in 4in./5in. softwood boards, aligned principally north-south (though east-west at Bays 7/8); the ceiling over is of concrete construction to Bays 7-10, timber to Bays 11-13, carried by transverse RSJs at bay division and intermediate spacings; the timber ceiling structure to Bays 11-13 is partly underdrawn and partly exposed. Two blocked windows within the south wall (Plate 111) reflect the fact that this end of the range originally comprised an external gable end, prior to the introduction of street frontage range **7a** and stair **B**. Deposited drawings illustrate that the range originally formed a single space, as per the recorded structure, save an office at Bay 14, though scars to walling and floors indicates that it was historically subdivided to form discrete workshop areas with an access passage flanking the rear (east) wall. The range was formerly heated by 4in. heating pipes, variously at floor level or suspended at high-level to the lateral walls, though surviving early features are otherwise absent; the range would have housed free-standing items of plant and machinery leaving little physical trace. No physical evidence was recorded to reflect the major historical modification of the range associated with the realignment of the original, offset east wall and the removal of the longitudinal skylight as depicted in submitted design drawings.
- 4.5.22 Second-floor level (Figure 29b) is again approached via stair **B** to the south, with through access to street frontage range **7a**, and by Stair **C** at Bay 14 to the north. The range at this level again comprises, essentially, a single unencumbered space (Plate 114/115), generously lit by regular window openings, two per bay, to the western, yard-side elevation, save the enclosed stairwell/elevator bay to the north (Plate 113), though with short stub walls projecting from the lateral walls at Bay 8/9 and Bay 10/11 again defining 'rooms' **[S3]**, **[S4]**, and **[S5]** (from south to north respectively). These brickwork stub walls are extended above eaves level as full brick 'gables' to the apex of the roof. The range stands 9½ft. to eaves and 15½ft. to the ridge, the pitched roof supported variously on the extended brick 'gables' and by four timber, king-post trusses (strapped) carrying two tiers of longitudinal side-purlins (Plates 116/7); the eastern ends of tie-beams sit on stone blocks set into the brick wall (Plate 118). A feature of note was presented by opposed, circular vent holes to the southern gable (Bay 7, S; Plate 119) and at Bay 8/9; this initially suggests that Bays 7/8 may have originated as a free-standing structure at this level, though this is not supported by historical sources. The vent to the south side of Bay 7 is set within the original south gable end of the range, further evidenced by blocked/adapted windows within the south wall,⁹⁴ though the vent at Bay 8/9 remains somewhat ambiguous. As at first floor level, no physical evidence was recorded to reflect the major historical modification of the range associated with the realignment of the original, offset east wall and the removal of the longitudinal skylight as depicted in submitted design drawings, implying that a significant reconstruction, including a new roof structure, occurred when the range was modified.

Building 8: Covered Yard

- 4.5.23 **Building 8** (removed during current work) comprised a covered yard flanking the western side of workshop range **7b** and extending to abut the rear elevation of street frontage range **7a** to the south (Figure 28b). It was of nine regular bays (Bays 4-12), tapering to the north to respect the angled western plot-boundary wall, beneath a mono-pitched roof sloping up from east to west (Figure 30; Plates 121/2), clad in profiled sheeting with regular, semi-translucent, flush skylights (Plate 123). The yard was fully open to the ground floor of the surviving workshop range **7b** to the east, where upper walls are supported on a series of brick piers, and to the ground floor of street frontage block **7a** to the south; a wide, high doorway at Bay 9 to the west opened to Bldg. 9 (introduced in c.2001/2).

⁹⁴ No windows in this location of deposited plans.

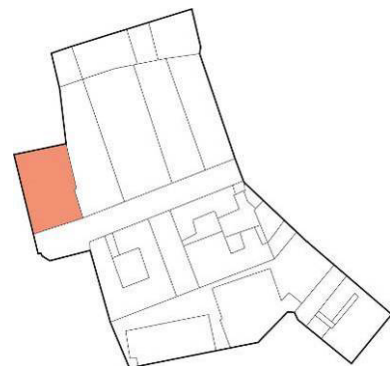
4.5.24 The covered yard as recorded was formed in 1990, replacing an earlier, narrower covered yard extending between workshop block **7b** and a further longitudinal workshop block formerly flanking the western side of the plot (see early plans inset above). The earlier yard was covered by a pitched roof, evidenced by a surviving brick gable at the junction with street frontage block **7a** (Plate 65). Relic first floor windows (blocked) of the former, early shopping range survived to the western boundary wall (Figure 30b).

Assessment

4.5.25 The buildings of 123 Northwood Street represent an interesting, if much altered group, encapsulating differing approaches to building design from the early to mid-20th century. The historical loss of the street frontage ranges to Regent Place, for which the range **7b** was originally built as subsidiary shopping, means that it is difficult to interpret the early buildings within their original context, although it comprises classic workshop spaces, characteristic of the early 20th century, arranged over three storeys, long and narrow, and generously lit by extensive fenestration to the yard elevation. Historical plans indicate, however, that it has undergone significant phases of modification since its original construction, including the loss of the interesting rear skylight feature at ground floor level and narrowed upper floors. Street frontage range **7a** represents something of a contrast, a combined administrative/workshop block stylistically reflective of its mid-20th century date, making a positive contribution to the streetscape. The juxtaposition of the two disparate architectural styles is illustrative of the sequential development and remodelling of many premises with the wider Jewellery Quarter, and it is welcomed that the buildings are to be retained within the consented scheme. Historical sources have allowed for the development of the block as a whole to be defined with a fair degree of certainty, while the pattern of historical occupation, and the change of orientation from Regent Place to Northwood Street are also aspects of interest.

4.6 BUILDING 9: 125 Northwood Street

Street Address	125 Northwood Street
NGR:	SP 06212 87494
Record Level:	1
Date:	2001-2
Function:	Industrial warehouse
Key Sources:	OS mapping; APs; site survey and observation



4.6.1 **Building 9** (125 Northwood Street) was a simple, utilitarian warehouse building fronting the north side of Northwood Street at the western end of the Harper's Hill site, where the street merges with St. Helen's Passage, the latter opening off Vittoria Street to the west,⁹⁵ it was centred on NGR SP 06212 87494.

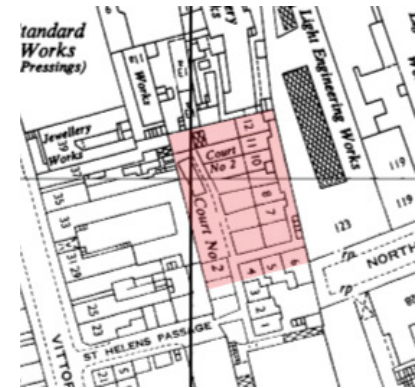
⁹⁵ Northwood Street and St Helen's Passage were formerly separated by a free-standing brick wall (see photograph in *One Hundred Years of Enterprise* Anon., 1980, 26/7; inset at §.4.10.13).

Development

- 4.6.2 The building was introduced c.2001-2 on a site previously used for car parking though originally occupied by 19th-century 'court' housing (St. Helen's Passage, Court No. 2), first indicated on Pigott-Smith's plan of c.1855 (Figure 6) and on early Ordnance Survey mapping of the area, and surviving until the mid-20th century, being present on the aerial photograph of 1948 and Ordnance Survey edition of 1955 (insets below).



Detail of 'court' housing from 1948 aerial photograph, looking east.



Ordnance Survey of 1955 (detail).

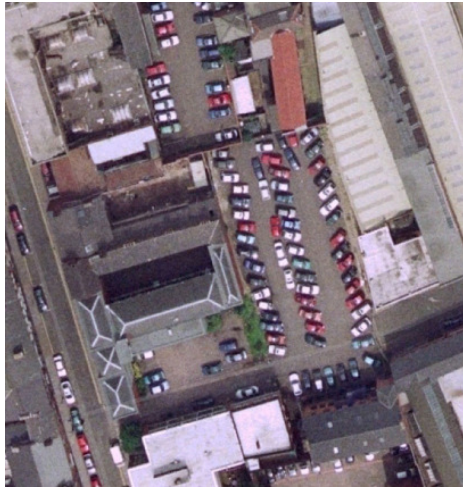
- 4.6.3 Surviving sources (see insets above and photo below) indicate a north-south aligned terrace of six narrow-plan, three-storey, brick-built houses (Nos. 7-12), furnished with small front gardens fronting an access path to the west, with a further, 'back alley' to the east, flanking the high, western wall of No. 123 Northwood Street (Building 7/8). To the south of this terrace, a second 'L'-shaped block (Nos. 1-6), opening directly onto the street, defined two sides of a yard to the south-east, the eastern side of which was demarcated by a transverse 'blocking' wall at the west end of Northwood Street. The court was cleared at some point between 1955 and 1970 (Figures 12/13), with the area subsequently being used for car parking down to 2001 (see inset below left); the recorded building being erected by AE Harris & Co., 2001-2002 (inset below, right). No historical planning materials are available online, though refs. **1996/01042/PA** and **1996/04321/PA** for the 'development of site for industrial warehouse' on land adjacent to No. 123 Northwood Street (Bldgs. 7/8) are clearly related.



'Blind-back' housing, Court No. 2, Nos.10-12, St. Helen's Passage prior to demolition in 1955 (from Chin, nd.)

Historical Occupation

- 4.6.4 The recorded range was constructed by, and only ever occupied/used by AE Harris & Co. (Birmingham) Ltd.



Aerial view of 2001 (Google Earth).



Aerial view of 2019 (Google Earth).

Description

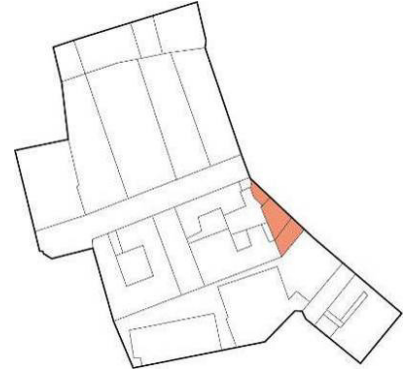
- 4.6.5 The recorded range (Figures 31-32) was rectangular in plan, measuring 24.5m wide (E/W) by 37m long (N/S), enclosing an area of c.815m², of a single storey standing 7.5m to eaves and 9.8m to ridge. The structure comprised a single-span, steel portal-framed warehouse, accessed from Northwood Street to the south, with through access to the covered yard of 123 Northwood Street (Building 8) to the east. The steel frame was encased within a breeze-block envelope, faced externally in brick.
- 4.6.6 The south elevation onto Northwood Street (Figure 31a; Plate 124) was constructed with a degree of architectural consideration (albeit of somewhat incongruous style), faced in orange/red brick above a chamfered, purple-grey brick plinth, with eight shallowly projecting pilasters framing a flush, pastiche classical portico, the central pilasters flanking a high, wide vehicular doorway with vertical roller shutter. Lower brickwork was in regular stretcher bond. Above the arcade were a blind 'frieze' and shallow pediment, the latter capped by a concrete coping and incorporating a central, circular motif above the vehicular entrance; upper brickwork was laid to Flemish bond.
- 4.6.7 Internally (Plates 126/7), the range was of five regular bays (c.7.3m bays, here numbered 1 to 5 from south to north; Figure 32) defined by six steel portal-frames (Figure 31b) supported on RSCs (530 x 210mm). Flooring was formed of a concrete slab and the roof was clad in profiled aluminium sheeting with semi-translucent roof-lights, two-three per bay. The north, south and west walls were of concrete block construction, the east wall of brick, comprising the west elevation of the mid-20th-century Building 7 to Bays 1/2, and the bounding wall of a lost, early-20th-century workshop range, formerly flanking the west side of the yard behind Building 7 (first illustrated in 1917/18 and evident on later OS maps down to 1955); at Bay 3/4, three relic, segmental-headed windows at first floor level (Plate 129) related to a workshop range visible of the 1948 aerial photograph.

Assessment

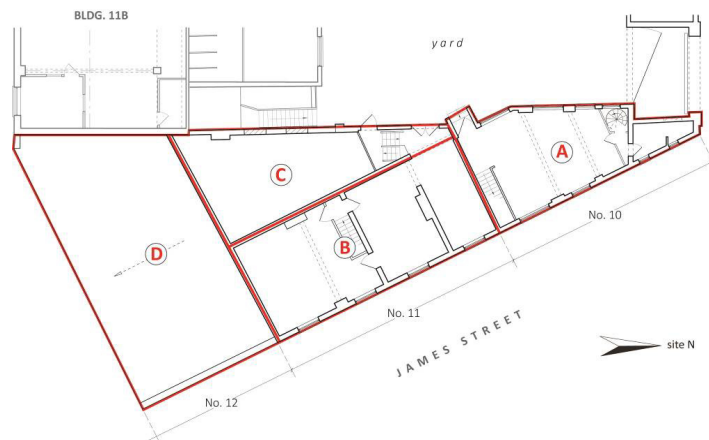
4.6.8 As one of the most recent buildings within the wider Harper's Hill site, and being of purely utilitarian design, the recorded range was of negligible historical interest and little architectural significance/merit.

4.7 **BUILDING 10: 10-12 James Street**

Street Address: 10-12 James Street
NGR: SP 06312 87485
Record Level: 3
Date: Late-C19th, extensively modified
Function: Workshops / stores / offices
Key Sources: OS mapping; APs; BBP **46354 / 83885**;
trade directories; site survey and
observation



4.7.1 **Building 10** was located to the western side of James Street, south of its junction with Northwood Street (Plates 130/31), occupying an irregular, tapering plot backing onto the eastern boundary of Bldg. 11 to the west; it was centred on SP 06312 87845. The building encompassed three historical street addresses viz. Nos. 10, 11 and 12 James Street (as annotated on later OS maps), which are here designated **10a**, **b** and **d** (see key plan below); Building **10c** comprised a high, single-storeyed covered area to the rear (west) of Bldg. **10b**, originally introduced in 1928, though the area was historically occupied by a further, narrow workshop range and a small open yard, discernible on OS maps down to 1917-27. The discrete units had been sequentially interlinked internally, as the properties gradually came under common ownership/occupation, with **10d** being internally connected with the lower level of Bldg. **11b** since at least 1947 (though it is included here for reasons of completeness).



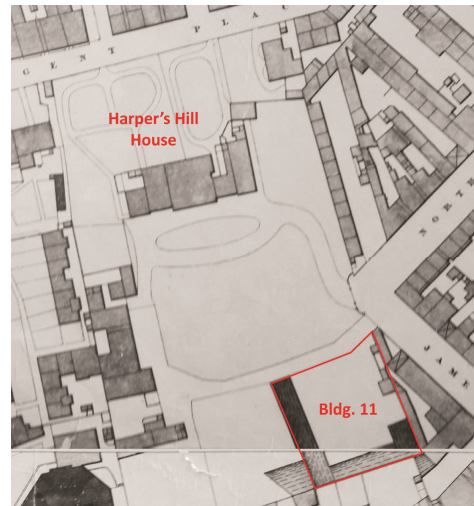
Bldg. 10: Key Plan

Development

- 4.7.2 A review of historical mapping reveals that Bldg. 10, together with elements of Bldg. 11 to the west, represent the earliest phases of development of the gardens associated with the former Harper's Hill House (inset below, left), with buildings clearly shown on Pigott-Smith's town plan of c.1855 (below right), at which time the villa itself was still extant.



Extract from Pigott-Smith's town plan of 1828
(site of future Bldg. 10 outlined in red).



Extract from Pigott-Smith's town plan of c.1855
(building 10 plot outlined in red).

- 4.7.3 The 1855 map (detail inset, below left) shows a long, narrow range aligned parallel to, and fronting, James Street, corresponding in part to the recorded Bldg. 10b,⁹⁶ with a transverse access bay to the north end,⁹⁷ and a short, westwards return to the south, within the area of recorded 10d. An open yard to the west of the street-frontage range was accessed via the transverse entry bay to the north, and flanked to the west by a further, narrow range backing onto the boundary wall of the future Bldg. 11 complex; the alignment of the latter range was continued to the north end of the site, as a short range with an open yard area to the east thereof, flanking James Street, occupying the site of the recorded Bldg. 10a. A similar arrangement is illustrated on the ratings plan of 1870/71 (Figure 7), though by the time of the first edition Ordnance Survey plan of 1890 (inset below, right), the range 10a had been remodelled to front James Street directly (as per recorded range), presumably broadly contemporary/associated with the introduction of shopping range 11a fronting the newly extended Northwood Street, with which it was contiguous.⁹⁸ A small projection to the yard side of 10a on early edition OS maps reasonably reflects a spiral stair accommodated within the range as recorded, evidently retained when the range was subsequently remodelled at some stage between 1927 and 1947 (see below).

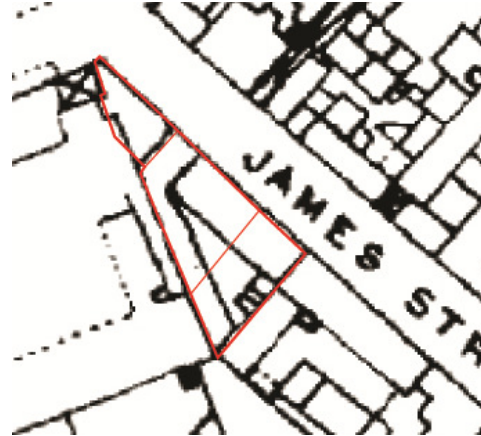
⁹⁶ The range as shown on the 1855 map extended further south than the recorded range, illustrated from other sources to have comprised an additional two window-bays.

⁹⁷ Corresponding to [LG1] of recorded range (see Figure 33/4).

⁹⁸ A vertical straight-joint within the upper façade to the far east end of range 11a (Figure 38a; Plate 188) suggests that Building 10a was chronologically later.

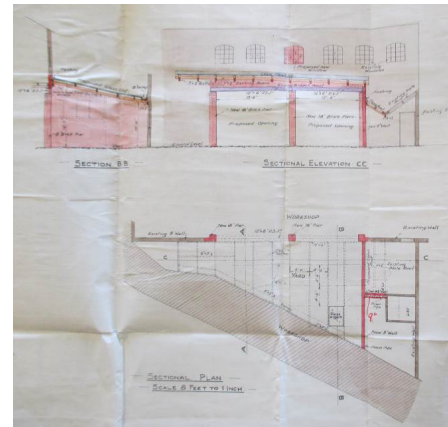
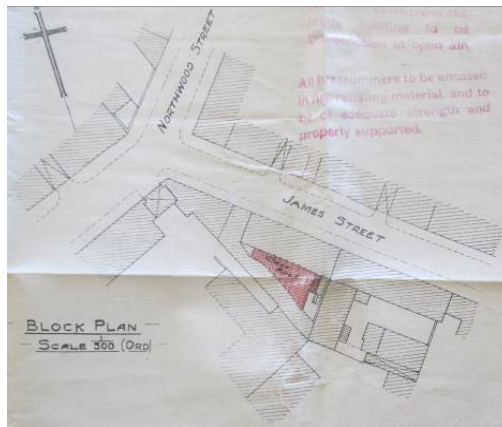


Pigott-Smith, 1855 (detail)



Ordnance Survey, 1890 (detail)

4.7.4 Little significant change is shown on Ordnance Survey editions of 1905 and 1917-27 (Figures 10/11), though deposited drawings of 1928 (BBP **46354**; insets below), prepared for John A. Homer Esq. (printer), detail the roofing over of the yard to the rear of street frontage range by a glazed roof, and the opening up of the ground floor of range **10b** to the west onto the newly created covered yard⁹⁹ (**NB.** rear, western shopping range survived at this time).



'Proposed alterations to factory premises' for John A. Homer Esq. 1928 (BBP **46354**); block plan (left) and details (right).



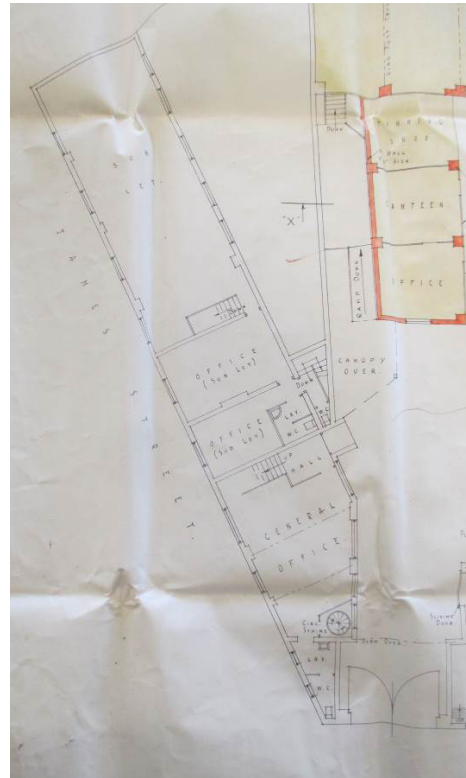
1937 aerial photograph of Building 10 looking west (James Street frontage to foreground).

⁹⁹ **NB.** The additional two window bays to the south end of **10b** are illustrated *in-situ* on the sectional elevation.



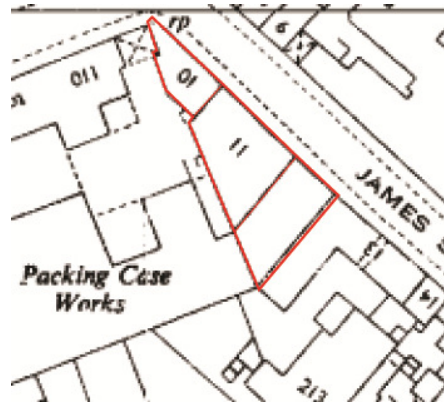
1948 aerial photograph of Building 10 looking south-east (Bldg. 11 to foreground).

- 4.7.5 Ranges **10a/b** are visible in aerial photographs of 1937 and 1948 (insets above). Both images show range **10b** surviving to six window bays, while the 1948 image clearly illustrates that the yard elevation of Building **10a** had been rebuilt on a different alignment (as recorded), running parallel to James Street to the south and angled back to respect the passage at the east end of **11a** to the north, a plan arrangement also shown on planning drawings BBP **83885** of 1947 for alterations to Building 11 for W.H. Goslings and Son (insets below). The latter drawings indicate that the narrow shopping range to the west, flanking Bldg. **11**, extant in 1928, had been removed by that date. The inclusion of Building **10** on the plans suggests that Bldgs. **10/11** were under common ownership at the time, with **10a** (offices) and **10d** (a carpenter's shop, opening off basement level of shopping range **11b**) in the occupation of Goslings, though annotations indicate remaining elements of Building **10 (10b/c)** were sub-let.

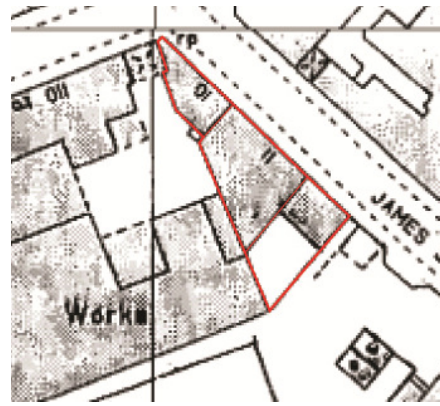


Bldg. **10** basement and ground floor plans from application BBP **83885**, 1947 (re. Bldg. **11** for W.H. Gosling and Son).

- 4.7.6 The Ordnance Survey edition of 1955 (inset below left) affords the first evidence for the truncation of Bldg. **10b** by the removal of the southern two window-bays, the range thereby shortened to its recorded length, while the plot of **10d** is not annotated with a street number, suggesting the former carpenters shop had been removed. A range is shown occupying the full extent of **10d** on the OS map of 1970 (Figure 13), though by 1980, only the eastern part of the site fronting James Street is shown as being built over (inset, below right).



Ordnance Survey, 1955 (detail)



Ordnance Survey, 1980 (detail).

Historical Occupation

- 4.7.7 Full listings for Nos. 10-12 James Street from historical trade directories are presented in tabulated form at **Appendix C.4**. The earliest listing for 'No. 11 James Street', in White's Directory of 1845, records three individuals/companies; viz. John Hoggetts, beer retailer, Henry Merideth and Sons, gun makers; and Sheppard and Merideth, brass cock, candlestick and bell founders. It is understood that Sheppard may have occupied premises to the western side of the Harper's Hill site (see §.3.2.8 above), and these entries are thus somewhat ambiguous.¹⁰⁰ Sheppard is also recorded in directories 1862 and 1868, though here his address is listed simply as 'James Street' while the Post Office Directory of 1871 lists him at No. 4 James Street; by 1878, he is listed at 42 Clement Street. Subsequent directories record a fluid pattern of multiple/split-occupation, with the following trades represented: merchants, castor makers, glass button manufacturers, brass founders, electroplaters, box makers, printers, lithographers, publishers, solder manufacturers and gauge makers. John Homer (printer) is listed at No.12 from 1930 to 1935, which is somewhat at variance with BBP **46354** for the extension to premises **10b** for Homer in 1928 (§.4.7.4), while Greg and Martin Ltd., solder manufacturers present one of the more long-lived occupants, listed from 1945 down to 1967/8. Deposited drawings related to Bldg. **11** (BBP **83885**) establish that the premises were in the ownership of W.H. Gosling & Son Ltd., packing case manufacturers, by 1947, though the latter company occupied offices at No. **10a** and a carpenter's shop at **10d** only, with annotations to plans indicating that the remaining elements of **10b/c** were largely sub-let.
- 4.7.8 It is understood that AE Harris & Co. (Birmingham) Ltd. acquired the premises from Goslings in the late-1980s/early-1990s (R.G. Luckock, *pers. comm.*). The common ownership of the combined complex would have prompted the formation of interconnecting doorways, if not already formed during previous occupation changes. A.E. Harris ceased using the buildings for production purposes in 2008, from which time a number of the constituent ranges were let out and repurposed (together with parts of adjacent Bldgs. 11 and 12) as a theatre/performance/exhibition space ('@AE Harris'/ Stan's Café performance company).

¹⁰⁰ Earlier directories (Wrightson 1808, 1818, 1825; and Pigot, 1835) list Sheppard (as 'Sheppard and Tart', Cock Founders) variously at Newhall Street and Harper's Hill, St Pauls.

Description

4.7.9 **Building 10** occupied a tapering plot, 42ft. wide to the south narrowing to just 4ft. wide to the north (at Northwood Street) where it flanked the eastern side of the entrance bay at the east end of Building **11a** (Plate 132). The main façade of the combined range **10a/b** fronted James Street (Plates 130/31), brick-built (painted white), though heavily modified with a number of doors/windows having been historically adapted and/or inserted; Bldg. **10b** retained four of an original six window-bays at first-floor level, openings being segmentally-headed with bull-nosed arches and jambs, though elsewhere, simple and flat-headed beneath concrete or steel lintels. Range **10d** to the south, in its recorded form, represented a mid-1980s introduction. Internally, the range was arranged over a maximum (to the north) of three levels, here designated basement, ground and first floor. As a result of the marked slope of James Street (Figure 33; Plates 130/131), however, and the disparate levels of the street to the east and yard to the west, the 'basement' level of **10a** was effectively at 'ground floor' level at **10b**. Thus, ground floor of Bldg. **10b/c** will be referred to as 'lower ground floor' (prefixed LG) and that of **10a** as 'upper ground floor' (UG); likewise, first floor of Bldg. **10b** will be referred to as 'lower first floor' (prefixed LF) and that of **10a** as 'upper first floor' (UF). The range communicates fully at basement/LGF level, reflecting its gradual consolidation under common ownership/occupation, with openings formed within original transverse property division walls, though at UG/LF level, ranges **10a/b** (corresponding to Nos. 10/11 James Street) remained discrete.

Building 10a: No. 10 James Street

4.7.10 The street elevation of No. 10 James Street (Figure 33; Plate 132) was of two storeys above a lower ground floor (semi-basement), brick-built to a regular Flemish stretcher bond, painted white, rising to a plain eaves line beneath a shallowly pitched roof (flat to the west). A chamfered plinth survived to the northern two window bays only, painted blue. The elevation was of five irregular window bays (central bay blind at upper levels) and included a blocked pedestrian doorway to the south, adjacent to the junction with **10b** (Plate 134). A further doorway was implied to the north, where opposing vertical straight-joints were evident within the chamfered brick plinth (Plate 133), though no clear evidence survived above this level, suggesting a major historical rebuild/refacing; it is possible that the implied opening originally pierced an early, low boundary wall of the open yard indicated on Pigott-Smith's 1855 plan, and was later (1870-90) incorporated into the remodelled range. Fenestration was of regular, rectangular openings beneath concrete lintels with projecting brick cills, housing modern glazing units.

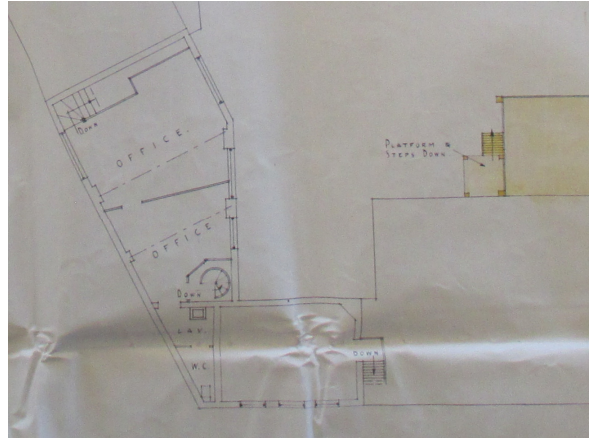
4.7.11 The yard elevation (Plate 135) presented a faceted façade, evidently a major remodelling of 1928-47 (see above), again brick-built of two full storeys above a semi-basement, rising to a plain eaves. The northern section of the elevation was aligned with the transverse GF entrance bay (Bay 1) at the east end of Bldg. **11a**, while the southern section extended the western (rear) wall line of Bldg. **10b** (contrast with early plan depictions); the two sections meeting in a full-height straight joint. Lower brickwork was in a regular Flemish stretcher bond, though the upper wall was less regularly bonded and was of distinct, paler colouration, again suggesting an historical raising/rebuild. Fenestration was of large, plain rectangular openings throughout, spanned by exposed concrete lintels and with projecting, blue-brick cills; all windows were modern steel/timber insertions. Together, the evidence was suggestive of a significant phase of modification; indeed, as noted above, historical Ordnance Survey mapping indicates the range was largely remodelled in the early to mid-C20th, with a marked change in wall alignment evident between OS map of 1917/27 and deposited drawings of 1947 (BBP **83885**). The change in character of brickwork at first-floor level, suggests the re-aligned wall was raised in two distinct phases.

- 4.7.12 The principal, extant access to the range was via a doorway to the south end of the yard elevation (Plate 136), set within a projecting porch, with a short flight of steps rising to GF level, though a blocked door to the southern street elevation formerly opened onto 'basement' level room [B3] (Plate 134). A narrow (2ft. radius) spiral stair 'A' to the north end of the range (Plate 137; by H & C Davis and Co. Ltd. of Clapham Common, London)¹⁰¹ afforded vertical communication through the full height of the range, while a second, straight-flight stair D rose from GF to 1F level against the south wall of [UG1/UF3] (Plate 139).
- 4.7.13 Basement level (Figure 34) comprised two principal rooms [B1] to the north (Plate 140), lit by high level windows to east and west, and [B3] to the south (Plate 147) with a small strong room [B2] (Plate 141) opening off the tapering north side of [B1]; the latter was furnished with a steel door by John and Josh. Taunton of Birmingham (Plates 141/2),¹⁰² and accommodated a small 'impregnable fire-proof chest' (maker's plate illegible though possibly by same company; Plates 143/4). The west wall of strong room [B3] was noted to align with the original west wall of the early shopping range within 10c to the south (marked on Figure 34), and thus reasonably reflected the main yard façade alignment shown on early mapping, prior to the reconstruction on a faceted plan (1927-47). Spiral stair A rose to the north-west angle of [B1] (Plates 145/6); as noted above (§.4.7.3), the stair location reasonably formed part of the earlier plan, retained and incorporated when the range was remodelled. Rooms [B1/3] were interconnected,¹⁰³ while an inserted door to the south side of [B3] opened to room [LG1] occupying the northernmost bay of Bldg. 10b; a narrow segmental brick-arch over the latter opening indicated an earlier door or (more likely) window in this location, possibly related to the plan arrangement illustrated on Pigott-Smith's plan of c.1855 (at which time it would have opened from the transverse cart entry, shown on early maps, onto the former open yard).
- 4.7.14 Ground-floor level (Figure 35) was accessed from the yard associated with Bldg. 11 to the west side of the range, the projecting porch for which (Plate 136) is first recorded in plans of 1947 (BP 83885) and on the 1948 aerial photograph. The range at this level was largely formed of a single main room [UG1] (Plates 148/9), annotated on historical plans (inset at §.4.7.5) as a 'general office', lit by large inserted windows to east and west; little of historical significance survived; room [UG2] opened to the north, occupying the space over basement strong room [B2], and housed a WC/wash room, lit by small, paired windows to the east elevation. A straight-flight stair (D) rose from west to east against the south wall (Plate 139), formerly furnished with a small stair lobby, affording access to the first floor over.

¹⁰¹ H & C Davis & Co, Ltd. were an ironmongers and builders' merchants, based at No.1 The Pavement, Clapham, founded in 1840 by Mr Edwin Ladd of Camberwell, but taken over by Henry and Charles Davis in 1868 (info: <https://boroughphotos.org/lambeth/hc-davis-co-no-1-the-pavement-clapham/>).

¹⁰² Of the Belgrave Works, Sherbourne Road, Birmingham.

¹⁰³ NB. Shown as discrete on submitted plans of 1947, under separate occupation.



Bldg 10a, first-floor level 'as existing' in 1947 (BBP 83885).

- 4.7.15 First-floor level (Figure 36), accessed via vertical continuation of spiral stair **A** to the north and straight-flight stair **D** to the south, retained the arrangements much as illustrated in submitted plans of 1947 (see inset above). The head of the straight-flight stair **D**, with upper winders forming a $\frac{1}{4}$ turn was enclosed by $\frac{1}{2}$ -glazed, matchboard walling (Plate 150), with the head of Stair **A** similarly treated (Plates 151/2). The upper floor was subdivided into two principal office spaces [UF1/3], formed by an ephemeral, angled partition wall (Plate 154), which bisected one of the windows of the western, yard elevation, a plan evident as far back as 1947 (see above). The roof over was pitched to the east and flat to the west (Figure 37b), supported on inserted steel girders with no clear, visible evidence for an earlier roof form. Room [UF2] opened off the north side of [UF1] adjacent to the (enclosed) head of spiral stair **A** (Plate 151), a former wash-room/toilet occupying the space vertically above strong room [B2]; an inserted door within the west wall here (Plate 153) opened onto the office room of range **11a** over the entrance bay, approached via a short timber stair (inserted, post-dating plans of 1947, see inset above).¹⁰⁴

Building 10b: No. 11 James Street

- 4.7.16 **Building 10b** comprised four bays of a once longer, six-bay range,¹⁰⁵ formerly extending over the eastern area of Bldg. **10d** to the south, as illustrated in early OS maps and as visible on the 1948 AP reproduced above, though evidently shortened by 1955. It was brick-built rising through two full storeys to a plain eaves level beneath a shallowly pitched roof, gabled to the south and abutting **10a** to the north.¹⁰⁶ The James Street elevation (Figure 33; Plate 155) retained four regular window bays of segmentally headed, bull-nosed openings to first floor level (Plate 156), though openings at ground floor had been largely modified. The northernmost bay was occupied by a large, square window opening, inserted into a former, wide transverse entrance bay serving the original rear yard, as indicated on early mapping as far back as 1855 (Plate 158), with a tall, inserted roller door (present since at least 1947) to the south thereof. A narrow, pedestrian doorway with flanking window occupied the third bay from the north (Plate 157), while the southmost bay included a further, three-light casement window. The rear (west) elevation was largely obscured, though a narrow band of English garden wall brickwork was visible above abutting structure **10c** (Plate 159).

¹⁰⁴ The office raised over the entrance bay was formerly accessed from range **11a** via a doorway in the west wall (see 1947 plan).

¹⁰⁵ See 1947 plans and historical aerial photographs at §.4.7.4/5.

¹⁰⁶ No clear straight-joint visible, though obscured by rainwater goods at time of survey.

- 4.7.17 Internally, (lower) ground floor level (Figure 34) was subdivided on a principal two-part plan, the northernmost bay [LG1] being defined to both north and south by solid, transverse brick walls; reference to historical maps indicates that this bay originally formed a transverse entrance bay opening off James Street and serving an open, rear yard between **10b** and a former narrow shopping range flanking the west side of the plot (within area of **10c**; see below). The eastern doorway had been partly infilled and a window inserted (Plate 158/60), while the west side had been modified to accommodate stair **C** descending from the upper floor, and from the yard of Bldg. **11** (Plate 161), formed when the buildings came into common ownership (pre-1947). Doorways opened off [LG1] to north and south, to [B3] and [LG2] respectively (both openings present by 1947).¹⁰⁷ The southern three window bays of the range formed a single space [LG2] (Plate 162), partly bisected by an enclosed, straight-flight stair (**B**) rising east to west across the range (Plates 163/5), accessed via a door to the north side and from the pedestrian doorway of the James Street frontage (Plate 157). To the north side of the stair, the west wall was pierced by a large, inserted roller door (Plate 163). The western wall had been largely removed at basement level in 1928 (BBP **46354**), with the range being fully open onto adjacent covered yard **10c** ([LG3]; Plate 164).
- 4.7.18 First floor (Figure 35) was approached via the transverse stair **B** rising from [LG2] to [LF2], enclosed at first floor level (Plate 166), and via secondary dog-leg stair **C** (Plates 167/8) accessed from [LG1] and, via a mezzanine level, from the western yard of Building 11, rising to [LF1]. The upper floor level was sub-divided on a tripartite plan with [LF1/2] occupying the northern two window bays respectively (Plate 169/70 and 171/2), annotated as 'offices' on plans of 1947, though the removal of the west wall of [LG1] and the introduction of a pair of large loading doors onto the external yard (Plate 170) indicates a more utilitarian function. Room [LF2] was furnished with a fireplace projecting centrally to the north wall (Plate 172), a trimmed hearth slab visible within the ceiling structure of [LG1] at basement level (Plate 173) indicates a corresponding original fireplace to [LF1], though all trace of this had been lost at the time of survey and it is of note that no fireplace is indicated on the submitted plans of 1947. The southern two bays comprised a single space, [LF3] (Plate 174), formerly extending by a further two window bays to the south before the range was truncated 1948-1955. Windows to the James Street elevation comprised two-light timber casements with side-hung opening lights, set within segmentally-headed openings; windows to the west had been largely blocked. Rooms have been modified with a suspended ceiling inserted throughout, though sections of original, underdrawn lath and plaster were exposed in places (Plate 175).
- 4.7.19 The roof structure over **10b** was largely obscured, though partly visible to the south side of [LF3], where a shallow-pitched, timber king-post truss was visible,¹⁰⁸ with raking struts rising from a joggled KP base (stirrup jointed) and additional angle-struts rising from tie-beam to principal rafters at the level of a single tier of longitudinal side-purlins.

Building 10c: Covered yard to rear of No. 11 James Street

- 4.7.20 **Building 10c** comprised a 15½ft. high, single-storey covered yard area [LG3] to the rear (west) of Bldg. **10b** (Figures 34/7; Plates 176/7), of irregular quadrilateral plan tapering to the north, covered over by a simple flat roof incorporating Georgian-wired, mono-pitched rooflights. The space was open to the east side onto the ground floor of Bldg. **10b** (Plate 177), through access having been formed in 1928 for a previous covered yard (BBP **46354**), with upper brickwork being supported on inserted concrete beams supported mid-span by a pier

¹⁰⁷ In the early layout as illustrated in maps of 1855 and 1870/71, the north wall would have formed the gable end of the range, with [B3] occupying the area of a former open yard.

¹⁰⁸ Unfortunately, not readily accessible for purposes of photography.

of brick. A blocked doorway in the south wall formerly communicated with **10d** or its precursor range / yard (see below).

- 4.7.21 Historical mapping indicates a long, narrow range aligned against the west wall of the plot, conjoined with the northern bays of Bldg. **10b** (No. 11 James St), indicated as early as Pigott-Smith's plan of c.1855 and evident as later as the OS map of 1917-27, though removed by the time of BBP **83885** of 1947 (see insets at §.4.7.5). A surviving, linear scar within the concrete floor (Plate 178) reasonably reflects the line of the original eastern wall of this building, which would thus have measured just 8½ft. wide, possibly with a mono-pitch roof over. The former range was of two storeys, first-floor level being evidenced by blocked joist sockets, with three blocked, segmental headed windows high in the west wall formerly lighting the upper floor (Plate 179).¹⁰⁹

Building 10d: No. 12 James Street

- 4.7.22 **Building 10d** occupied the southern part of the plot, constituting, in its recorded form, a simple covered loading bay (former carpenter's shop), aligned perpendicular to and fronting James Street to the east (Figure 34), introduced in the mid-1980s,¹¹⁰ and connecting through to the lower ground floor (LGF) level of workshop range **11b** to the west. The ranges had been interlinked since at least 1947 and a scar to the rebuilt east elevation of Bldg. **11b** (Plate 183) indicated a pre cursor range with bowed roof profile, possibly that shown on the Ordnance Survey map of 1970. The loading bay as recorded extended over the area of the former southern continuation of range **10b**, visible on the 1948 AP though evidently truncated by 1955 (see OS maps above); the southern elevation of the surviving section of **10b** is in new brick with timber cladding to the gable (Plate 183).
- 4.7.23 The east elevation to James Street (Figure 33; Plate 182) was simply finished, in brown stretcher-bond brick rising to a short parapet wall, including a tall, roller door to the south and pedestrian doorway to the north. The south elevation, visible from the yard associated with Bldg. 15, was clad in profiled aluminium sheeting applied to an internal steel frame above a low, stretcher bond brick base (Plate 183).
- 4.7.24 Internally, the range formed a single unencumbered space (Plates 184/5), a steel portal-frame of two full (6m) bays and a short, irregular terminal bay to the west, where it meets (and is open to) the lower ground floor (basement) level of workshop range **11b** at an angle, the lower wall of the latter building having been removed to afford free access. A dropped area adjacent to the roller door in the east wall was set at exterior street level, c.2½ft. (0.75m) below the main floor slab, which was continuous with range **11b** to the west.¹¹¹ The range was covered by a shallow, mono-pitched roof, rising from south (4m tall) to north (5m tall), where it abutted Bldgs. **10b/c**; the roof is clad in profiled metal sheeting and includes semi-translucent, flush skylight panels, two per bay. A short stub wall projecting from the north wall reflects the western wall line of the former southerly continuation of Bldg. **10b**.

Assessment

- 4.7.25 A review of historical mapping indicates that some component structures of Bldg. **10** represented the earliest phase of development within the grounds of the former Harper's Hill House, illustrated on Pigott-Smith's town plan of 1828, erected in part while the latter structure was still extant and first depicted in broad terms on

¹⁰⁹ Also visible within external stairwell descending to basement level of Bldg. **11b** (Plate 180).

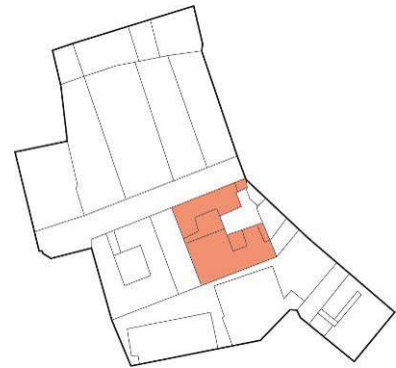
¹¹⁰ See PA ref. **01419008** of 03/02/1989 for 'alterations and extensions to existing property to provide new toilet and mess room facilities, **extended toolroom and covered loading bay to machine shop** at 10-12 James Street/110 Northwood Street' for AE Harris and Co, Ltd.

¹¹¹ At the time of site survey, an earth ramp here had replaced an original step up.

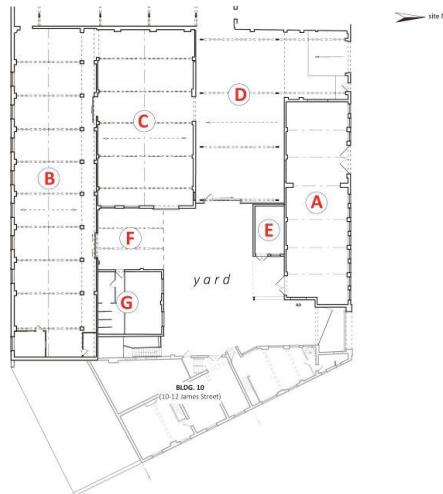
Pigott-Smith's survey of c.1855. Building **10b** (truncated to the south) represented the earliest section of the recorded complex, while elements of Building **10a** (*viz.* lower east wall, spiral stair, parts of strong room) may also have survived from the arrangements depicted in early map and plans, retained within a significantly remodelled range. Despite their early origins, however, the utilitarian original form combined with subsequent phases of fairly radical historical modification meant that little fabric remained externally in a readily 'readable' form, while the evident evolution of the interiors to accommodate changing patterns of occupation and use, while interesting from an historical perspective, had resulted in a cumulative, negative impact upon the fabric of the buildings themselves from an interpretive perspective, and again left little of intrinsic interest or significance. As such, and perhaps as an inevitable result of their long evolution, little survived to distinguish a series of essentially functional buildings. Building **10d** represented a modern introduction of no historical significance or architectural merit.

4.8 BUILDING 11: 110-118 Northwood Street

Street Address:	110-118 Northwood Street
NGR:	SP 06283 87483
Record Level:	3
Date:	Mid- to late-C19 th → C20 th
Function:	Industrial complex
Key Sources:	OS mapping; APs; BBP 58173 / 83885 / 85009 ; later planning materials; trade directories; site survey and observation



- 4.8.1 **Building 11** (Nos. 110-118 Northwood Street) was located to the south side of Northwood Street at the east end of the study area adjacent to the junction with James Street (Plate 186), opposite Nos. 109-113; it was centred on NGR SP 06283 87483. The building complex as recorded comprised seven main conjoined elements, here designated **11a** to **11g**, arranged around, and sequentially encroaching upon, a central, formerly open yard area, the latter closed to the east by the rear of Building **10** (10-12 James Street). Constituent elements are illustrated in the key plan below (see also Figures 39-41).

**LEGEND**

A: Two (originally three) -storey workshop range fronting Northwood Street, late-C19th, truncated to west and much modified.

B: Two-storey workshop range to rear boundary (late-C19th, substantially rebuilt c.1948).

C: Mid-C20th utilitarian 'shed' (1948).

D: Late-C20th workshop (post-1980).

E: Early-mid C20th sub-station, originally 'pump-house' (1927-47).

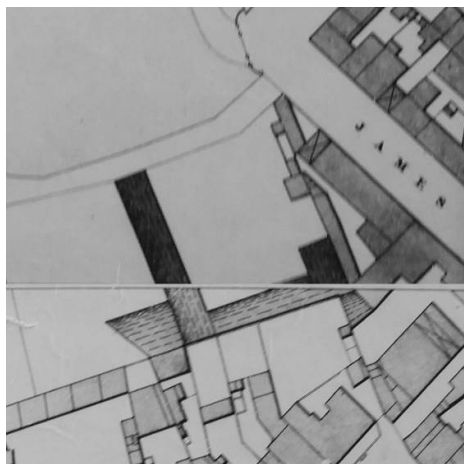
F: Mid-C20th covered yard (1948-55)

G: Mid-C20th canteen / toilet block (1948-55).

Bldg. 11: Key Plan

Development

4.8.2 A review of historical mapping reveals that the site of Bldg. 11, together with Bldg. 10 to the east, fronting James Street, represent the earliest phases of development of the former gardens associated with Harper's Hill House, and although the western extension of Northwood Street remained to be laid out at the time, buildings are shown to the plot boundaries on Pigott-Smith's town plan of c.1855, at which time the villa itself was still extant (Figure 6). The buildings as depicted on Pigott-Smith's plan (inset below, left) comprise long narrow ranges flanking the southern and western boundary of the future Bldg. 11 plot,¹¹² with a short, stub return to the east and a series of smaller structures aligned on the eastern site boundary, backing onto the structures of Bldg. 10. The principal ranges are 'hatched', though no key for the plan survives and it is thus not possible to establish for certain what this rendering signifies.¹¹³ The ratings plan of 1870/71 (Figure 7; detail below right) omits the buildings, though the site is annotated 'Jabez Marshall'.¹¹⁴



Extract from Pigott-Smith's plan of c.1855.



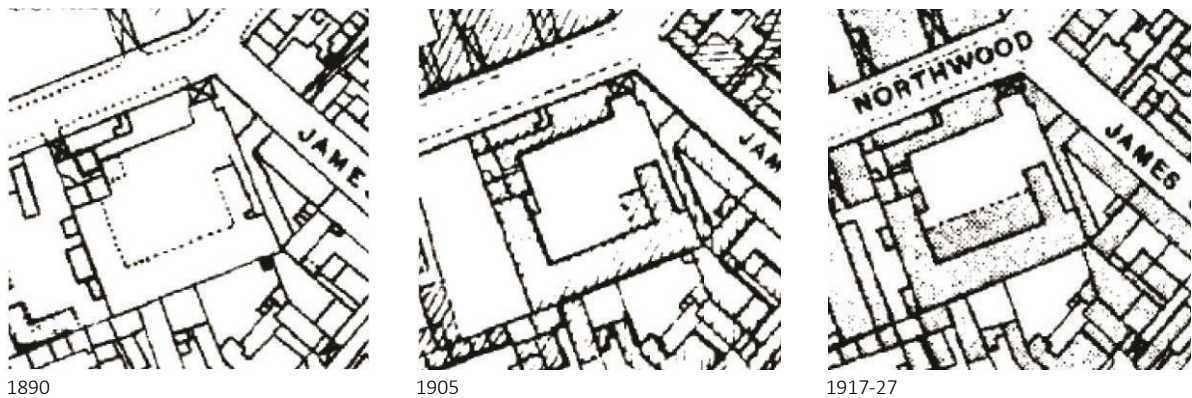
Extract for Ratings Plan of 1870/71.

¹¹² The southern plot boundary corresponding to the historical limit of the gardens associated with Harper's Hill House, and incorporating a significant drop in ground level.

¹¹³ Probably suggesting open-fronted buildings – see later depictions on early OS mapping.

¹¹⁴ As noted above (§.3.2.13), the arrangements as depicted on the ratings plan are somewhat ambiguous. The implication is either that the early buildings had been demolished prior to 1870 and were to be rebuilt on essentially the same plan by 1890, or that the ratings plan had been amended.

4.8.3 The subsequent evolution of the site is recorded in historical Ordnance Survey mapping, historical planning materials and aerial photographs, which illustrate the gradual, piecemeal development of the site, first to its northern, southern and western boundaries and later the encroachment over the former open yard. The first edition 1:2500 map of 1890 (below, left) indicates the establishment of the western continuation of Northwood Street beyond James Street and the introduction of Block **11a** (in outline form, though evidently formed of two distinct parts, and originally of three storeys – see below) flanking the south side of the road, with entrance bays to east and west and a large open yard to the south.¹¹⁵ The yard is framed to the west and south by (presumed) open-fronted sheds/covered yards (signified by dotted lines), returning northwards to the east, broadly reflecting the arrangements of Pigott-Smith's plan of 1855. A narrow gap to the east of the eastern, return range is shown on later drawings (see §.4.8.7 below) to have accommodated a partly ramped access to the basement level of Bldg. **11b** to the south. The western end of the street frontage range (**11a**), later lost, was formed of a group of small, conjoined blocks. Little fundamental change is illustrated in the second edition map of 1905 (below, centre), though the ranges to the western and southern boundaries of the open yard, forming an 'L' shaped block (the southern range of which corresponds to Bldg. **11b** of the recorded complex), are shown in more substantial form (solid lines/cross-hatched) suggesting the early, open-fronted buildings had been remodelled as solid walled structures.

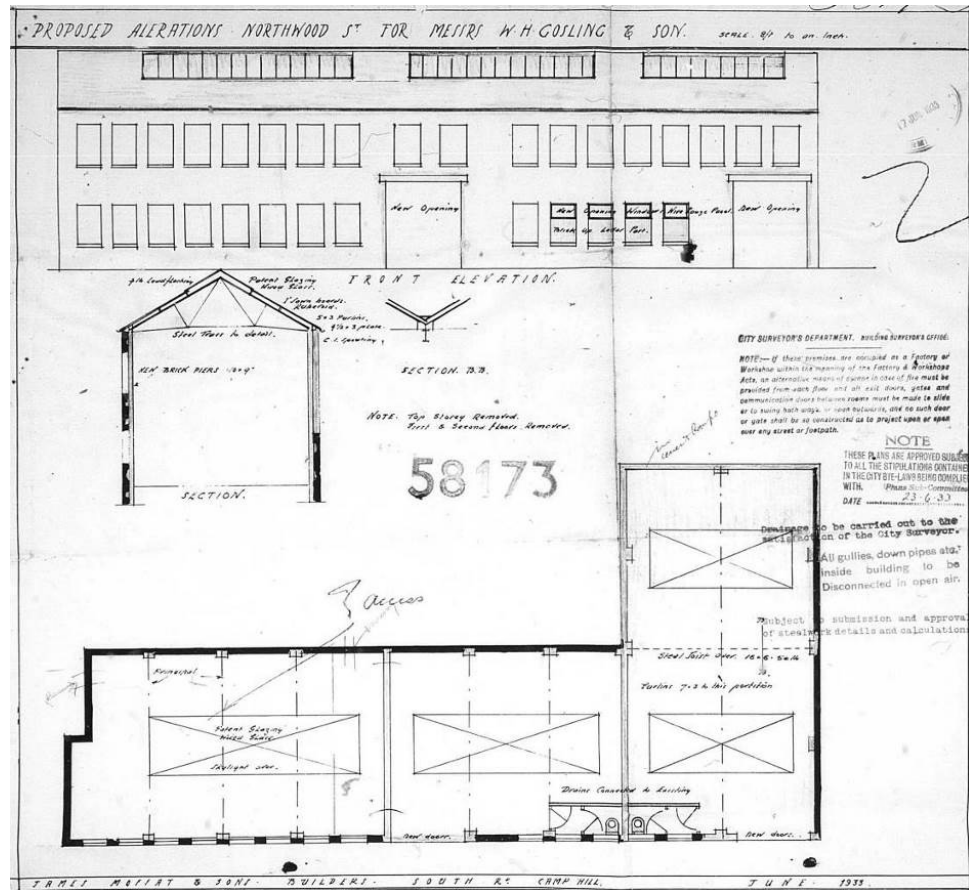


Bldg. 11: Historical Ordnance Survey map extracts from 1890 (left), 1905 (centre) and 1917-27 (right)

4.8.4 The map of 1917-27 (above, right) again indicates limited change, though an open-fronted range / covered yard had been introduced flanking the north side of the southern range **11b**, encroaching onto the open yard.

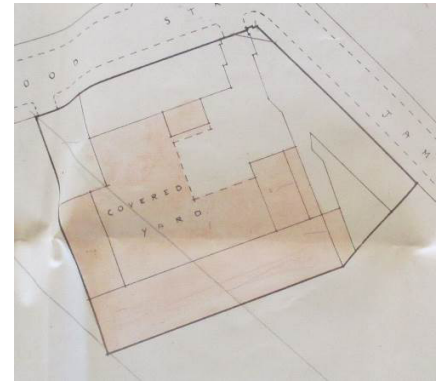
¹¹⁵

The introduction of 11a is assumed to be broadly contemporary with the remodelling of building 10a which it abuts to the east.



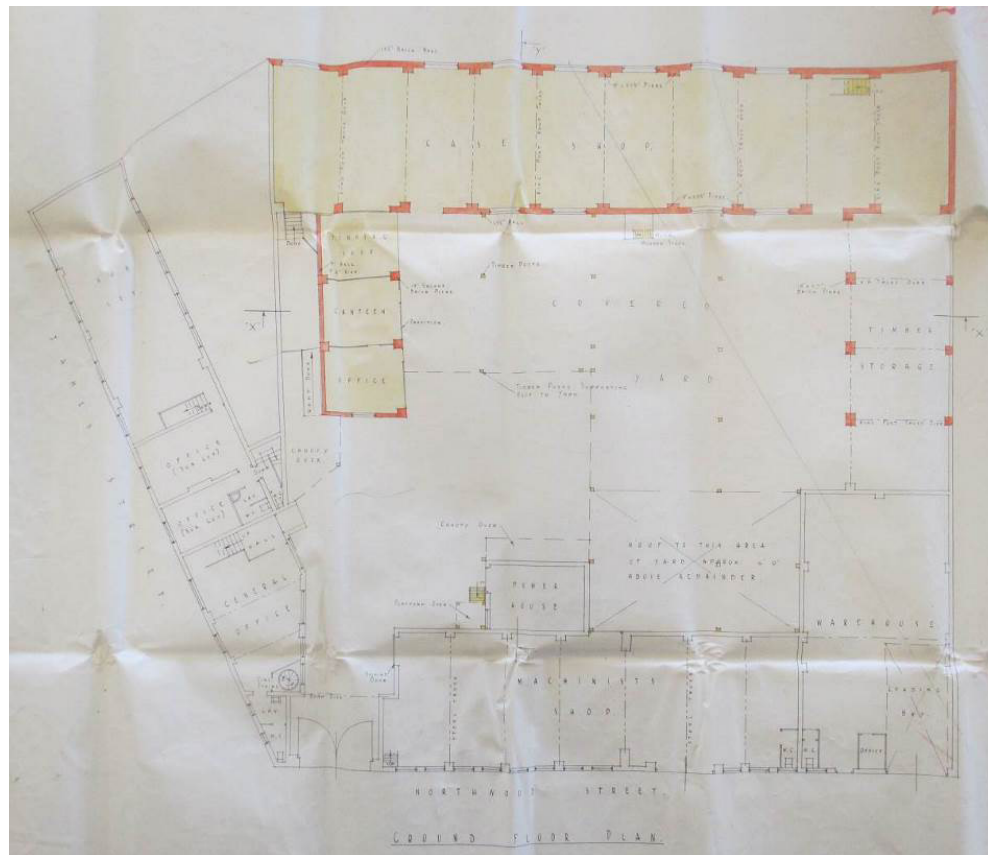
Alterations to Northwood Street premises for Messrs. WH Gosling & Son., 1933 (BBP 58173).

- 4.8.5 Historical proposal drawings of 1933 (BBP 58173; inset above) for alterations to the street frontage range 11a, prepared by James Moffat & Sons, builders, of South Road, Camp Hill on behalf of W.H. Gosling and Son, illustrate the full extent of the range prior to the removal of the five western window-bays for the introduction of Bldg. 11d, while annotations clearly indicate that the range was originally of three-storey form. The ground plan of the range is depicted occupying an L-shaped plan, with a short southern return to the west, while the street frontage range itself is shown on a tri-partite pattern, subdivided by two transverse walls. Proposals included the removal of the original upper storey, together with the dismantling of internal floor structures (to create the single, full-height range as recorded), and the insertion of two new doorway openings and partial blocking of several windows to the street elevation. The lowered range was re-roofed with 'W' pattern steel 'Fink' trusses, supported on new brick piers, with roofslopes incorporating patent-glazed roof lights.
- 4.8.6 An historical aerial photograph of 1939 (inset below) clearly shows the street frontage range to Northwood Street in its reduced form, while the largely covered yard is also of interest, corresponding closely to the extent of covered yard depicted in later survey drawings of 1947, submitted to BCC as part of an application (BBP 83885) for the reconstruction of range 11b after fire (see below).



Aerial photograph of 1939,¹¹⁶ looking west (left) and block plan of 1947 (BBP **83885**; right), showing extent of Bldg. 11 covered yard.

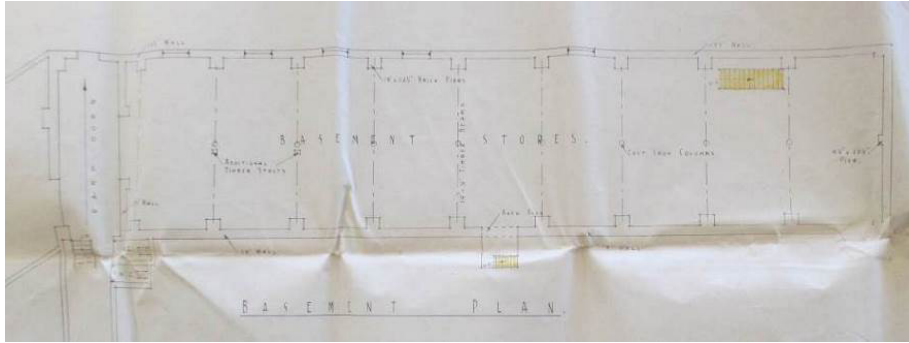
- 4.8.7 Two sets of archived application drawings (BBP **83885** and BBP **85009**, both of 1947; insets below) detail the rebuilding and alterations to southern range **11b** for W. Gosling and Son Ltd. following fire damage, possibly related to enemy action during World War II.¹¹⁷ Drawings in both instances were prepared by S.T. Walker FRIBA of James Cond Buildings, Charlotte Street, Birmingham.



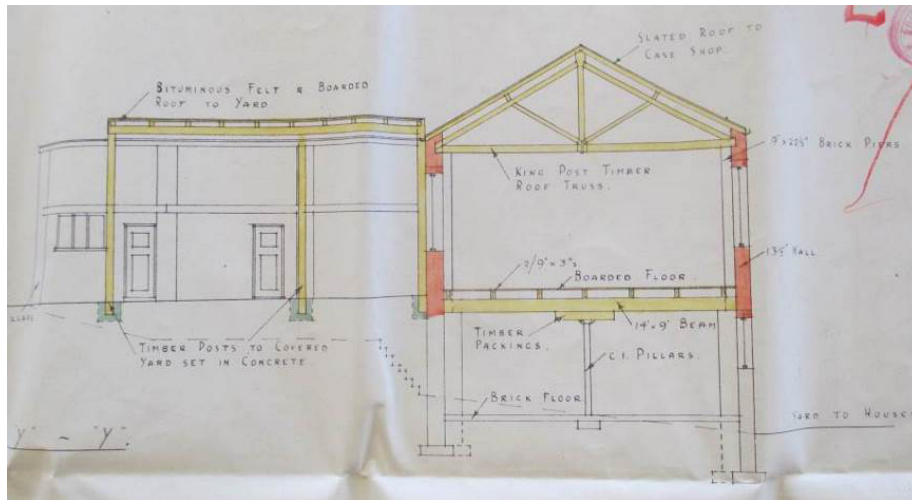
GF plan: survey of premises belonging to Messrs. WH Gosling & Son Ltd., 1947 (BBP **83885**).

¹¹⁶ Britain from Above, image ref. EPW062660

¹¹⁷ See 'air raid map' at <https://www.rmlt.org.uk/news/the-jq-during-world-war-ii>, which indicates an 'incendiary' strike at the angle of James Street and Northwood Street.

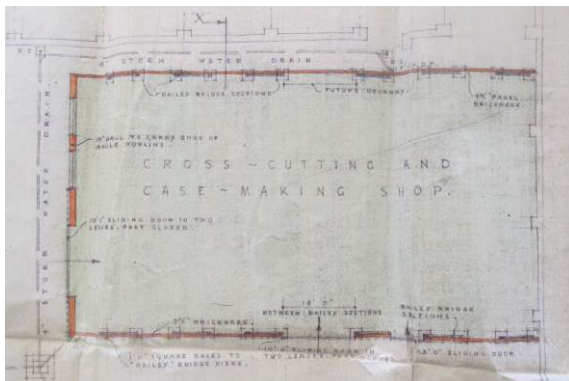


Basement plan: survey of premises belonging to Messrs. WH Gosling & Son Ltd., 1947 (BBP **83885**).

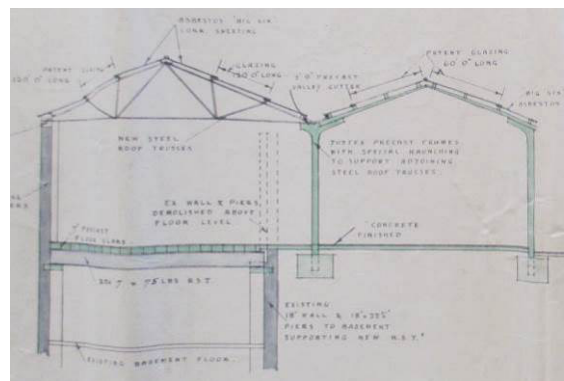


Cross section of premises (**Bldg. 11b**) belonging to WH Gosling & Son Ltd., 1947 (BBP **83885**).

4.8.8 BBP **83885** (insets above) relates to the proposed rebuilding of range **11b**, and the formation of a covered yard to the north side thereof. BBP **85009** (insets below) relates to an amended proposal, omitting the covered yard but including the creation of a new 'cross-cutting and case-making shop' within a steel, portal-framed building flanking the north side of Bldg. **11b**, viz. Bldg. 11c of the recorded complex (the opening of which in 1948 was commemorated in a date stone upon the recorded building; Plate 217). An alternative new roof structure over **11b** (steel trusses, as recorded, as opposed to timber king-posts) is shown on the cross-section (below, right).



Bldg. 11c; plan.



Bldg. 11b/c; transverse cross-section looking west.

New cross-cutting shop (**Bldg. 11c**) with associated, revised roof details to **Bldg. 11b**. 1947 (BBP **85009**, amendment)

4.8.9 The aerial photograph of 1948 (inset below) illustrates the site prior to completion of the works outlined in BBPs **83885** / **85009** of 1947. It is clear that street frontage range **11a** had been reduced to two storeys (as per BPP **58173** of 1933), with the lowered, pitched roof extending to the west to abut the eastern wall of Building **12**. Workshop range **11b** to the south side of the open yard remained unroofed, affording a view of the tall, segmental-headed window openings of the lateral walls; the remnants of the perpendicular structure formerly projecting into the yard from the eastern end of **11b** (as depicted on the 1947 plan, inset above) can be identified, in the form of three, free-standing columns. The yard area between **11a** and **11b** is largely open, with range **11c** yet to be erected.



1948 aerial photograph of Buildings 10/11 looking south-east,
(prior to remodelling/re-roofing of **Bldg. 11b** and introduction of **Bldg. 11c**).

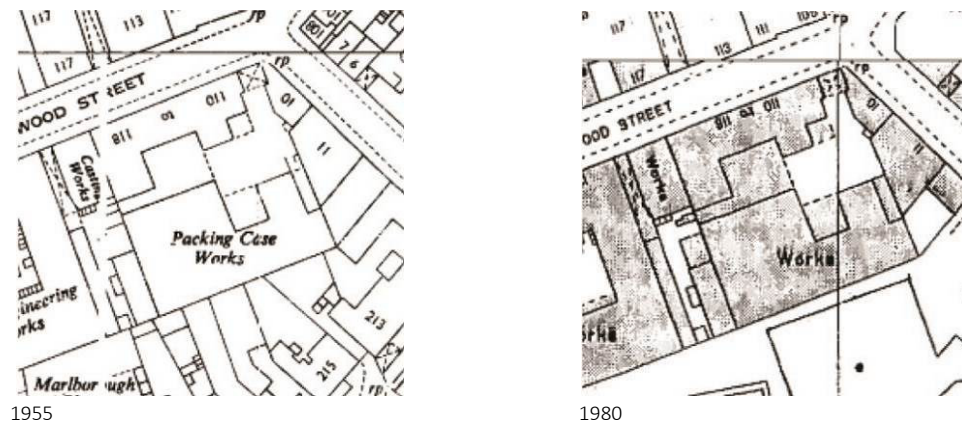
4.8.10 The late-1940s modifications are illustrated on the Ordnance Survey edition of 1955 (inset below, left) which also depicts mess room/toilet block **11g** and covered yard **11f**, the applications for which had been submitted in 1948, but not approved until 1952.¹¹⁸ The area between ranges **11a** and **11c** had been roofed to form a covered area, open to the east onto a yard corresponding in extent to that recorded during the current study, while ‘power house’ **11e** (later sub-station), present on the 1947 application plan, is also shown, appended to the south lateral wall of Bldg. **11a**,¹¹⁹ with a small, covered loading bay to the east thereof. The site is shown as a single entity, annotated as a ‘packing case works’.

4.8.11 The group of structures to the west end of **11a** continues to be shown as a block extending southwards from the street frontage range, though the internal partitions of earlier editions are no longer shown. The 1955 edition also illustrates changes to the rear elevation of No. 10 James Street (Bldg. **10a**) where it backs on to the open yard; *viz.* the realignment of the bounding wall and introduction of a doorway with shallowly projecting porch in the angle with No. 11 James Street (also visible on the 1948 AP), indicating that the premises were in common ownership/occupation by this date (see also GF plan accompanying BPP **83885**, inset at §.4.8.7 above).¹²⁰

¹¹⁸ Planning ref. No. **1419**, 21 Oct 1948, approved 24.8.1952.

¹¹⁹ 1947 drawings (BBP **83885**) indicate the ‘power house’ was formerly furnished with a timber constructed ‘drying room’ atop its steel and concrete roof, subsequently removed (see inset at §.4.8.32).

¹²⁰ Nos. 11/12 James Street are marked on the 1947 plan as being ‘sub-let’, indicating that they, too, were in the ownership, though not the occupation, of Goslings by that time.



Bldg. 11: Historical Ordnance Survey map extracts from 1955 (left) and 1980 (right)

- 4.8.12 Little significant change is illustrated on the Ordnance Survey map of 1980 (detail inset, above right), on which the premises are annotated simply as 'works'.

Historical Occupation

- 4.8.13 It has not been established during the course of research related to the current project for whom the premises at 110-118 Northwood Street were originally constructed; the earliest indication is afforded by the ratings plan of 1870/71 where the plot (no structures shown) is annotated 'Jabez Marshall', and while early trade directories do not list the southern side of Northwood Street by street number, and it remains unclear exactly how the premises were sub-divided, it is of note that successive issues of Kelly's directory from 1903 through to 1929 (**Appendix C.2**) record one Jabez Marshall Jr., a cooper, at No. 110. The 1913 directory also records Howard S. Cooke, brass turner at No. 116, an address previously listed as 'The Mount Swivel Works' / 'Mount Works'.¹²¹ By 1930, No. 110 is recorded as in the occupation of William Gosling and Son, packing case manufacturers,¹²² while from 1935 down to 1973/4, Gosling's address is listed as 110-118 Northwood Street indicating they occupied the entire site from the early-1930s (historical planning applications of 1933 and 1947 were submitted by Goslings).¹²³ The premises are shown as a single unit, annotated as a 'Packing Case Works', on the Ordnance Survey maps of 1955/1970, and simply as 'works' in 1980 (Figures 12-14; details inset above).
- 4.8.14 It is understood that AE Harris & Co. (Birmingham) Ltd. acquired the premises from Goslings in the late-1980s/early-1990s (R.G. Luckock, *pers. comm.*). Harris' ceased using the buildings for production purposes in 2008, from which time a number of the constituent ranges were let out and repurposed (together with parts of adjacent Bldgs. 10 and 12) as a theatre/performance/exhibition space ('@AE Harris' / Stan's Café performance company).

¹²¹ Wilkinson and Twigg, stampers and piercers, are recorded at the 'Mount Works' in 1892, and Chris Hutton similarly in 1895 (**Appendix C.2**).

¹²² Graces Guide (https://www.gracesguide.co.uk/W._and_H._Gosling) records that the precursor firm was originally established in 1816 by one Charles Clulee, being acquired by Samuel Gosling in 1850, later passing to William and Howard Gosling in 1881. Whitaker's Red Book of 1914, records W & H Gosling, packers and packing case / cask manufacturers, at 56 Lionel Street, Birmingham.

¹²³ It would seem that Goslings also occupied premises at 215 Newhall Street to the south (later site of Bldg. 15); see fn. 125.

Description

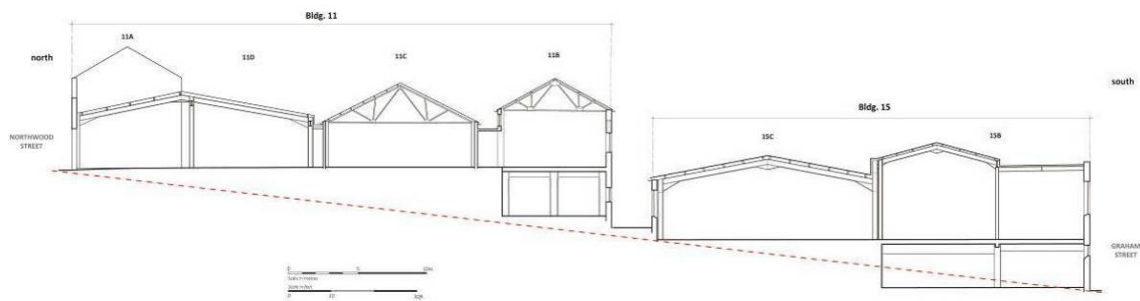
Building 11a: Northwood Street frontage range

- 4.8.15 Street frontage range **Bldg. 11a** (Plates 186/7) was a long, two-storey workshop range flanking the south side of Northwood Street; Pigott-Smith's plan of c.1855 indicates that it post-dated the early development of Bldg. 10 (10-12 James Street) to the east, and the range is first illustrated in general terms on the first edition Ordnance Survey map of 1890. Originally of three storeys, it was reduced in height in c.1933 (BBP **58173**) and shortened by five window-bays to the west in the later 20th century when Bldg. **11d** was formed. The range is annotated as a 'machinist's shop' on deposited plans of 1947 (BBP **83885**).
- 4.8.16 The range as recorded had overall external dimensions of 95ft. long (E/W) x 25½ft. wide (N/S), standing 21ft. tall above a chamfered brick plinth to a plain eaves band and 27ft. to ridge. It was brick-built of eight bays, here numbered 1 to 8 from east to west, with Bay 1 accommodating a transverse access passage (Plate 189), flanking the rear (west) elevation of No. 10 James Street (Bldg. **10a**) to the east and serving a rear, open yard. The street elevation (Figure 38a) can be broken down into three distinct parts, as follows;
- as noted, Bay 1 (Plate 189) comprised a GF through passage, with a raised office over of three window bays, the pitched roof here standing a little higher than the main body of the adjacent range;
 - Bays 2 to 5 constituted a distinct unit with regular, superimposed windows to GF/1F level, two per bay (Plate 190), segmental-headed beneath double-header brick-arches and with projecting brick cills; windows were modern insertions in imitation of 1/1 sashes, those at ground floor furnished with externally applied, vertical roller shutters;
 - Bays 6 to 8 represented a further distinct unit, though brickwork was continuous with Bays 2 to 5 to the east. A double-door opened at Bay 6/7 (Plate 191), with two windows over (one blocked); the door, flat-headed beneath a steel lintel, represents a secondary insertion, introduced in 1933 (see §.4.8.4 above) but evidently occupies an original doorway location (full height queen-closers to eastern jamb; the lack of closers to the west suggests a narrower original opening, reasonably set centrally to the two windows over). Bays 7/8 included superimposed GF/1F windows, as per Bays 2-5; the elevation formerly continued westwards on a similar pattern (see elevation accompanying BPP **58173**, inset at §.4.8.4 above) but was truncated by five-window bays at some point in the later-20th century. The recorded range terminated 8m (c.26ft) east of Bldg. **12**, the resultant space being infilled by the high, single-storey red-brick street façade of Bldg. **11d**; the former pitched roof can be seen to have extended to abut Bldg. 12 in the 1948 aerial photograph, by which time the range had been reduced to two storeys, and the relic roof line survives to the east elevation of the latter building (Plate 192). The distinction at Bay 5/6 was reflected internally by transverse stub walls (Plate 197), shown on the ground plan of 1933, accompanying BBP **58173**, as having formerly comprised a full transverse partition.
- 4.8.17 The rear (south) elevation was brick-built and largely blind (Plate 193), and partly obscured by later, abutting structures, though with a ground floor access door at Bay 2, and a blocked door within the east gable end (flanking the access passage), while further doors within the south wall were observed internally at Bays 5 and 6 (Plate 197).
- 4.8.18 Internally (Plates 195/6), the range comprised a single unencumbered space, open to the underside of the pitched roof, the latter boarded and felted, carried by a series of simple, steel 'W'-pattern 'Fink' trusses (Plate

198), introduced in 1933 together with secondary brick support piers rising to the full height of the lateral walls. First floor and second floor structures were removed in 1933, contemporary with the removal of the upper storey (see annotations to application drawing BBP **58173**); the former first floor, set at a height of c.10½ft. above internal GF level, was evidenced by infilled joist sockets. A transverse partition at Bay 5/6, marked on the 1933 plan, was reflected by short stub walls projecting into the body of the range (Plate 197). A blocked first floor doorway high in the east wall (Plate 199) formerly opened (presumably via a short flight of steps) to a room over the transverse entrance passage at Bay 1 (Plate 200); the raised office, originally heated by an angled fireplace to the south-west corner (Plate 201), was accessed at the time of survey solely from Bldg. **10a** to the east (Plates 153/202). The roof over the main range was.

Building 11b: Two-storey workshop block to southern site boundary

4.8.19 **Building 11b** comprised a two-storey workshop range flanking the south side of the former open yard, brick-built and ‘terraced’ into the rising natural ground level (which rises c.9m between Graham St. to the south and Northwood St. to the north; see inset site cross-section below), such that it appeared as a single-storey range as observed from the open yard to the north, and as a two-storey range (here termed GF over basement) from the south (Figure 38b; Plate 203).

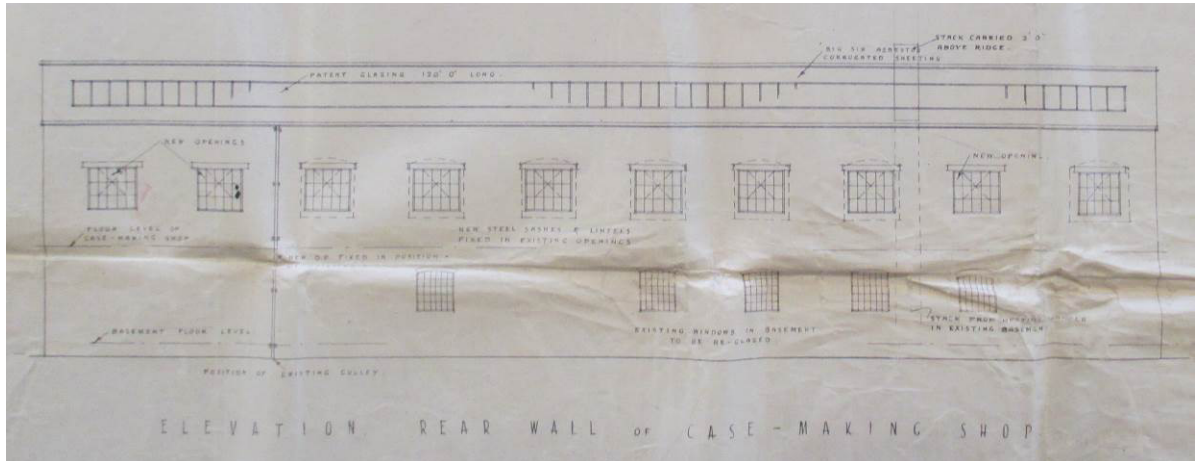


Main cross-section through site, looking east, showing rise in natural ground level from Graham St (right) to Northwood St. (left);
NB. Bldg. 11b to centre of image

4.8.20 Although ranges are shown in this location on Pigott-Smith’s survey of c.1855 and on the first edition Ordnance Survey map of 1890 (where the yard elevations are denoted with dotted lines), the range is first unambiguously depicted on the Ordnance Survey second edition map of 1905. The aerial photograph of 1948, reproduced above, shows the ground floor of the range as a roofless shell following fire damage related to enemy action during World War II, and deposited planning drawings indicate that the range was subject to significant modification in 1947/8.

4.8.21 The range was of ten bays, here numbered 1 to 10 from west to east, with overall dimensions of 125ft. long (E/W) x 32ft. wide (N/S), standing a maximum 26½ft. to eaves level to the south (14ft. above yard level to the north) and 35ft. to ridge. The roof was pitched and clad in profiled aluminium sheeting, gabled to the east and abutting the rear workshop of Bldg. **12** to the west. Where visible, to the south, exterior brickwork was mid red/brown in colour and laid to a regular English garden wall bond, save Bay 10 and the eastern gable end (Plate 203), which had been largely rebuilt in orange/red brick laid to English bond and Flemish stretcher bond (to basement / GF levels respectively). Fenestration to the south elevation was of regular, rectangular openings housing multi-pane, steel-framed windows, set beneath exposed concrete lintels and with projecting, blue-brick cills. Observations internally indicated that original windows were taller, with segmental brick-arches

(Plates 205/213), as visible on the 1948 AP; that the arches were not discernible externally suggests the range had been largely refaced (a 1947 elevation accompanying BBP **85009**, inset below, indicates the remodelling of upper windows, though basement windows are shown to have been retained in their original form at that stage).



South elevation accompanying BBP **85009**; note modification to upper windows.

4.8.22 Internally, the range comprised, essentially, a single unencumbered space at each level, though the basement level (Plate 204) was interrupted by an axial alignment of square brick columns,¹²⁴ affording mid-span support to the transverse, concrete floor beams supporting the upper floor structure, the beams carried to north and south by projecting, bull-nosed brick piers. Basement level stood 10ft. high, ceiled over by the ground floor of concrete beam construction; it was lit to the south elevation only (windows modified - segmental arches over; Plate 205) and included a recess to Bay 5 of the north wall (Plate 206), evidently an original goods drop from yard level (pre-dating case-making shop **11c**). The range was accessed from the basement level of Bldg. **10** and via a stair descending from the exterior yard, at Bay 10 to the north (Plate 207), while further doors at Bays 1/2 to the south elevation (Plate 208) opened onto the yards associated with Bldgs. 14/15 respectively.¹²⁵ The lower east gable end had been removed such that basement level opened onto Bldg. **10d** (Plate 209), a secondary, covered loading bay from James Street, introduced post-1980 (PA **C/01419/008** of 1989 may apply).¹²⁶ Access here had been possible as long ago as 1947, however, at which time the area occupied by **10d** formed a 'carpenter's shop' (see basement plan inset at §.4.8.7).

4.8.23 Ground floor level comprised a single open space (Plate 210), save small enclosed offices at Bay 10, open to the underside of the pitched roof, the latter supported on a series of regular steel trusses of double-fan design (Plate 211), representing the amended re-roofing of 1947/8 detailed in BBP **85009** (see inset section at §.4.8.7). The range stood 14ft. to eaves and 20½ft. to ridge, above its concrete screed floor (over conc. beam). The original north wall onto the yard, extant in the 1948 AP, has been removed and replaced by a series of square

¹²⁴ BBP **83885** illustrates cast-iron support columns, though it is assumed the design was modified as part of amended submission BBP **85009**.

¹²⁵ The reason for connecting doors between premises in these locations is not immediately apparent, though historical planning applications (see §.4.8.13, fn. 123) indicate that No. 215 Newhall Street, formerly occupying the area of the open yard to the south of Bldg. **11b**, was partly converted to a 'packing case store' in c.1949 which, given the nature of Goslings' business, may suggest the areas were under common ownership and/or occupation at this time (the door is not shown on the elevation drawing of 1947). The 1949 application was submitted by M. Mole and Son Ltd. (UK developers of locking-pliers, known as the 'Mole Wrench') of Charlotte Street (owners), suggesting that, if related to Goslings, then the premises were leased as opposed to in their direct ownership.

¹²⁶ 'Alterations and Extensions to existing property to provide... extended toolroom and covered loading bay to machine shop'; 03.02.1989. No associated materials available on line.

support piers with upper, clerestory lighting (Plate 212) supplementing the natural light from the (modified) windows of the south elevation (Plate 213) and flush, semi-translucent roof lights to the northern roof slope. A 4½ft. wide lateral passage flanks the north side of the range, backing onto contemporary Bldg. **11c**, the partition wall between the two ranges being of a single skin of brick, laid to stretcher bond.¹²⁷

- 4.8.24 Range **11b** is annotated as a 'case shop' over a 'basement stores' on planning drawings of 1947. An undated photograph displayed on site (reproduced below) illustrates the interior of the ground floor of the building, looking east, with employees working at free-standing work-benches.



Undated photograph of range **11b**, GF looking east.

Building 11c: Mid-C20th workshop (1948)

- 4.8.25 **Building 11c** comprised a simple, single-storey structure flanking the north side of workshop range **11b**. Rectangular in plan, aligned east-west, it was of six structural bays (here numbered 1 to six from west to east, broadly corresponding to bay divisions of range **11b**), with overall dimensions of 65ft. long (E/W) by 36½ft. wide (N/S), standing 10½ft. tall to eaves and 19½ft. to ridge. The pitched roof was clad in (secondary) profiled-aluminium sheeting, gabled to the east and abutting the rear workshop range of Bldg. **12** to the west. The eastern gable end (Plate 214) was brick built in pale grey brick laid to a regular English garden wall bond, and included a single, vertical roller door to the north and two, 8-pane 'Crittall'-type casement windows to the south, the latter beneath flush, exposed concrete lintels. A further door at Bay 3 of the north elevation opened off range **11d** (Plate 215). Internally, the range comprised a single, unencumbered workshop space (Plates 215/6), the pitched roof over being supported on a series of five steel trusses of double-fan pattern, formed of angle-sections, with six longitudinal side-purlins per roof slope. Trusses were supported to north and south on square piers of brickwork, otherwise the lateral walls were formed of single-skin brickwork, laid to stretcher bond.

¹²⁷

The recorded plan arrangement varies slightly from the design as illustrated in submitted drawings of 1947 (BBP **85009**), where workshop **11c** is shown abutting directly onto the northern lateral wall of **11b** (see §.4.8.25 below).

4.8.26 **Building 11c** was introduced in 1948, with designs for a 'cross-cutting and case-making shop' having been submitted to BCC in August 1947 (BBP **85009**; see §.4.8.7 above), accompanying reconstruction proposals for adjacent Building **11b**. Details in the submitted drawings vary slightly from the building as erected, illustrating a portal-framed range abutting directly the north elevation of workshop range **11b**, and it is thus evident that the design was amended prior to construction. The range as built was offset slightly from the original north wall of **11b**, with a slightly lower eaves level allowing the incorporation of a horizontal band of clerestory glazing lighting the interior of the latter range (Figure 38b; Plate 212). Building **11c** is not present on the aerial photograph of 1948 (inset at §.4.8.9), though a 'datestone' within the east elevation (Plate 217) records that it was 'opened' on 4th October of that year by Mrs. C.H. Gosling.

Building 11d: Late-C20th workshop

4.8.27 **Building 11d** represented one of the latest elements of the complex, introduced after the Ordnance Survey map of 1980. The building effectively wrapped around the south-western angle of recorded workshop range 11a, forming an 'L'-shaped plan (Figure 40) with a narrow frontage to Northwood Street incorporating vehicular access (Figure 38a; Plate 218). Its introduction involved the removal of earlier buildings on the site, illustrated in Ordnance Survey maps of 1970/80, and evidently including the five western window bays of workshop range **11a** (the former gable end of the latter remained visible against the eastern elevation of Bldg. **12**: Plate 192). Planning application **C/01419/006** for the 'demolition of some existing buildings and erection of a new press shop workshop extension and welfare block with car parking and service yard', submitted on 20.09.1985, is assumed to be related.

4.8.28 The Northwood Street frontage (Plate 218) was in red brick laid to a regular stretcher bond, rising to a short parapet wall. A vertical roller door was set off-centre to the west, affording vehicular access, above which rose a blank recessed, rendered panel, while a pedestrian doorway beneath a segmental, double-header arch opens to the east. To the extreme west, abutting Bldg. **12**, a narrow pier (two stretchers wide) of original fabric survived above a low, chamfered plinth (here, just two courses high), incorporating a stone hinge-block, indicating that the current vehicular opening reflects the location of an original gateway (a covered passage is shown in this location on the first edition Ordnance Survey map of 1890; inset at §.4.8.3).

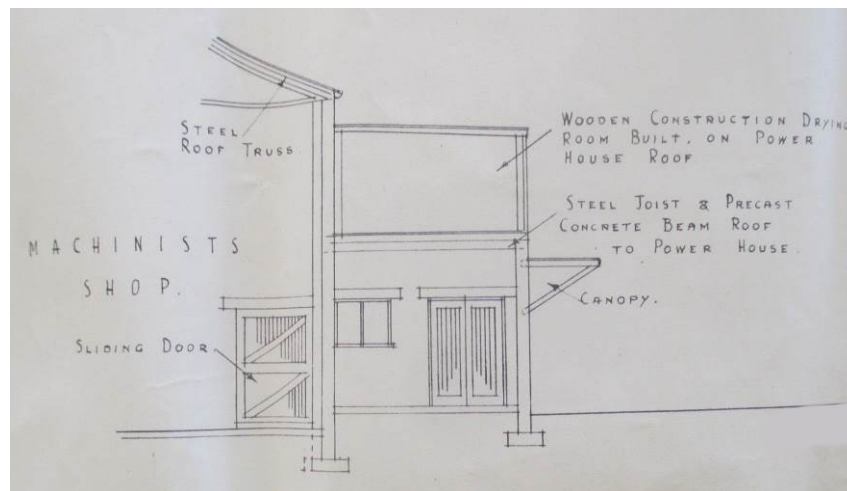
4.8.29 The main range comprised a simple, portal-framed range of 3 regular bays, flanked to the west by Bldg. **12a**, to the south by workshop **11c**, and to the north (partly) by two-storey workshop 11a; to the east it fronted onto the central, open yard. The range had maximum dimensions of 10.2m (33½ft.) wide by 19.37m (63½ft.) long, standing and 5.17m/17ft. to ridge. The eastern two bays were covered by a mono-pitch roof rising to the south wall of **11a** (Plate 219), while the western bay was fully-pitched, extending northwards to the line of the Northwood Street frontage (Plate 220). The ridge line aligned with the southern wall of Range **11a**, resulting in an asymmetrical roof profile (Figure 38b), with a longer roofslope to the south, the range standing 2.85m/9½ft. and 3.9m/12ft. 10in. to south and north respectively.

4.8.30 The east elevation to the open yard (Plate 221) was clad in vertically-set, profiled aluminium sheeting above a low, stretcher bond brick wall; it incorporated a two-leaf timber sliding door with integral wicket door.

4.8.31 Internally, the range comprises a single unencumbered space, floored in concrete and roofed in profiled-aluminium sheeting, the latter incorporating longitudinal bands of semi-translucent panels (two to southern roofslope, one to north), affording diffused natural light to the interior (Plates 218/9).

Building 11e: Sub-station

- 4.8.32 **Building 11e** comprised a simple, single-storey block, brick-built to Flemish stretcher bond, on a rectangular plan beneath a flat, concrete roof, backing on to the south wall of workshop range 11a (Plate 222); it is first depicted on planning drawings of 1947 (BBP **83885**; inset at §.4.8.7), where it is annotated as a 'power house' with an accompanying cross-section (inset below) indicating an upper, timber-constructed, flat-roofed 'drying room', rising to just beneath eaves level of **11a**, subsequently removed, and a shallow canopy to the south side. The range as recorded had overall dimensions of 12ft. (N/S) x 19ft. 8in. (E/W), and stood 10½ft. tall. The east elevation included paired, louvred doors and a blocked window, beneath exposed concrete lintels, otherwise the block was blind. It functioned as an electricity sub-station; the interior was not accessed.



Sectional elevation of **11e** showing upper 'drying room' (BBP **83885**, 1947)

- 4.8.33 A 13ft. tall, free-standing I-section steel stanchion on the line of the south elevation (Plate 223) indicates a former adjacent structure, reasonably a covered, open-sided loading bay to workshop range **11a**, shown on Ordnance Survey maps of 1955-1980 (Figures 12-14), with a horizontal scar on the south wall of the latter building suggesting a mono-pitch roof rising to a ridge-height of c.16½ft.

Building 11f: Mid-C20th covered-yard

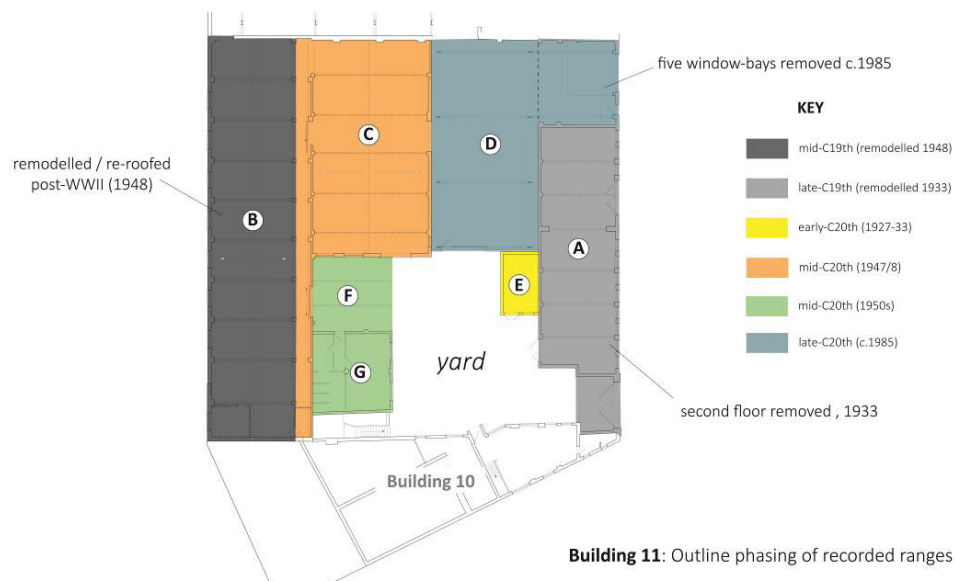
- 4.8.34 **Covered yard 11f** extended between the eastern gable end of workshop **11c** (erected in 1948) to the west and the raised, western wall of mess room / toilet block **11g** to the east (Plate 225); it backed onto the north elevation of remodelled workshop **11b** to the south (with which it communicated via a sliding door), and was open to central yard to the north. The covered area measured 23ft. square and was sheltered by an asymmetrical roof supported on two steel trusses (Plate 224); the roof stood 10ft. high to the south, 18ft. to ridge and 13ft. high to the north, where it was open to the main yard. An axial runway beam for a winch was set beneath the ridgeline of the roof at a height of 13ft.
- 4.8.35 The covered yard and adjacent mess room / toilet block **11g** were contemporary, erected in the early-1950s for W.H. Gosling and Son Ltd., and are first illustrated on the Ordnance Survey map of 1955 (Figure 12). Their introduction was covered by planning application No. 1419, submitted on 21st October 1948, though not approved until 24th August 1952.

Building 11g: Mid-C20th mess room / toilet block

- 4.8.36 **Building 11g** comprised a simple, single-storey combined mess room / kitchen and toilet / washroom block sited to the south side of the central, open yard, backing onto Bays 8/9 of workshop range **11b** (Plate 226). It was brick-built in beige/grey brick laid to Flemish stretcher bond, 24½ft. square and standing 10ft. tall above external yard level to a flat roof. It was subdivided internally on a bi-partite plan, the northern half comprising a kitchen/mess room (Plate 227), lit by two, six-pane 'Crittall'-type steel windows to the north elevation, and the southern part accommodating toilet/wash room facilities (Plate 228), the latter lit by a further steel framed window to the west and a fully-pitched, glazed lantern rooflight; the range was accessed via a pedestrian doorway in the west elevation, opening off the east side of covered yard **11f**.
- 4.8.37 As per covered yard **11f**, the introduction of the mess room was covered by planning application No. 1419 of October 1948 (approved 24.8.1952), and is first illustrated on the Ordnance Survey edition of 1955, replacing an earlier range on a narrower plan, extending perpendicularly from the eastern end of range **11b** (illustrated as far back as the first edition OS map of 1890). The range as recorded was purely utilitarian in form and was of low historical significance or architectural merit.

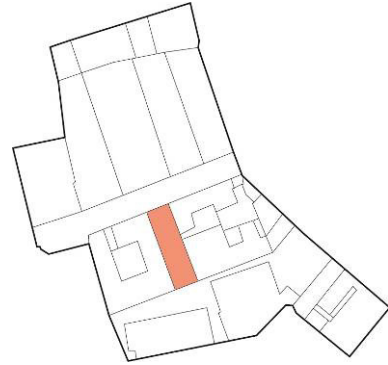
Assessment

- 4.8.38 As a group, Building **11** presented an interesting complex of constituent buildings constructed around a central yard, incorporating two early elements (*viz.* workshop blocks **11a** of the late 19th century and **11b** of the mid- to late-19th century, the latter first indicated on Pigott-Smith's plan of c.1855), though both of these have been subject to significant phases of historical modification, principally in 1933/1948, impacting somewhat on their inherent heritage value. The remaining buildings dated largely to the mid-C20th, while **11d** was a more recent development of c.1985, the introduction of which entailed the truncation of **11a** to the west and the removal of a number of early ranges. Later introductions and modifications can be seen to have had an accumulative negative impact upon the historical integrity and significance of the complex as a whole.
- 4.8.39 The broad phasing of the recorded complex's development is illustrated below.

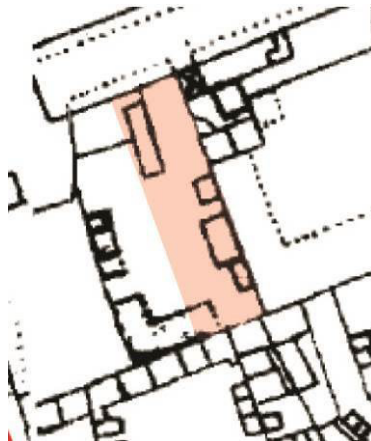


4.9 BUILDING 12: 126 Northwood Street

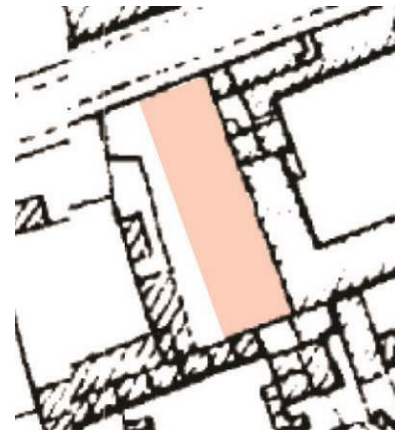
Street Address:	126 Northwood Street
NGR:	SP 06269 87466
Record Level:	1
Date:	Early-C20 th
Function:	Office / workshop
Key Sources:	OS Maps; APs; BBP 17005 ; later planning applications; trade directories; site survey and observation



4.9.1 **Building 12** (No. 126) was located to the south side of Northwood Street, midway along the study area, set between Bldg. **11** to the east and Bldg. **13** to the west (Figures 15/16b; Plate 239); it was centred on NGR SP 06269 87466. Although a number of structures are illustrated on the site on the first edition OS map of 1890 (below, left), these were evidently subsequently cleared and the site is shown as vacant on the 1905 edition (below, left).



OS edition of 1890 (detail)



OS edition of 1905 (detail)

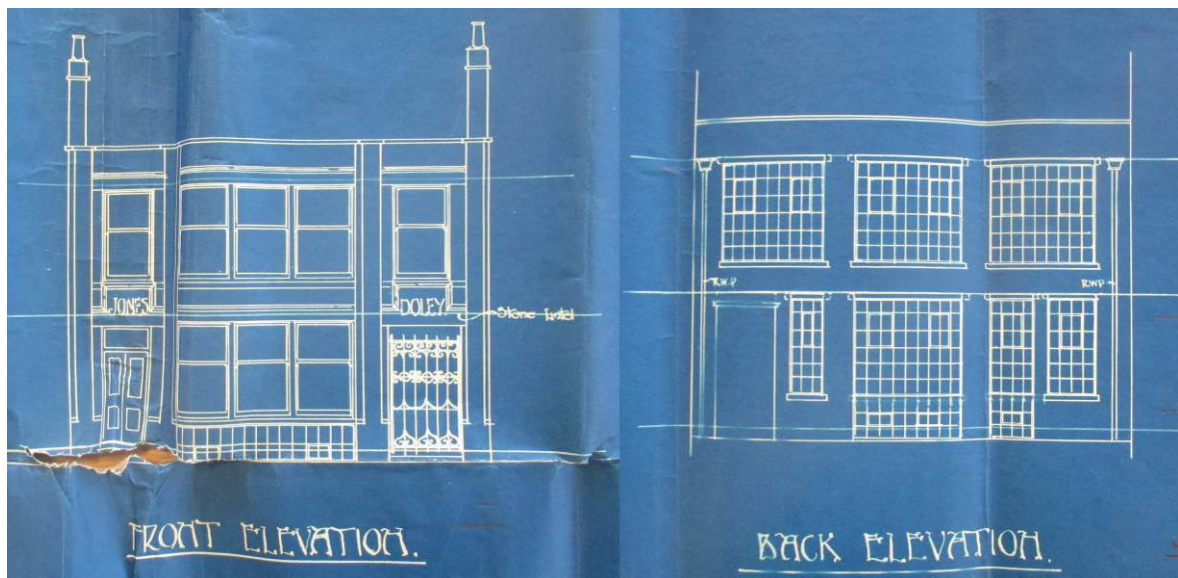
Development

4.9.2 Deposited drawings in the BBP collection of Birmingham Archives (BBP **17005**; insets below) indicate that the core of the recorded street frontage block, together with associated rear shopping (subsequently lost), was originally erected in the early years of the 20th century for Messrs. C.H. Doley, with drawings prepared by Ewen Harper and Bro. of Ruskin Chambers, Corporation Street, being dated July 1902.¹²⁸ The street frontage range

¹²⁸ The discrepancy with OS coverage implies either that construction was delayed for a number of years after submission of design drawings, or that the 1905 edition map was based upon outdated survey data. The BBP register volume for 1902 records that the buildings covered by App. No. **17005** were 'completed' in 1903, so it would appear that the latter is the case (NB. the address is listed in trade directories in 1904; see §4.9.9 below).

was rectangular in plan and originally of two storeys over basement, beneath a flat roof.¹²⁹ The street elevation (below, left) corresponds broadly to the extant range (Plate 230; save the missing upper storey), of five bays on a 1/3/1 pattern with, at ground floor level, a pedestrian door and cart entry to east and west respectively of a wide tri-partite window; fenestration is of 1/1, horned sashes throughout. The name 'Doley' appears on a stone lintel above the western cart entry bay, furnished with decorative ironwork gates, leading through to the shopping ranges to the south while, interestingly, the name 'Jones' is included in the lintel to the eastern, pedestrian door, possibly implying an original bi-partite subdivision of the premises (though this is not otherwise reflected in the records of historical occupation; see below). The rear (yard) elevation incorporated large, multi-pane cast-iron windows at both levels. Ground floor glazing to both north and south extended to ground level, serving 'borrow lights' to the interior basement level (see cross-section, inset at §.4.9.4).

- 4.9.3 The interior of the range was accessed via the eastern pedestrian doorway of the street elevation, opening onto a narrow stair hall. From here, a door opened to the west onto a large room occupying the central bays of the frontage, while a straight-flight stair served basement and first floor levels. The lateral passage served by the western gateway extended through to the rear yard area, with a pedestrian doorway opening to the east onto a smaller, discrete room occupying the rear of the frontage range; both ground floor rooms were served by fireplaces within the western wall.¹³⁰ Plans of the street frontage range are not annotated to indicate historical usage.

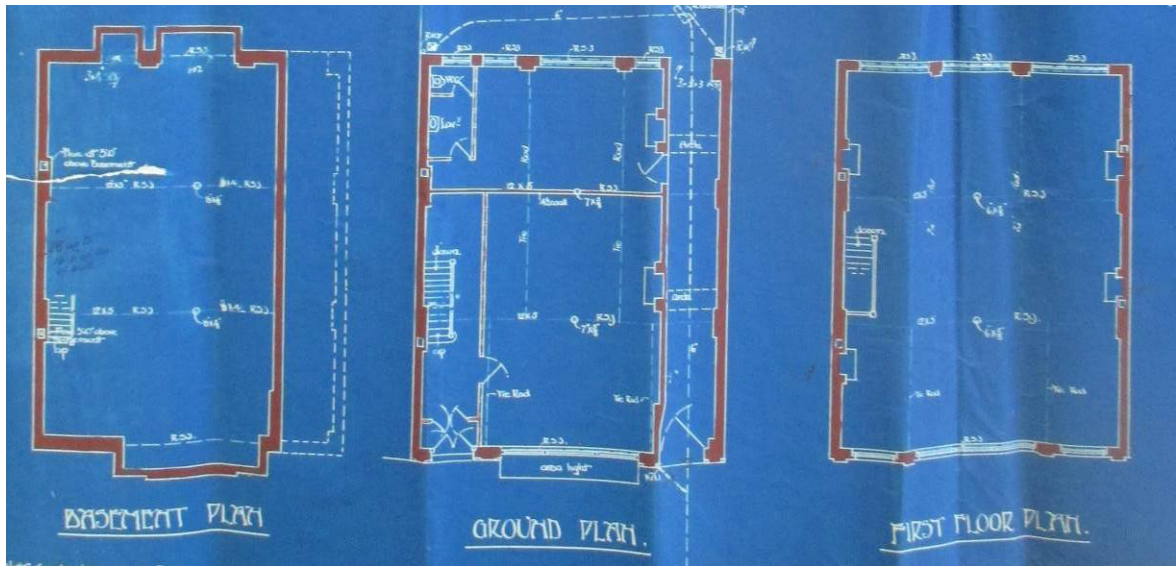


Original design drawings for CH Doley Esq.; north (street) and south (yard) elevations (BBP 17005).

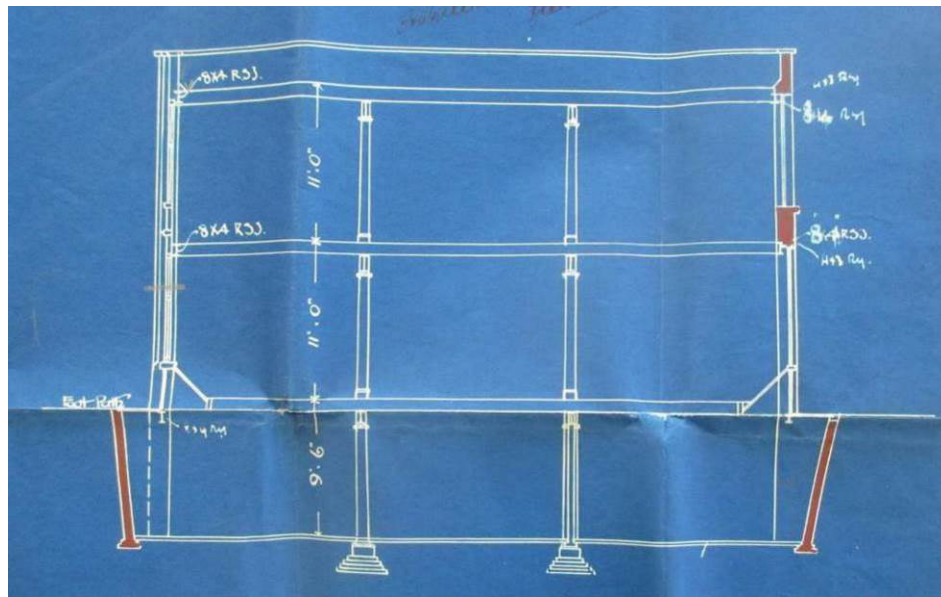
- 4.9.4 Basement and first floor levels (below left and right respectively) both formed single, unencumbered spaces, the latter lit by extensive glazing to north and south, the former by a pavement light to Northwood Street and by angled 'borrow-lights' to both north and south. First floor level was furnished with four fireplaces, two each to east and west, with stack rising above roof level (inset, above left). Floor levels (11ft. to GF/1F; 9½ft. to basement) were supported on paired, circular-section cast-iron columns carrying steel beams.

¹²⁹ First introduced in the later 19th century, flat-roof construction gained wider usage from c.1890 and had become relatively commonplace by the early decades of the 20th century (Cattell et al 2002, 123).

¹³⁰ The flues serving these fireplaces must presumably have been accommodated with brick arches over the western through passage.

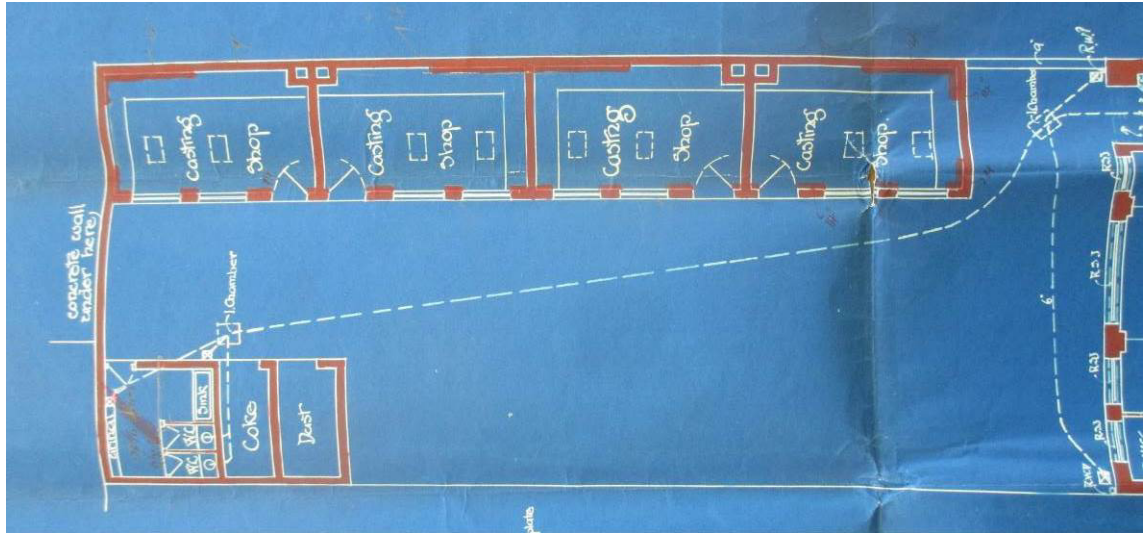


Original design drawings for CH Doley Esq.; street frontage range, floor plans (BBP 17005).



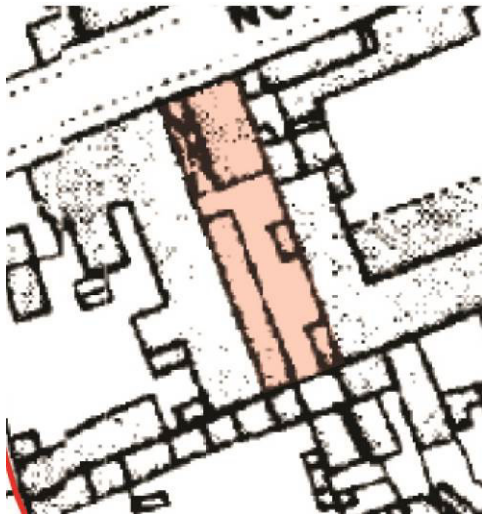
Original design drawings for CH Doley Esq.; cross-section looking east (BBP 17005).

- 4.9.5 The rear shopping ranges (see inset below) comprised a series of four conjoined, single-storey casting shops with discrete access, flanking the western side of the yard, beneath mono-pitched roof and served by two, paired stacks. A coal/dust store and WC block was located to the south-eastern corner of the yard.

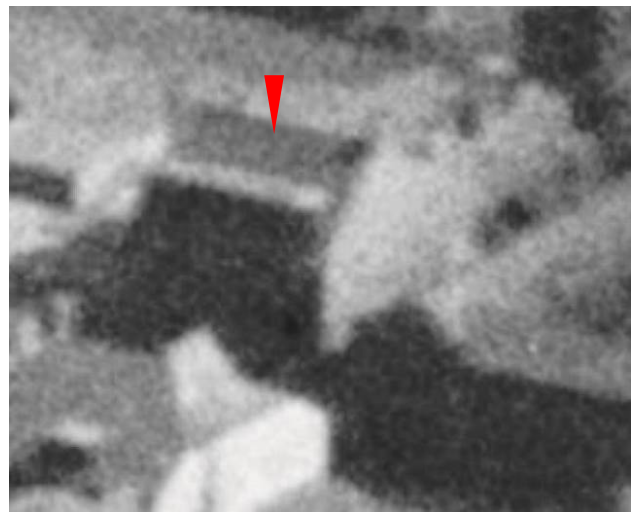


Original design drawings for CH Doley Esq.; rear casting shops and WC/coke/dust store block (BBP 17005).

- 4.9.6 The early ranges (both street frontage and shopping) are shown in plan form on the OS edition of 1917-27 (below, left), though an historical aerial photograph of 1937 (below, right), would appear to indicate that the upper part of the street frontage range had been raised and remodelled by that date. Though of low resolution/detail, the image would appear to indicate that the early range had been raised to three storeys, the new upper level evidently furnished with a pitched/gabled roof aligned parallel to Northwood Street, incorporating dormer windows to the street elevation.



OS edition of 1917-27.

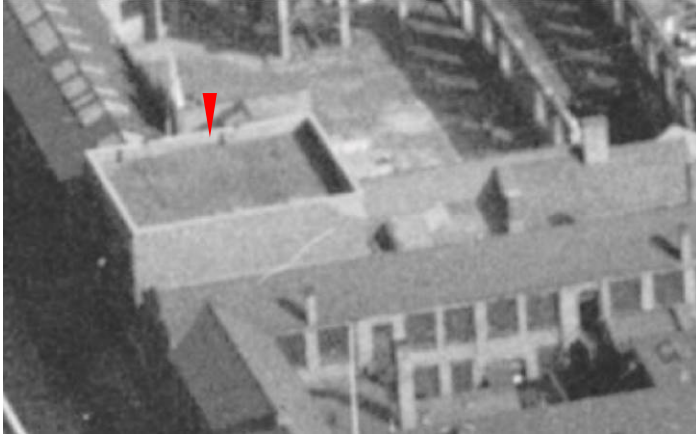


AP of 1937 looking south-east.

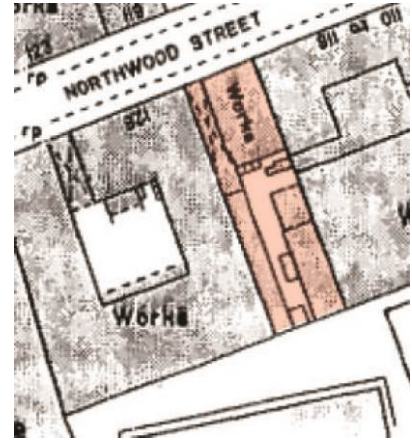
- 4.9.7 The premises was remodelled again prior to 1948,¹³¹ when a second aerial photograph (below, left) illustrates the street frontage range much as survived in 2020, of three storeys beneath a flat roof surrounded by a short parapet wall.¹³²

¹³¹ BBP plans **31308** (1920) and **27103** (1924, missing) are listed as relating to 'casting shops' for CH Doley; no further BBP entries related to the main, street frontage range were identified for the period pre-1948.

¹³² An angled section of lighter coloured brick to the south-west corner of the parapet wall may indicate a relic of the former pitched roofline.



AP of 1948 looking south-east.



OS edition of 1980.

- 4.9.8 The rear shopping ranges survived, in plan form at least, on the OS edition of 1955, when the wider premises are annotated as a 'casting works' and (in extended form) as late as the OS edition of 1980 (inset above, right), when they are labelled simply as 'works'. The rear shopping ranges were removed in their entirety at some point post-1980, with the recorded workshop range (**12b**) present by the time of the earliest historical 'Google Earth' imagery of the area, dated 1999.

Historical Occupation

- 4.9.9 Archived BBP drawings indicate that the works were originally erected in c.1902-3 for Charles Henry Doley Esq., and Doley is first recorded, as a 'German silver' caster,¹³³ operating from 126 Northwood Street in Kelly's directory of 1904. The inclusion of the name 'Jones' in the original design drawings (see above) currently remains unexplained, with no split-occupation of the premises explicitly recorded, and Doley's continue to be listed at the address in all directories down to 1973/4.¹³⁴ No 'Jones' is evident within the historical trade directories (**Appendix C.2**); an address of '124 Northwood Street' (not marked on OS mapping) is included, however, from 1904 down to 1938 (occupied from 1904-21 by Ingham & Co. jewel case makers, and later, successively, by CH Cartmail, Fleetcroft Ltd. and Midland Type Setters), possibly reflecting a split occupation of the premises. It is understood that the buildings were purchased from Doleys by AE Harris in the late-1970s/early-1980s (R.G. Luckock, *pers. comm*; see §.3.7.3). AE Harris undertook considerable remodelling of the street frontage range, including extensive internal re-ordering and the introduction of the tile cladding to the street elevation.

¹³³ Aka. 'Nickel Silver', a copper alloy with nickel and often zinc, named due to its silvery appearance but containing no actual silver, by a process developed by German metallurgists in the early-19th century in imitation of Chinese 'Paktong'. It became widely used after the development of electro-plating by Elkingtons at their works in Newhall Street (patented 1840), forming a strong substrata for the electro-plating process.

¹³⁴ Charles Henry Doley himself died in May 1917 (*Birmingham Daily Post*, 4th Oct. 1917); no further information on the company has been traced during research related to the current project.



Advertisement for CH Doley Ltd.
(*Birmingham Daily Post* 18th January 1972)

- 4.9.10 From 2008, the ground floor areas of the street frontage range were repurposed, together with parts of adjacent Bldgs. 10/11, as a theatre / performance / exhibition space ('@AE Harris'/ Stan's Café performance company).¹³⁵

Building Description

- 4.9.11 The street frontage range (12a) comprised a regular, rectangular block of three storeys over basement, 36ft. wide (E/W) x 44ft. deep (N/S) standing c.36ft. tall above exterior street level to the head of a short parapet wall. The north elevation to Northwood Street (Figure 43; Plate 230) was of three storeys and five window bays, arranged on a 1/3/1 pattern demarcated by shallowly projecting piers of brick; the lower elevation retained a chamfered plinth surviving from the original range (Plate 231). The elevation had, however, been heavily modified with tile cladding (Plate 232; introduced post-1964) and two-light, 'Crittall'-type steel window frames,¹³⁶ lower openings furnished with applied vertical roller shutters. A pedestrian doorway opened to the eastern bay while to the west, a wide doorway opened onto a through passage. The rear (south) elevation (Plates 223/4) had likewise been modified with patching to brickwork evidencing historical changes to fenestration (compare with original elevation, inset at §.4.9.3 above).
- 4.9.12 Internally, the range had again been heavily modified and, beyond basement / GF level, retained little of historical significance, 1F/2F levels having been extensively remodelled by AE Harris in the early-1980s to afford office/administrative accommodation, with dry-lined walls, carpeted floors and suspended ceilings. At basement (Figure 44a; Plates 236/7) and ground floor level (Figure 44b; Plates 239/40), however, early fabric survived in the form of cast-iron support columns (Plates 238/40), and in a brick-arched through passage [G3] (Plate 239) flanking the western side of the range, originally affording access to the rear yard (subsequently covered over; see below). The original straight-flight stair survived (in modified form) between basement/ground floor/first floor levels (Plate 241), extended to second floor level as an open-well flight (Plate 242/3); office and circulation spaces at upper levels (Figure 45) retained nothing of historical significance (Plates 244/5).

¹³⁵ 2008/06442/PA: Temp. change of use of vacant former manufacturing space (B2) to performance space for art exhibitions, installations and performances (D1). Elias Topping for 'Stan's Café'.

2010/02724/PA: Variation of opening hours.

2013/00153/PA: Continued use of site as performance space for art exhibitions, installations and performances (use class D1).

2015/00313/PA: Continued use of site as performance space for art exhibitions, installations and performances (use class D1).

¹³⁶ A photograph of 128-138 Northwood Street included in the AE Harris company history 'One Hundred Years of Enterprise' (inset at §.4.10.13 below) shows No. 126 peripherally, with exposed brick frontage and 2/2 sash windows beneath exposed concrete lintels (see also original elevation, inset at §.4.9.3 above).

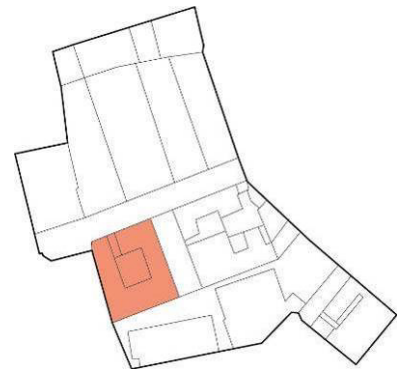
4.9.13 Appended to the rear elevation of **12a** was a simple, unencumbered workshop space **12b** (Figure 46; Plates 246/7), introduced in the late 20th century to replace a complex of former shopping ranges. The extant range was steel-framed of 4½ bays, aligned north-south, flat-roofed to the northern bay adjacent to **12a** (with rooflights), otherwise set beneath a mono-pitch roof sloping up from west to east, clad in profiled-aluminium sheeting with longitudinal bands of semi-translucent skylights (Plate 248). The workshop measured 85ft. long (N/S) x 36ft. wide (E/W), standing 12ft. high to west and 21ft. high to east. The workshop range backed onto the east wall of Bldg. **13** to the west and was largely open, above a low brick wall, to Bldgs. **11b/c** to the east (reflecting the gradual amalgamation of adjacent properties under common occupation). The south elevation (Plate 249), erected above a retaining wall defining the back of an open yard to the rear of Bldg. **14** (and preserving the line of the original southern boundary of the gardens associated with Harper's Hill House), comprised a steel frame, clad externally in profiled-aluminium sheeting, above a low, red-brick wall and included two small, single pane windows.

Assessment

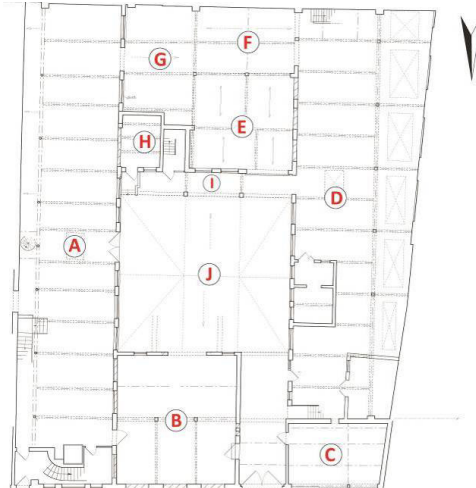
4.9.14 **Building 12a** represented an early-C20th introduction, though had been historically remodelled to such an extent that, in its pre-demolition form, it retained little of historical significance or architectural merit. Late-20th-century remodelling and refurbishment had removed much early fabric and masked traces of historical patterns of usage. Interpretation of the original buildings was greatly enhanced, however, by historical planning materials and other archival sources. Workshop **12b** comprised a post-1980, utilitarian range of negligible significance.

4.10 BUILDING 13: 128-138 Northwood Street

Street Address:	128-138 Northwood Street
NGR:	SP 06248 87460
Record Level:	3
Date:	Various (mid-to late-C19 th – late C20 th)
Function:	Industrial workshops
Key Sources:	OS mapping; APs; BBPs 17517 , 16783 , and 31180 ; later planning applications; trade directories; site survey and observation



4.10.1 **Building 13** (Nos. 128-138 Northwood Street) was located to the south side of Northwood Street at the western side of the study/application area; it was centred on NGR SP 06250 87457. The building as recorded comprised a complex of workshop ranges of multiple phases, arranged around an original central yard, the latter subsequently encroached upon and covered over; it was made up of ten principal elements, here designated **13a-13j**, as per the key plan below (see also Figure 48/9):

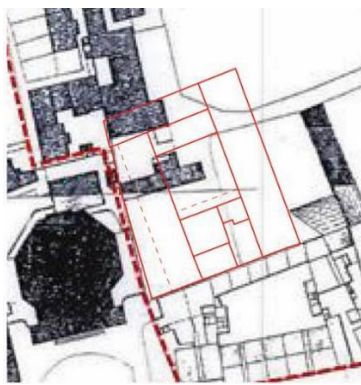
**LEGEND**

- A:** Two-storey workshop block, 1902 (BBP 17517).
- B:** Street frontage range etc., c.1911 (BBP 22050).
- C:** Extension of street frontage, contemp. shopping D etc., 1920 (BBP 31180).
- D:** Machine shop, 1920 (BBP 31180).
- E:** GF Wire store / 1F mess room, 1920 (BBP 31180).
- F:** Covered yard, 1920 (BBP 31180).
- G:** Covered yard, 1920 (BBP 31180).
- H:** Engine House, pre-1920.
- I:** Raised link passage, 1955-80.
- J:** Covered yard, 1990s.

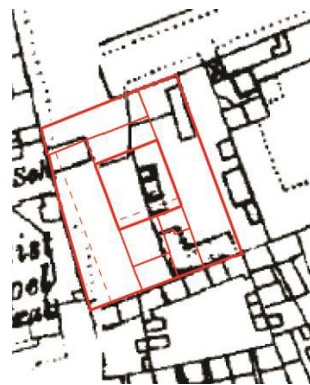
Bldg 13: KEY PLAN (north to bottom)

Development

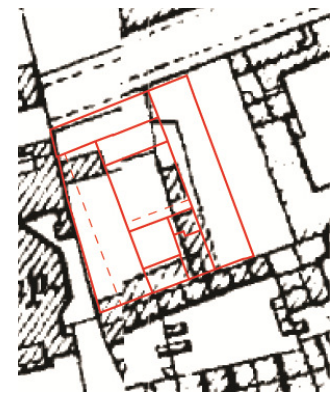
4.10.2 A review of historical mapping reveals that the site of Building 13 was already occupied in the early-mid-19th century (Pigott-Smith surveys of 1828/c.1855, Figures 5/6), by a series of buildings understood to comprise industrial ranges erected by the Sheppard family, who occupied one half of Harper's Hill House in 1828/39 (see §3.2.8). Vestiges of these building survived in 1870/71 (see ratings plan at Figure 7), and illustrated on OS editions of 1890 and 1905. The 1890 edition (inset below, centre), indicates that the site had been sub-divided with a boundary aligned perpendicular to the extended Northwood Street, with ranges introduced to the east thereof, while the 1905 map indicates development to the western plot also. It is clearly evident that these buildings do not correspond to the recorded complex, the first phases of the which were erected (for Partridges, screwmakers) to plans deposited with BCC in 1902 and, as noted elsewhere, it would thus appear that OS data / publication lagged somewhat behind the evident rapid rate of physical development.



Extract of Pigott-Smith survey of c.1855.



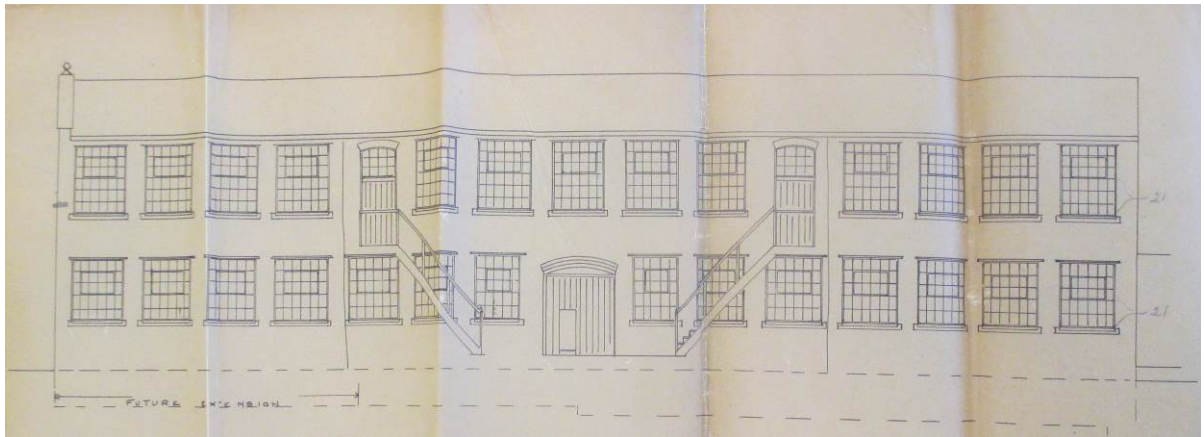
Extract of 1st edition OS map of 1890.



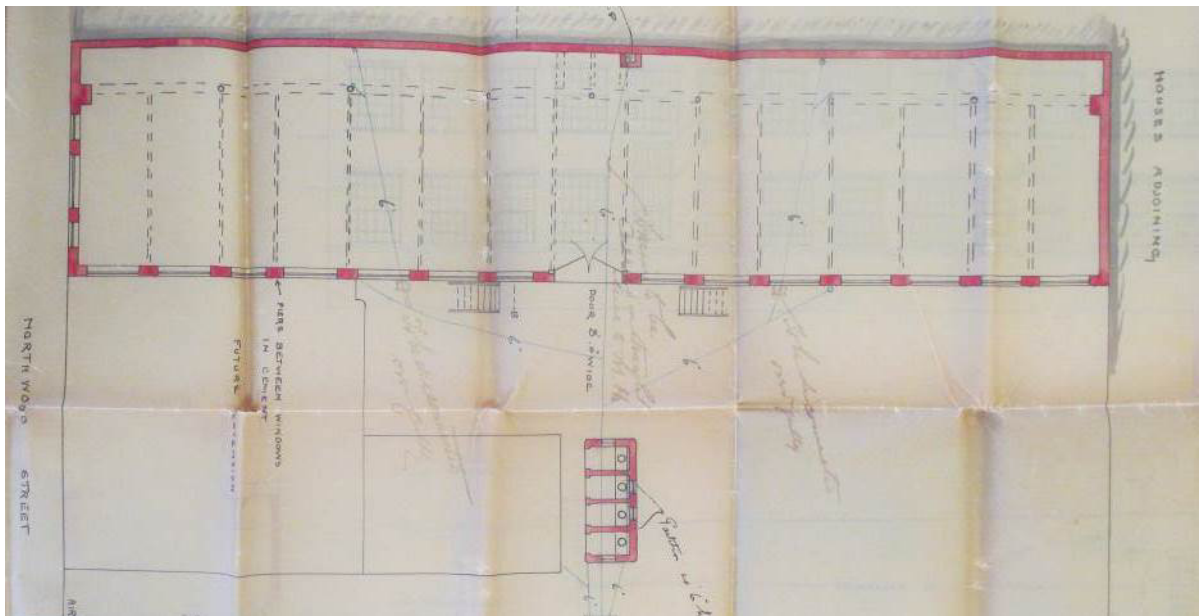
Extract of 2nd edition OS map of 1905.

4.10.3 Deposited drawings in the BBP collection of Birmingham Archives (BBP 17517) indicate that the first element of the recorded building complex to be erected was the workshop range 13a flanking the eastern side of the site,

backing onto the western side of Bldg. 12, viz. C.H. Doley's new premises at 126 Northwood Street.¹³⁷ Submitted drawings for 'New Works' are dated November 1902, and were prepared for Messrs. C.B. Partridge & Sons, nickel plate workers, by J. Baker, architect, of 158 Great Charles St., Birmingham. Partridges also had premises at 113/115 Northwood Street (**Bldg. 4**; see §.4.2), and the development of the site to the south side of the street reflects an expansion and diversification in manufacture, the company being listed at the latter premises as 'screwmakers' in trade directories from c.1928 (**Appendix C.2**).¹³⁸



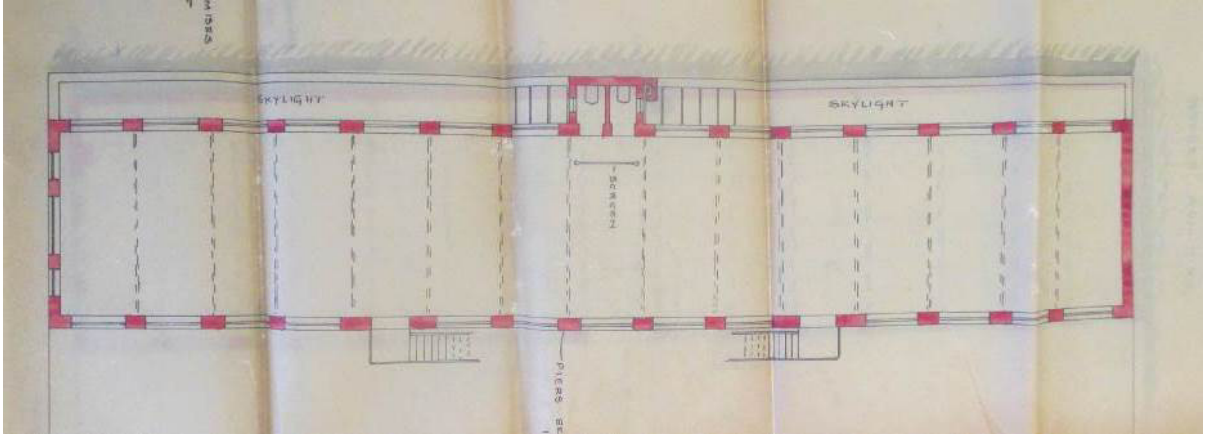
Workshop range **13a**; original 1902 design drawings for CB Partridge & Son; yard elevation looking east (BBP **17517**).



Workshop range **13a**, BBP **17517**, 1902; Ground floor plan (north to left). **NB.** latrine block to yard

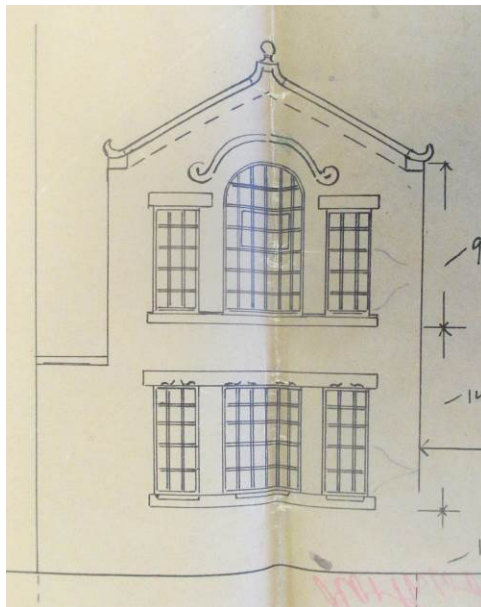
¹³⁷ Annotations to drawings indicate that Doley's works were in the course of erection at the time of preparation of the Partridge's drawings (November 1902); further establishing that the 1905 OS edition was outdated by the time of its publication.

¹³⁸ Deposited drawings of 1920 for later additions (BBP **31180**; see below) are titled 'proposed extensions to screw factory'.

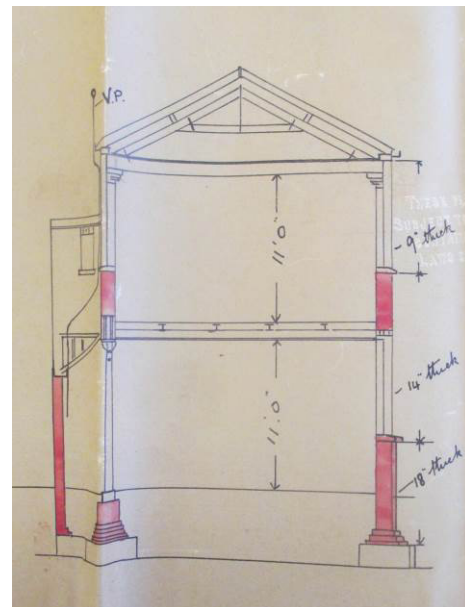


Workshop range **13a**, BBP **17517**, 1902; First floor plan (north to left), **NB**. WCs opening off east side of central bay (with screen).

- 4.10.4 The early range (insets above) comprised a simple rectangular block of shopping, of seven principal structural bays,¹³⁹ arranged over two storeys, beneath a pitched and gabled roof. Each level comprised a single, unencumbered workshop space, lit by extensive fenestration to the west of iron, multi-pane windows beneath flat-heads, with ground floor accessed via a wide, central doorway beneath a segmental arch. The upper storey, approached via two opposing, external stairs rising against the western, yard elevation, occupied a slightly narrower plan than ground floor level, with the eastern elevation offset to the west, thereby allowing fenestration to the eastern side of the upper floor, and for the accommodation of a lateral sky-light flanking the eastern side of the ground floor level (see cross-section below, right).¹⁴⁰ Toilet facilities were located off the eastern side of the central bay at first-floor level, with further facilities accommodated within a free-standing block standing within the yard. The areas of street frontage range **13b/c** are delineated and annotated as 'future extension' on both plan and elevation drawings.



Workshop range **13a**, 1902; north gable end.

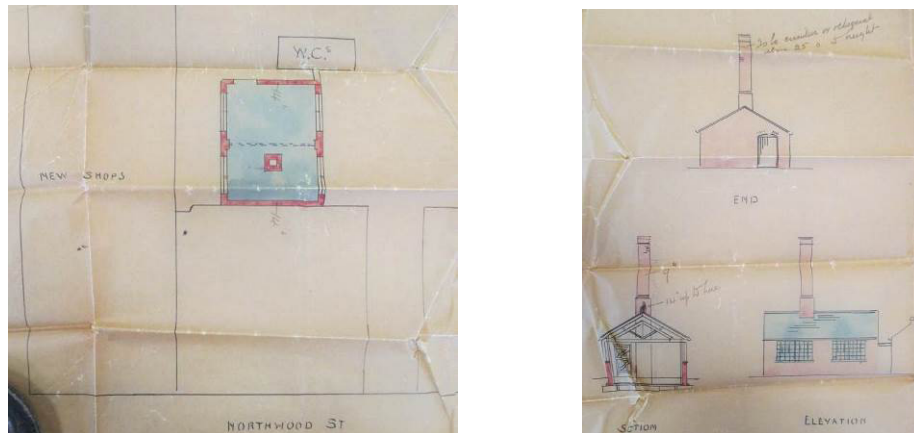


Workshop range **13a**, 1902; transverse cross-section.

¹³⁹

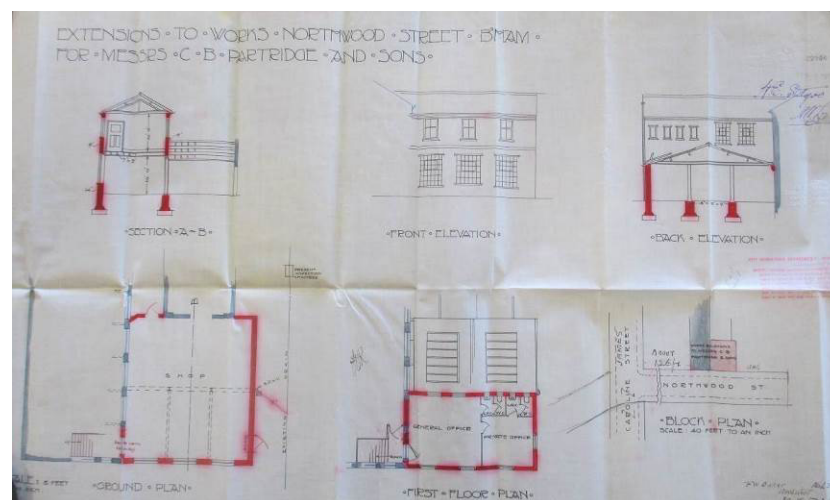
Incorporating a wider bay to the centre of the range accommodating a doorway to the west.

4.10.5 The southern, gable elevation to Northwood Street (inset above, left) is illustrated rising to a short, capped parapet with ball-finial, tri-partite fenestration to each floor, and incorporating a decorative, arch-topped central window to first floor level, with a curved drip-mould over. Subsequent drawings of 1920 (see below) illustrate a plainer aspect, however, much as survived at the time of survey related to the current project (Plate 252), and it would thus seem reasonable to assume that the designs were modified/simplified somewhat prior to/during construction.



Building 13: 'extension to works' for Partridges, 1903, by FW Baker (BBP 17683).

4.10.6 Submitted drawings of 1903 (BBP 17683), by FW Baker, architect, of 30 Waterloo Street, Birmingham, relate to the introduction of a small two-bay, single-storey (?) casting shop, with stack (insets above),¹⁴¹ to the west of range 13a, south of recorded range 13b. (NB. this range had been historically removed at the time of survey related to the current project, and is shown in truncated form on the OD editions of 1970/80; inset at §.4.10.11 below). The street frontage range 13b itself was extended in 1911 (BPP 22050), also to designs by Baker, with additional three window-bay shopping range with offices over, the former extending back as a single-storey shop beneath a pitched roof, the upper offices to a narrower, half-depth plan roofed parallel to the street; all elements are indicated on the third edition Ordnance Survey map of 1917-27 (see below; Figure 11).

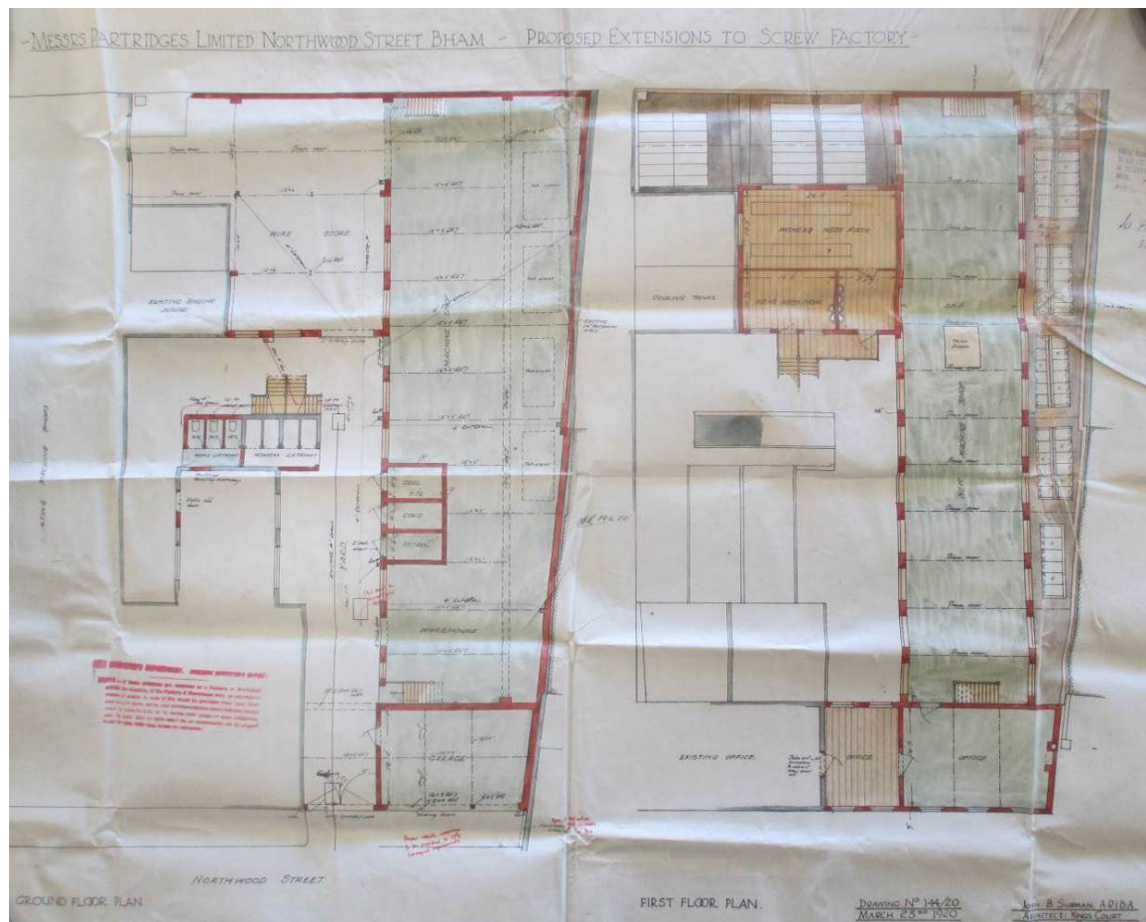


Building 13: 'extension to works' (13b) for Partridges, 1911, by FW Baker (BBP 22050).

¹⁴⁰ As per primary arrangements of Bldg. 7b, illustrated in submitted drawings of 1903 (see §.4.5.3).

¹⁴¹ The tall stack is clearly visible on aerial photographs of 1937/48 (details inset at §.4.10.10).

- 4.10.7 A major phase of extension to the premises was effected in c.1920, with design drawings (BBP **31180**) submitted by John B. Surman ARIBA of King's Court, 117 Colmore Row, Birmingham, dated March 1920, encompassing the extension of the street frontage to the full width of the site (garage **13c** and transverse entry bay), the introduction of the two-storey shopping range **13d** to the west side of the site, a wire store with mess room over (**13e**), covered yards **13f/g** to the south side of the plot, and an extension of the central yard latrine block. Block **13h**, an engine house with cooling tank over, is indicated as 'pre-existing' on submitted plans and thus dates to between 1903-1920.



Building 13, as extended 1920 (BBP **31180**); floor plans; GF (left) and 1F (right).

- 4.10.8 The five window-bay extension of the Northwood Street frontage range (**13c**; inset above), comprised a three-bay garage at ground floor level, to the west of a cartway entrance traversing the depth of the range to serve the central yard, with office accommodation over.¹⁴² Shopping range **13d** was of 13 bays, flanking the west side of the site, opposing **13a** to the east, was arranged over two storeys beneath a pitched roof, with open machine shops at each level. The ground floor shopping extended out to abut the angled site-boundary wall to the west, lit by a series of pitched skylights within its flat roof, and included enclosed coal, coke and petrol stores, the latter opening directly off the central yard. The upper level comprised a single unencumbered workshop space with communication through to the first-floor offices of frontage range **13c** to the north.

¹⁴²

An amended application (BBP **32094** of 1920; not reproduced here) pertained to a small, first-floor raised link in the angle between range **13c** and the southern end of **13d**, allowing through access while bypassing the westernmost office of **13c**; subsequently blocked off from **13d** and used as a storeroom, this was ultimately removed in the 1970s when 1F office accommodation to **13b/c** was extended to the south (see inset plan at §4.10.25).

Vertical communication within the range was via two straight-flight stairs, located to the northern and southern ends of the range, with a hoist hatch / trap door to the central section of the building. The range survived largely intact, as built, at the time of recording (see below), and has been retained with the current development.



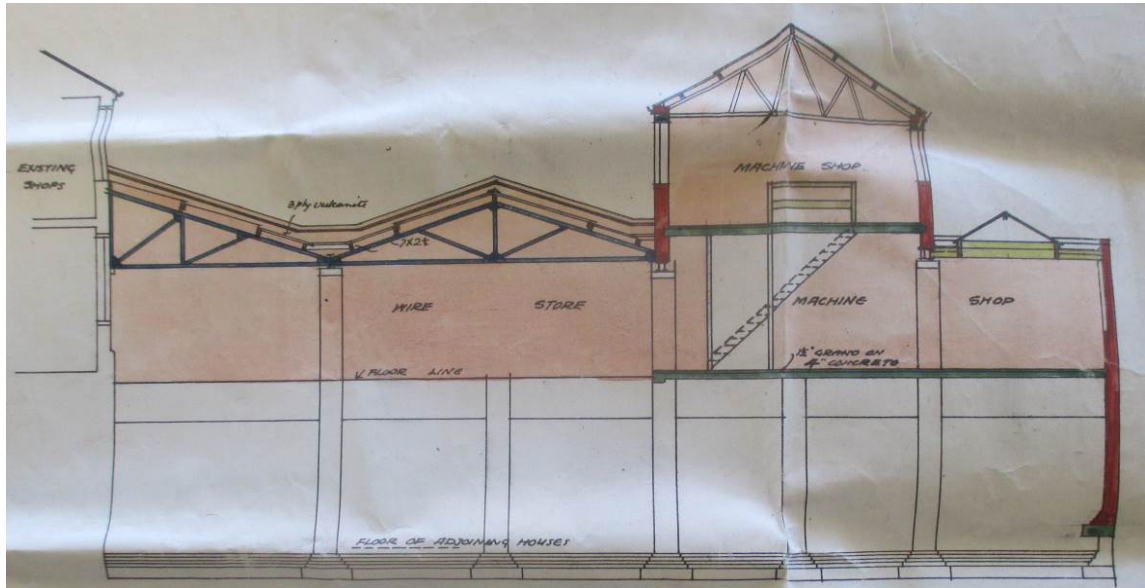
Building 13, as extended 1920 (BBP **31180**); north elevation to Northwood Street, extended by five window bays (**13c**).



Bldg. 13, as extended 1920 (BBP **31180**); cross-sectional elevation through site looking west; east elevation of shopping range **13d**, cross-section of **13c** to right, and wire store/mess room **13e** and covered yard **13f** to left.

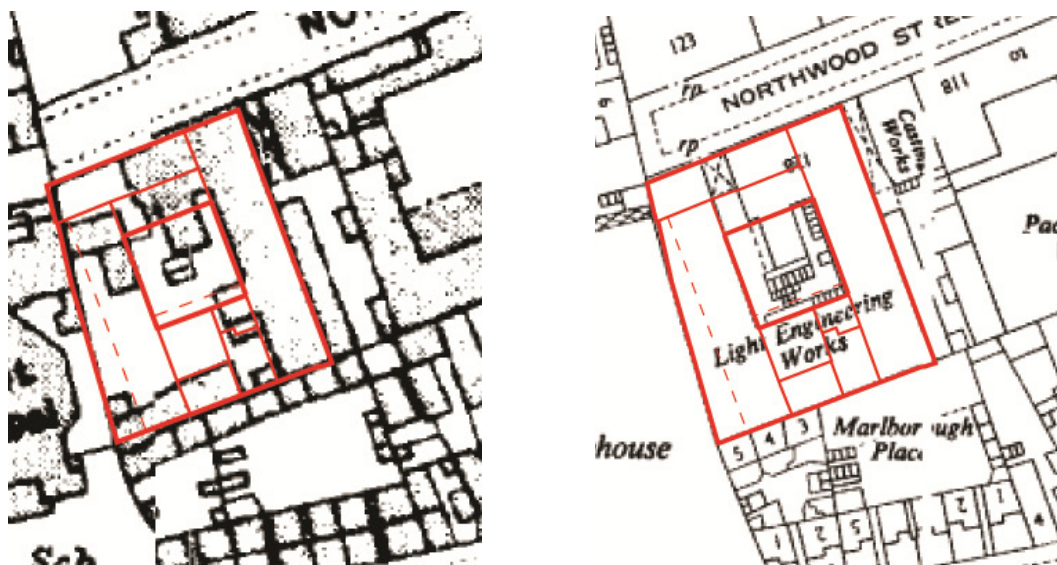


Bldg. 13, as extended 1920 (BBP **31180**); cross-sectional elevation through site looking south; cross-section of shopping range **13d** to right, with wire store/mess room **13e** to centre (**NB.** external stair access).



Bldg. 13, as extended 1920 (BBP 31180); cross-section through shopping range 13d (r.) and covered yards 13f/g.

- 4.10.9 To the southern side of the central yard, a ground floor 'wire store' was introduced, with mens' and womens' mess rooms, and common wash room over (13e), the upper level being accessed via external stairs rising from the yard. To the southern boundary, covered yards 13f/g were formed, spanned by simple steel trusses (inset above).
- 4.10.10 By the time of the third edition OS map of 1917-27 (below, left), ranges 13a/b are in evidence, the latter with perpendicular shop (BBP 17683) extending into the yard, though the major 1920 expansion of the premises (BBP 31180, outlined above) is not shown until the edition of 1955 (below, right), where the whole complex is annotated as a 'light engineering works'. All of these developments are also evident on aerial photographs of 1937/48 (inset below).

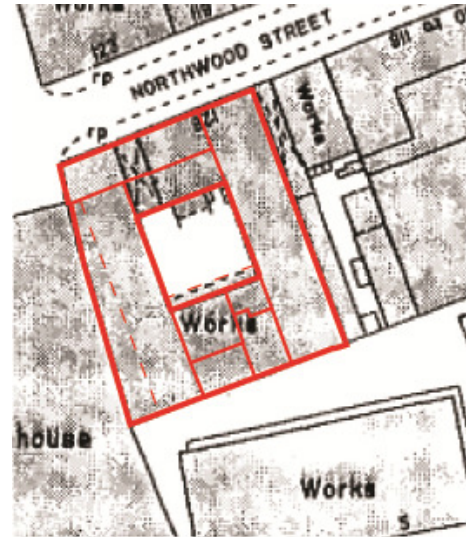


Extracts of Ordnance Survey maps of 1917-27 (left), 1955 (right).



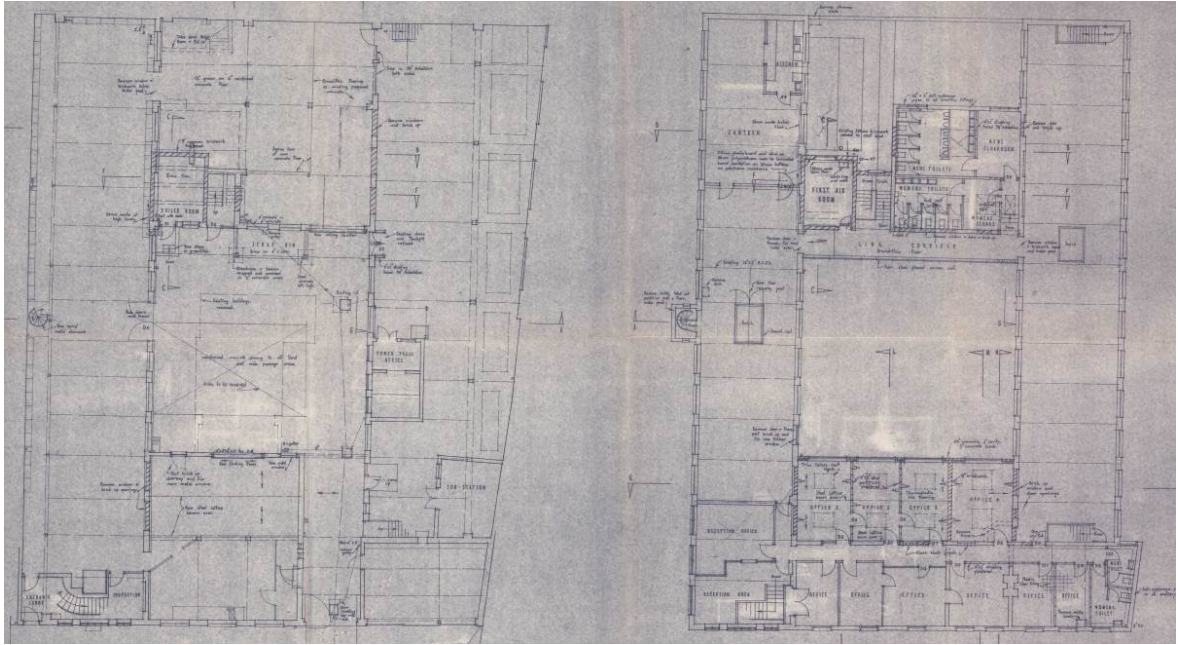
Extracts of aerial photographs of 1937 (left) and 1948 (right),¹⁴³ looking south-west and east respectively.

4.10.11 By the time of the 1970 edition OS map (inset below, left), the complex had largely reached its arrangements as recorded; the 1903 range projecting into the yard from the south side of **13b** had been truncated, freeing up the central yard area (which remained open), while raised passage **13i** had been introduced to the southern side of the yard, linking workshop ranges **13a/d** at first floor level (shown in dashed line). The southern section of **13b** itself, originally of a single storey, was raised to two full storeys beneath a flat roof at some point between 1970 and 1980, and extended westwards over the transverse cart way entrance of **13c**, developments detailed in undated plans submitted with a later planning application of 1997 for the covering over of the central yard **13j** (planning ref. *C/05043/97/FUL*; see inset below).



Extracts of Ordnance Survey maps of 1970 (left) and 1980 (right).

¹⁴³ Britain from Above image refs. epw062660 and EAW013562 respectively.



Ground- and first-floor plans accompanying PA C/05043/97/FUL detailing additions/modifications (undated though reasonably 1970s).¹⁴⁴

Historical Occupation

4.10.12 The main constituent ranges of 128-138 Northwood St. were constructed sequentially over a number of phases, in the early years of the 20th century for the company of C.B. Partridge and Sons, as they expanded and diversified their original nickel-plating business, based at Nos. 113/115 (Bldg. 4) on the north side of Northwood Street,¹⁴⁵ into screw-making. The street address of 136 Northwood Street appears on a trade advertisement of 1921 (inset, below left), while Nos. 128-130 are first listed in Kelly's Directory of 1928, and the full Nos. 128-138 in 1930,¹⁴⁶ the latter listing Partridges as 'screwmakers'.



Trade advertisement for Partridges at 136 Northwood St., 1921.



Announcement of sale by auction of Nos. 128-138 Northwood St (05.09.1964).

¹⁴⁴ The drawing, submitted with a 1997 application for the covering over of yard 13j, is titled 'plans as existing' and clearly represents an earlier survey; the detailing of proposed first-floor offices over the southern part of 13b indicates a date of between 1970 and 1980, as this development is bracketed by historical OS maps (insets at §.4.10.11).

¹⁴⁵ C.B. Partridge & Sons Ltd. (nickel platers) continued to be listed at Nos. 113/115 (Bldg. 4) down to 1940.

¹⁴⁶ The earliest incidence identified to date; further advertisements of 1919/20 (see <https://www.gracesguide.co.uk/Partridges>) record Nos. 142 and 140 Northwood Street as the street address, the locations of which have not been identified (possibly relating to the precursor buildings illustrated in historical mapping). A newspaper article of 1933 (*Birmingham Daily Gazette*, 15.11.1933) records a small fire at the premises of Partridges Ltd. (Platers) at 128-138 Northwood Street.

4.10.13 The complex of buildings was to remain in the occupation of Partridges Ltd. down to 1964 when it was acquired by AE Harris and Co. (Birmingham) Ltd. for £17,200 (purchased from the liquidators of Partridges; see inset, above right), thereby first establishing Harris' presence on Northwood Street, when they relocated from premises at 95 Camden Street, Hockley; an additional £9,500 was expended at the time on the modernisation and adaptation of the buildings ('One Hundred Years of Enterprise', p.22). A photograph of around this date shows the Northwood Street elevation of the premises soon after the purchase by Harris', much as survived at the time of survey related to the current project (Plate 250), though with variant fenestration (variously multi-pane cast-iron windows and 2/2 sashes, as per the 1920s design drawings); the western end of Northwood Street remained blocked off by a transverse brick wall at this time (removed by time of 1980 OS map).



Photograph of Northwood Street elevation c.1964 from 'One Hundred Years of Enterprise' (p.26/7)

Description

Northwood Street Frontage (Bldgs. 13a/b/c)

4.10.14 The **Northwood Street frontage** of Building 13 (Figure 47; Plates 250/51), 110ft. long in total, comprised three chronologically distinct elements, *viz.* the northern gable end of shopping range **13a**, dating to 1902 (Plate 252), the two-storey, three window-bay workshop/office addition **13b** of 1911 (Plate 253), and the five window-bay extension **13c** of 1920 (Plate 254), incorporating ground-floor garage and first-floor office accommodation, forming part of a radical enlargement of the premises (BBP **31180**). In red brick throughout, variations in the character (bond/colour/finish) of the brickwork indicated 'phase breaks', clearly reflecting the building's documented three-stage development (see above).

4.10.15 The north gable end of **13a** (Plate 252), in red brick laid to a regular English bond, measured 20ft. wide, standing 23ft. high to eaves, furnished with plain kneelers, and 30ft. to ridge. Ground and first floor levels were pierced by three window openings (Plate 255), simply detailed with flat heads (RSJ lintels) and projecting, blue-brick cills, each level being furnished with a common, horizontal ovolo drip mould (this is at variance with the original 1902 design drawings, but may be assumed to be original). Windows comprised simple timber casements, replacing former cast-iron, multi-pane frames (see inset above); the lower windows were fitted with externally mounted, vertical roller-shutters. A ground floor, pedestrian doorway to the east side of the gabled section (Plate 256) is not indicated on deposited design drawings of 1903 and may thus represent a secondary insertion, though it is present by the time of the 1920 application and thus, if secondary, represented an early modification, perhaps added when the street frontage was extended in 1911.

- 4.10.16 To the west of the **13a** gable end, the elevation continued as two-storey 1911 extension **13b** (Plate 253), brick-built in English garden wall bond rising to as plain eaves (exposed rafter feet) beneath a pitched, slate-clad roof. Of three window-bays, large square openings to ground floor (originally housing multi-pane iron frames) had been historically blocked in brick (Plate 257),¹⁴⁷ while smaller first-floor windows with timber lintels and projecting, blue-brick cills (Plate 258), were furnished with simple timber casements replacing original 2/2 sashes.
- 4.10.17 The western five window-bays of the elevation, **13c** (Plate 254), dating to the 1920 expansion of the manufactory premises, was again in red brick laid to a regular English garden wall bond, of two full storeys rising to a plain eaves with exposed rafter feet. The street frontage incorporated an 11ft. wide cartway-entrance (Plate 259) to the east, with two-leaf timber doors, and a three-bay garage to the west furnished with tri-partite sliding timber doors (Plate 260), openings set beneath a common, exposed concrete lintel. First floor was pierced by five regularly spaced timber casements to first-floor level, details as per first-floor windows of **13b** to the east.

Building 13a: Eastern shopping range (1902)

- 4.10.18 **Building 13a** comprised a long, narrow workshop range 126ft. long (of seven principal structural bays, here numbered 1 to 7 from north to south, with a wider bay, Bay 4, to the centre of the range) x 25ft. wide, aligned north-south, flanking the eastern side of the building plot, terminating in a brick gable end to the north, onto Northwood Street (Figure 47, Plate 252; see above), and in a blind gable to the south (Plate 261), where it rose above the former southern boundary-line of the gardens associated with Harper's Hill House, a principal site division illustrated on the earliest detailed plans of the area (Figures 5/6). The shopping range represented the earliest element of the recorded complex, erected in accordance with submitted plans dated 1902 (BBP **17517**; see §.4.10.3-5). The range was brick-built of two full storeys (Figure 50b), with exterior walling in red brick laid to a regular English bond, standing 23ft. to a plain eaves (Plate 263) above a 3ft. high, chamfered plinth (Plate 264),¹⁴⁸ and 30ft. high to ridge, the roof being pitched and gabled to north and south; the roof, as recorded, was clad in secondary, profiled metal sheeting (original documentation describes a slated roof).
- 4.10.19 The west elevation to the yard (Figure 50b) included two large rectangular windows per bay at both ground- and first-floor level (original 5x7 pane iron frames survived in part, beneath steel lintels with projecting brick cills; Plates 263/266, blocked/modified in places). Central Bay 4 incorporated an 8ft.-wide doorway opening off yard **13j** at ground floor level (Plate 265), with bull-nosed jambs (stopped) and spanned by a segmental, triple-header arch, flanked by smaller 5x4 multi-pane windows (Plate 266), while former first-floor doors at Bays 3 and 5 (Plates 267/8) were originally served by opposing external stairs (see elevation at §.4.10.3).¹⁴⁹ A secondary ground floor doorway had been historically inserted at Bay 7 to the south (Plate 269). The east side of the range abutted the boundary wall with Bldg. **12** at ground-floor level and was thus blind, though the first-floor level, offset by c.5ft. from the plot boundary top accommodate a longitudinal, ground floor sky-light, was generously fenestrated with original, 5x7 multi-pane iron windows largely surviving *in-situ* (Plate 270); a projecting turret at Bay 4 originally housed toilet facilities, later modified to accommodate a spiral staircase.

¹⁴⁷ Shown open on photograph of 1964 (§.4.10.13) and as blocked on 'as existing' plan of 1989 (re-submitted in 1997 with **C/05043/97/FUL**).

¹⁴⁸ The continuation of the chamfered 'exterior' plinth of the western wall within the area of block **13b** to the north presented physical evidence for the phased development of the ranges **13a/b**.

¹⁴⁹ Former door at Bay 3 converted to window (Plate 267); that at Bay 5 repurposed to serve raised link **13i** (Plate 268).

- 4.10.20 Internally, the block was ranged over two principal floor levels. Ground floor (Figure 48) comprised, essentially, a single open workshop space [G2] (Plates 271/2), save the northern half of Bay 1 which had been historically partitioned off to form a small entrance lobby [G1], with stair A rising to first floor level (Plates 273/4),¹⁵⁰ and through access to the main body of the range to the south and to building 13b to the west. The main range [G2] was floored in concrete with a solid, concrete beam ceiling over, supported on transverse RSJs. The ceiling included a hoist void at Bay 4 (Plate 275), adjacent to the yard door. The range was open to the east at this level to a single-storey, top-lit projection, c.5ft. wide, thereby admitting natural light to the lower floor level (Plate 276/7), which would otherwise have been blind to this side, being built up against a pre-existing range formerly sited to the rear of Bldg. 12. The first-floor east wall over was carried on paired longitudinal RSJs, supported on a series of circular-section cast-iron columns (Plate 276). The roof over the projection had been raised, though its original arrangements are illustrated in historical drawings (§.4.10.4) and the original, lower profile was reflected in surviving fabric (Plate 277). A spiral stair (C) had been introduced to east side of the range at Bay 4 (Plate 278), opposite the main yard door, within a full-height projection (visible on Plate 270) formerly accommodating toilet facilities at first floor at least.¹⁵¹
- 4.10.21 First-floor level was approached internally via a spiral stair (C: Plate 280) to the east side of Bay 4 and by ¼-turn stair B (Plate 279), inserted within the top-lit projection at Bay 3.¹⁵² As noted above, a pair of opposing external stairs are illustrated on original design drawings (inset at §.4.10.3 above) and on historical OS maps, formerly rising to primary, segmental headed doors within the yard elevation at Bays 3/5 (Plates 267/8). Originally forming a single workshop space, c.5ft. narrower than ground floor level due to the westward offsetting of the eastern lateral wall, and lit by extensive fenestration to both east and west, the range had been largely modified and subdivided at this level by the insertion of a series of ephemeral partitions, with a canteen [F20] introduced to Bays 5/7 to the south (Plate 281) and a series of offices/meeting rooms [F15, 17-18] at Bays 2/4 to the north (Plate 283), the latter accessed via a corridor [F16] formed to the east side of the range (Plate 282). Bay 1 accommodated reception rooms at the head of stair A (Plate 274). Former industrial usage was reflected at [F19] at Bays 4/5 where a hoist was located above the 1F floor void (Plate 284); a doorway here opens to the west onto 1F link 13i, connecting across the south side of the formerly open yard to 1F level of workshop range 13d.
- 4.10.22 The roof structure over range 13a (Plate 285) comprised steel tie-beams¹⁵³ combined with timber principals and collars carrying a single tier of longitudinal side-purlins. Ceilings were underdrawn over modified sections of Bays 1-3 and 5-7, though open to the underside of boarded roofslopes at Bay 4.

Building 13b: Street frontage shopping/office extension (1911)

- 4.10.23 **Building 13b** comprised a three window-bay, two-storey street-frontage block, running westwards from the northern end of shopping range 13a, which it met in a clear 'phase break' (Figure 47), and representing an early extension to the premises, of 1911 (BBP 22050). As built, the range combined a two-storey range of offices

¹⁵⁰ Although the recorded stair was a modern insertion, the location reflects an early, historical feature, with a stair marked here on application drawings of 1911 (BBP 22050) which saw the introduction of office accommodation housed at first-floor level of the extended street frontage range, 13b (see inset plans at §.4.10.6).

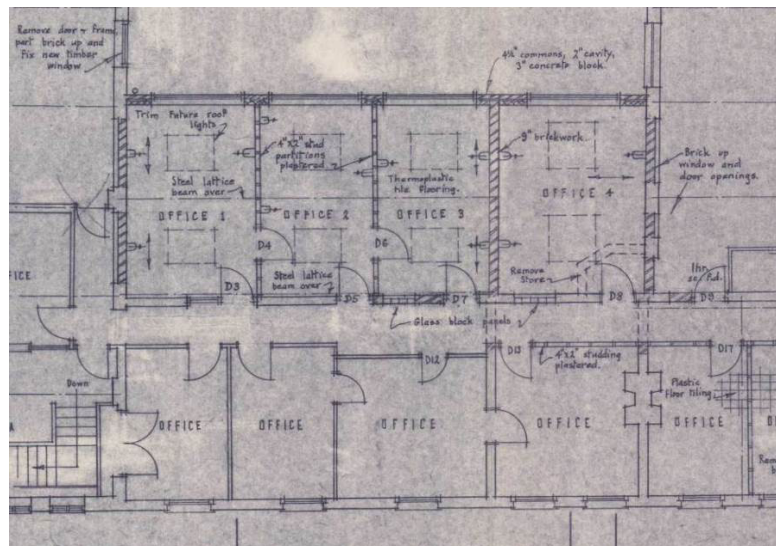
¹⁵¹ 'As existing' plans (re-)submitted in 1997 (C/05043/97/FUL) are annotated 'new spiral metal staircase' at GF and 'remove toilets, take out partition wall and make good' at 1F level (modifications assumed to date to 1989).

¹⁵² The head of stair B also opens onto the first floor of Bldg. 12 (Plate 235), acquired and radically remodelled by AE Harris in the late-1970s/early-1980s (R.G. Luckock., *pers. comm.*).

¹⁵³ I-section beams marked 'Hoerde 30' to web; Hörde is a district to the south of Dortmund in the industrial Ruhrgebiet area of Germany, formerly renowned for its heavy industry, in particular steel production.

(accessed from within **13a**) over shopping, aligned parallel to the street, with ground-floor workshops extending into a single-storey perpendicular range to the south thereof (see insets at §.4.10.6), though this arrangement had been subject to historical modification in the 1970s, when the southern section was raised by the addition of a first-floor, the latter extending westwards over the early cart entry to abut workshop range **13c** of 1920.

- 4.10.24 The Northwood Street façade (Figure 47; Plate 253), aligned east-west, measured 32ft. long (E/W), standing c.22ft. to a plain eaves and 28ft. to ridge, of three window bays, blocked at ground floor level,¹⁵⁴ open to first floor (see §.4.10.16 above). The rear elevation to the yard (Figure 51b) at ground floor level, included timber fixed-light windows to either side of a wide, central doorway (Plate 286; enlarged/remade), all beneath exposed concrete lintels. The central opening was formerly associated with an early structure occupying the centre of the yard, erected in 1903 (BBP **17683**), and present of OS editions down to 1955, though removed by 1970. The secondary first-floor level was flat-roofed and of four window bays (Plate 287), extending westwards over the early cart entry [**G5**], with large, steel casements lighting interior office spaces.
- 4.10.25 Internally, the ground floor of **13b** comprised, essentially, a single unencumbered space, though interrupted by two vertical piers supporting the original southern wall of the street frontage range at first-floor level.¹⁵⁵ ([**G2**] formed the ground floor area of the original, two-storey, street-frontage range, while [**G4**] to the south reflected the contemporary, single-storey shopping range). The combined ground floor area is annotated simply as ‘shopping’ on the 1911 design drawings, while the same space is marked as a ‘metal stores’ on survey drawings of 1989. No clear evidence for historical patterns of use was recorded. At first floor level, the range had been radically altered; originally forming two interconnected offices (inset at §.4.10.6), accessed from the first-floor level of workshop range **13a** to the east, the range was elongated in 1920 (**13c**) over a ground floor transverse cart entry and garage, the whole being extended southwards in the 1970s by the addition of a suite of four further offices ([**F11-14**]; see inset below), the western most of which spanned the southern part of cart entry [**G5**]. Office accommodation was utilitarian in nature, with carpeted floors, suspended ceilings and plain studwork/plasterboard partitions (Plate 289), accessed off a lateral corridor [**F3**] (Plate 288).



1970s plan for additional offices to first floor of **13b(S)**.

¹⁵⁴ The 1960s photograph indicates multi-pane cast-iron frames as survive within range **13a**.

¹⁵⁵ Wall formed southern side of corridor [**F3**] in recorded range.

Building 13c: Tertiary extension to street frontage range (c.1920)

- 4.10.26 **Building 13c** comprised an 'in line' extension of the (1911) two-storey street frontage section of Building **13b**, and was introduced as part of the major expansion of the manufactory premises undertaken in c.1920 (BBP **31180**: see §.4.10.7). It was contemporary with shopping range **13d**, wire store/mess room block **13e** and covered yards **13f/g**. The street elevation (Figure 47; Plate 254, described at §.4.10.17), was of five window bays incorporating a ground floor transverse cart entry [**G5**] (Plate 290) and vehicular garage [**G6**] (Plate 291) to the west, with extended office accommodation [**F7-10**] over.
- 4.10.27 Ground floor garage [**G6**], occupying the three western window bays, comprised a single, open space (16ft. N/S x max. 25½ft. E/W) with no internal partitions (Plate 291), served by the tri-partite sliding doors to the street elevation and with pedestrian access off the west side of cart entry [**G5**] (Plate 290). The concrete block ceiling over was supported on a grid of I-section steel joists. First-floor level, originally accommodating two interconnected offices, accessed from **13b** and **13d**, had been historically modified by the introduction of a series of ephemeral partitions to form a suite of smaller office rooms and stores [**F7-10**], served by an extension of lateral corridor [**F3**].¹⁵⁶ The roof over **13c** was not accessible, though historical drawings depict a simple trussed roof with iron king-bolts, supporting a single tier of 7 x 2½in. purlins.

Building 13d: Western shopping range (c.1920)

- 4.10.28 **Building 13d** (retained within the consented development scheme; Plate 292) comprises a long, narrow shopping range flanking the western side of the wider 128-138 plot, erected in c.1920 (see inset elevation at §.4.10.7), aligned perpendicular to and extending back from the rear of the (contemporary) extension (**13c**) of the street frontage range, as far as the former principal southern site boundary marking the southern limit of the gardens of Harper's Hill House, thereby mirroring the earlier range **13a** to the east. The range measures 108ft. long x 22½ft. wide (with a tapering, single-storey projection to the west). It is of 7 bays (here numbered 1 to 7 from north to south),¹⁵⁷ brick-built of two storeys with exterior brickwork in red/purple brick laid to a regular English bond, standing 20½ft. to a dentillated eaves band beneath a pitched roof, 28½ft. high to ridge, gabled to the south and formerly oversailing the roof of street frontage block **13c** to the north. The roof is boarded and felted and includes a horizontal band of patent-glazed rooflights to the upper eastern roofslope. The range is liberally fenestrated to both east and west (the latter to first floor only) by large, regularly-spaced cast-iron windows (5x5 panes to GF; 4x5 to 1F) beneath exposed concrete lintels and with projecting brick cills.
- 4.10.29 The east elevation to the yard (Figure 50a; Plates 293/295) includes two GF doorways at Bay 1 (one opening to the body of the range, one serving internal stair **D**; Plate 302), with further openings at Bay 4(S) and Bay 6/7, the latter opening off covered yard **13f** (Plate 317); reference to deposited plans indicates all GF door openings are primary. Three further original pedestrian doors off yard **13j** at Bays 2/3 (Plate 296), converted to windows, formerly opened onto discrete coal/coke/petrol stores, the latter subsequently remodelled to form a small workshop / office [**G8/8a**], accessed internally to the range. Otherwise, the elevation includes two large, square windows per bay at ground and first floor level, housing cast-iron, multi-pane frames beneath exposed lintels (Plates 294/5), those at Bays 5 and 6(N) being blocked at GF level and blind at 1F (again reflecting original arrangements). A first-floor window at Bay 4(S) has been converted to a doorway serving raised link passage **13i** (Plate 310), introduced 1955-70.

¹⁵⁶ Opposing fireplaces within the party wall of [**F7/8**], not shown on original drawings but present on 'as existing' survey drawings of 1989 and formerly exhausting via a short ridge stack visible on the 1948 aerial photograph (inset at §.4.10.10), had been historically removed.

- 4.10.30 The ground floor (Figure 48) largely forms a single, open workshop area [**G7**] (Plates 297/8), though including enclosed office¹⁵⁸/workshop [**G8/8a**] to Bay 2/3 (Plate 301; formed from original, discrete coal/coke/petrol stores; see plan at §.4.10.7) and (secondary) sub-station [**G9**] at Bay 1. The space is floored in concrete and ceiled by a concrete beam ceiling supported on transverse RSJs at Bay intervals and intermediate spacings; the floor is pierced at Bay 4(S) by a primary hoist void, closed by two-leaf timber trap-doors (Plate 308), affording vertical access from 1F level. The range is fully open to the west side, onto a single-storey, flat-roofed extension (Plate 299), tapering to the north reflecting the angled site boundary, and top-lit by a series of six, pitched, patent-glazed roof lights (Plate 311); the upper western wall is supported on a series of encased piers at bay interval spacings (Plate 298). Space [**G7**] is annotated as a 'new machine shop' on original plans and as a 'press shop' on later historical plans, and a single, manually-operated (dead-weight) drop stamp (Plate 300) survives against the exterior wall of office [**G8**] (Plate 301).
- 4.10.31 First floor (Figure 49) is approached from ground floor level via two straight-flight stairs, rising from east to west to the north and south ends of the range (**D** and **E** respectively; Plates 302-305). The southern stair is accessed from the body of the range at Bay 7 (Plate 303), while the northern stair opens off the main covered yard **13j** (Plate 302). Both stairs are enclosed at 1F level (Plate 304/5). Additional, 1F through access is afforded from street frontage range **13c** to the north (Plate 305), while raised walkway **13i** opens off Bay 4[S] (Plate 310) linking through to workshop range **13a** to the east.
- 4.10.32 First floor level (Figure 49) again comprises a single unencumbered space [**F22**] (Plate 302), annotated as a 'new machine shop' on original plans of 1920, generously lit by large, multi-pane windows to east and west; eastern windows at Bay 5 and 6(S) are blind, where the range is abutted by **13e**. The range is floored in a bituminous screed over a concrete block structure, exposed at GF level (Plate 297), and is fully open to the underside of its pitched roof. Timber trap-doors at Bay 4 (S) cover a primary hoist void (Plate 308). The roof structure over comprises regular steel trusses of 'double-W' pattern (Plate 307) at bay interval and intermediate spacings, combining double-channel ties, RSA principal rafters and angle/plain flat bracing, supporting two tiers of timber side purlins per roof slope. The roof is largely lined in timber matchboard cladding, though the upper eastern roof slope incorporates a continuous band of Georgian-wired patent glazed roof lights. The room was formerly heated by eaves level, finned elements (Plate 309).

Building 13e: Raised toilet / wash room block (c.1920)

- 4.10.33 **Building 13e** comprised a two-storey block, 26ft. square in plan, built up against the eastern lateral wall of shopping range **13d** at Bays 5/6. The structure was introduced as part of the major expansion of the manufactory premises undertaken in 1920 (BBP **31180**), originally housing a ground-floor 'wire store' with discrete men's and women's mess rooms over (see insets below),¹⁵⁹ though is only first depicted on the OS edition of 1955 (Figure 12); it is also visible on aerial photographs of 1937 and 1948 (inset at §.4.10.10). The upper level was converted to toilet facilities in the 1970s, contemporary with the introduction of raised link passage **13i** flanking the southern side of yard **13j** (see drawings submitted with application **C/05043/97/FUL**), at which point a number of the original first-floor window openings were blocked for reasons of privacy.

¹⁵⁷ Six full bays to the north, and one ½ bay to the south.

¹⁵⁸ Annotated as 'Power Press Office' on drawings of 1997 (**C/05043/97/FUL**).

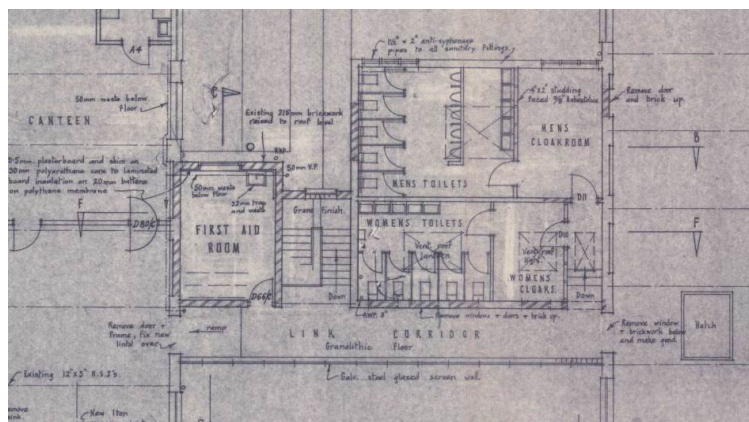
¹⁵⁹ The relative size of male and female mess room provision as depicted here is of note, reflecting a significant employment of female labour, as was common within other industries in the Jewellery Quarter, in particular the pen (see in Morrall in Jones (ed.) 2013, 110-121) and button making industries, a situation that was intensified with increasing mechanization of production processes (<https://www.british-history.ac.uk/vch/warks/vol7/pp140-208>).



Cross-section (left) and first floor plan (right) of Bldg. 13e; extracted for original design drawings (BBP 31880, 1920).

4.10.34 At ground floor level (Figure 48), storage space [G12] was closed off to the north by a brick-built wall defining the southern side of yard 13j (Plate 312), incorporating two large, square window openings to the east and a wide vehicular doorway opening to the west, the latter aligned with cart entry [G5] and originally furnished with sliding doors. To the south and south-east, the ground floor space [G12] was fully open to adjoining yards 13f/g (Plate 313/4). The upper floor over (set 9½ft. above yard level) was raised on a grid of encased steel stanchions (Plate 314) supporting a timber structure of east-west aligned principal beams (12 x 6 in.) and north-south aligned common joists (9 x 3in. at 16in. centres)

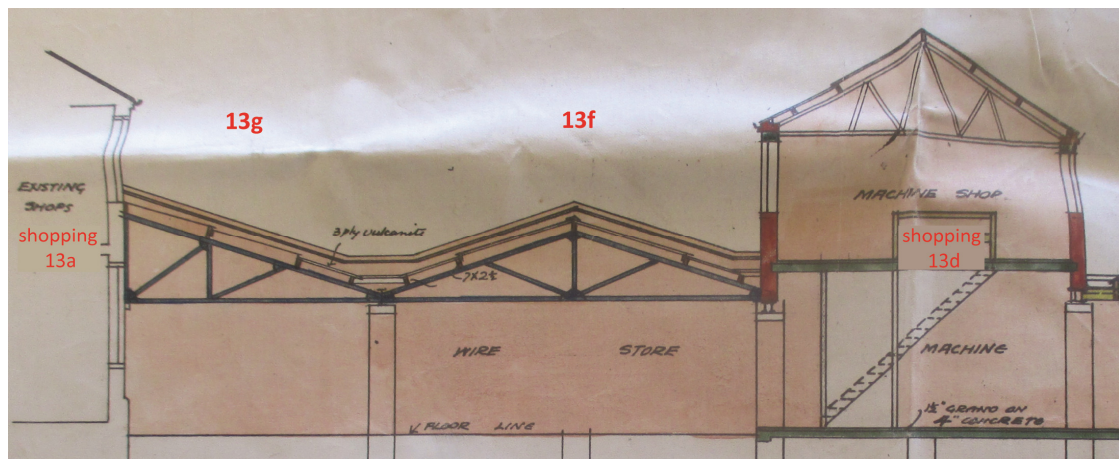
4.10.35 The upper level (Figure 49) was brick-built throughout in pale-red/orange brick laid to Flemish stretcher bond, rising to a two-course, ¼-brick offset eaves band and flat roof (Plate 315). Surviving windows to the south elevation comprised replacement timber casements beneath exposed concrete lintels. Accessed at the time of survey from raised link passage 13i, submitted design drawings indicate that the upper level was originally accessed via two conjoined external staircases rising from the main yard, with discrete flights serving male and female facilities (insets above). A further doorway (not primary) formerly opened off the eastern side of the first floor of workshop range 13c to the west (Bay 6), though this was also blocked off as part of the 1970s work (see inset below).



Extract of 1970s plan accompanying PA C/05043/97/FUL detailing modifications to first floor of 13e/13h.

Buildings 13f/g: Covered Yards (c.1920)

- 4.10.36 Covered yards **13f/g** occupied the central, southern area of the building complex, extending between workshop ranges **13a** to the east and **13d** to the west (Figure 48; see inset cross-section below), and were contemporary with the latter range, forming part of the major expansion of the manufactory premises undertaken in 1920 (BBP **31180**). They were, from inception, conjoined with no partition wall between them, and were both of a single storey, with trusses sharing a common, N/S aligned RSJ valley support. Yards communicated with GF levels of **13a/d** to east and west respectively, while yard **13g** connected through via the yard level of block **13e** (with which it formed an original 'wire store') to yard **13j** to the north. The combined yards were blind to the south where the wall forms the principal boundary of the manufactory complex (Plate 261).
- 4.10.37 Yard **13f** [**G13**] to the west measured 26ft. (E/W) x 17ft. (N/S), standing 10½ft. to valley and 17ft. to ridge. The fully-pitched roof was formed largely of Georgian-wired, patent-glazed panels and was supported by timber side purlins and ridge pieces carried on a single, central 'Fink'-pattern steel truss (Plate 318),¹⁶⁰ formed of RSA sections and aligned east-west. The covered area opened directly to the ground floor interior of shopping range **13d** to the west via wide openings at Bays 6/7 of the latter (Plate 317), and to the ground floor of **13e** to the north (Plate 313).



Covered yards **13f** and **13g** as depicted on submitted drawings of 1920 (BBP **31180**), between shopping ranges **13a** (left) and **13d** (right).

- 4.10.38 Yard **13g** [**G14**] to the east measured 31ft. (N/S) x 18ft. (E/W), extending behind boiler room **13h** to the southern site boundary, set beneath a mono-pitch roof standing 10½ft. high to the west and 15ft. to the east, where it abutted the west elevation of **13b** (Bays 6/7). The roof over was carried by three timber purlins supported on three steel half-trusses (Plate 319); it was again formed partly of patent-glazed panels though these had been obscured/painted over.

Building 13h: Boiler House with First Aid Room over/ stair F

- 4.10.39 **Building 13h** comprised a two-storey structure to the south-east angle of covered yard **13j**, accommodating a ground floor boiler room [**G10**], with first aid room [**F23**] over, brick-built beneath a flat roof, together with an

¹⁶⁰ Submitted planning drawings depict simple 'fan' trusses, though the recorded roof structure is assumed original, with the detailed design presumably subject to amendment prior to/during construction of the buildings.

adjacent stairwell **F** (Plate 320/21). A small rectangular projection is shown in this location of the OS map of 1917-27; though it was not included on planning drawings of 1902, suggesting a secondary feature,¹⁶¹ a structure is first clearly indicated on the submitted drawings of 1920, though occupying a larger plan (extending to flank Bay 6 of **13a**) and annotated as an 'existing engine house' with 'cooling tanks' over. The aerial photograph of 1948 shows a long, single-storey range (see inset below), extending back to the southern site boundary, beneath a mono-pitch roof (ie. no tanks), common with that over covered yard **13g**. The building in its recorded form was created, evidently over two discrete phases, at some point between 1955-1980, together with raised link passage **13i** and associated stairwell **F**, adapting in part the precursor engine house range.



Detail from 1948 AP, looking south-east, showing form of Bldg. **13h**.

4.10.40 The block was brick-built, with evidence in terms of variant brickwork for significant phases of modification, as suggested by documentary sources. Ground-floor level comprised a single space, **[G10]** (boiler room; 10½ft. x 16ft.),¹⁶² accessed from covered yard **13j** **[G16]** by a short flight of concrete steps (Plate 322), the interior floor level of **[G10]** being 2½ft. below yard level; it was furnished with an inserted window to the north wall, flanking the pedestrian doorway, but was otherwise blind. First-floor level **[F23]** was accessed off raised link **13i** (**[F21]**) and was lit by a single window in the south wall; the presence of two blocked windows to the east side of **[F23]**, representing original exterior windows to **13a**(W), reflect the original, single-storey form of the structure. Room **[F23]** is annotated as a 'First Aid Room' on historical plans.¹⁶³ The English bond brickwork of the upper level was clearly distinct from that of the ground floor, and Stair **F** (Plate 323), and was broadly similar in character to that of the raised southern section of Building **13b** to the north side of the covered yard (Plate 287), introduced in 1970-80.

4.10.41 Stair **F** (Plate 323) rises on a narrow, open-well plan (Plate 324) to the west of boiler room **[G10]**, rising from **[G12]** to link **13i** (**[F21]**); it is accessed off the south side of covered yard **13j** (**[G16]**; Plate 325) and is lit by a

¹⁶¹ No external 'plinth' detail was noted to the internal east wall of **[G10]**, however, perhaps indicating that it was indeed primary, thus representing a modification to designs submitted in 1902.

¹⁶² 1970s plans re-deposited with planning application **C/05043/97/FUL** (for introduction of roof over central yard) indicate a second boiler room formerly located to the south-east corner of covered yard **13h** **[G14]**, built up against the southern boundary wall – the 1948 AP indicates a tall stack rising against the SW angle of workshop block **13a**.

¹⁶³ Anon. (1980, 22) recalls that 'Economy was a firm rule when she [Mrs. Lowndes] was first employed [1956]... the first aid box contained just two items; a box of plasters and a bottle of Aspirin tablets.... Today [1980], Mrs. Lowndes is trained in first-aid and is well equipped with all necessary first-aid resources'.

single, tall window set high in the south wall (above the level of the roof of adjacent covered yard [G14]). An (undated) plan of the range identified on site annotates the room as a 'first aid room', as are drawings deposited with **PA C/05043/97/FUL**.

Building 13i: Raised link passage (1955-70)

4.10.42 **Building 13i** comprised a raised walkway link extending across the southern side of covered yard **13j** at first floor level, connecting the upper floors of shopping ranges **13a** to the east and **13d** to the west (Figures 49/51a), and affording level access to the first floors of blocks **13e** and **13h**. The passageway was supported at ground-floor level by two, widely-spaced concrete columns to the south side of the yard (Plate 312), offset c.6ft north of the north elevation of **13e/h** (Figure 48; Plate 326). The passage flanked the first-floor level of the latter blocks (Figure 49), being floored in concrete-blocks and ½-glazed to the northern side (Plate 327), ceiled by a shallowly-sloping roof clad in profiled aluminium sheeting. It was accessed via a converted first floor window within the east wall of **13d** to the west (Plate 310), and via a modified original doorway within the west wall of **13a** to the east (with segmental header-arch; Plate 268), the latter having originally served an external stair rising within the (formerly open) yard (see insets at §.4.10.33). Internally, the link passage was 45ft. long and 5ft. 3in. wide with a granolithic floor treatment, and stood 8½ft. high; the northern wall was formed of a ½-glazed screen in 14 regular panels (demarcated by galvanised steel uprights) above a low, 3½ft. brick wall, capped in tiles. Doorways opened to the south onto the upper levels of **13e** (toilets/wash-room) and **13h** (first aid room), while the head of open-well stairwell F opened towards the east end, flanking the west side of **13h** (Plate 328).

4.10.43 The link passage was introduced contemporary with (and was functionally related to) modifications to the first-floor arrangements of buildings **13e** and **13h**, and details are included on historical drawings re-submitted with planning application **C/05043/97/FUL** (see inset at §.4.10.35). Historical mapping indicates these modifications were undertaken at some point between the Ordnance Survey editions of 1955-70.

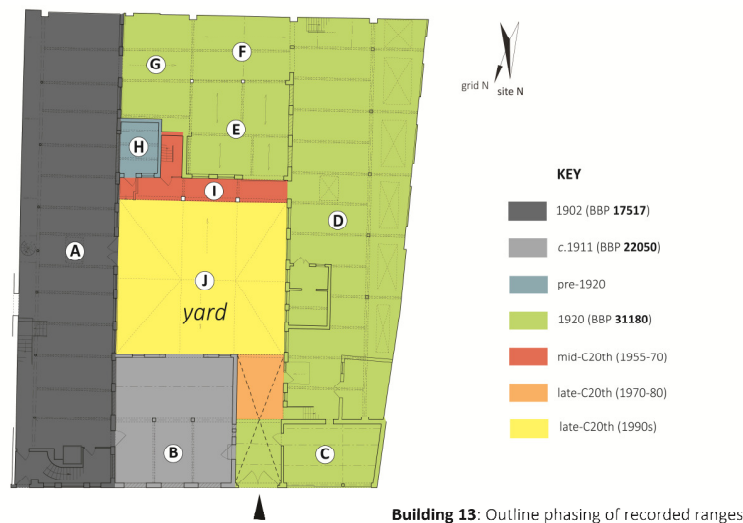
Building 13j: Covered Yard (c.1990)

4.10.44 **Covered yard 13j** occupied the centre of the building complex (Plates 329/30); c.45ft. square in plan, it was flanked by **13a/d** to east and west, **13b** to the north, and by **13e/h** (and raised link **13i**) to the south. Approached from Northwood St. via the transverse cart entry [G5] formed in 1920 at the east end of **13c**, ground floor doorways opened to east, west and south affording through access to adjacent ranges/areas. Down to 1955, the yard was occupied by a series of discrete structures (?casting shop / latrines; see 'development', above), now lost, and external stairs /galleries serving first-floor levels of perimeter ranges **13a** and **13e**, though it was largely open by the time of the 1970 Ordnance Survey edition (inset plan at §.4.10.11). The yard was covered over in the late-1990s when a steel, pitched and hipped frame supporting a canvas cover was introduced (Plate 331), serviced by perimeter guttering (Planning ref. **1997/05043/PA**: 'roofing over of internal yard', 21.01.1998; details on submitted planning drawings vary slightly from the covering 'as built').

Assessment

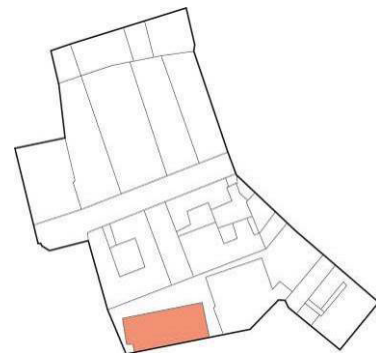
4.10.45 Building 13 represented an interesting and coherent group of industrial buildings and, though not comprising a single-phase, 'purpose-built' manufactory *per se*, the principal elements of the complex nonetheless evolved over a short time period in the early years of the 20th century, designed and erected for a single proprietor over

a series of discrete phases, principally in 1902, 1911 and 1920 (see inset below). The earliest range **13a**, dating to 1902, flanked the eastern side of the plot, backing onto Doleys casting works at Bldg. 12; this was soon after extended by the introduction of street frontage range **13b** (1911), extended in 1920 by garage **13c**, the latter development accompanied by a further shopping range **13d** flanking the western side of the plot and associated buildings **13e** and covered yards **13f/g** to the northern site boundary, together creating a distinctive ‘courtyard’ plan. Subsequent, piecemeal modifications were effected to reflect changing patterns of use, with significant changes being made in the 1960s/70s after the site came into the ownership of AE Harris & Co. Ltd. Constituent ranges were largely utilitarian in nature, including two classic, two-storey shopping ranges of a form readily paralleled elsewhere within the wider Jewellery Quarter and beyond, of standard form in terms of design and detailing, with little in the way of architectural embellishment to afford any degree of architectural significance or aesthetic merit. The complex did not include any form of elaborate ‘grand entrance’, for example, or high-status office/showroom areas, reflective of the more ‘practical’ nature of the business conducted at the premises and the manufactured products.



4.11 BUILDING 14: Newhall Street workshops

Street Address:	Graham Street
NGR:	SP 06270 87426
Record Level:	1
Date:	1955-70
Function:	Factory Units
Key Sources:	OS mapping; APs; site survey and observation



4.11.1 **Building 14** was located to the north side of Graham Street (historically, Nos. 5/6) immediately south of Buildings 12/13 and west of Building 15 (the late-C20th extension to Baker and Finnemore’s ‘Bak-Fin’ works at

199 Newhall Street); it was centred on SP 06270 87426. The range backed onto a small, irregular vacant plot bounded to the north by the high rear wall of Building 13 (Plate 335), the latter terraced into the rising natural ground. To the east lay 'Sovereign Court', another late-C20th introduction (post-1980), replacing a large north-light workshop range erected in the early-C20th (pre-1937) on the site of an early Baptist Chapel (annotated 'St. Andrews Meeting House' on Pigott-Smith's survey of 1828).¹⁶⁴

Development

- 4.11.2 The recorded range was erected on the site of former back-to-back court housing, identified as 'Welcome Place' (street frontage) and 'Marlborough Place' (back court) on the 1955 Ordnance Survey map (inset below left),¹⁶⁵ and visible on the 1948 aerial photograph (inset below). The court housing is evident on Ordnance Survey maps back as far as the first edition of 1890 (Figure 9), as well as on the ratings plan of 1870/71 (Figure 7) and Pigott-Smith's map c.1855 (Figure 6), while it is suggested in general terms on his earlier plan of 1828 (surveyed in 1824/25: Figures 5).



Ordnance Survey extracts from 1955 (left), 1970 (centre) and 1980 (right).



Extract from 1948 AP looking south-east illustrating back-to-back housing of Welcome/Marlborough Place (centre, Graham Street to right), with open rear yard, prior to the construction of the extant ranges.

¹⁶⁴ The Graham Street 'Mount Zion Chapel' was opened in 1824 as St. Andrew's Presbyterian Church, and first used as a Baptist chapel in 1827; it was an octagonal, brick structure with a pedimented front and a recessed Doric portico, seating about 2,000 (<https://www.british-history.ac.uk/vch/warks/vol7/pp434-482>). The chapel closed in 1913 and remained extant on the OS map of 1917/18 (Figure 11), though was subsequently demolished.

¹⁶⁵ Kelly's directory of 1899 records a number of business occupiers to Nos. 5/6 and Nos. 9-11, including shopkeepers and a newsagent, suggesting the street frontage properties may have been commercial in nature by that time. No further details traced.

- 4.11.3 The recorded range was reasonably erected in the 1960s as a pair of 'flatted factories' for multiple occupation, and is first illustrated on the Ordnance Survey edition of 1970 (inset above, centre). By the time of publication of the 1980 edition (inset above, right), the range (clearly annotated 5 and 6) had been extended by one structural bay to the east, while a narrow vehicular garage had been appended to the west elevation, set back from the street frontage.

Historical Occupation

- 4.11.4 No documentation has been trace identifying for whom the recorded buildings at 5-6 Graham Street were first constructed, though trade directories of 1972/3 and 1973/4 record Lucas and Seaby Ltd. at No. 5 and Industrial Welding Services / Dom Holdings Ltd. at No. 6, while it is understood that it may, in part, have been rented out by Alldays at some stage (R.G. Luckock, *pers. comm.*). The building was purchased by AE Harris and Co. (Birmingham) Ltd. in c.2015, acquired expressly to consolidate the company's block of land holding with a view to simplifying / maximising potential development and/or sale opportunities, and was never directly occupied by the firm (R.G. Luckock, *pers. comm.*).

Description

- 4.11.5 The recorded building (Figures 52/3; Plates 332-4) comprised a simple, pre-fabricated range, rectangular in plan (120ft. long x 60ft. wide), of a single storey standing to a maximum 17ft. tall (to the south-east angle) to a flat roof, the latter incorporating three parallel, longitudinal north-lights of 'saw-tooth' profile over the northern side, aligned east-west (Plate 337). The building was concrete/steel framed on a modular pattern (perhaps best illustrated by photographs during demolition, see inset below), with walls clad externally in alternating window bays and 4ft. wide aggregate-faced concrete infill panels above a plain concrete plinth (Plate 336), the latter deepening to the south-west angle to accommodate the sloping ground/street level (Figure 52a). Two wide entrance doors opened to Graham Street serving the eastern and western sections of the range, with a third vehicular entrance bay to the south end of the west elevation (Plate 333). A simple secondary loading bay/garage, brick-built beneath a 'lean-to' mono-pitch roof with roller door to the south, had been appended to the western elevation, introduced at some point between the OS editions of 1970 and 1980.



Building 14 during demolition (image: <https://thehockleyflyer.info/demolition-along-graham-street>).

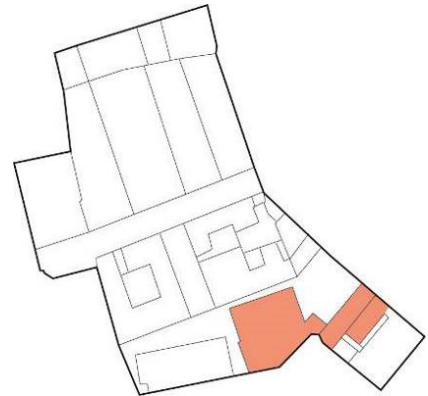
- 4.11.6 Internally (Plates 338-42), the range was of four principal bays, here numbered 1 to 4 from west to east (Figure 53). Reference to historical OS maps indicates that Bay 4 to the east represented a secondary addition (see above), though no unambiguous physical evidence confirmed this, a result of the modular form of construction and the uniformity of structural elements and cladding materials. The range could thus be broken down into two main elements, the primary structure to the west (Bays 1-3) and the secondary extension to the east (Bay 4).
- 4.11.7 The primary section (Bays 1-3) comprised two main workshop areas [G2/3] (Plates 338/9) to west and east respectively, and included a central toilet block, backing onto entrance lobby [G1] and accessed from lateral passage [G4] to the north. A number of small, discrete office spaces ([G5a, 7/8]) had been formed by the insertion of ephemeral stud and plasterboard partitions.
- 4.11.8 The roof incorporated three longitudinal alignments of 'saw-tooth' profile north-lights (Plate 341), framed by substantial steel members carried on deep, transverse I-section beams, the latter supported mid-span by concrete piers. The apex of the rooflights stood 17½ft. above internal floor level. The workshops were otherwise unencumbered, providing open, well-lit spaces. Bay 4 to the east comprised a further workshop space [G10] (Plate 340), added in the 1970s and accessed via a second doorway to the extended Graham Street elevation. The southern part of the bay had been heavily modified for subsequent use, with timber floors and suspended ceilings (Plate 342), though the northern section remains largely as built, open to the north-light roof.
- 4.11.9 Bay 3/4 was defined by a solid brick, transverse wall to eaves level, with Georgian-wired glazing over; if, as appears to be the case, the building originally terminated on this alignment, it may be expected that the eastern wall would originally have been furnished with window opening matching the remaining elevations. That no blocked openings are evident indicates that the wall was either reformed when the range was modified, or that the primary range was purposely designed to be extended.

Assessment

- 4.11.10 **Building 14** was purely utilitarian in nature and represents one of the later additions to the Harper's Hill site, being introduced at some point between the Ordnance Survey editions of 1955 and 1970, and evidently extended soon thereafter. Of purely functional, pre-fabricated design, Building 14 is of negligible historical interest or architectural significance. No related planning materials have been identified.

4.12 BUILDING 15: Graham Street workshops

Street Address:	B&F extension Newhall St./Graham St.
NGR:	SP 06306 87441
Record Level:	2
Date:	Late-C20 th (1955-c.1980)
Function:	Industrial workshops
Key Sources:	OS mapping; APs; site survey and observation

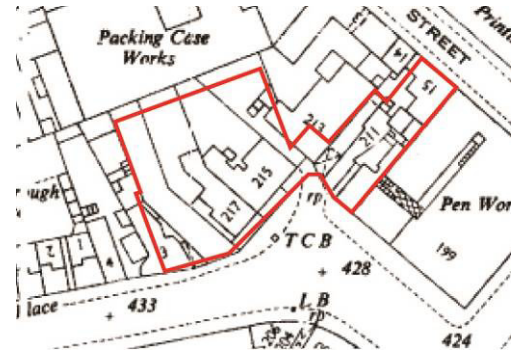
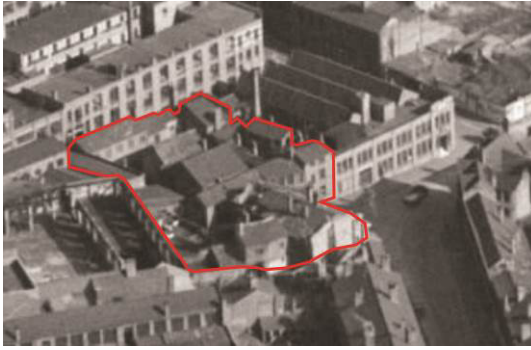


4.12.1 **Building 15** was located at the north end of Newhall Street at the junction with Graham Street (Plate 343), with a long frontage to the latter street and short frontages onto Newhall Street to the west and James Street to the east; it was centred on SP 06306 87441. It comprised a composite range erected in at least two phases between 1955 and 1980 as an extension to No. 199 Newhall Street (Bldg. **2**); reference to historical maps and early- to mid-C20th aerial photographs indicates that the site was formerly occupied by a dense and complex pattern of residential/commercial buildings.

Development

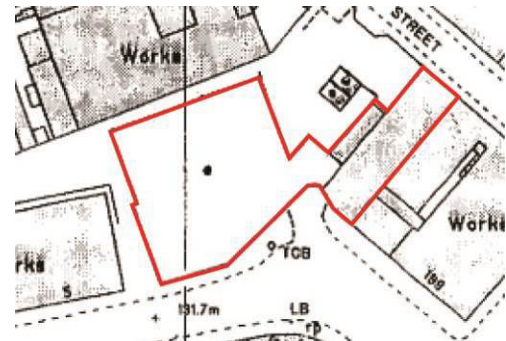
4.12.2 Development within the site boundary is evident as far back as Pigott-Smith's town plan of 1828 (Figure 5), which shows early buildings to the north side of Graham Street, expanded by 1855 (Figure 6) to include frontage buildings to James Street to the east, all lying to the south of the principal boundary wall defining the original southern limit of gardens associated with Harper's Hill House. Subsequent, historical Ordnance Survey mapping shows little fundamental change in site arrangements, with later sources indicating an evident mix of residential and light-industrial premises (annotated as Nos. 211-217 Newhall Street, No. 3 Graham Street and No. 15 James Street). No. 1 Graham Street, formerly sited between No. 217 Newhall Street and No. 3 Graham Street is shown as a vacant plot on the OS edition of 1955: historical planning applications pertaining to the site of Nos. 1/3 suggest that the 1955 map depicts the area mid-way through the removal of the buildings.¹⁶⁶

¹⁶⁶ PA ref. **15054000** of 1956 pertains to for the erection of a temporary storage building by Messrs. Graham & Co at Nos. 1/3 Graham Street, suggesting the buildings had been demolished by that date while PA ref. **A0673300** of 1967 pertains to an application by London and Provincial Poster Groups for the erection of two 'display panels' at 3 Graham Street, adjacent to 215 Newhall Street, indicating a vacant site.



Extract from 1948 AP (left) and OS map of 1955 (right) illustrating complex, intensive occupation pattern of site (including current open yard area) prior to the construction of the extant ranges.

- 4.12.3 Development of the recorded ranges is first illustrated by the Ordnance Survey edition of 1970 (inset below left), which records the removal of No. 211 Newhall Street and No. 15 James Street (present on the 1955 edition), and their replacement by a long narrow range (recorded Bldg. **15a**) flanking the north side of the Baker and Finnemore's original 'Bak-Fin' works. No. 217 Newhall Street and No. 3 Graham Street had also been demolished by 1970, though the site remained undeveloped and Nos. 213/215 remained *in-situ*.¹⁶⁷ Buildings **15b/c** are first depicted in outline form (not shaded – possibly under construction?) on the Ordnance Survey edition of 1980 (inset below, right), their introduction having been preceded by the demolition of Nos. 213/215 Newhall Street. A small, bi-partite structure in the centre of the yard opening off James Street presumably represents a double garage for staff cars/vans¹⁶⁸ (visible on historical Google earth of 1999 and 2003, though removed by 2005). No historical planning materials have been identified in respect of any of Buildings 15a-c.



Ordnance Survey extracts from 1970 (left) and 1980 (right).

Historical Occupation

- 4.12.4 The buildings to the southern part of the site, viz. Bldg. 2 (199 Newhall Street), and Bldg. 15 were erected for, and are historically associated with the company of Baker and Finnemore, one of the oldest and most successful pen nib manufacturers in Birmingham.¹⁶⁹ The company originated as 'Wagner and Co.', established

¹⁶⁷ PA refs. **02855000** (no date recorded on online documentation) and **01762001** of 1949 pertain to the 'rebuilding of part of the premises at 215 Newhall Street to form a packing case store', and are thus possibly related to W.H. Goslings' business at 110-118 Northwood Street (Bldg. 11). A basement level door in the south elevation of Bldg. **11b** (see §.4.8.22) indicates that the premises were under common occupation at some stage, from the mid-20th century.

¹⁶⁸ Permission renewal for 'existing' double garage dated May 1988 (PA ref. **01762014**).

¹⁶⁹ <https://www.bakfin.com/bakfin-history.html>. See Tyler 2022b for further information; also Russon in Jones 2013, 124-134.

in 1849/50¹⁷⁰ by German industrialist Mr. Charles Wagner in collaboration with Mr. Daniel Baker and Mr. Joseph Finnemore. Originally based at premises in James Street, the company was later bought out by Baker and Finnemore, who purchased the Newhall Street site in 1911, allowing for the expansion and reorganization of the production premises. The Newhall Street works (199 Newhall Street, aka. the 'Bak-Fin Works'; reported separately) were erected in stages (1911, 1915 and 1936) to the designs of Ewen Harper and Bro. architects of Ruskin Buildings Corporation Street (BPP 22011, 66166). In the middle years of the 20th century, B&F diversified into the production of 'Starlock' push-on fastener washers which subsequently surpassed pen nibs as the main item of manufacture.



Baker & Finnemore; former entrance sign for Bak-Fin works (199 Newhall Street).

- 4.12.5 The company's premises were extended in the later years of the 20th century by the addition, in phases, of the recorded Bldg. 15, modifying and significantly expanding production capacity. Subject to a management buyout in 1996, the company was subsequently (2012) acquired by Germany-based company Titgemeyer of Osnabrück, one of B&F's oldest European customers. Baker and Finnemore vacated the premises in 2020, after c.100 years at the site, relocating to parent company Titgemeyer's existing premises in Keighley, West Yorkshire.¹⁷¹

Description

- 4.12.6 The recorded complex, together forming an extension of Baker and Finnemore's early 'Bak-Fin' works, comprised three principal elements (see inset plan below), viz.:

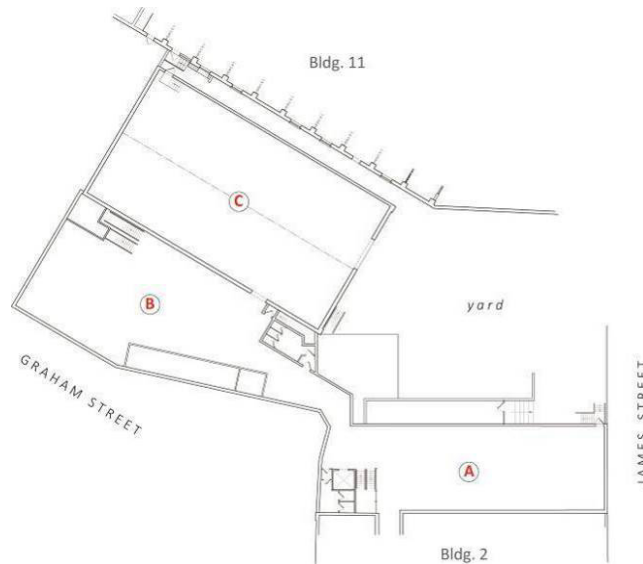
Building 15a: a narrow, three-storey workshop range flanking the north side of B&F's early-20th century premises at 199 Newhall Street (Bldg. 2), with narrow frontages to Newhall Street to the west and James Street to the east, forming the earliest part of composite range, introduced c.1955-70. Fabric indicates that the upper floor represents a secondary addition. Attached via a short link range to;

Building 15b: a two-storey workshop range flanking Newhall Street / Graham Street to the south, extant by 1980;

Building 15c: a simple, single-storey portal-framed 'shed' within the yard area to the rear of 15b and immediately south of workshop 11c. Also present by 1980. (NB. ground-floor level of 15c = first floor of 15a/b; see Figure 59).

¹⁷⁰ Recorded in an engraved stone plaque above the door of 199 Newhall Street.

¹⁷¹ J. Bassi, *pers. comm.* Registered address changed 05.08.2020 (<https://beta.companieshouse.gov.uk/company/00116591/filing-history>).



Building 15: Key Plan (NTS)

Building 15a: Three-storey workshop block (1955-70)

- 4.12.7 **Building 15a** comprised a three-storey range, rectangular in plan of eight regular bays, aligned east-west and sited immediately north of Building 2 (199 Newhall Street), overlooking a large open yard to the north (Plate 344) and with narrow frontages to James Street (Plate 346) and Newhall Street (Figure 54b; Plate 348) to east and west respectively. It is first illustrated on the Ordnance Survey map of 1970, on the site formerly occupied by No. 211 Newhall Street and No. 15 James Street. The range had overall external dimensions c.104ft. long (E/W) x 32ft. wide (N/S), standing 32ft. high (from interior ground-floor level) to a flat roof (c.22ft. above external yard level). The range was of concrete/steel frame construction with brick facing/infill. The brick elevations to east and west were more carefully treated, in regular stretcher bond brick, each displaying a distinct change in colouration between first and second floor levels (Plates 347/9), suggesting the upper level represented a secondary addition (date of modification unknown). This was further evidenced within the northern (yard) elevation (Plate 344), where the exposed concrete piers at bay divisions also varied between first and second floor levels (Plate 345). North, east and west elevations were fenestrated with horizontal bands of glazing, affording natural lighting to the interior, the north elevation including a 'concertina'-type goods door towards the eastern end, affording access from the adjacent yard. An external steel stair rose to the easternmost bay of the yard elevation affording pedestrian access to first and second floor levels. The south elevation was largely blind at ground-/first-floor levels, where it backed onto the pre-existing ranges of Bldg. 2c, though second-floor level was again furnished with a horizontal glazing band beneath a common, exposed concrete lintel (Plate 350).
- 4.12.8 The interior of the building was arranged over three levels, with internal vertical communication by means of a stair and adjacent goods elevator to the western end of the range (Plates 355/6), and via an external steel stair at the east end of the northern, yard elevation. The ground floor was coincident with the ground floor of Bldg. 2 to the south, with which it was interconnected. First and second floors were likewise coincident with the first and second floor levels of Bldg. 2a, and were furnished with connecting doorways, adjacent to the main stair (Plates 356), inserted in the north elevation of the latter building.

4.12.9 At ground and first floor levels (Figures 55/6; Plates 351/2 and 357/8), the range comprised, essentially, a single unencumbered space, though the ground floor was interrupted by a row of mid-span, concrete support piers (Plates 351/2). A raised office and plant room to the north side of the ground floor (Plate 353) was enclosed to the north by a relic wall, aligned parallel and incorporating a number of segmental-headed openings (Plate 354).¹⁷² The south side of the ground floor breaks through into adjacent range **2c** and was formerly in common usage (heat treatment area; recorded in RPS photographs when building still in occupation). First level (Figure 56; Plates 357/8) was marked out for walkways and floor-mounted machinery, with half-height steel/mesh screens (Plate 357), while second floor level (Figure 57), accessed via a vertical continuation of the main stair (Plate 359) was given over to administrative use, subdivided by a series of ephemeral partitions to form a suite of discrete office spaces, [**S3-8**] (eg. Plate 361) and store [**S9**], arranged to north and south of an axial access corridor [**S2**] (Plate 360). First and second floor levels were lit by horizontal bands of glazing to the lateral walls.

Building 15b: Two-storey workshop block flanking Graham Street/Newhall Street (1970-80)

4.12.10 **Building 15b** comprised a two-storey workshop block of irregular plan, flanking the north side of Graham Street (Figure 54a; Plates 362/3) at its junction with Newhall Street to the east, where it was linked to Building 15a. The range had overall dimensions of c.115ft. long x max. 48ft. wide (tapering to c.26ft. wide to the east, where it linked to **15a**), and stood c.30ft tall to Graham Street, where the elevation rose to a short parapet wall. External elevations were brick-built in brown brick laid to a regular Sussex bond. The western six window-bays of the elevation rose flush to Graham Street, with large, first floor windows set within shallowly recessed panels (ground floor here being blind), while the eastern eight window-bays of the façade were angled back slightly to form a circulation / parking area in front of a ground floor loading door at the east end of the range, in the angle with **15a** (Plate 362). The eastern window bays were pierced by windows at both ground and first floor, again set within recessed panels, with first floor frames matching those to the west. The north-west elevation (Plate 363) was blind and formed of two parts, rising to a flat parapet to the south and to a shallow gable to the north, reflecting internal arrangements.

4.12.11 Internally, the building was arranged over two storeys, ground and first floors being coincident with the associated levels of Bldg. **15a** to the east, with which they communicated via a short link. Ground floor level (Figure 55) was terraced into the rising natural ground level to the north, with the rear wall thus performing a 'retaining' function (Figure 59). The range was of eight bays, with an axial alignment of concrete piers providing mid-span support to a series of deep concrete beams carrying the first floor, set relatively low at 10ft. over (Plate 364). Street access was afforded by a folding, 'concertina'-type door to the east end of the south elevation (Plate 366), while vertical communication to first floor was via two staircases, to the east and west ends of the north wall.

4.12.12 First-floor level (Figure 56; Plates 367/8) was coincident with the first floor of **15a** and ground floor level of **15c** (see Figure 59), the former accessed via the short link range to the east, the latter via a doorway in the common, lateral wall (Plate 374). Access from ground floor level was afforded via stairs rising at the western and eastern ends of the north wall, the latter with mid-flight exterior access from the main yard area. The range at this level comprised two distinct parts (Figure 59), that to the north comprising a tall, portal-framed range standing 14½ft. to eaves/20ft. to ridge (Plate 367), that to the south set beneath a flat roof at c.14ft. (Plate 368), extending up to the Graham Street façade; the boundary of the two sections was defined by an alignment of 6 x 6in. RSCs, common to each structure. Bay divisions correlated with those of Bldg. **15c** to the

¹⁷² Reasonably part of the south wall of former No. 213 Newhall St. (see 1955/70 OS maps) and incl. a blocked window and a former, wider entranceway; too little survives, however, to realistically attempt a detailed interpretation.

north, with the portal-framed section of **15b** and **15c** again sharing common structural columns, and thus reasonably contemporary. The range was lit by regular fenestration to the south wall, two tall windows per structural bay, with additional semi-translucent skylight panels to the portal-framed section, one per bay (Plate 367). A set of recent plans identified on site annotated the first floor of Bldg. **15b** as a 'tool room' with a discrete 'grinding room' ranged against the southern, Graham Street frontage (the ephemeral partitions for the latter having been removed), while a small, raised office had been introduced to the north-west corner, supported over the primary stair access on a simple steel frame (Plate 369).

Range 15c: Single-storey workshop north of 15B, within yard area (1970-80)

- 4.12.13 **Building 15c** comprised a simple, steel portal-framed range of seven regular (14ft.) bays, rectangular in plan aligned broadly east-west with overall external dimensions 98½ft. long x 52½ft. wide, standing 14ft. high to eaves and 19½ft. to ridge. It was appended to the north side of first-floor level of Bldg. **15b** (Figures 56/59), with which it shared a common wall;¹⁷³ the east gable elevation onto the open yard (Plate 370) was clad in corrugated cement-fibre sheets and included a horizontal 'concertina' type folding door, while the western gable end was brick-built and blind (Plate 371). The north elevation, brick-built to a regular stretcher bond with 'Crittall'-type steel casements (one per bay) was separated from the rear wall of parallel range **11b** by a narrow (9ft. wide) open passage, with doors opening to both **15c** and **11b** to the far west end.¹⁷⁴
- 4.12.14 Internally, the building constituted a single, unencumbered workshop space (Plates 372/3), save a small, enclosed office to the north-east angle. The range was floored in concrete with a roof, clad in profiled-aluminium sheeting, supported on six side-purlins per roofslope and incorporating semi-translucent roof-light panels, one per bay. A 'concertina'-type folding door afforded access from the external yard to the north side of the east gable end, while a pedestrian door opened at the west end of the north wall, served by an internal flight of descending stairs (Plate 375); the range had internal communication with first floor level of Bldg. **15b** to the south via an opening towards the eastern end on the common wall (Plate 374). A set of recent plans identified on site annotated Bldg. **15c** as a 'press room'.

Assessment

- 4.12.15 Buildings **15a-c** represented relatively late additions to the Harper's Hill site, introduced over at least two discrete phases between the Ordnance Survey editions of 1955 and 1980 (**15a** followed by **15b/c**; see above), with site observations indicating that the upper level of **15a** also represented a secondary addition. While the street frontages of **15a/b** displayed a greater degree of sensitivity than other late-20th century introductions (1960s Bldg. **14** immediately to the west, for example), the ranges nonetheless comprised essentially functional, utilitarian workshops and were of only limited architectural merit or historical significance, especially so in respect of Building **15c**, and made, at best, a neutral contribution to the much-altered Graham Street streetscape.
- 4.2.16 The historical association of the site with the long-established and renowned firm of Baker and Finnemore Ltd. is of some note, though with B&F expanding their premises here relatively late in the 20th century, post-dating their involvement in pen-nib manufacture, the trade for which they were predominantly known, the connection is somewhat ephemeral. The associative value and significance in this respect is encapsulated

¹⁷³ That the steel frames of Bldgs. **15b** and **15c** share a series of steel stanchions to their common wall suggests that they represent contemporary structures.

¹⁷⁴ As noted above, the presence of a door to **11b** in this location suggests common occupation of Bldg. **11** and the precursor buildings on the site of Bldg. **15** prior to the extension of Baker and Finnemore's premises, reasonably by W.H. Gosling and Sons in the late-1940s.

principally within the early-20th-century, Grade II Listed ranges of the adjacent ‘Bak-Fin Works’ at 199 Newhall Street (Bldg. 2), the buildings of which have been retained, and are to be repurposed and refurbished as part of the consented scheme.

5 DISCUSSION AND CONCLUSION

5.1 Summary of Development

5.1.1 The review of historical sources outlined at section §.3 above clearly indicates that the Harper’s Hill site was developed largely within the grounds of the former Harper’s Hill House, erected in c.1775 and demolished about 100 years later in c.1875. The first developments were, however, residential as opposed to industrial in nature, and were concentrated to the south of the villa’s southern bounding wall, the alignment of which survived within the recorded site, flanking the north side of Graham Street (site of later Bldgs. 14/15) and in the street block of Newhall Street/Brook Street/James Street (Bldg. 2), all of which are illustrated on Pigott-Smith’s map of 1828 (Phase 0; Figure 60a).¹⁷⁵ The first purely industrial buildings, including elements of complexes covered by the current project, had been erected by the time of Pigott-Smith’s second town plan of c.1855, viz. Bldg. 10 and parts of Bldg. 11 (Phase I; Figure 60b). Major development, however, did not occur until the later 19th century, after the demolition of Harper’s Hill House opened up a large area for new building. Northwood Street was extended westwards from the junction with James Street, and a series of industrial ranges erected in fairly rapid succession to both the north and south sides thereof (Bldgs. 4-8 and 11-13 respectively; Phases II-IV, Figure 60c-e). The northern part of the site had become essentially fully developed by the middle years of the 20th century (Phase V; Figure 60f), including the introduction of infill ranges and the covering over of yards, with the southern section experiencing development only after the clearance of early ‘slum’ court housing in the 1950s (Bldgs. 14/15; Phases VI/VII, Figure 60g/h). Later developments largely comprised the removal of earlier, outdated ranges and their replacement with larger, utilitarian structures, more suited to the accommodation of modern production machinery and processes (Phase VIII; Figure 60i).

5.1.2 In summary, the development of the individual street blocks of the Harper’s Hill site (here including buildings 1-3 for completeness) can be summarised as follows (see also Figures 61/2):

Bldg. No.	Address	Original Developer	Date	Occupation history	Trade
1	109-111 Northwood St.	Bent & Parker Ltd.	1882	Bent & Parker (1882-c.1920) Adie Bros (1925) Baedekers (1930-1942) Fan Disc (1945-1969/70) Harrisons Capstans (1950-1964) AE Harris and Co. Ltd.	Military ornament Silversmiths Cycle mfrs. Washer mfrs. Captan makers Pressings
2	199 Newhall St.	Baker & Finnemore Ltd.	1911	B&F (1911 - 2020)	Pen-nib manfr., later push-on fasteners
3	(Back range to Bldg. 1)	Bent & Parker Ltd.	1882	As Bldg. 1	
4	113/115 Newhall St.	CB Partridge & Son	1891	Partridges (c.1891 – 1940) Jason Plating (1942 - c.1990) AE Harris and Co. Ltd. (c.1990-2018)	Metal platers Metal platers Pressings
5	37-39 Regent Place	N/K	?1950s	See Appendix C.3	
6a	117 Northwood St.	PG Allday & Co.	1892	Alldays (1892-1973/4)	Brass Founders

¹⁷⁵ **NB.** Figure 60 illustrates the general site development based upon historical mapping (as noted above, there is an evident ‘data lag’ in the early 20th century OS editions during a phase of rapid development; reference should also be made to Figure 61, which shows specific dates for individual buildings, where known, as evidenced by historical planning applications.

				Jason Plating (1942-c.1990) AE Harris & Co. Ltd. (c.1990-2018)	Metal platers Pressings
6b	119 Northwood St.	Wm. Devenport	1897	Wm. Devenport (1897-1928) Alldays (1928-1973/4) AE Harris & Co. Ltd. (late-70s – 2018)	Silversmiths Window mfrs. Pressings
7a	123 Northwood St. (rear ranges)	A & J Zimmerman	1903	A & J Zimmerman Blanckensee & Son (1947-1948) Albion Pressings British Hub Co. Ltd. AE Harris & Co. Ltd. (late-70s – 2018)	Silversmiths Silversmiths Pressings Cycle hub mfrs. Pressings
7b	123 Northwood St. (street frontage)	S. Blanckensee & Son.	1947	Blanckensee & Son (1947-1948) Albion Pressings British Hub Co. Ltd. AE Harris & Co. Ltd.	Silversmiths Pressings Cycle hub mfrs. Pressings
8	Covered yard to 7a/b		2000	AE Harris & Co. Ltd. (2000-2018)	Pressing
9	125 Northwood St.	AE Harris	2001/2	AE Harris & Co. Ltd. (2001-2018)	Pressings
10	10-12 James St.			See Appendix C.4	
11	110-118 Northwood St.	(?) Jabez Marshall		Jabez Marshall Jnr. (? – c.1928) Goslings (1928-c.1980) AE Harris & Co. Ltd (1980s – 2018)	Cooper, later.. Packing Case mfrs. Pressings
12	126 Northwood St.	CH Doley	1902	CH Doley (1902-1973/4) AE Harris & Co. Ltd. (1970s-2018)	German silver caster Pressings
13	128-138 Northwood St.	Partridges Ltd.	1902	Partridges (1902-1964) AE Harris & Co. Ltd. (1964-2018)	Screw-makers Pressings
14	5-6 Graham St.	N/K	1950s	N/K	N/K
15	Ext. to 199 Newhall St.	Baker & Finmore Ltd.	1970s	B&F (1970s-2020); part of Titgemeyer (2012-2020)	Push-on fasteners

Table 3: Summary of buildings, original developer (and date), and subsequent occupational history (where known) of component ranges of Harper's Hill site

5.2 Assessment

5.2.1 Individual buildings are briefly assessed within the site descriptions presented at §.4 above. In terms of the wider Harper's Hill site, buildings have been shown to have been of varied quality, date, architectural merit and historical significance. Sadly, a number of the original buildings occupying individual building plots had been subject to late-20th-century remodelling, if not wholesale replacement, in particular to the north side of Northwood Street (Figure 60i), a development that can be seen to have had a cumulative negative impact upon the historical streetscape context (Figure 16a). Buildings **1** and **2**, both statutorily listed and reported elsewhere, were clearly of superior quality, reflected in their designated status, and have been retained, repurposed and refurbished within the consented scheme. Though unlisted, Buildings **7** and **13d** have also been retained, as it was felt they were of sufficient architectural merit for incorporation within the development. Recorded ranges **11** and, in particular **13**, presented good, if unremarkable, examples of developed, early-20th-century manufactory complexes, both arranged around central yards, while other buildings can be seen to be generally representative of their respective eras. The street frontage of Building **6a** constituted an interesting survival and incorporated fabric of merit (in particular, the carved door head recording PG Allday and Co. Ltd.), though it had been effectively removed from any form of historical context by the replacement of its adjoining ranges to both east and west, and the replacement of its associated back ranges. Later 20th-century buildings (**4**, **6b**, **9**) were strictly utilitarian in nature and of no particular interest or significance, and their introduction had a cumulative, negative impact upon the streetscape.

5.3 Architectural Associations

5.3.1 A number of the existing and/or precursor ranges within the Harper's Hill site were constructed to designs by acknowledged architectural practices, in particular Essex and Nicol, Essex and Goodman, and Ewen Parker and Bro. (brief profiles below) who were, together, responsible for the initial designs of half of the recorded buildings. Other architects and builders, where known, are referenced in the building descriptions at section §.4 above.

Essex and Nicol / Essex and Goodman¹⁷⁶

5.3.2 Essex and Nicol were an architectural partnership formed between John Coulson Nicol and Oliver Essex in 1887. Nicol, born and raised in Aberdeen, followed a varied career working in New Zealand and USA before returning to the UK where he became managing assistant to Thomson Plevins (designer of Nos. 109-111 Northwood St; Bldg No. 1 of the Harper's Hill site) in 1881, and later for Osbourn and Reading. Essex was a native of Hockley, Birmingham, the son of a journeyman silver engraver, who studied under William Henry Ward and admitted to the RIBA in 1883 (FRIBA from 1892). The partnership of Essex & Nicol lasted 13 years, operating out of offices in Newhall Street, until 1900, when it was joined by John Goodman to become Essex, Nicol & Goodman. Goodman had been born and raised in Leicestershire, moving to Birmingham on the death of his father in 1881, and becoming a pupil in the offices of Bland and Cossins. The partnerships of Essex Nicol and Goodman was dissolved in 1905, when Nicol left to set up a practice, Nicol and Nicol, with his son George Salway Nicol; the remaining partners continuing to practise as Essex and Goodman (see Bldg. 6) thereafter (Abbott in Ballard (ed.) 2009, 197).

5.3.3 Essex Nicol and Goodman, together with its preceding and successor partnerships, were one of Birmingham's most prominent architectural practices in the years around the turn of the 20th century and were together responsible for a number of landmark buildings in and around the city centre (Abbott 2009, 197). Within the Harper's Hill site, Essex and Nicol were responsible for the premises of CB Partridge & Son Ltd. at 113/115 Northwood Street (Bldg. 4; BBP **8680** and **11085**); Essex Nicol and Goodman for extensions to Bent & Parker's Harper's Hill Works (shopping to Bldg. 1; BBP **14136**); and Essex and Goodman for alterations for premises for PG Allday and Co. at 115 Northwood Street (Bldg. 6a; BBP **22615**).

Ewen Harper and Bro.¹⁷⁷

5.3.4 Ewen Harper was born in Darlaston in 1853, moving to Aston with his parents in 1861. He embarked on an architectural career in 1870, at the age of 17, when he was articled to David Smith & Son of Cherry Street, before going on to establish his own practice in 1875, working out of Bennett's Hill. Initially involved in domestic work, he was later responsible for a number of significant buildings in the area, including non-conformist (Weslyan) churches together with commercial and industrial projects, and is noted for his use of terracotta. From 1897 until shortly before his death in 1920, Harper worked in partnership with his younger brother, James Alfred Harper, operating as Ewen Harper and Bro. From 1898, the partnership were increasingly involved in larger-scale commercial projects and were based, from 1900, at offices in the Grade II listed Ruskin Buildings on Corporation Street,¹⁷⁸ which they built to their own designs (Foster 2005, 106).

¹⁷⁶ Info. from Abbott, 2009.

¹⁷⁷ Info. from Harper and Shackley, 2009.

¹⁷⁸ <https://historicengland.org.uk/listing/the-list/list-entry/1075606>

5.3.5 Within the wider Harper's Hill site, Ewen Harper and Bro. and their successor partnerships were responsible for the premises of CH Doley at 12 Northwood Street (Bldg. **12**; BBP **17005**), for Davenport's at 119 Northwood Street (Bldg. **6b**; BBP **25847**), Zimmermans at 123 Northwood Street (Bldg. **7b**; BBP **17510**) and for Baker and Finmore at 199 Newhall Street (Bldg. **2**; BBP **22011**).

5.4 Conclusion

5.4.1 The opportunity afforded by the conditional programme of historic building recording applied to the large-scale redevelopment of the Harper's Hill site has allowed both for a detailed record to be made of a significant number of individual buildings, to a level reflective of their perceived, relative importance, and for an analysis of the development of a wider area, in a manner not often possible on more restricted or localised developments. The study has been significantly enhanced by the documentary record, represented primarily by the collection of Birmingham Building Plans (BBP) at the Birmingham City Archives, which has proved particularly useful both in providing precise dates for a number of recorded structures, and in clarifying developments in the cases of sites where original / early buildings had been historically removed.

5.4.2 Together with reports prepared on the two listed buildings on the site (Bldg. **1**; 109-111 Northwood Street and Bldg. **2**; 199 Newhall Street, reported separately), the current document provides a useful 'point in time' record of the site prior to the consented development, while the associated programme of archival research has allowed for the recorded buildings to be considered within an established historical context.

Report prepared by:

Ric Tyler MCI^fA
22.09.2022

6 SOURCES AND BIBLIOGRAPHY

a) Cartographic Sources (in chronological order)

- 1731 Westley's map of Birmingham.
- 1750 Bradford's map of Birmingham.
- 1889 Ordnance Survey 1:500 town plan.
- 1778 Hanson's map of Birmingham.
- 1818 Kempson's map of Birmingham.
- 1828 Pigott-Smith's map of Birmingham.
- 1839 Henshall's map of Birmingham.
- 1850-55 Pigott-Smith's town survey of Birmingham.
- 1870-71 Birmingham Ratings Plan (Sheet 275).
- 1889 Ordnance Survey 1:500 town plan.
- 1890 Ordnance Survey County Series 25in. (1:2500) map.
- 1904 Ordnance Survey County Series 25in. (1:2500) map.
- 1917/18 Ordnance Survey County Series 25in. (1:2500) map.
- 1955 Ordnance Survey National Grid Series 1:2500 map.
- 1972 Ordnance Survey National Grid Series 1:1250 map.
- 1980-91 Ordnance Survey National Grid Series 1:1250 map.

b) Primary Sources

Birmingham Building Plans (BBP): Birmingham City Archives (BCA): Wolfson Research Centre.

(NB. Applications highlighted in red are pertinent to recorded buildings/precursor ranges)

App. No.	Status	Date	Address	Bldg No.	Description	Applicant/Owner
1880	X	03.09.1879	Northwood St.	X	Shopping	William Henry Chaffer
2555	X	28.12.1880	Northwood St.	X	Alterations and Additions	Henry Naden
3132	X	11.03.1882	Northwood St.	1	Warehouses, Offices, Workshops	Thomas Plevins
5086	X	26.07.1886	Northwood St.		Wash houses / workshops	JP Osbourne
7459	DNS	23.06.1890	Northwood St.	?	Shopping and dwelling house	ET Shepherd
8022	DNS	11.05.1891	Northwood St.	?	Factory	Robert J Matthews
8278	DNS	06.10.1891	Northwood St.	?	Manufactory, shopping etc.	Essex and Nichol
8680	✓	02.05.1892	Northwood St.	6	Manufacturing premises	Essex and Nichol
11085	✓	10.07.1895	Northwood St.	74	Shopping, factory extension	Essex and Nichol for Partridges
12809	✓	02.04.189-	Northwood St.	7	Manufactory	MJ Butcher for Wm. Devenport
12508	✓	08.01.1897	Northwood St.	6	Additions	S Turner for Allday
14136	✓	03.08.1898	Northwood St.	3	Shopping	Essex, Nichol and Goodman for Bent & Parker
13767	X	24.03.1898	Northwood St.	X	Shed	Devenport Bros.
14243	✓	17.09.1898	Northwood St.	?	Shopping @ No. 121	ET Shepherd
1626	✓	20.03.1879	James St.	?	Office	Henry Naden
1776	✓	26.06.1879	James St.	?	Firing stove	Henry Naden
1901						
16031	✓	29.01.1901	Northwood St.	6b	Shopping etc.	John Edwards for Wm. Devenport

1902						
17005	✓	18.08.1902	Northwood St.	12	New premises	for Doley
17157	✓	26.11.1902	Northwood St.	13B	Shopping	for Partridge and Son Ltd.
1903						
17510	✓	06.06.1903	Northwood St.	7/8	Extensions	for ?Zimmermans
17640	DNS	03.08.1903	Northwood St.	?	Alterations	for Whitfield
17683	✓	06.09.1903	Northwood St.	13	Additions	for Partridge and Son Ltd.
1904						
17836	✓	20.01.1904	Regent Place	6-8	Workshop	Blanckensee
1906						
19097	DNS	26.03.1906	Northwood St.	?	Manufactory	for Wm. Devenport
19184	✓		Northwood St.	7/8	Shopping	A Zimmerman
1907						
19586	✓	06.02.1907	Northwood St.	4	Shopping	for Partridge and Son Ltd.
1908						
20085	DNS	21.01.1908	Northwood St.	6	Alterations	for Alldays
1911						
22011	✓	07.03.1911	Newhall St.	2B	Shopping	for Baker and Finnemore
22050	✓	21.03.1911	Northwood St.	13B	Shopping	for Partridge and Son Ltd.
22615	✓	15.12.1911	Northwood St.	6A	Shopping	for Allday & Son
1914						
25847	✓	08.07.1914	Northwood St.	6B	Shopping	for Wm. Devenport
1916						
27910	✓	04.10.1916	Northwood St.		Office and Weighbridge	for Keeling
1918						
28978	✓	26.03.1918	Newhall St.	2	Colouring Shop	for Baker and Finnemore
1920						
31180	✓	01.04.1920	Northwood St.	13	Extension to factory	for Partridge and Son Ltd.
31308	✓	28.04.1920	Northwood St.	12	Casting shop	for Doley
32094	✓	29.08.1920	Northwood St.	13	Office over Lav.	for Partridge and Son Ltd.
1924						
27103	X	24.03.1924	Northwood St.	12	Casting Shop	for Doley
1928						
47762	✓	27.10.1928	Northwood St.	7/8	Casting shop	for Blanckensee
46354	✓	13.04.1928	James St.		Additions to premises	? JA Howser
1933						
58173	M/F	17.06.1933	Northwood St.	11	Alterations to premises	for WH Gosling and Son
1936						
66166	M/F	20.06.1936	Newhall St.	2	Extension to premises	for Baker and Finnemore
67523	M/F	30.11.1936	Newhall St.	2	Blacking shop	for Baker and Finnemore
1938						
71954A	✓	13.07.1938	Newhall St.	2	Inspection cover	for Baker and Finnemore
1941						
76657	✓		Northwood St.	6	Rebuild after enemy action	for Alldays
1945						

78586	✓	02.07.1945	Northwood St.	7/8	Extension to premises	for Blanckensee & Sons
79381	✓		Northwood St.	6	Rebuilding of factory	for Alldays
1946						
80117	✓	11.02.1946	Regent Place		Workshop	for Blanckensee & Sons
1947						
83681	X	21.03.1947	Northwood St.	X	Internal Alterations	for Jones and Jason
83885	✓	17.04.1947	Northwood St.	11	Rebuilding after fire	for WH Gosling and Son
85009	✓	07.08.1947	Northwood St.	11	Rebuilding of factory	for WH Gosling and Son
1948						
	X	10.12.1948	Northwood St.	11	Yard covering etc.	for WH Gosling and Son
1949						
90080	✓	21.01.1949	Newhall St.	2	Extension to premises	for Baker and Finnemore
90996	✓	20.03.1949	Northwood St.	6	Offices	for Alldays
92464	X	31.08.1949	Regent Place	X	Roofing over yard	for Blanckensee & Sons
1951						
99086	X	10.07.1951	Northwood St.	11	Covered yard (temp)	for WH Gosling and Son
99269	X	25.07.1951	Newhall St.	X	2 temp huts	Alldays Ltd

KEY

X: Listed in register though drawings do not survive;

DNS: Drawings survive but in too poor condition for presentation ('do not serve');

✓: drawings survive;

M/F: drawings on microfilm only.

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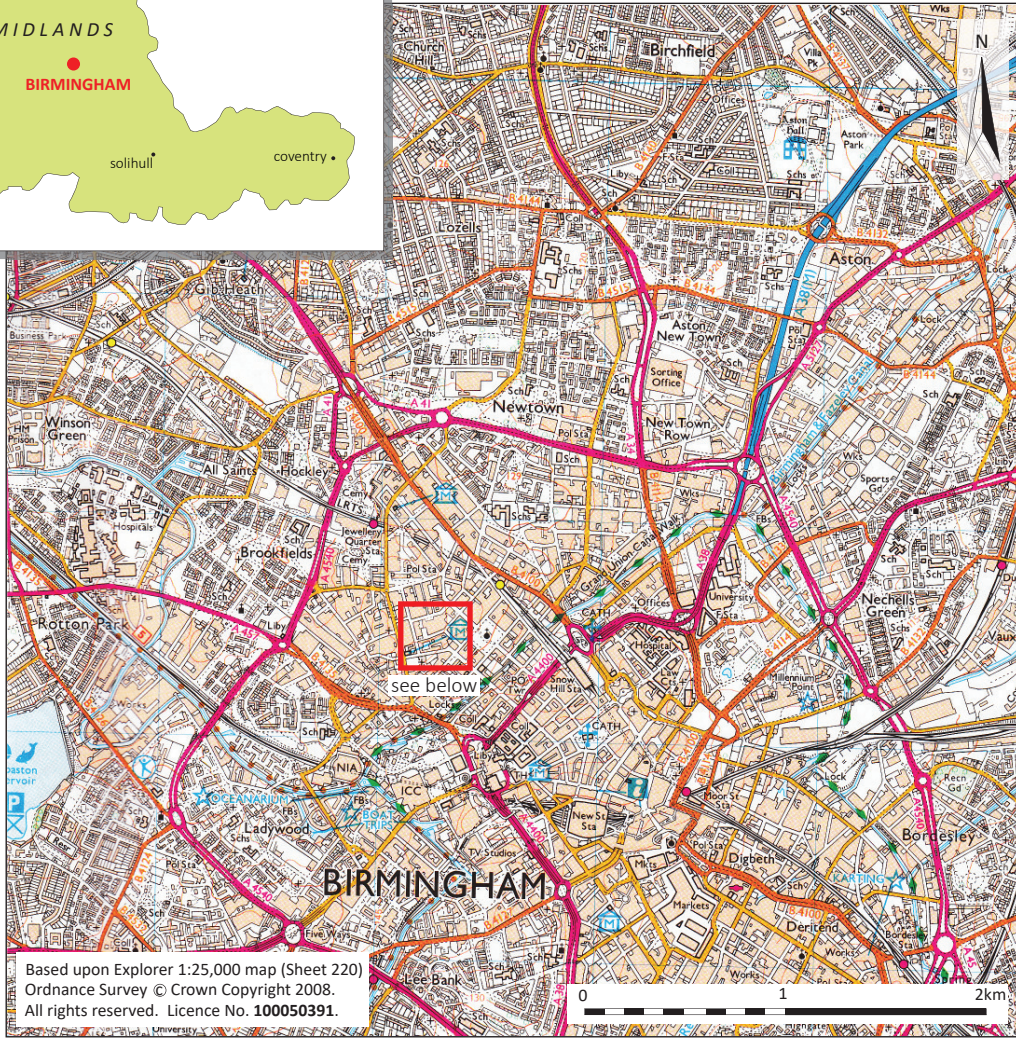
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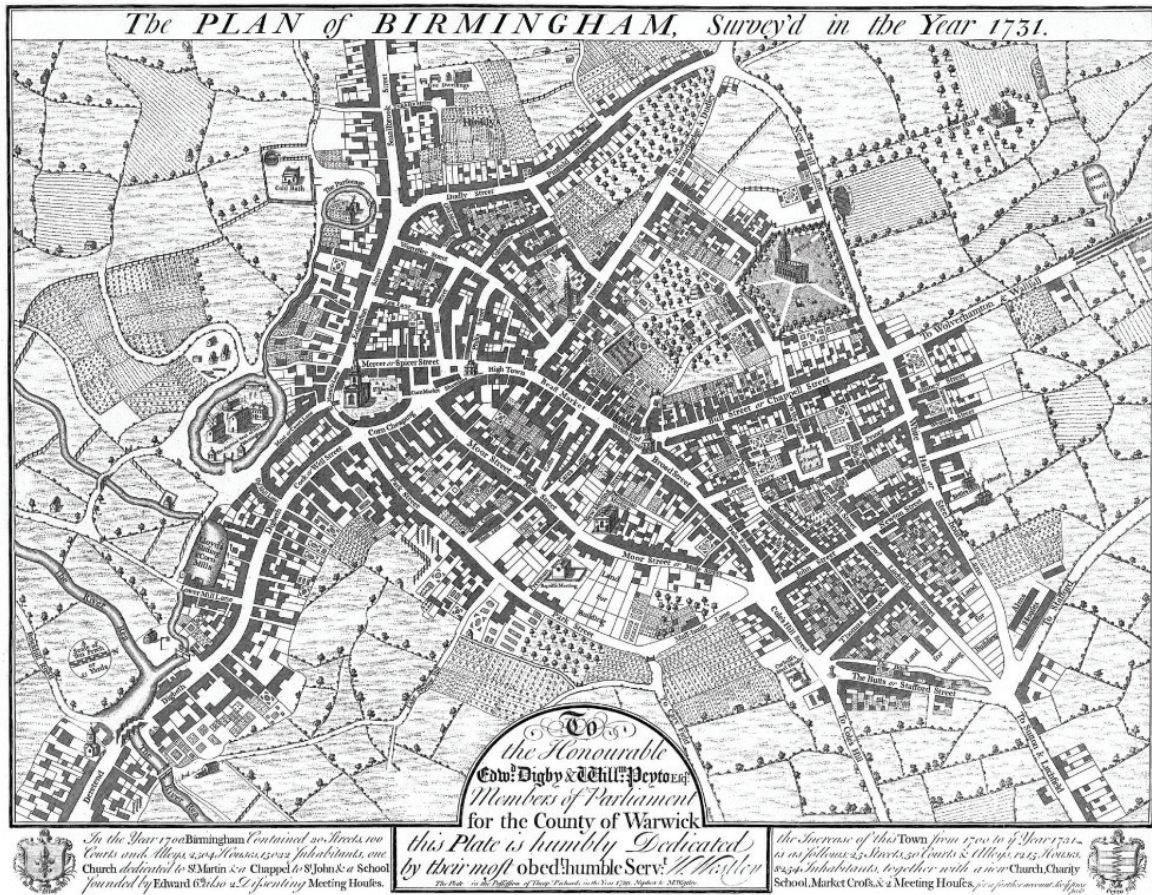
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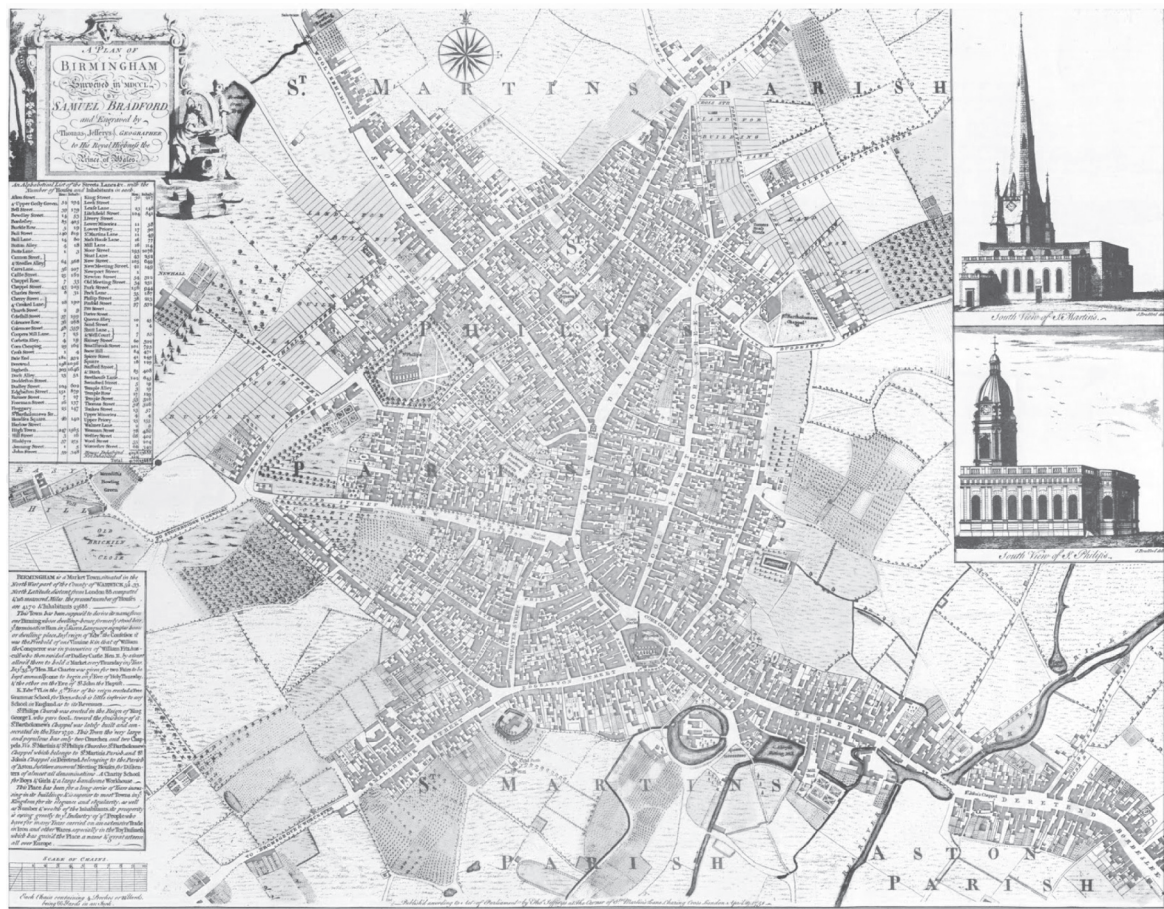
Based upon Explorer 1:25,000 map (Sheet 220)
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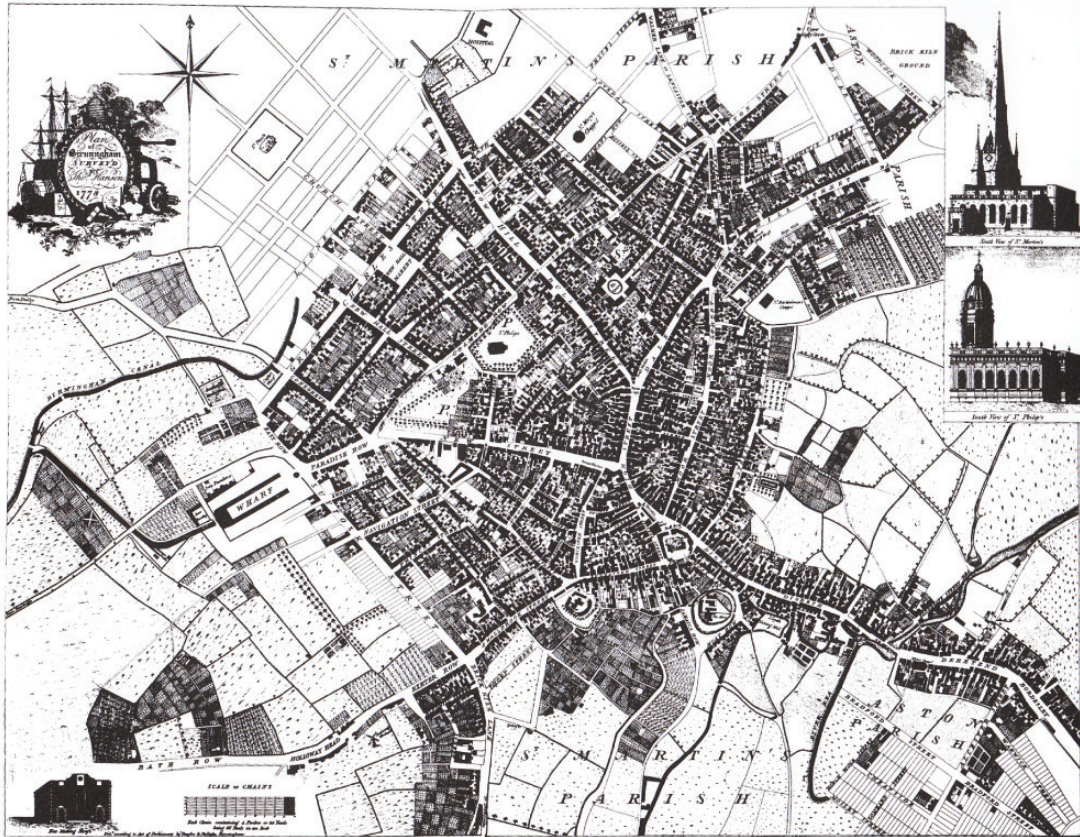
Harper's Hill Site
 see Figure 15



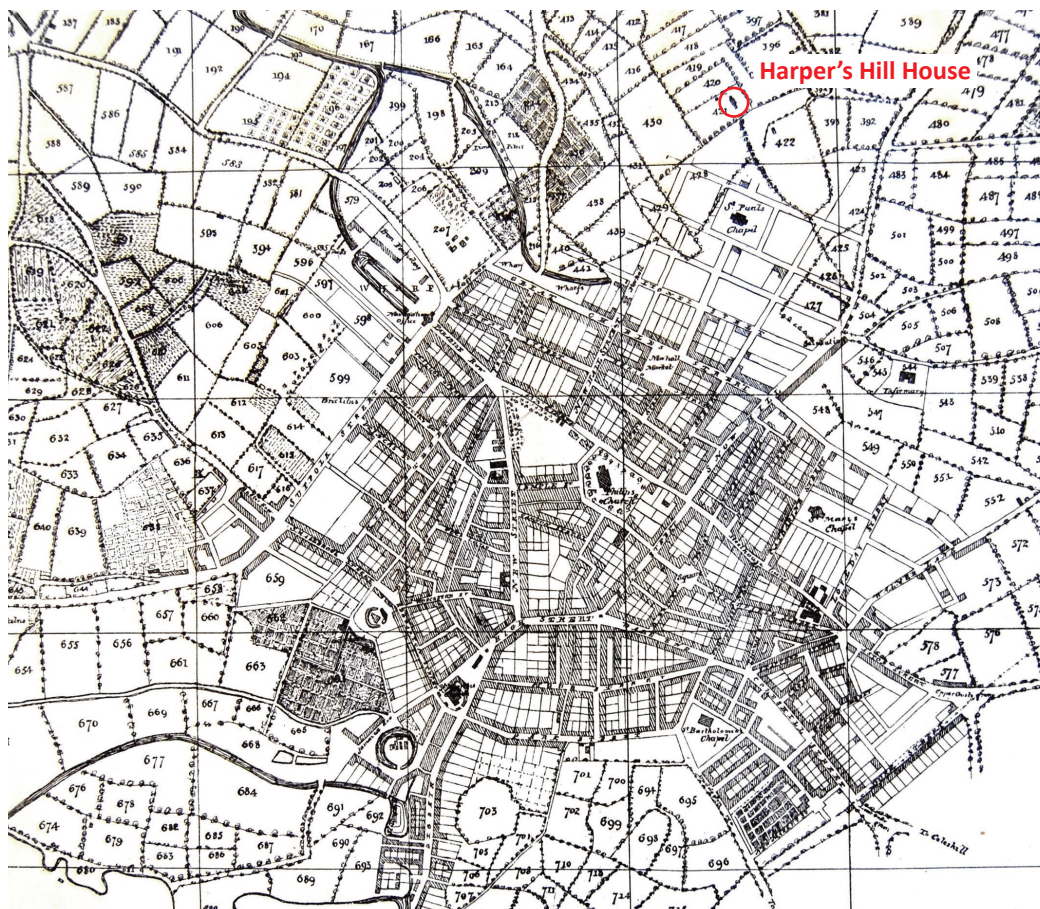
a Westley's map of 1731 (NB. north to right hand side of map)



b Bradford's Map of 1750



a Hanson's map of 1778.



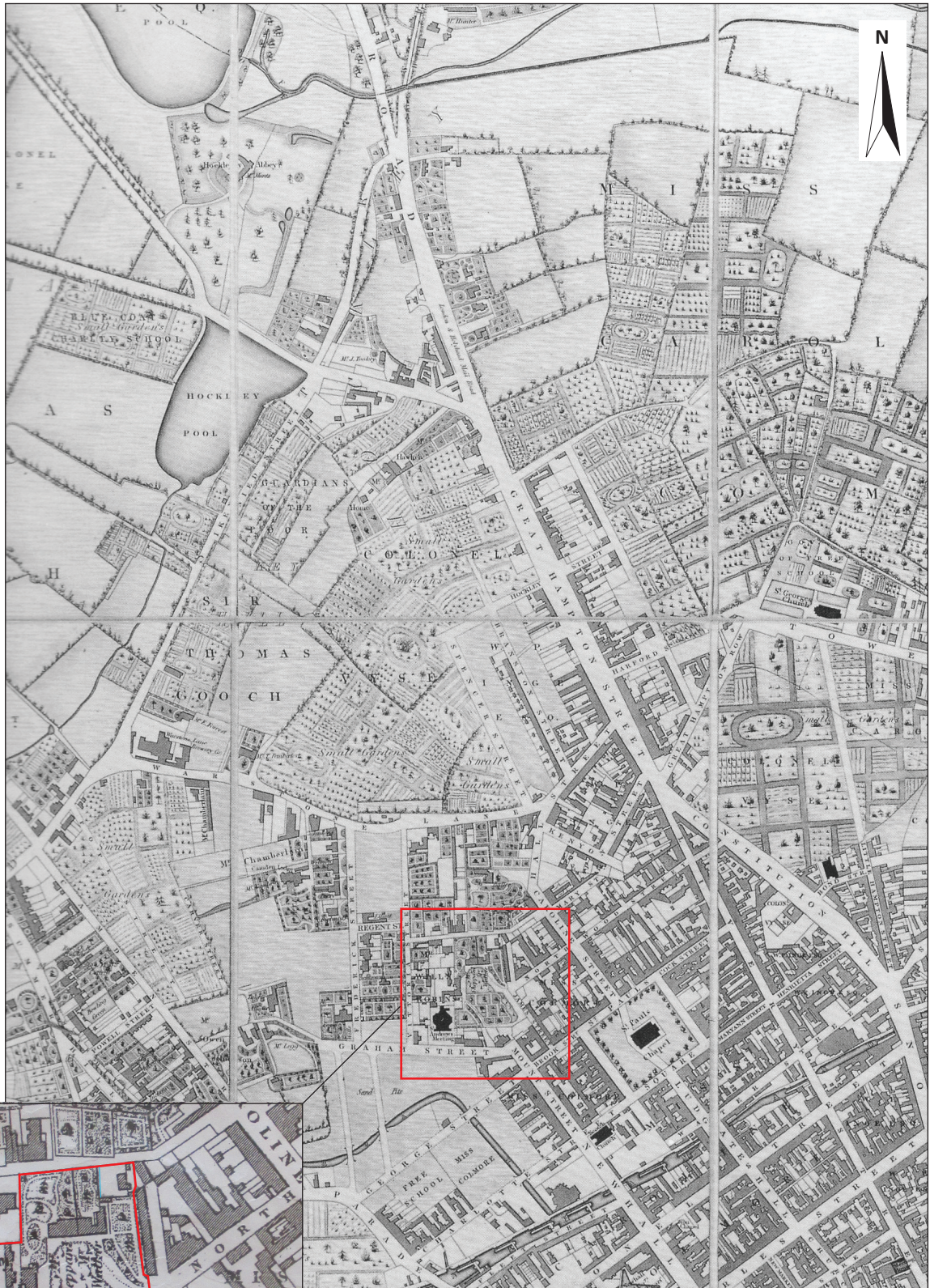
b Snape's Map of 1779 illustrating Harper's Hill House (north to right, approx.)



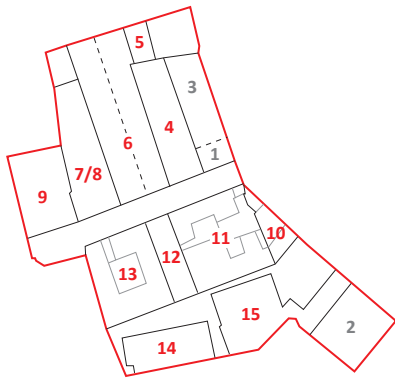
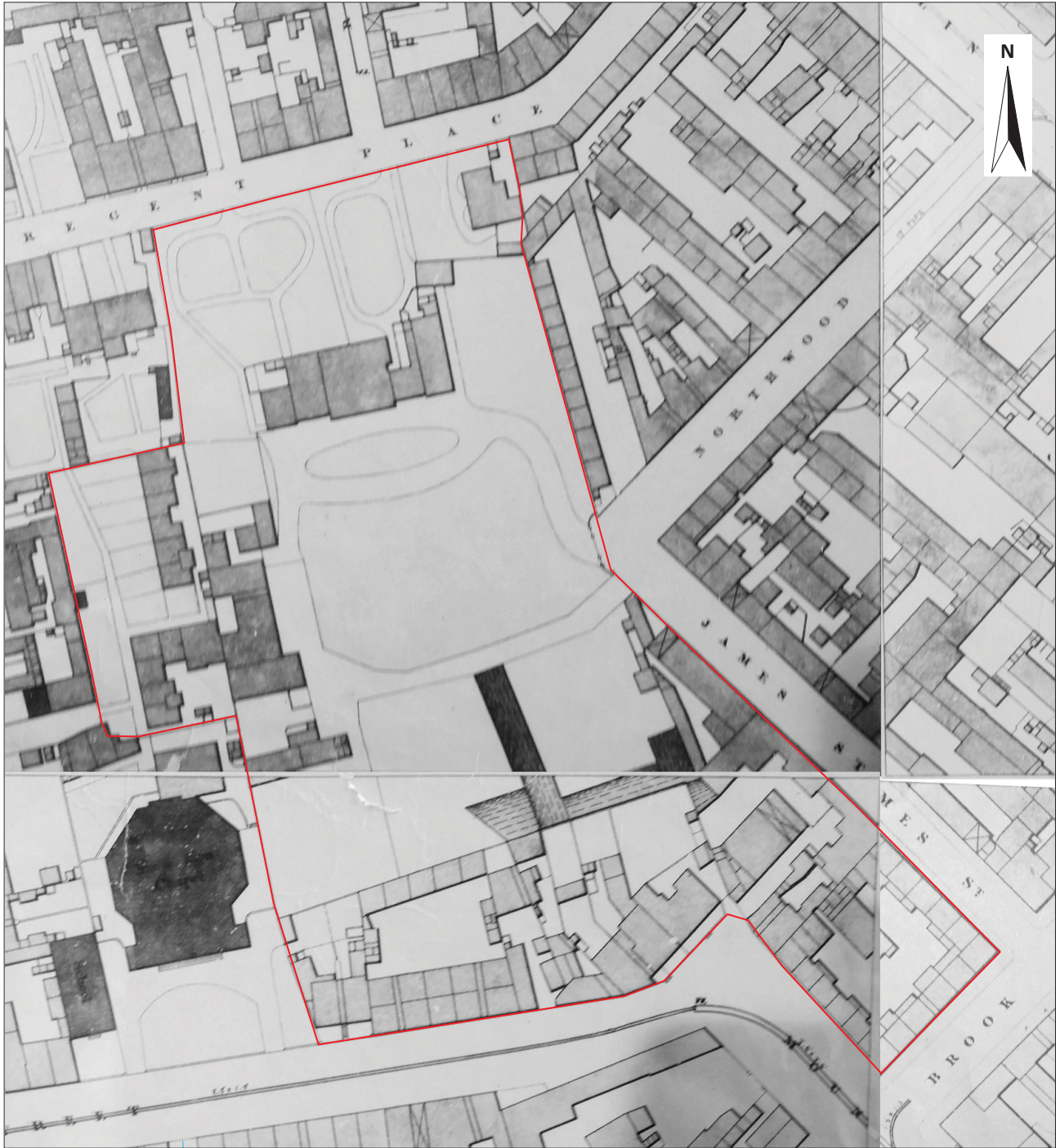
a Pye's Map of 1795 (first depiction of Northwood Street / James Street); Harper's Hill Site (approx.) outlined in red.



b Kempson's Map of c.1818 (rotated through 90°): Harper's Hill Site (approx.) outlined in red.



detail of Harper's Hill Site area

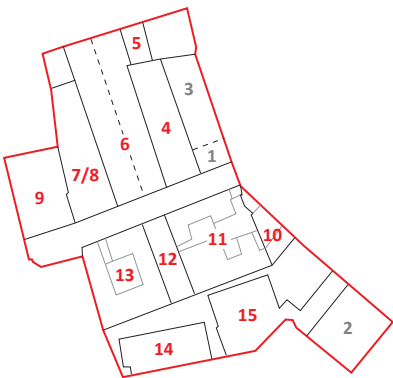


key plan

**Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham**

Figure 6: Pigott-Smith's map of 1855

(Birmingham City Archives)



key plan

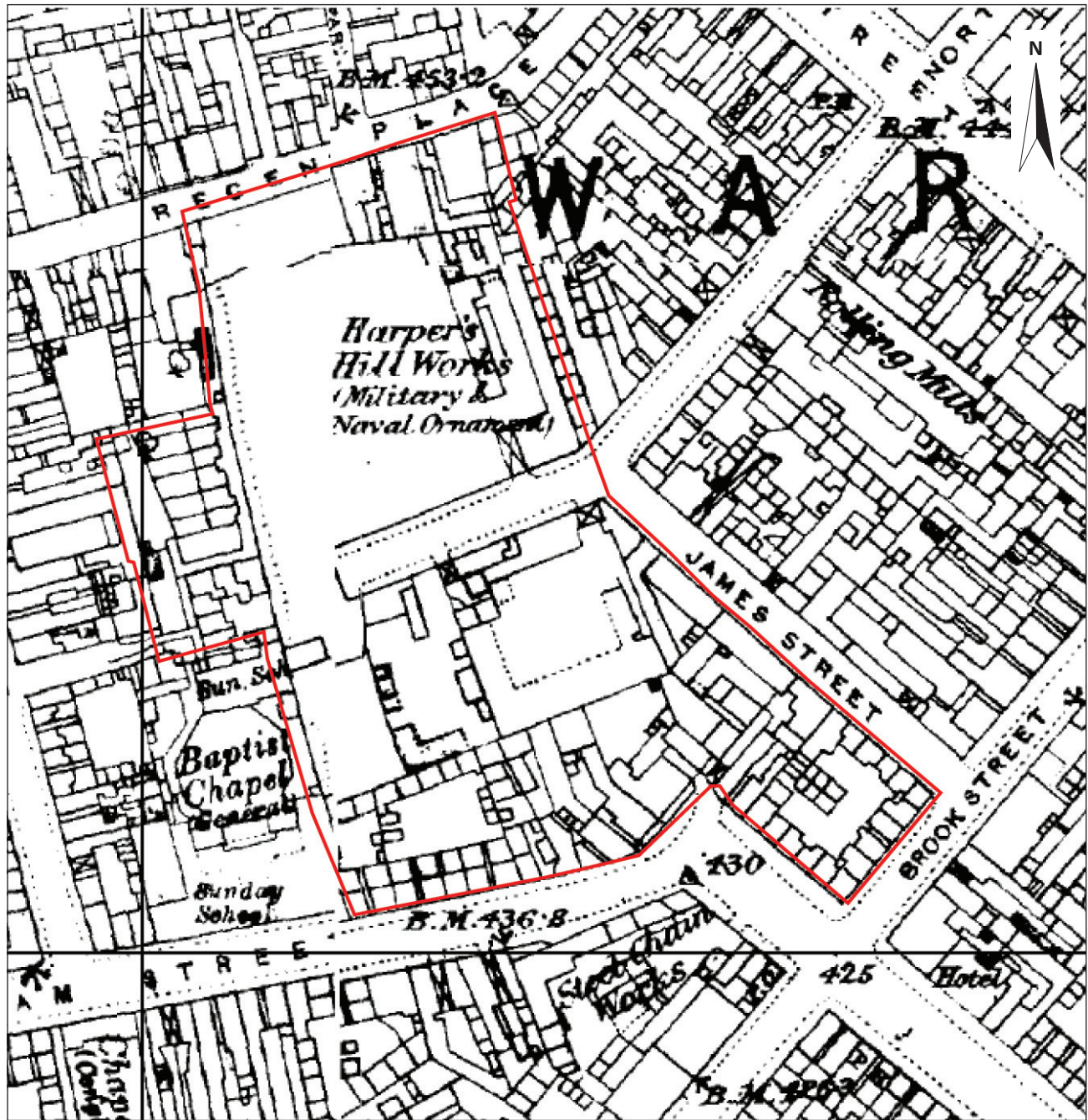
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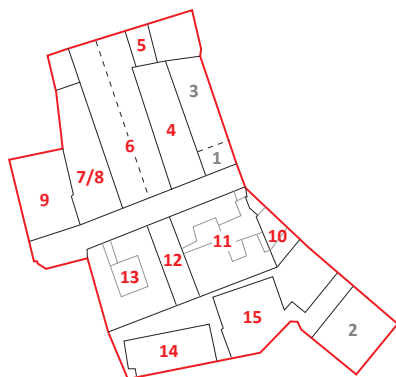
**Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham**
Figure 7: Ratings Plan of 1870-71 (Sheet 275)

(Birmingham City Archives)

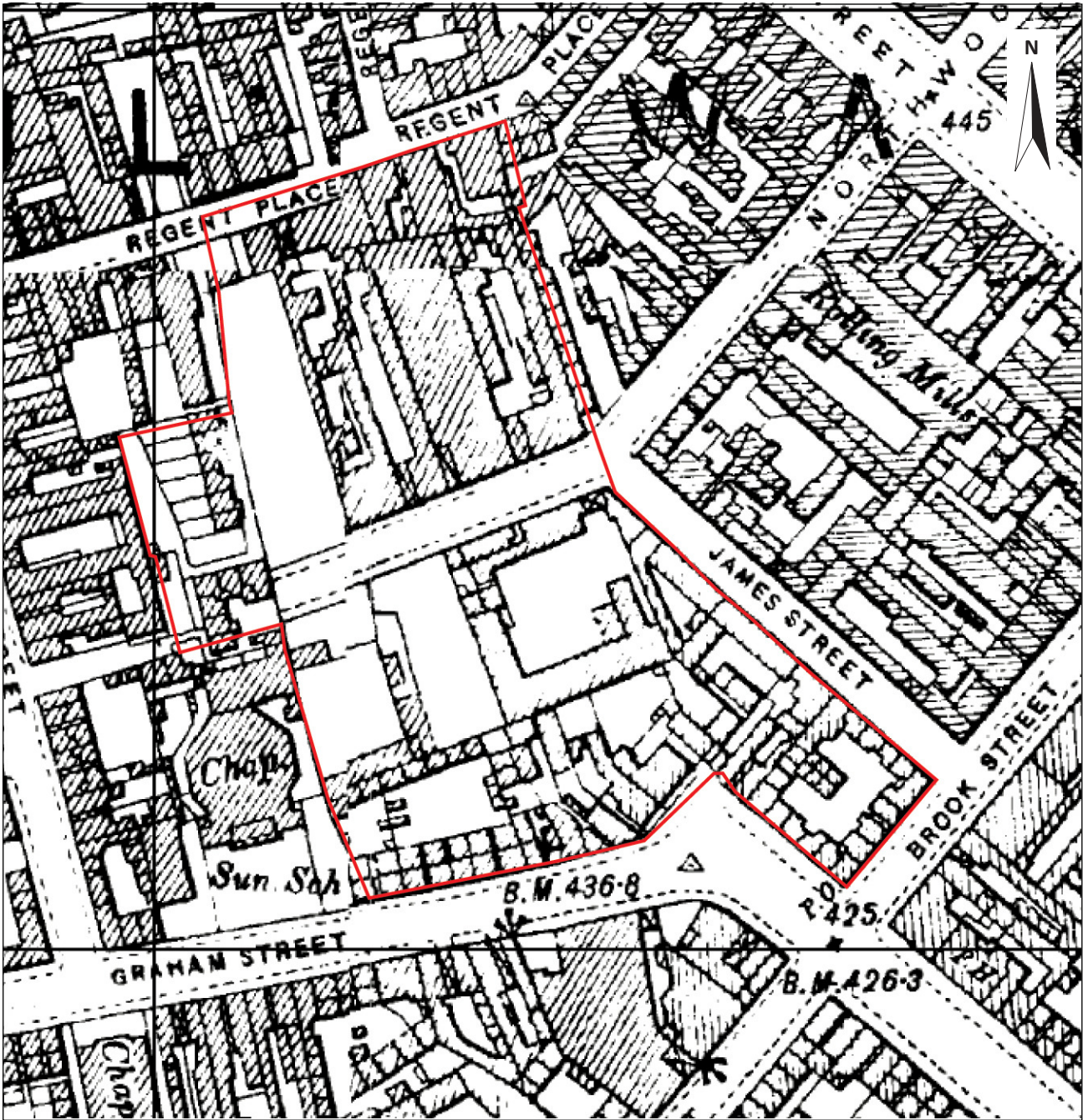




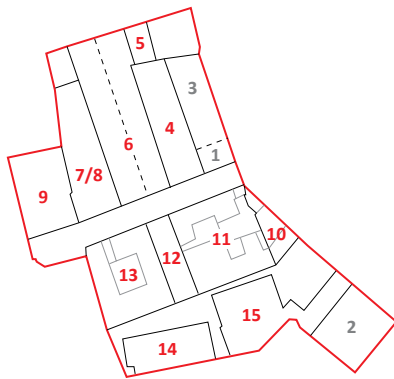
(NB. 'Harper's Hill' development site outlined in red)



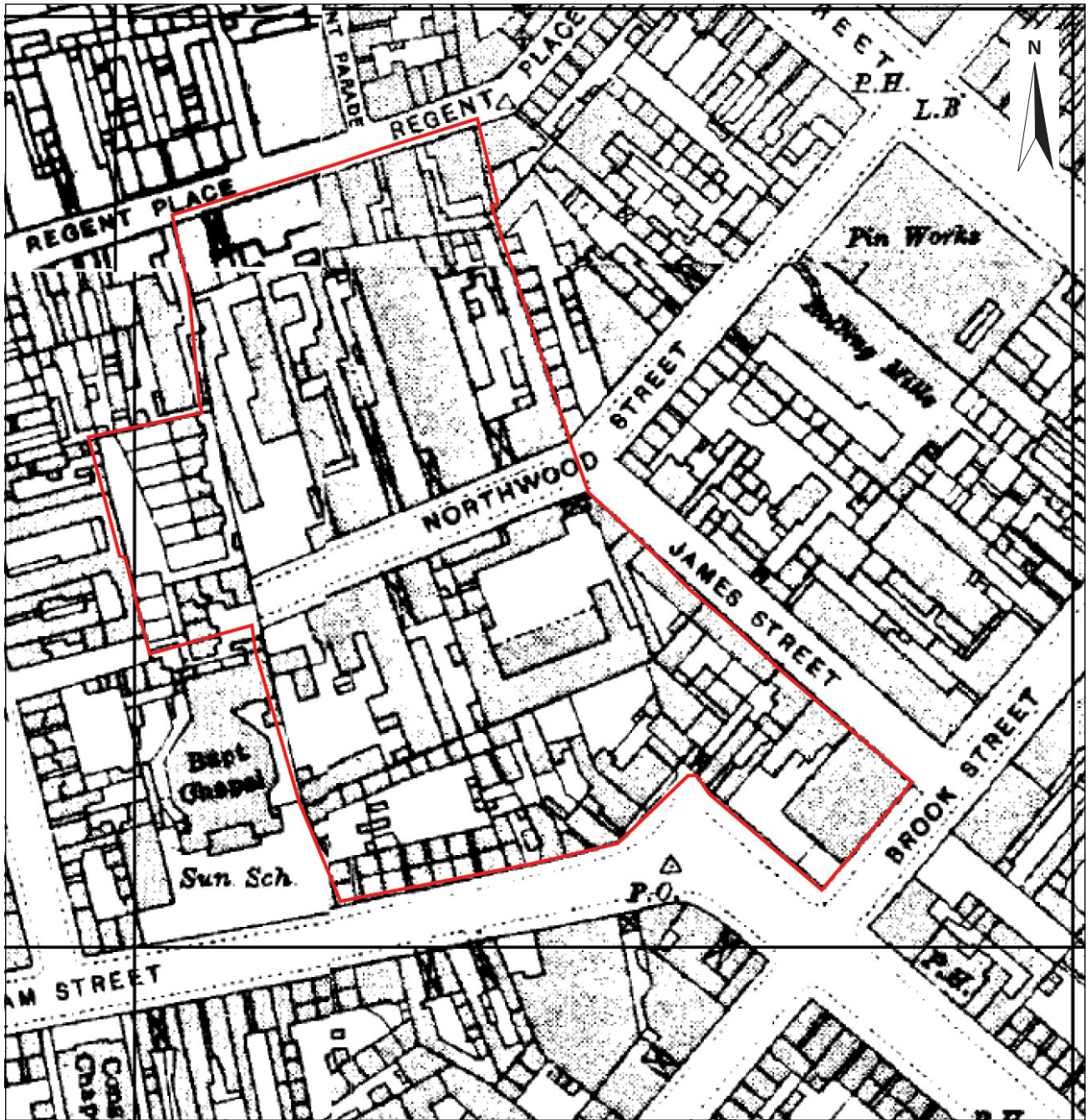
key plan



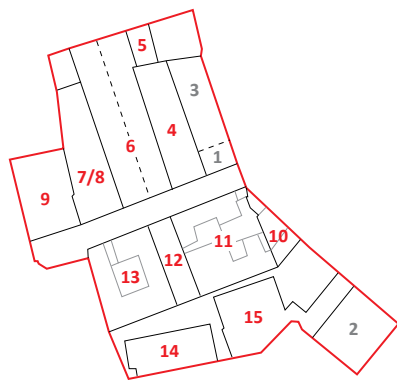
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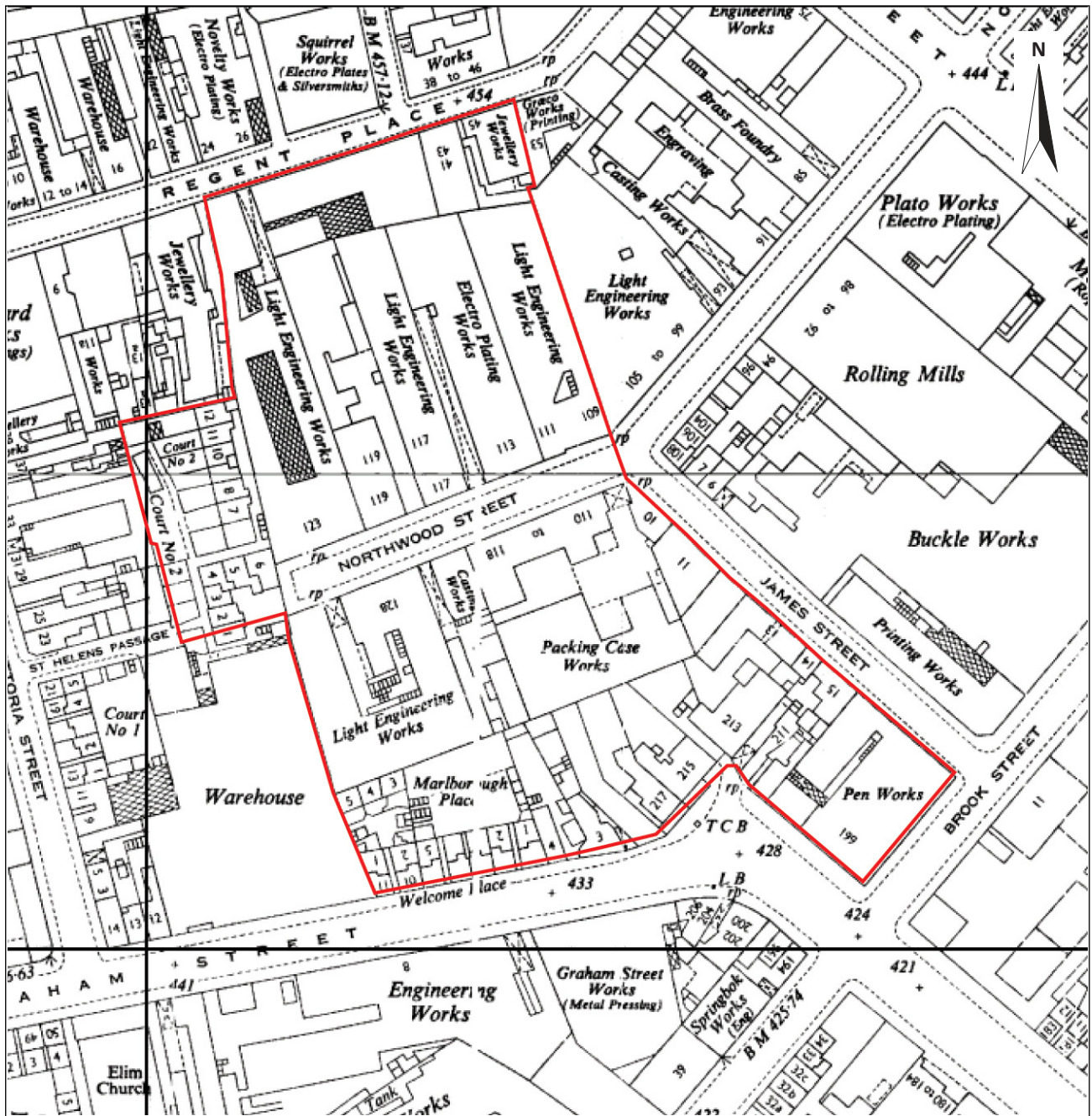
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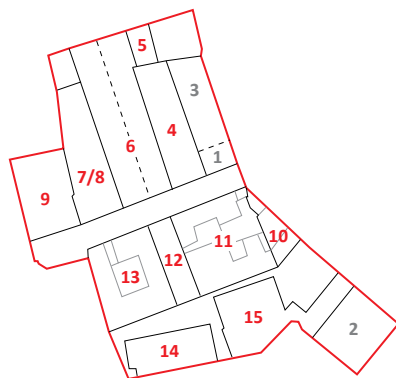
(NB. 'Harper's Hill' development site outlined in red)



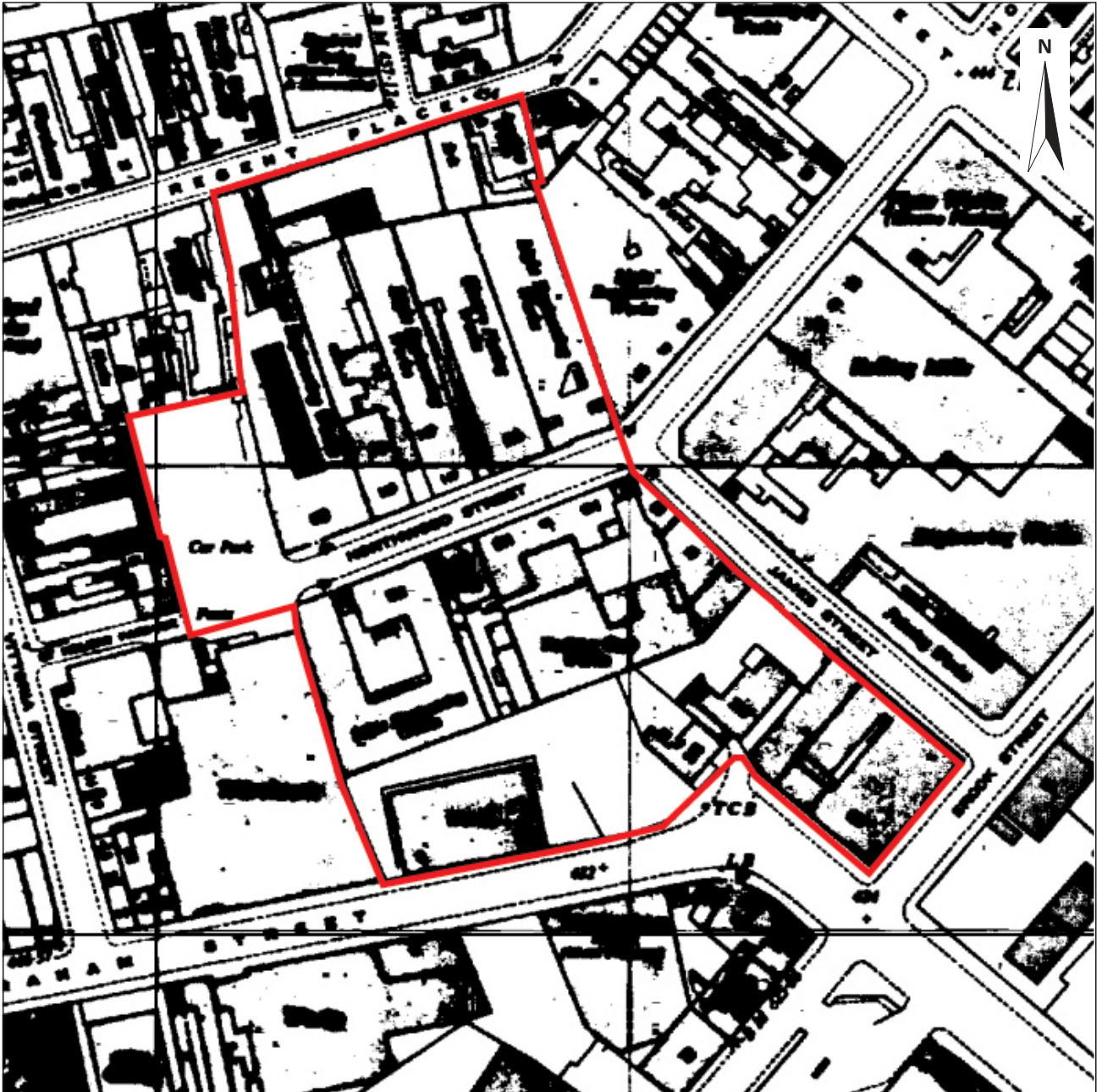
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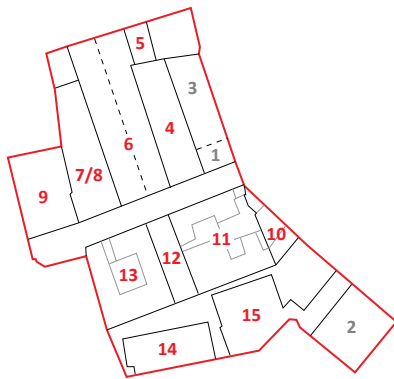
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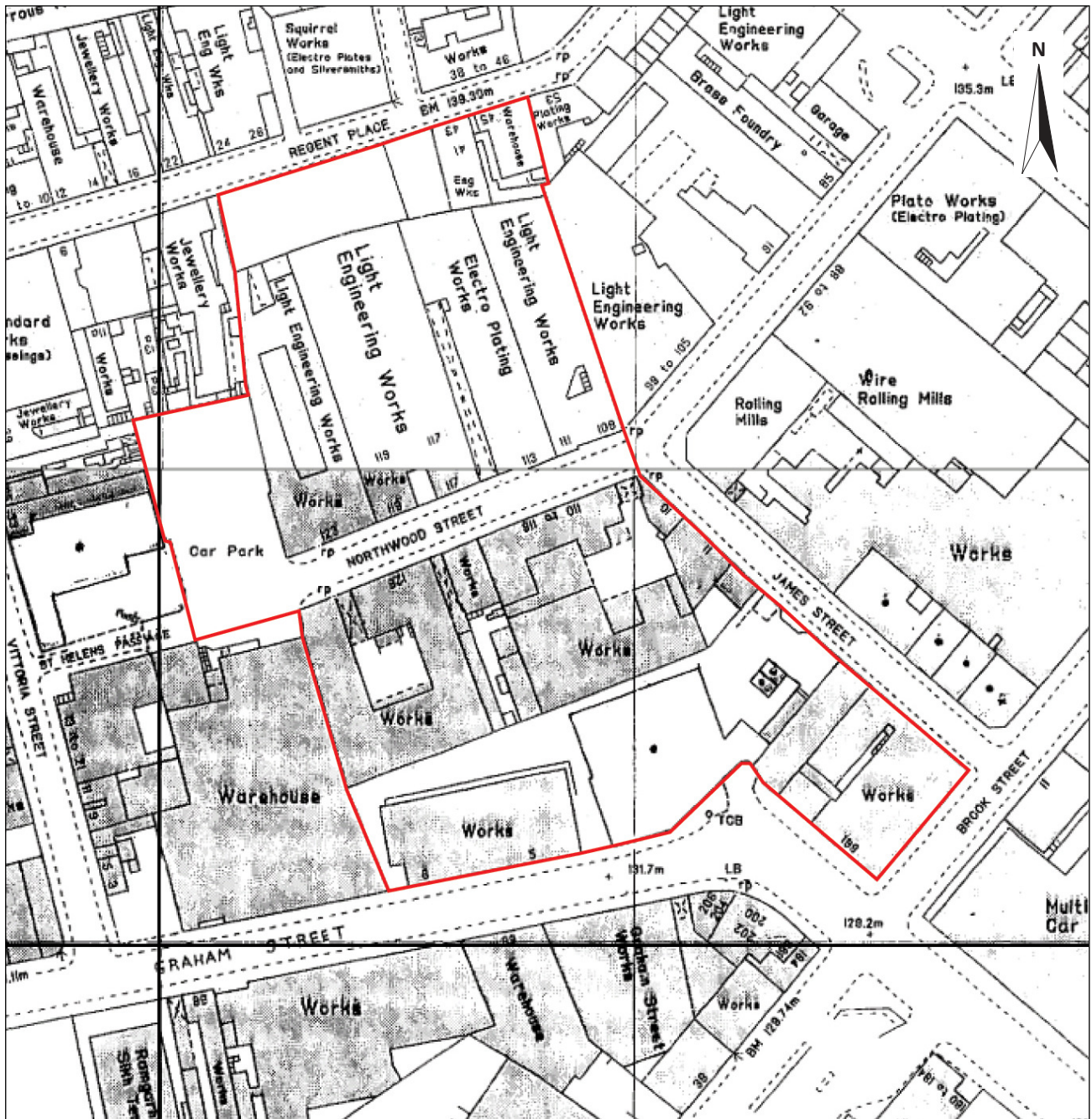
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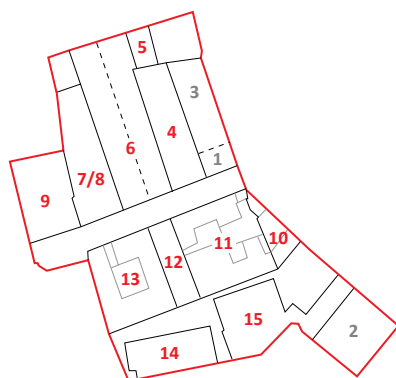
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key plan

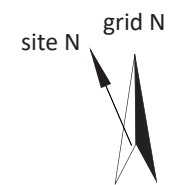


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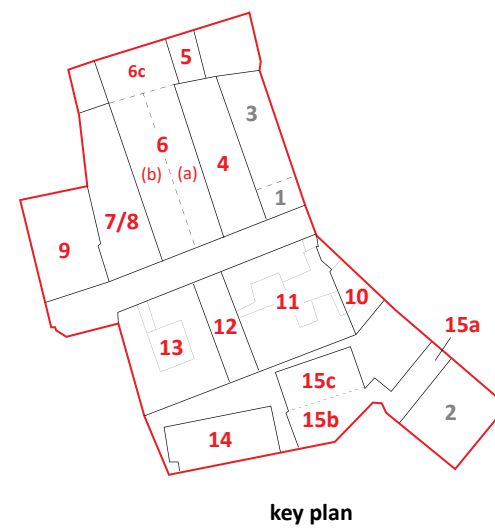
key plan

NB. for illustrative purposes only, **do not** scale from this drawing



North side of Northwood Street

- Bldg. 1/3: 109-111 Northwood Street
- Bldg. 4:** 113-115 Northwood Street
- Bldg. 5:** 37-39 Regent Place
- Bldg. 6a:** 117 Northwood Street
- Bldg. 6b:** 119 Northwood Street
- Bldg. 7/8:** 123 Northwood Street
- Bldg. 9:** 125 Northwood Street



South side of Northwood Street

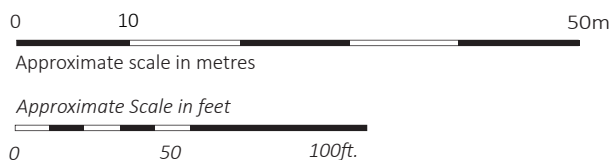
- Bldg. 11:** 110-118 Northwood Street
- Bldg. 12:** 124 Northwood Street
- Bldg. 13:** 128-138 Northwood Street

James Street

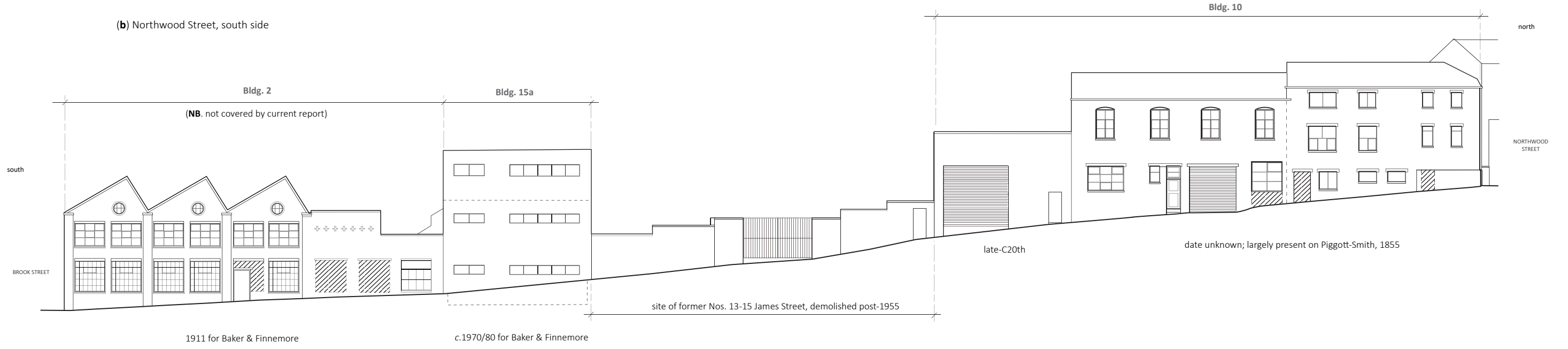
- Bldg. 2: Rear range of 199 Newhall Street
- Bldg. 10:** 10-12 James Street

Newhall Street / Graham Street

- Bldg. 2: 199 Newhall Street
- Bldg. 14:** 5-6 Graham Street
- Bldg. 15:** Extension to 199 Newhall Street



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NB. for illustrative purposes only, do not scale from this drawing

west

east



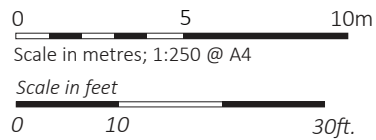
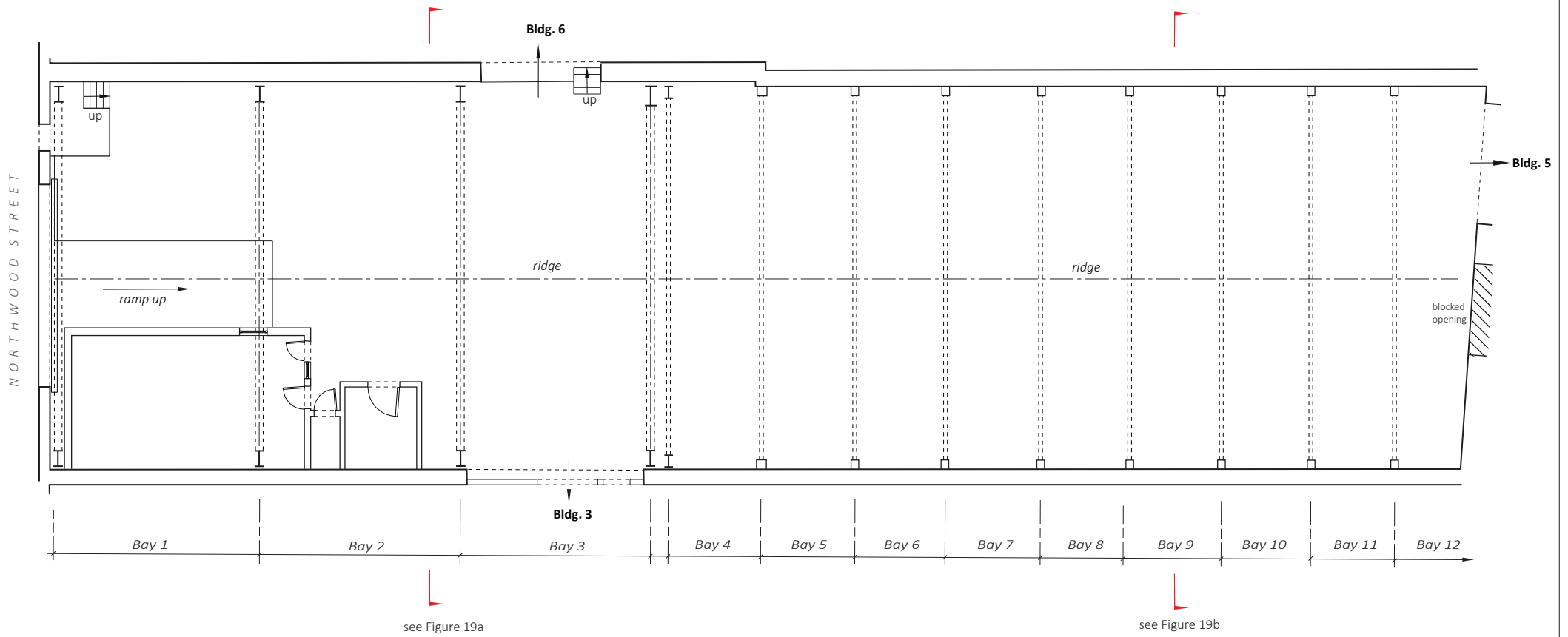
0 5 10m

Scale in metres; 1:125 @ A4

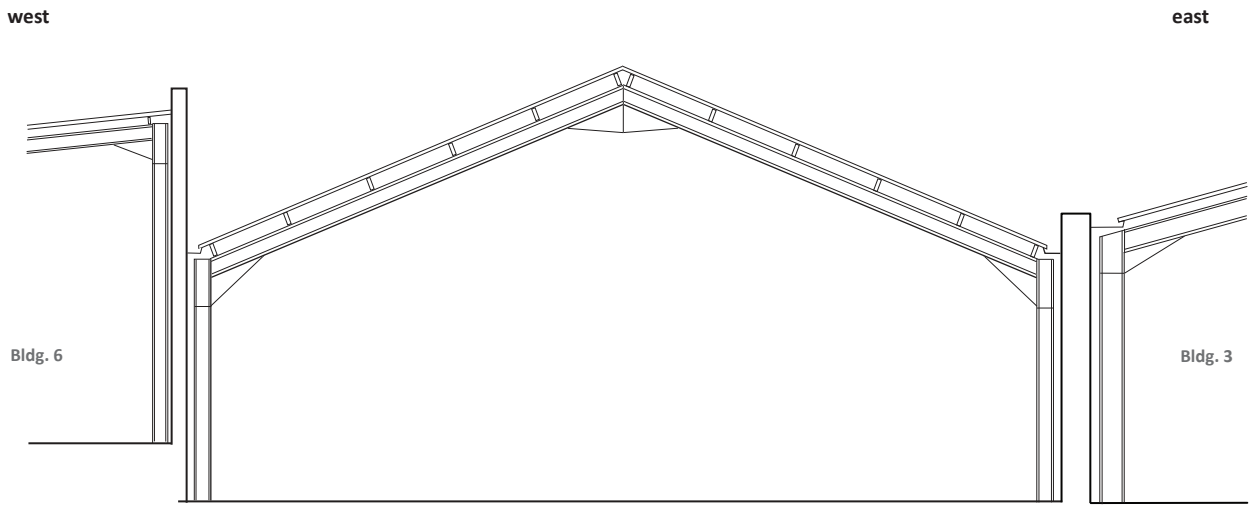
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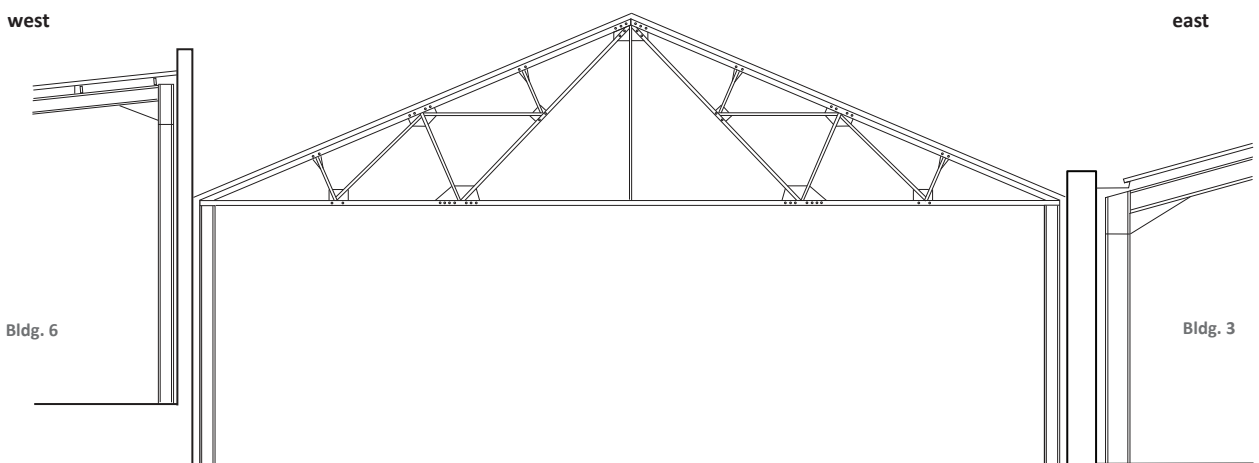
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NB. for illustrative purposes only, **do not** scale from this drawing



(a) Transverse cross-section a Bays 1 to 3



(b) Transverse cross-section a Bays 4 to 12

0 5 10m

Scale in metres; 1:125 @ A4

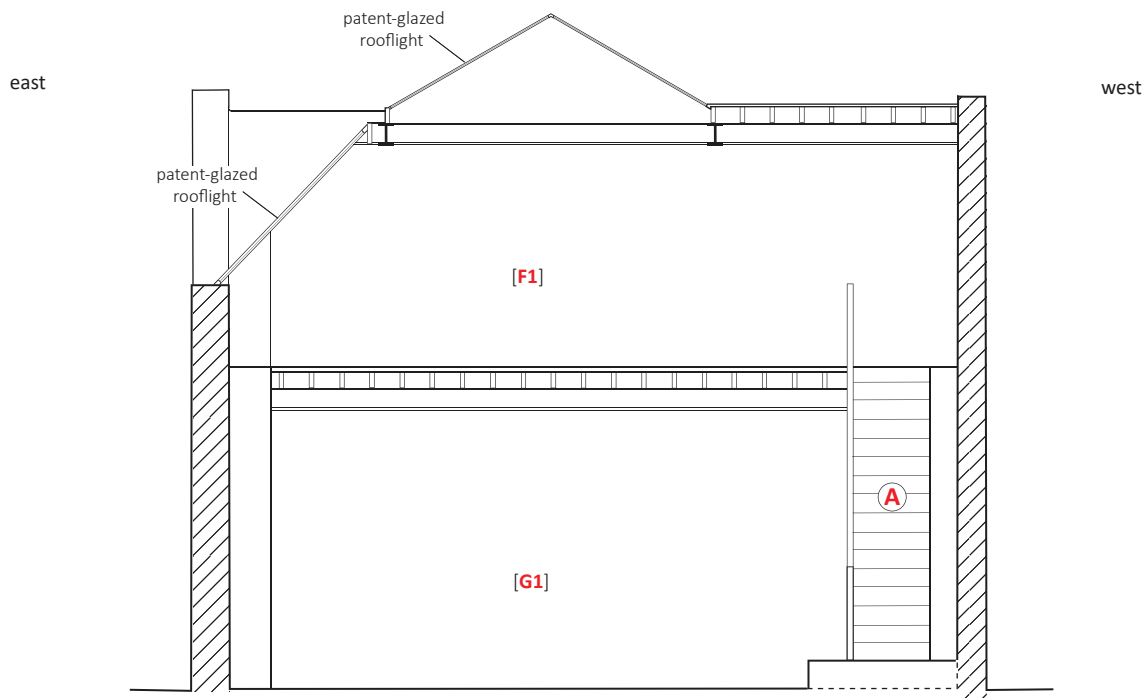
Scale in feet

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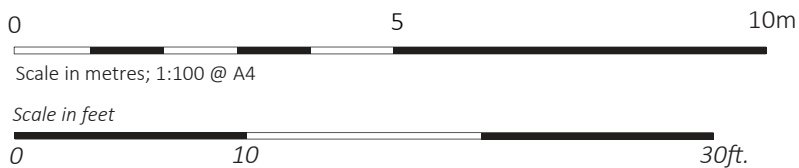
NB. for illustrative purposes only, **do not** scale from this drawing



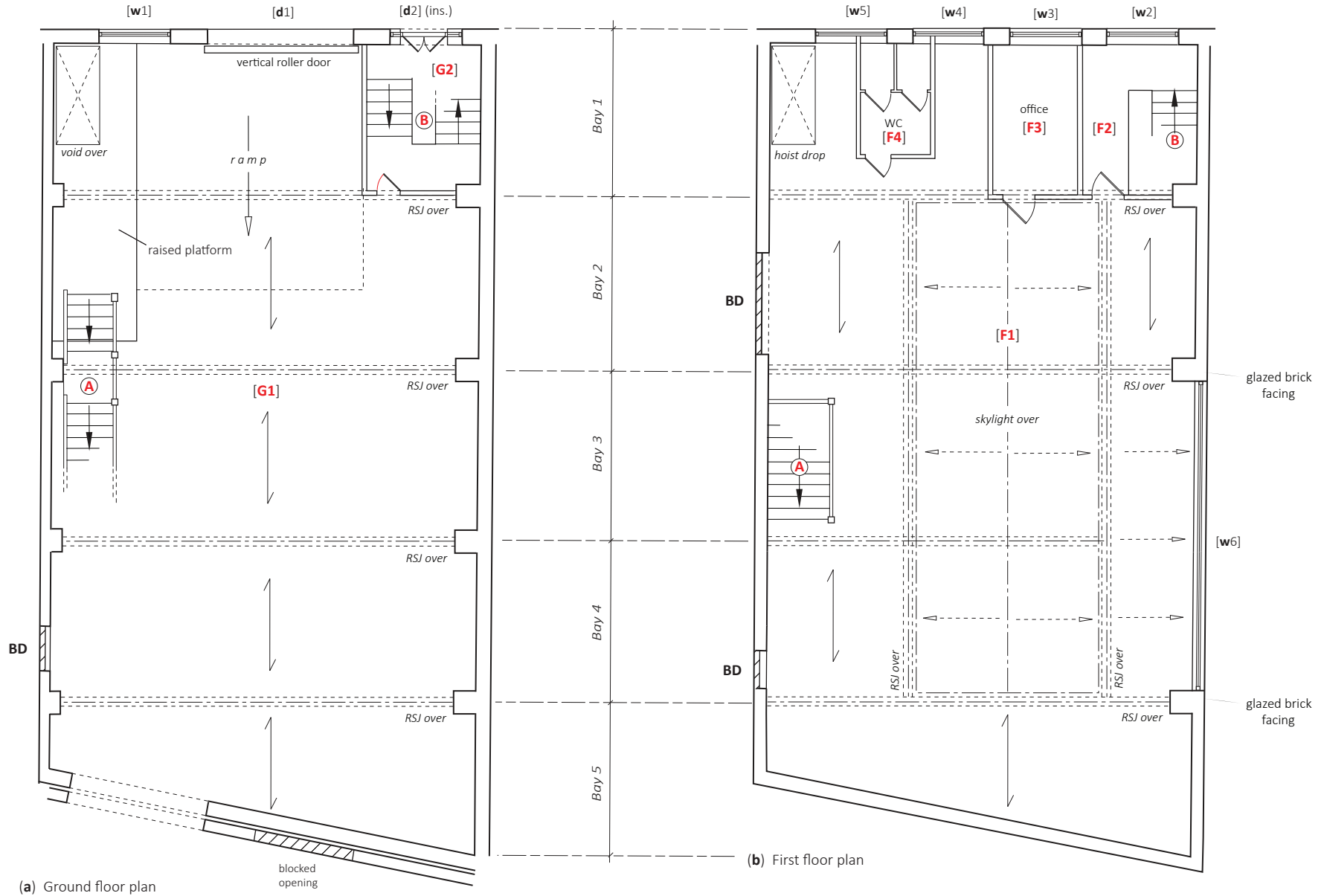
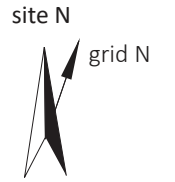
(a) North elevation to Regent Place



(b) Transverse cross-section looking south



NB. for illustrative purposes only, **do not** scale from this drawing



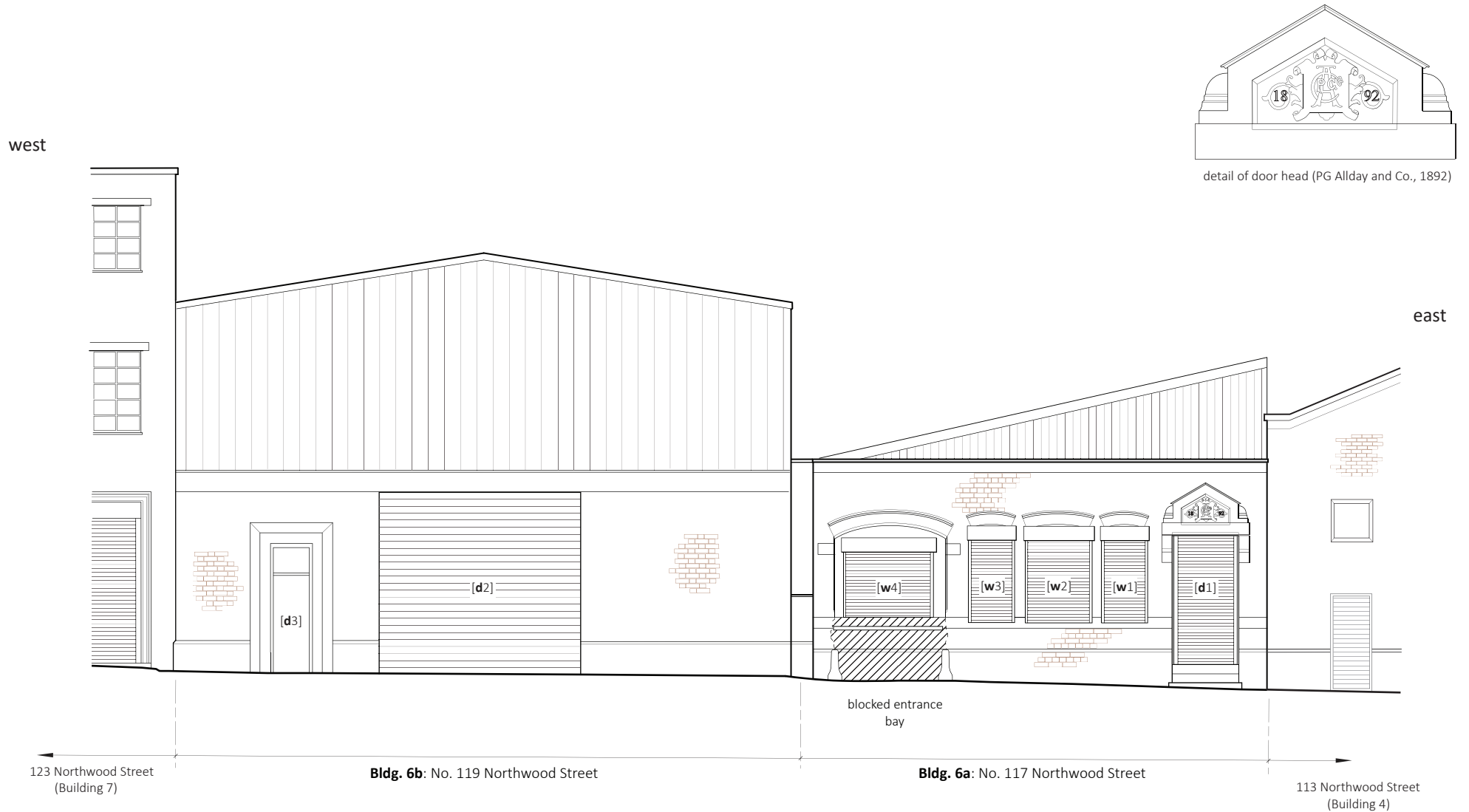
0 5 10m

Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

NB. for illustrative purposes only, **do not** scale from this drawing



0 5 10m

Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

RIC TYLER
MCIFA FGCert. Arch. Hist (Oxf.)

Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham
Figure 22: Building 6, south elevation to Northwood Street

NB. for illustrative purposes only, do not scale from this drawing



0 5 10m

Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

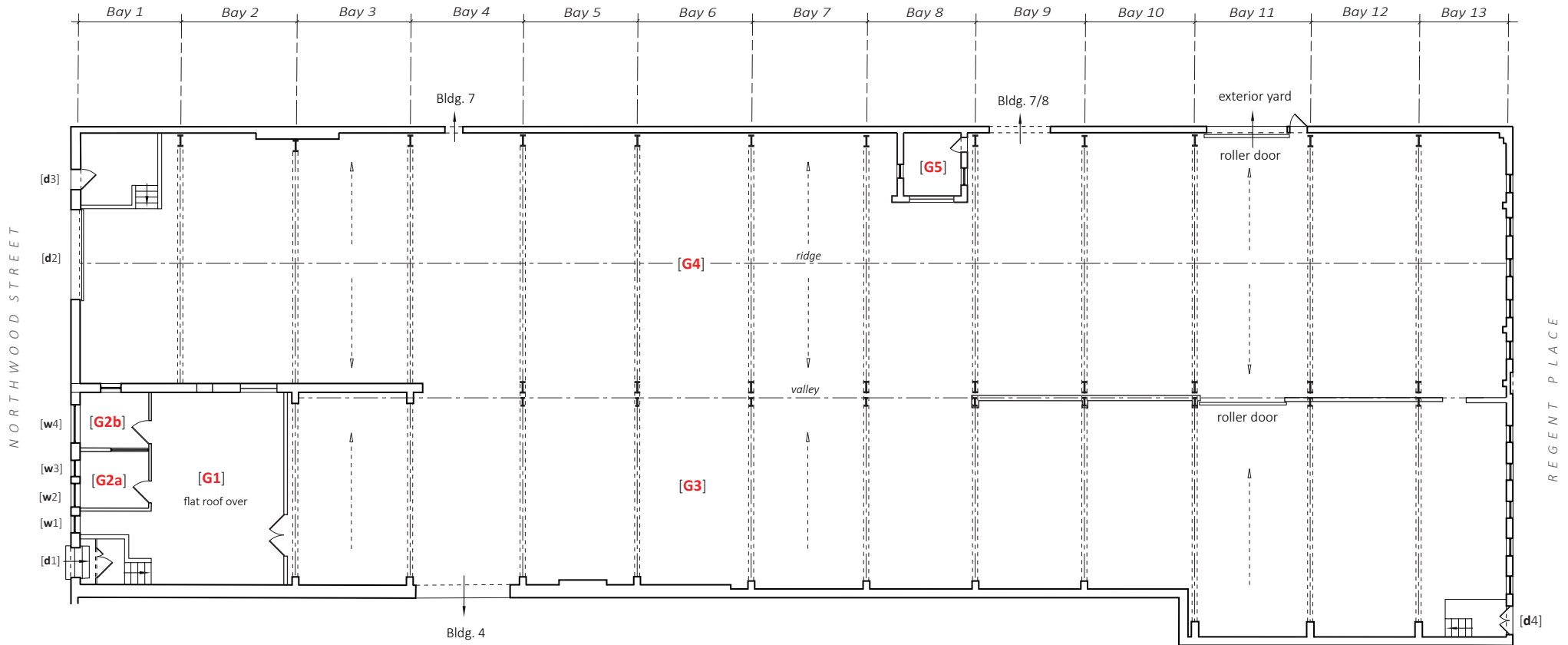
RIC TYLER
MCIFA FGCert. Arch. Hist (Oxf.)

Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham

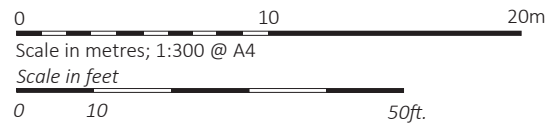
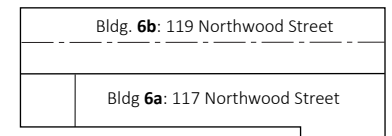
Figure 23: Building 6, north elevation to Regent Place (formerly 35-39 Regent Place)

Based on Tim Cooper Architects Drg. No. 3062/05 of April 1999 submitted with PA 1999/01654/FUL

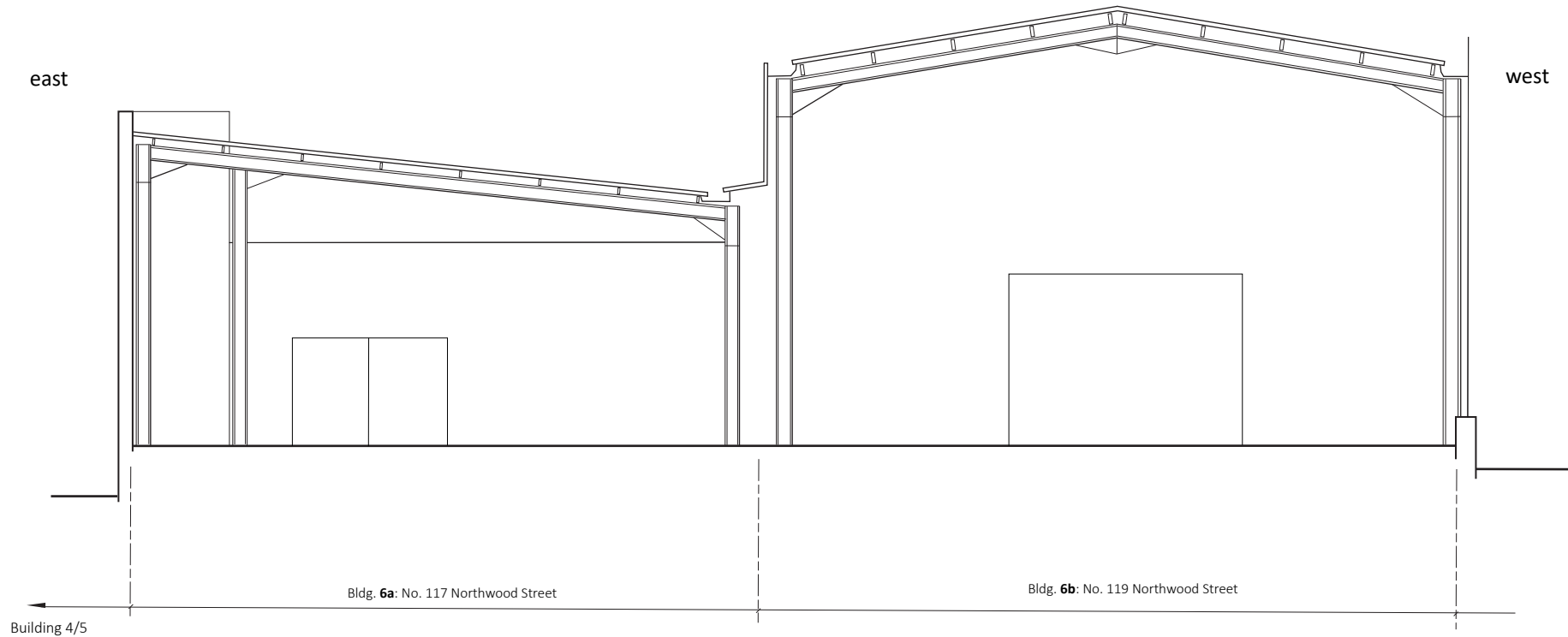
NB. for illustrative purposes only, **do not** scale from this drawing



KEY PLAN (NTS)



NB. for illustrative purposes only, **do not** scale from this drawing



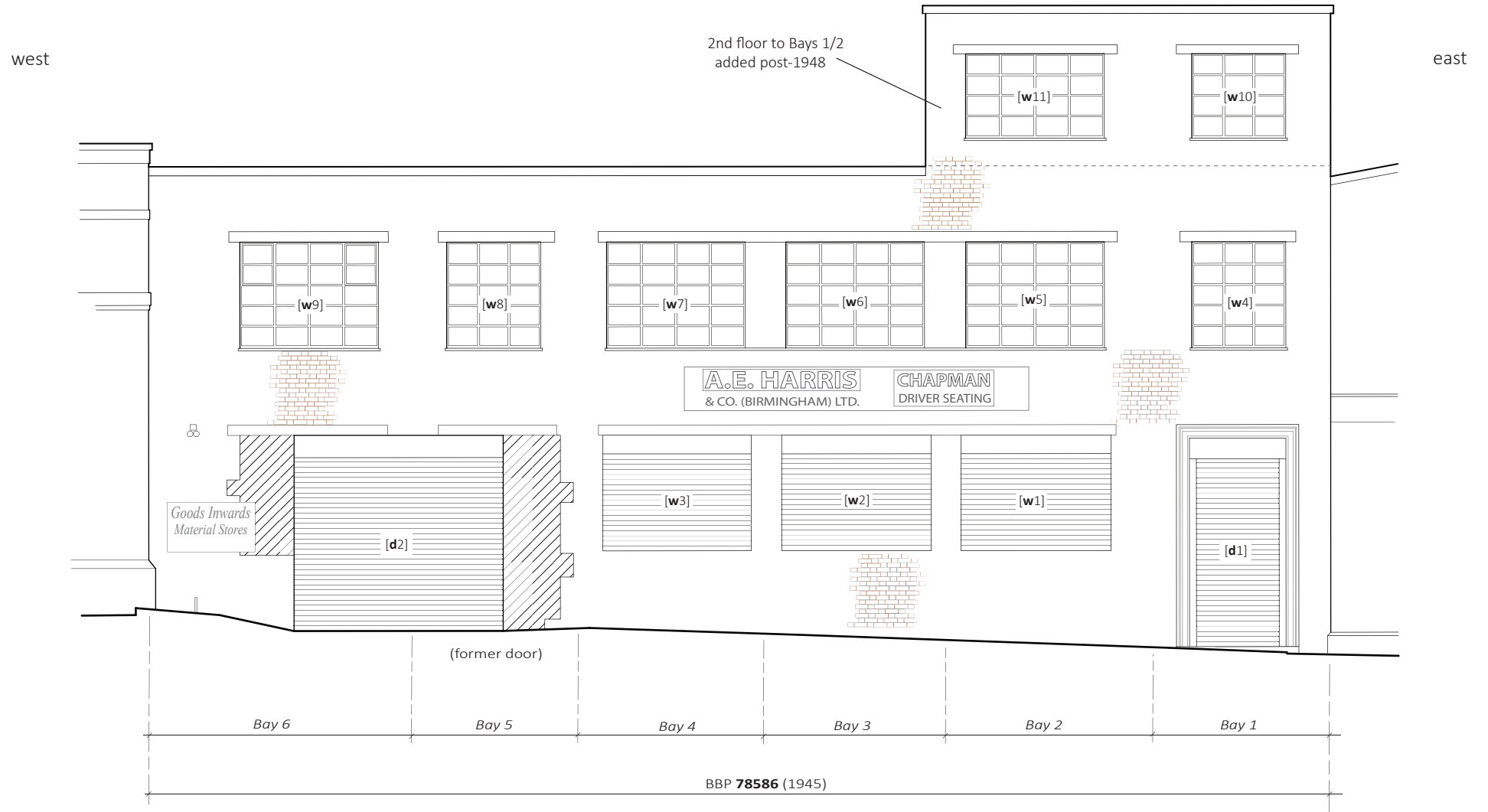
0 5 10m

Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

NB. for illustrative purposes only, do not scale from this drawing



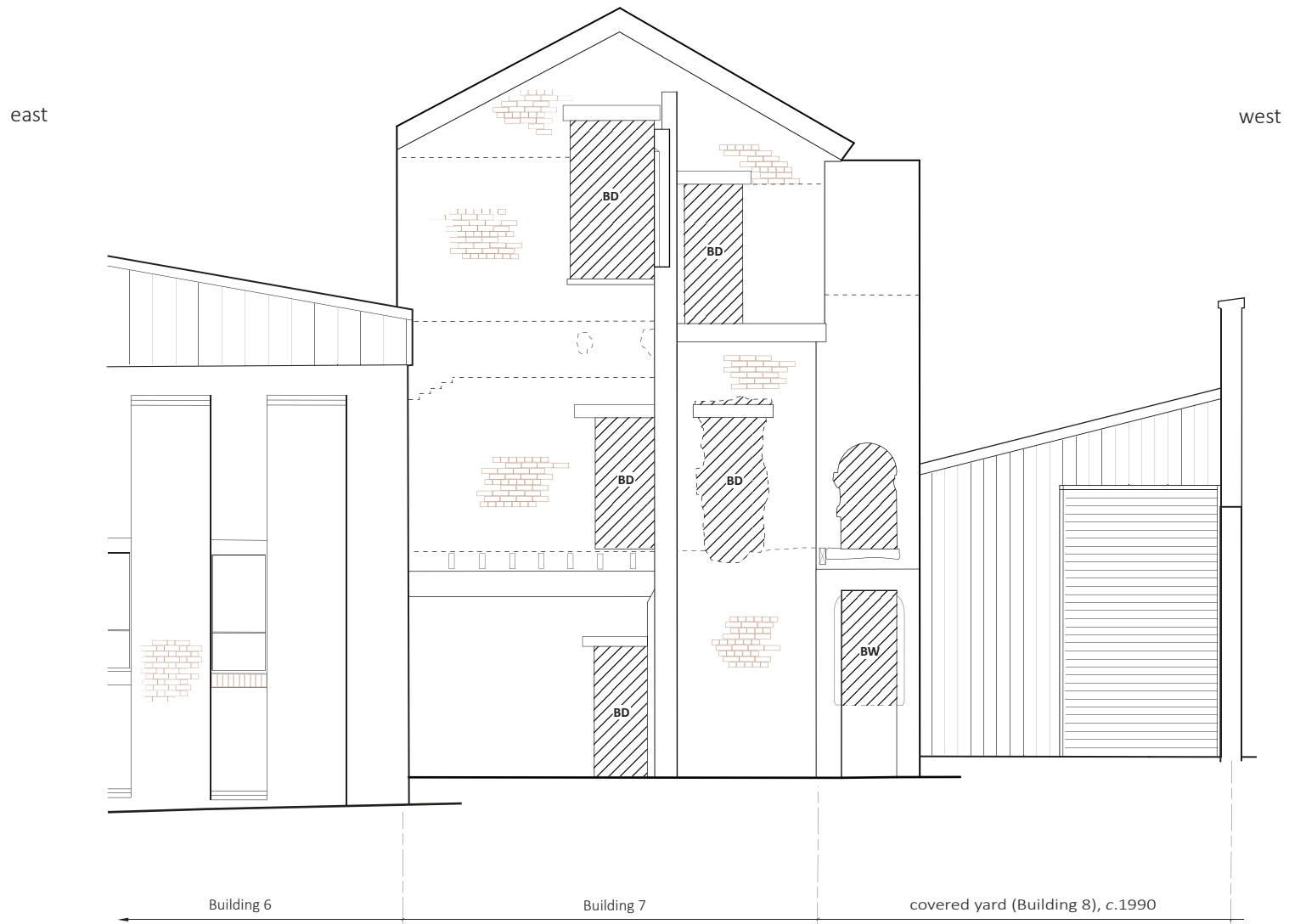
0 5 10m

Scale in metres; 1:100 @ A4

Scale in feet

0 10 30ft.

NB. for illustrative purposes only, do not scale from this drawing



0 5m

Scale in metres; 1:100 @ A4

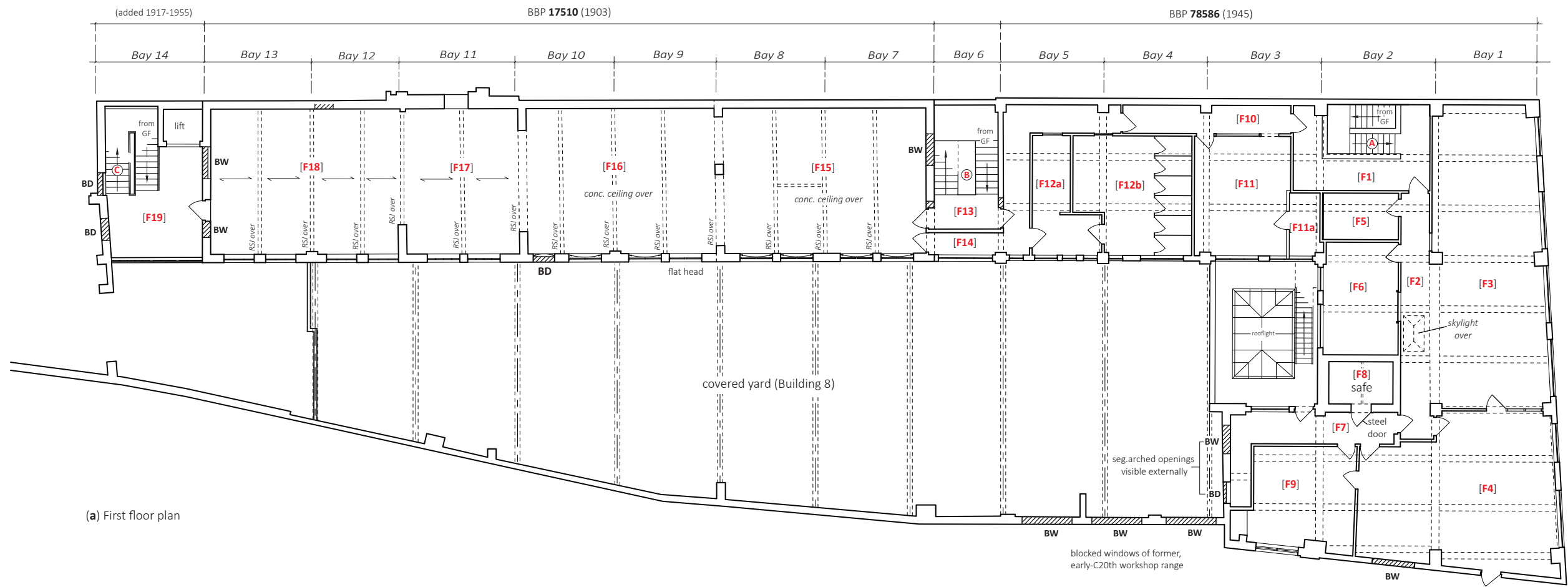
Scale in feet

0 10 20ft.

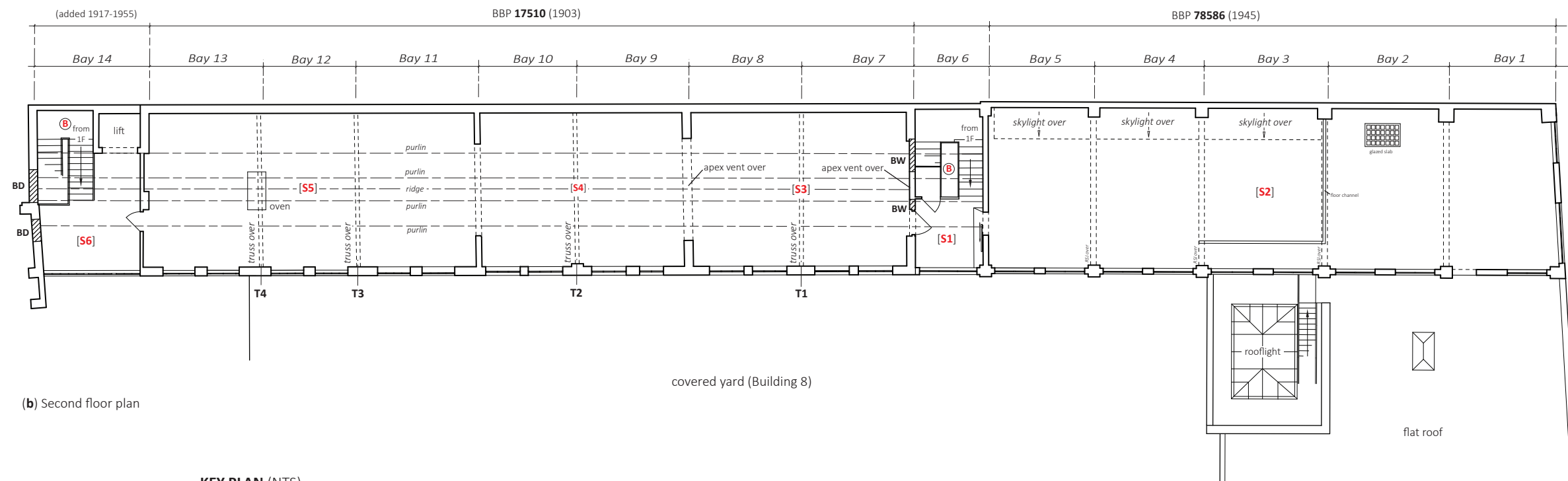
NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing

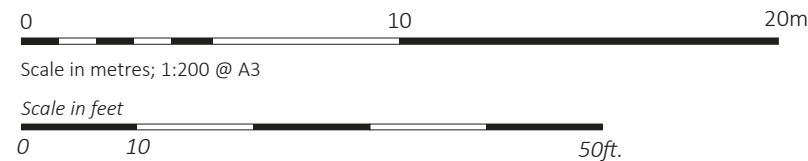
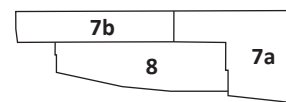


(a) First floor plan

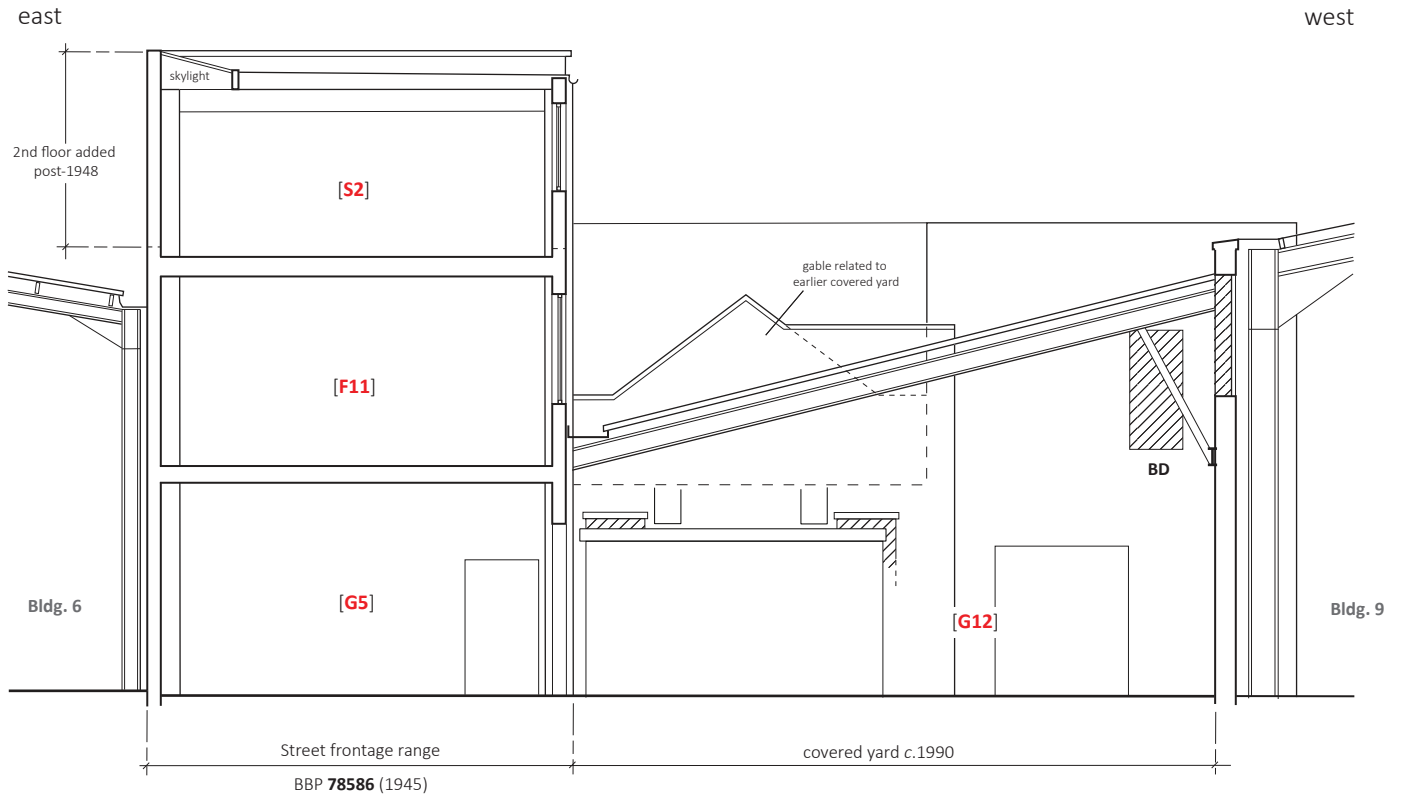


(b) Second floor plan

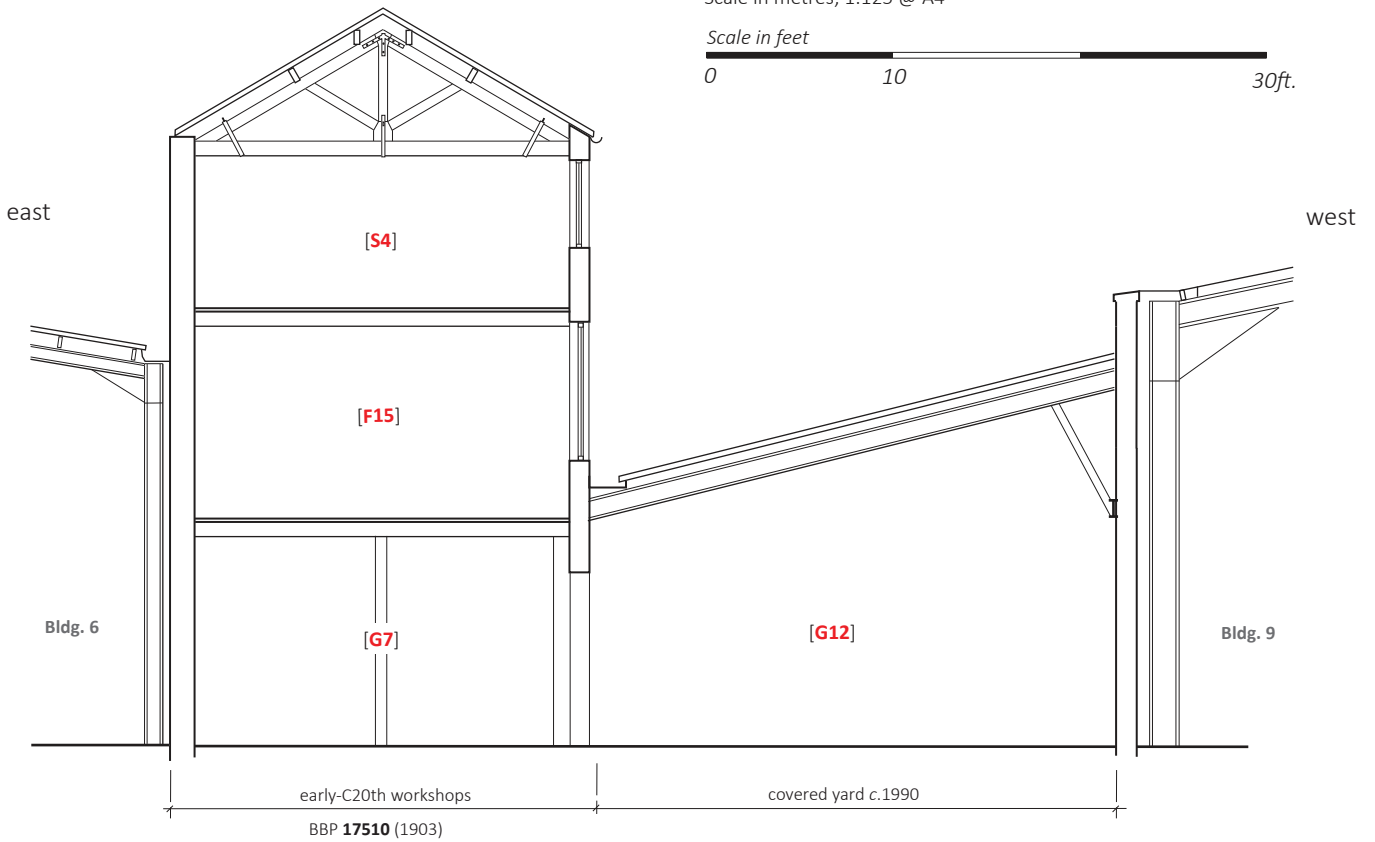
KEY PLAN (NTS)



NB. for illustrative purposes only, do not scale from this drawing

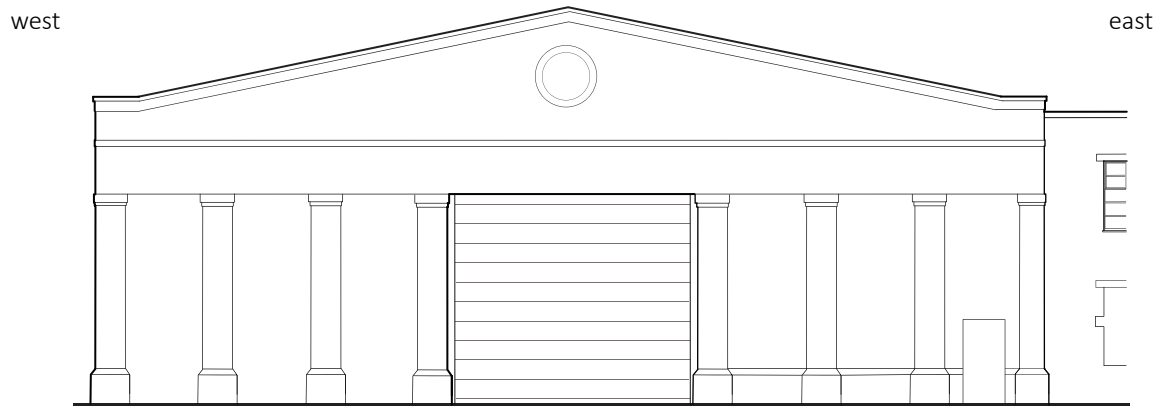


(a) Transverse cross-section looking south at Bay 4

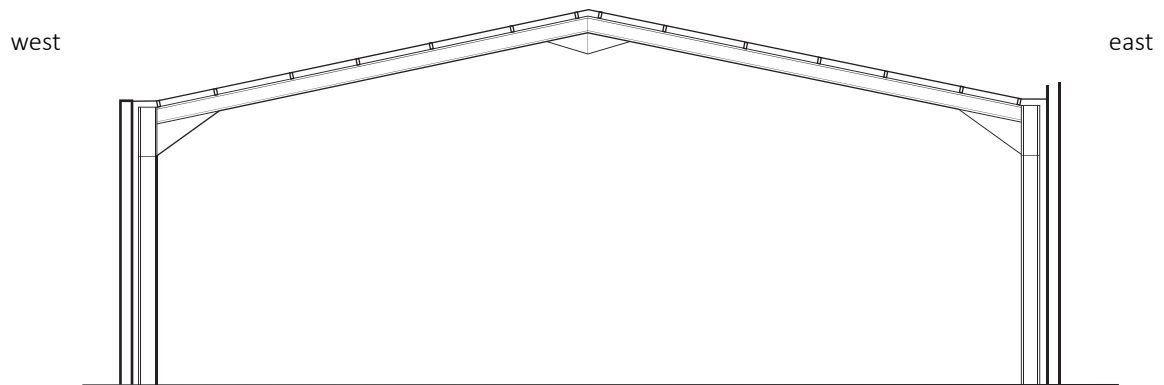


(b) Transverse cross-section looking south at Bay 10

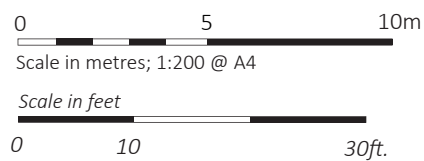
NB. for illustrative purposes only, **do not** scale from this drawing



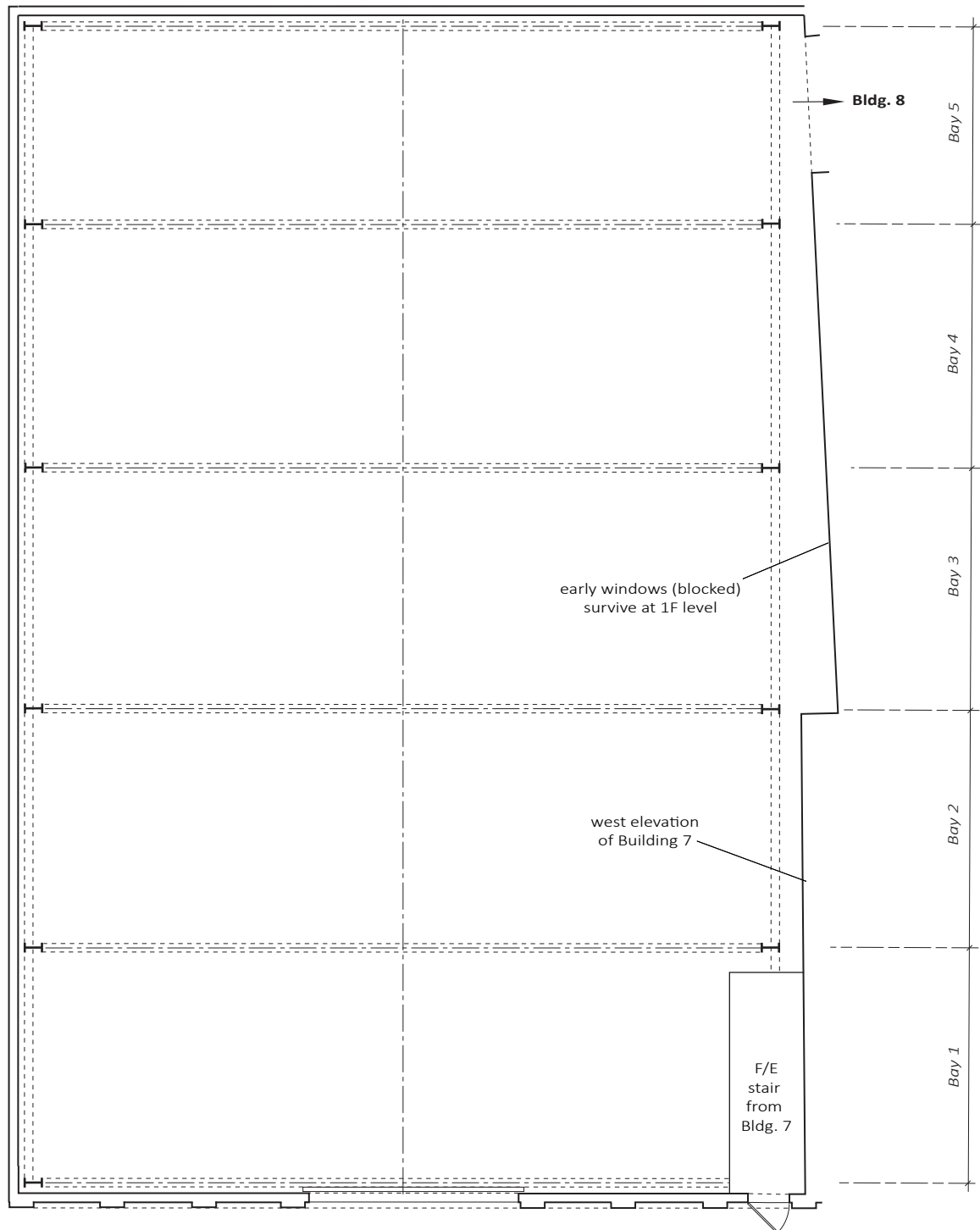
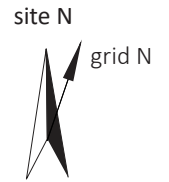
(a) South elevation to Northwood Street



(b) Transverse cross-section



NB. for illustrative purposes only, **do not** scale from this drawing



NORTHWOOD STREET

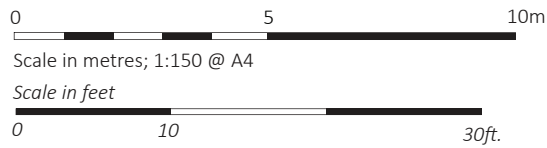
0 5 10m

Scale in metres; 1:200 @ A4

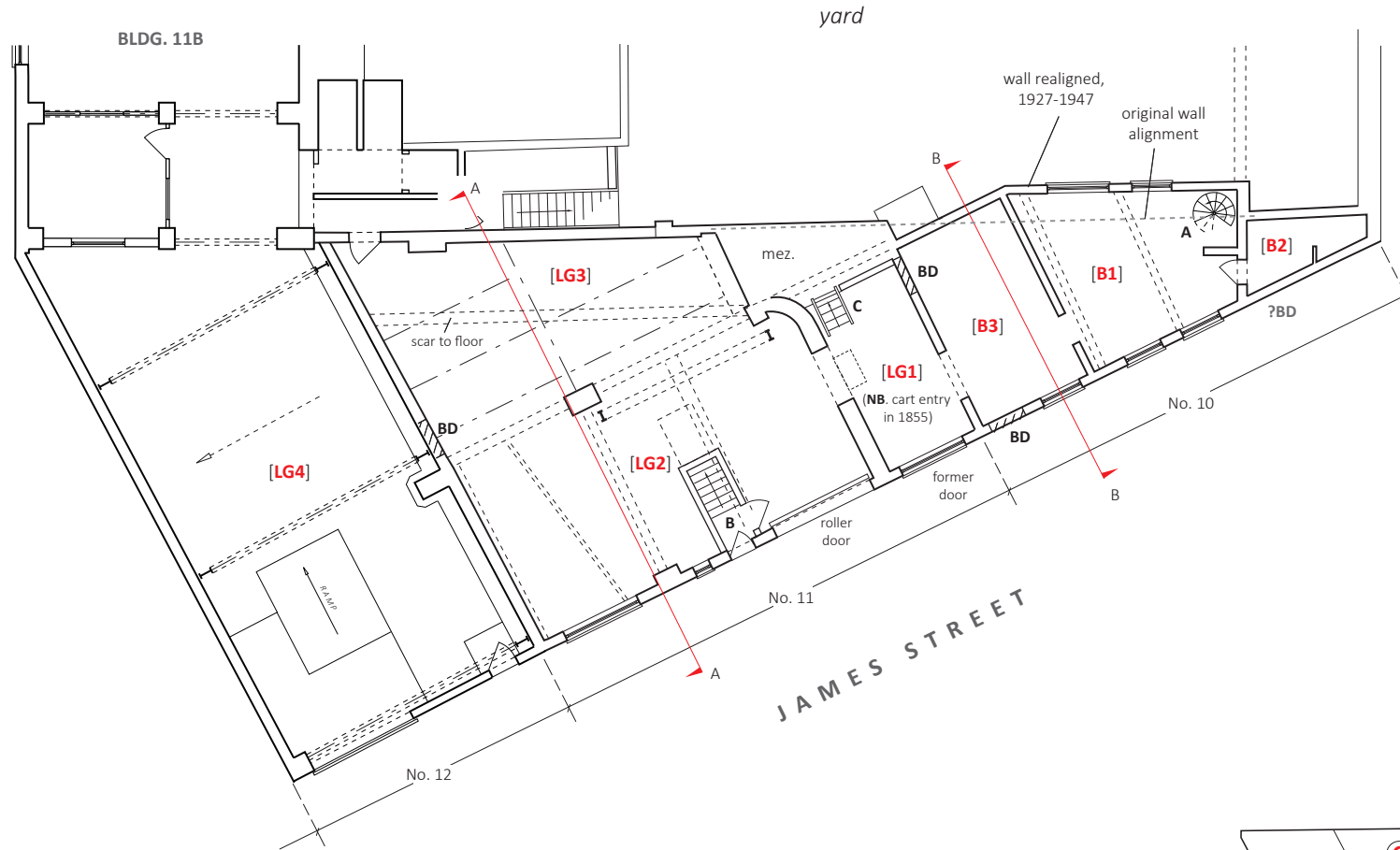
Scale in feet

0 10 30ft.

NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing

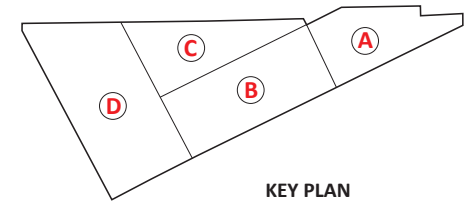


0 10 20m

Scale in metres; 1:200 @ A4

Scale in feet

0 10 50ft.

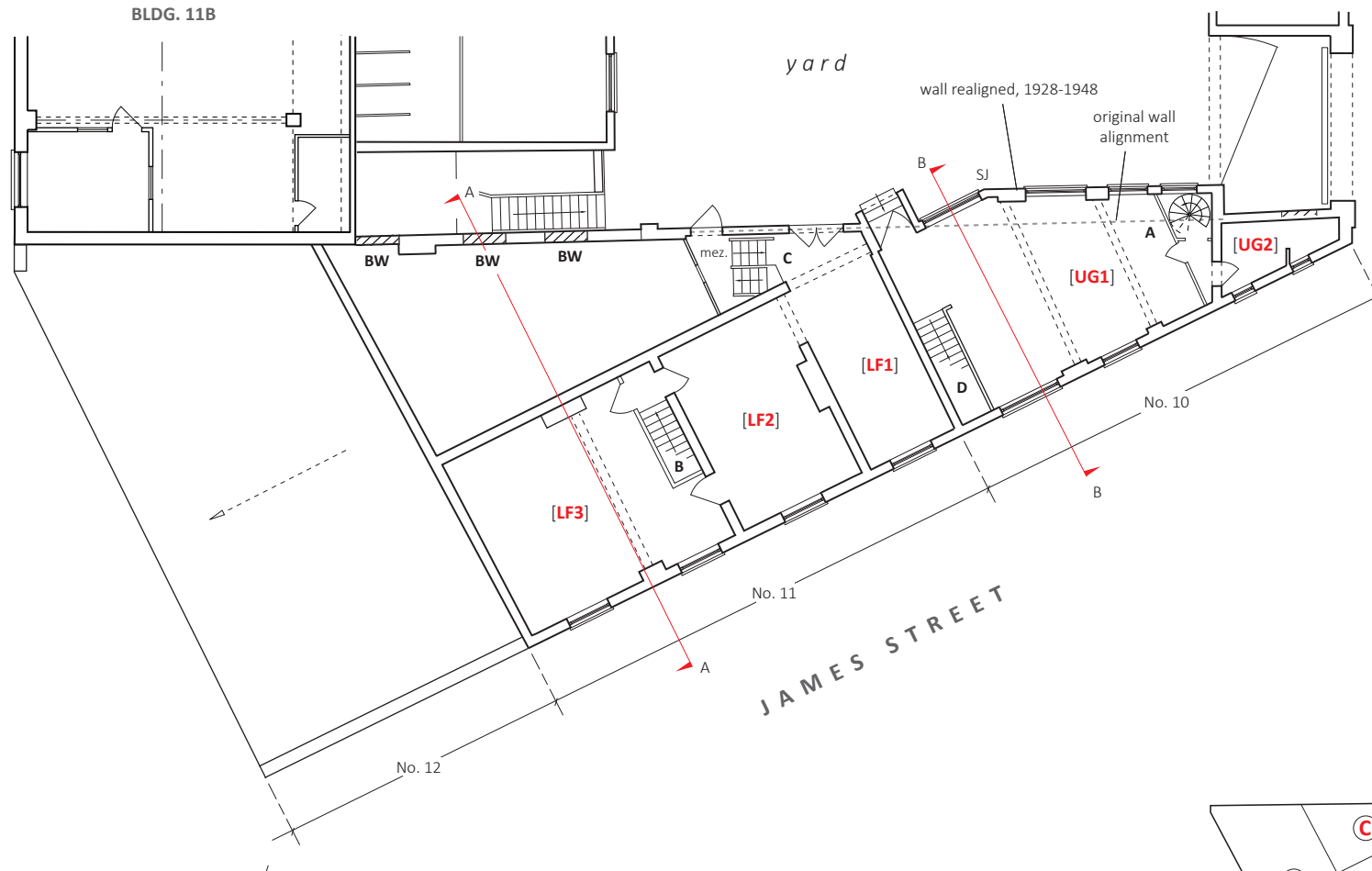


KEY PLAN

RIC TYLER
MCIFA PGCert. Arch. Hist (Oxf.)

Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham
Figure 34: Building 10, plan at basement/lower ground floor level

NB. for illustrative purposes only, **do not** scale from this drawing

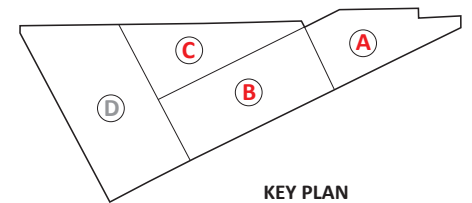


0 10 20m

Scale in metres; 1:200 @ A4

Scale in feet

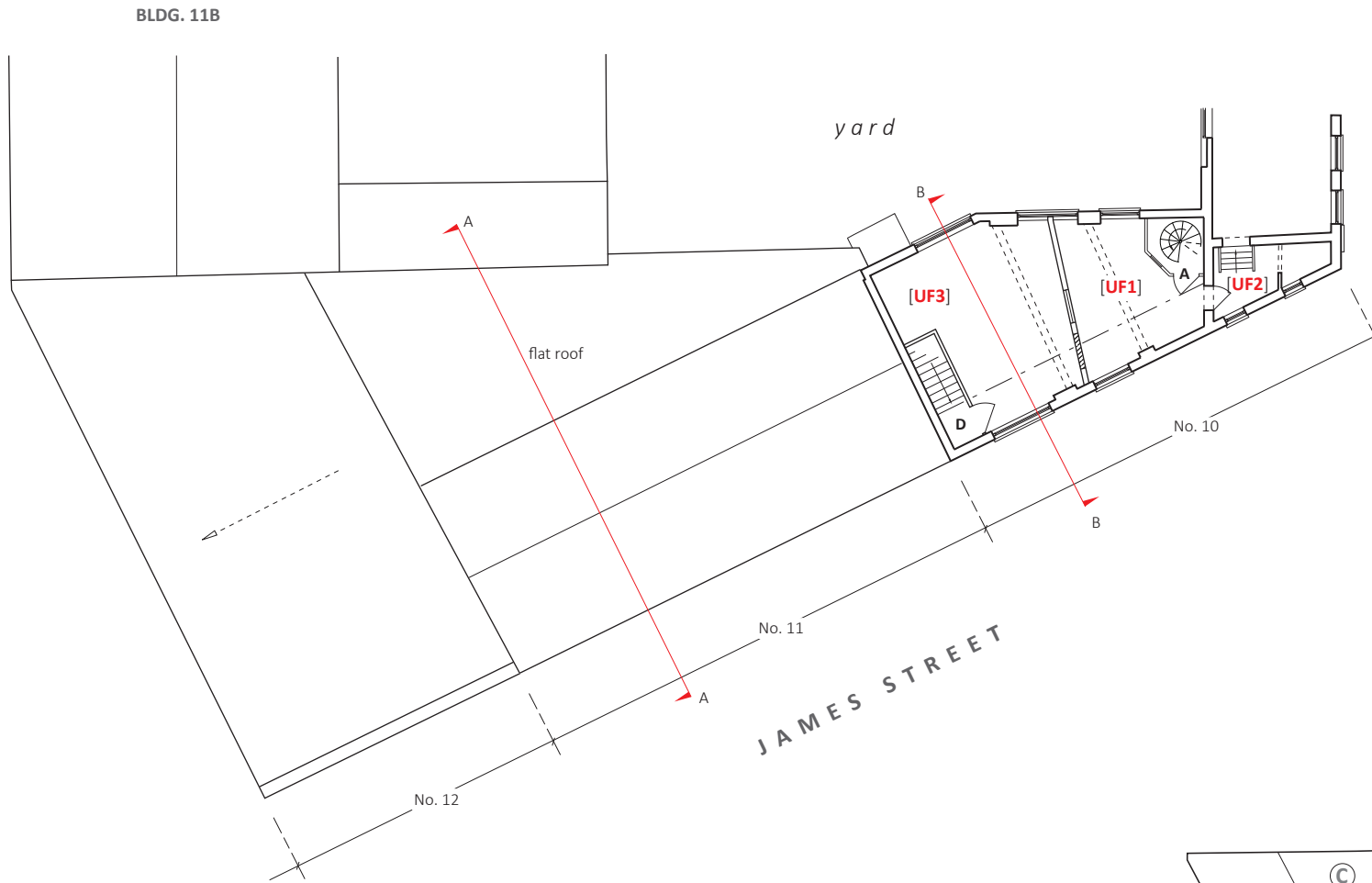
0 10 50ft.



RIC TYLER
MCIFA PGCert. Arch. Hist (Oxf.)

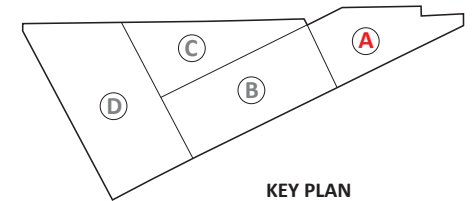
Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham
Figure 35: Building 10, plan at upper ground/lower first floor level

NB. for illustrative purposes only, **do not** scale from this drawing



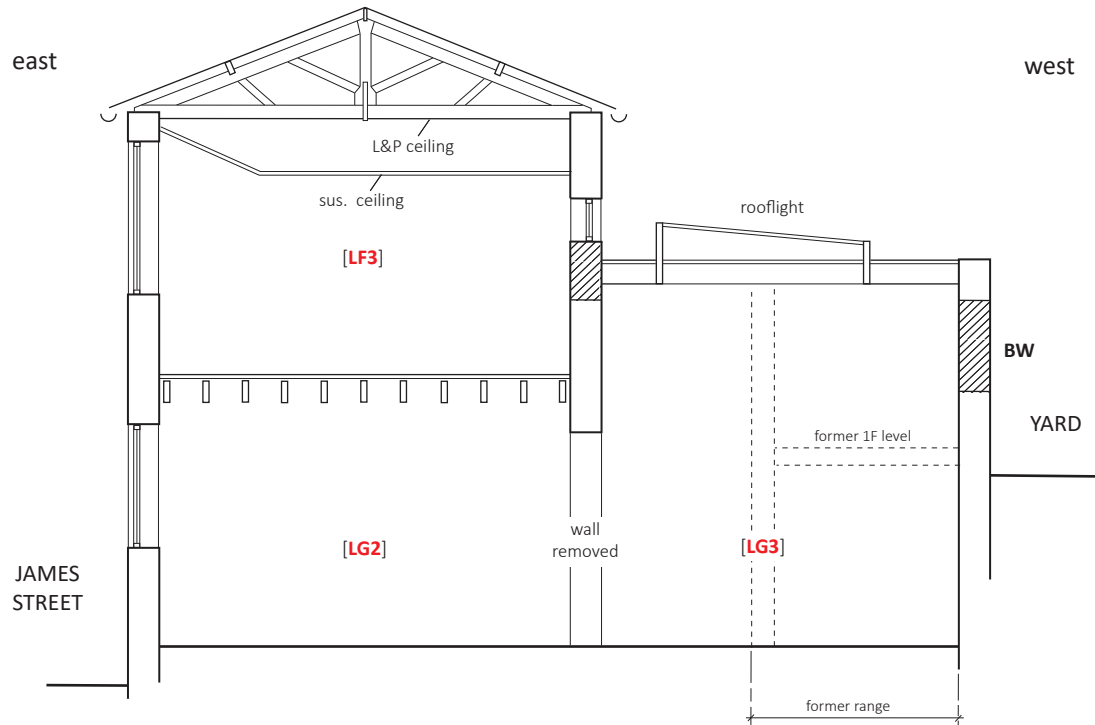
Scale in metres; 1:200 @ A4

Scale in feet

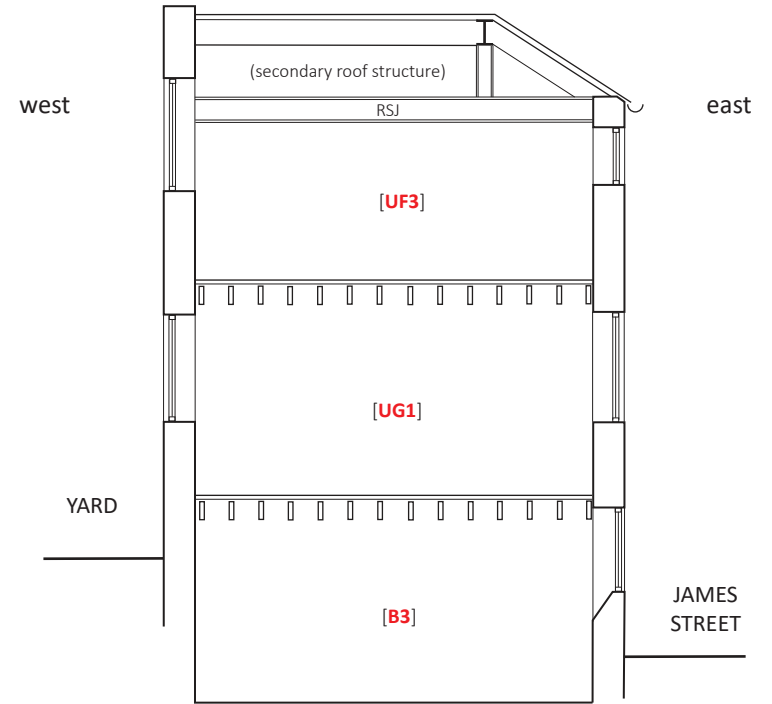


KEY PLAN

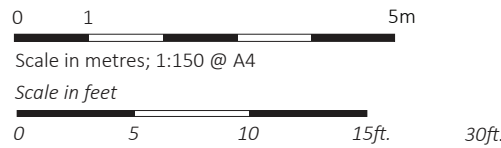
NB. for illustrative purposes only, **do not** scale from this drawing



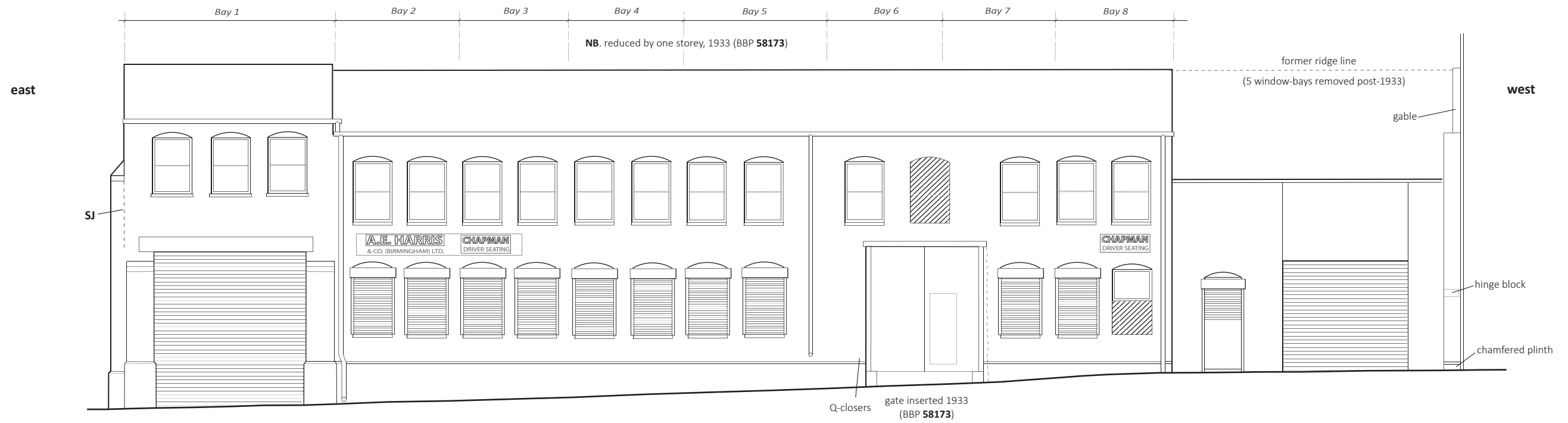
(a) transverse cross section at A-A (Bldgs.10B/C), looking south



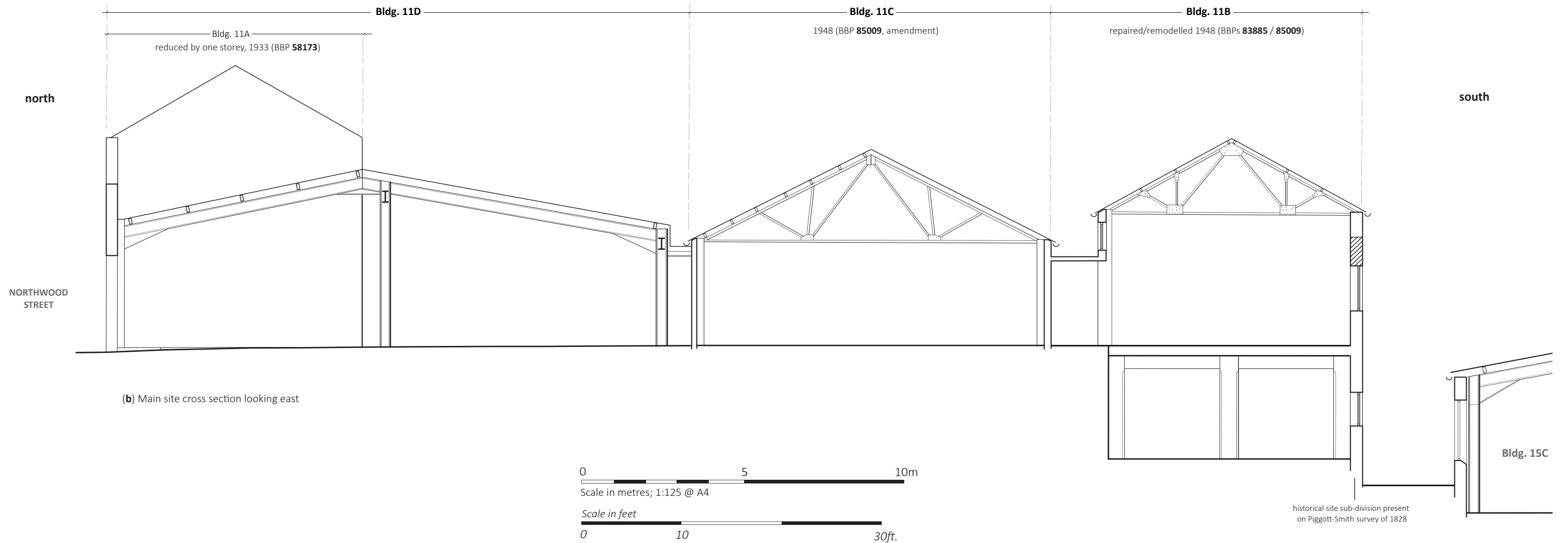
(b) transverse cross section at B-B (Bldg. 10A), looking north



NB. for illustrative purposes only, **do not** scale from this drawing

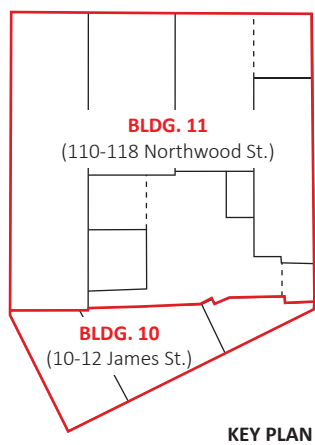
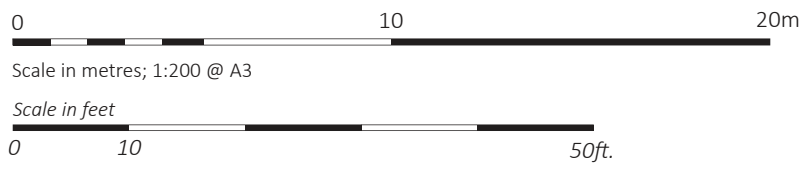


(a) North elevation to Northwood Street



(b) Main site cross section looking east

NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, do not scale from this drawing

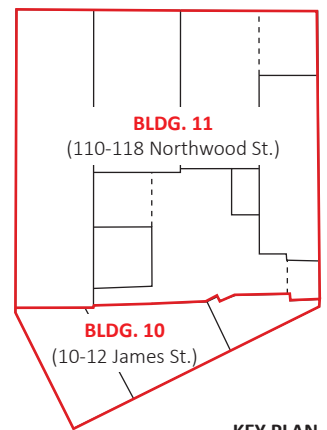


Bldg.12
(No.124 Northwood St.)

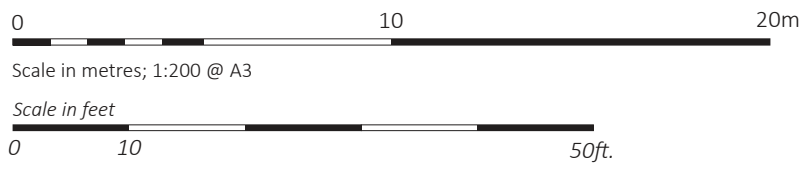


NORTHWOOD STREET

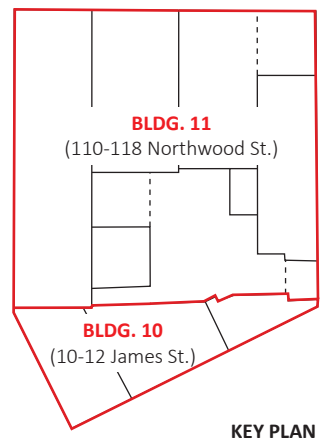
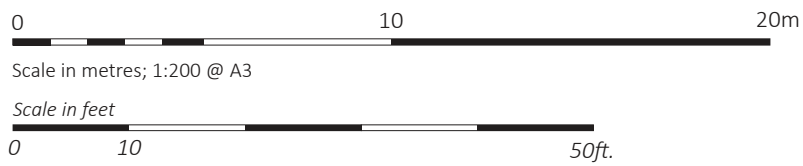
JAMES STREET



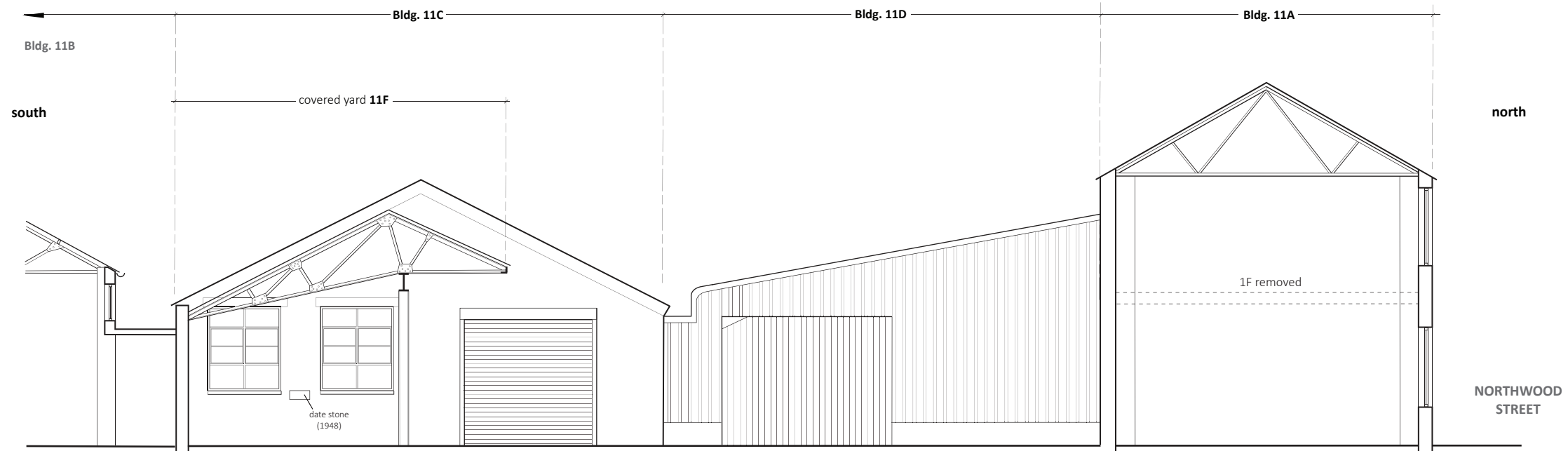
KEY PLAN



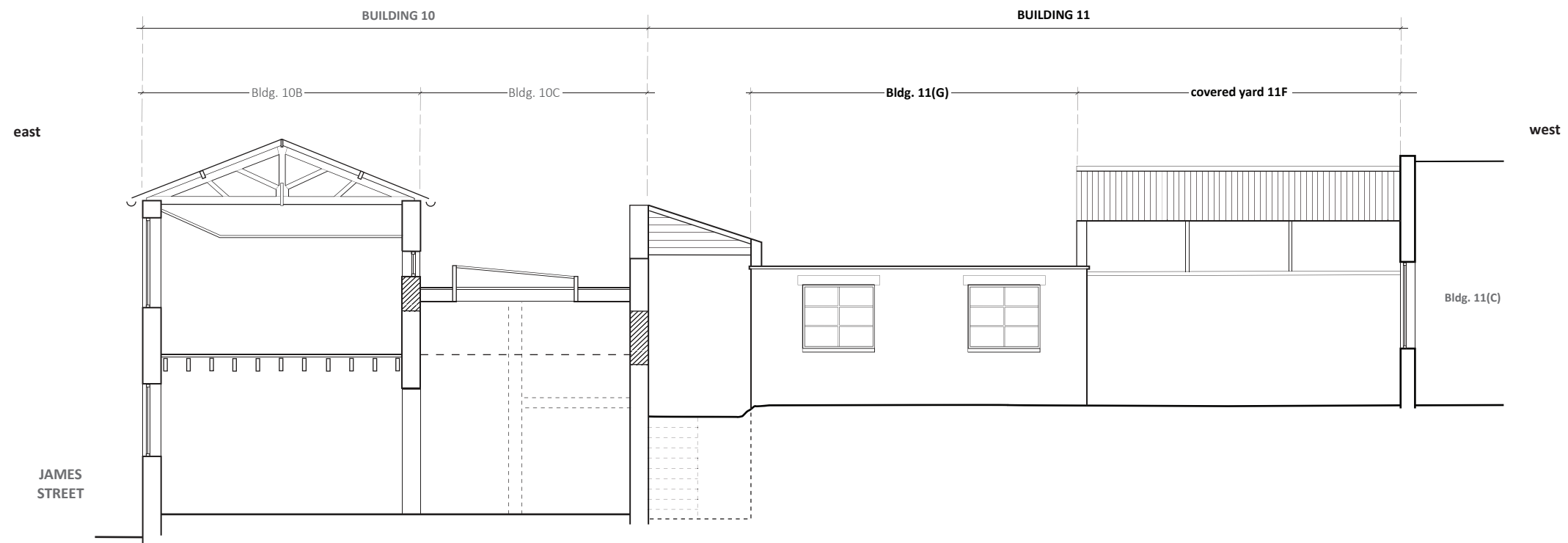
NB. for illustrative purposes only, **do not** scale from this drawing



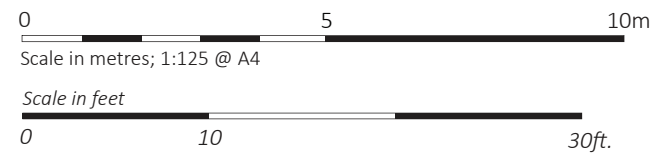
NB. for illustrative purposes only, do not scale from this drawing



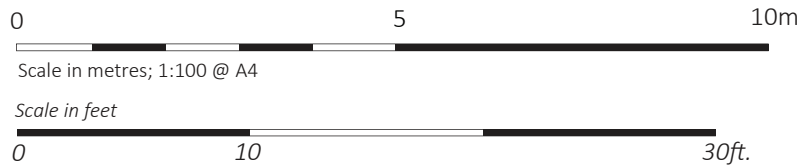
(a) Sectional elevation to west side of yard



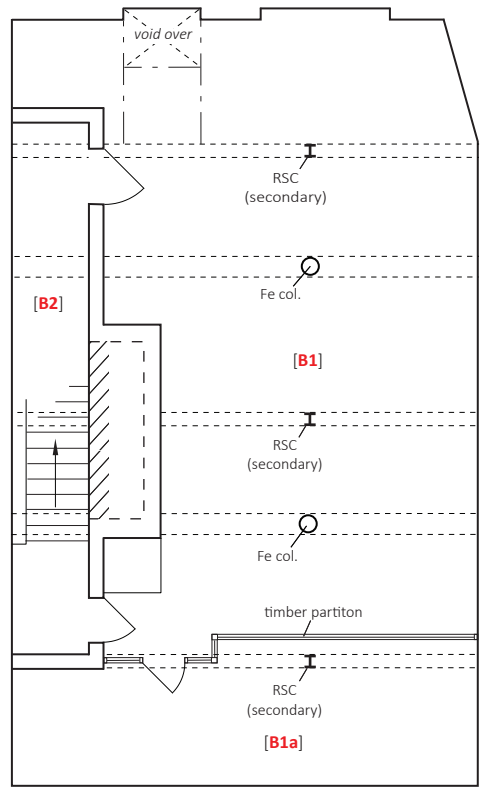
(b) Sectional elevation to south side of yard



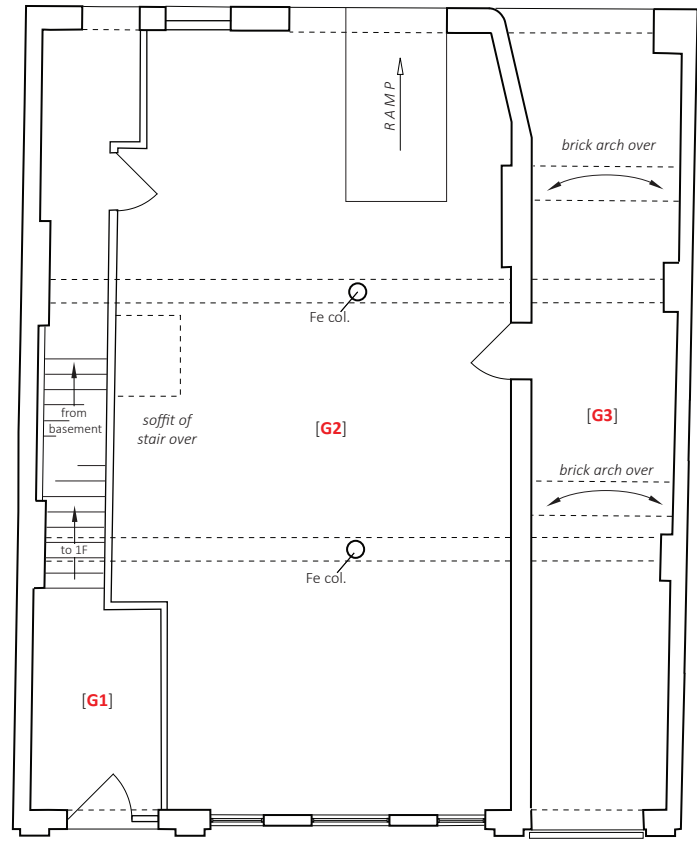
NB. for illustrative purposes only, **do not** scale from this drawing



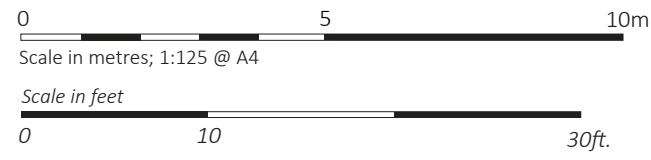
NB. for illustrative purposes only, **do not** scale from this drawing



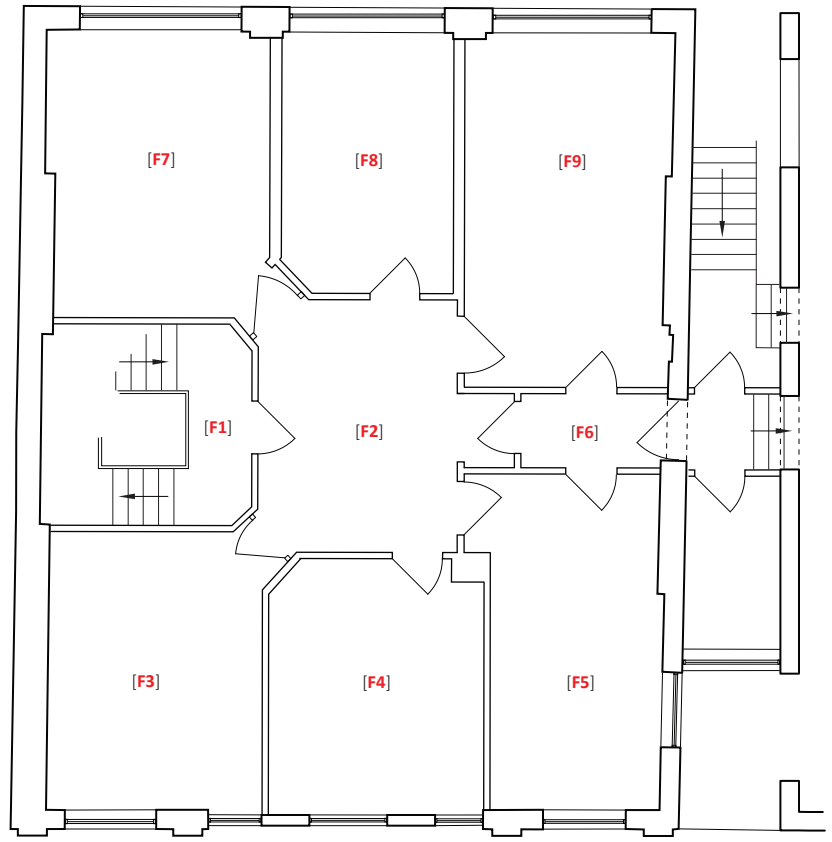
(a) Basement level



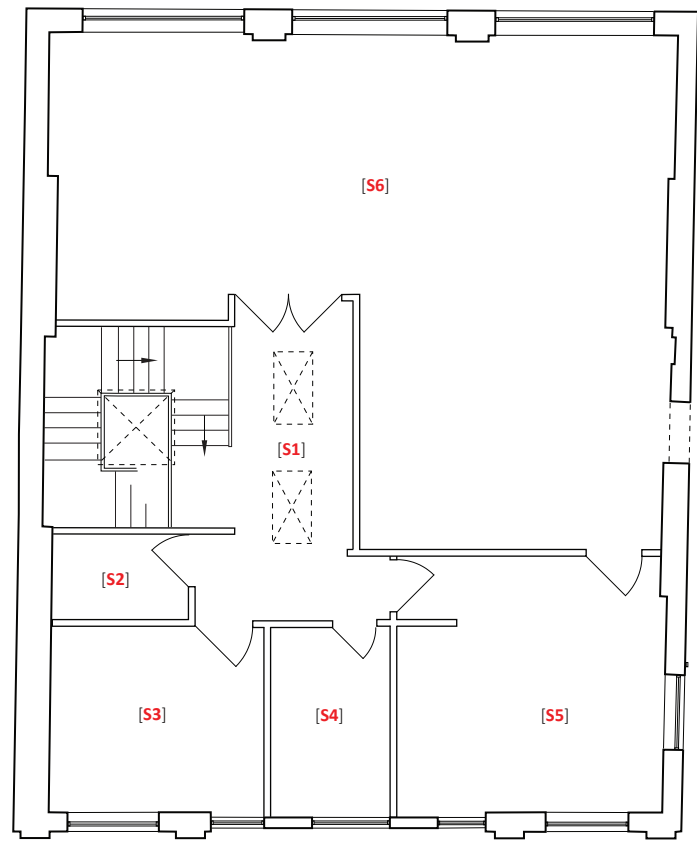
(b) Ground floor level



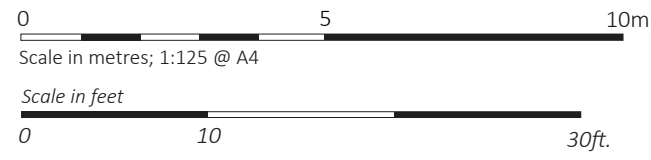
NB. for illustrative purposes only, do not scale from this drawing



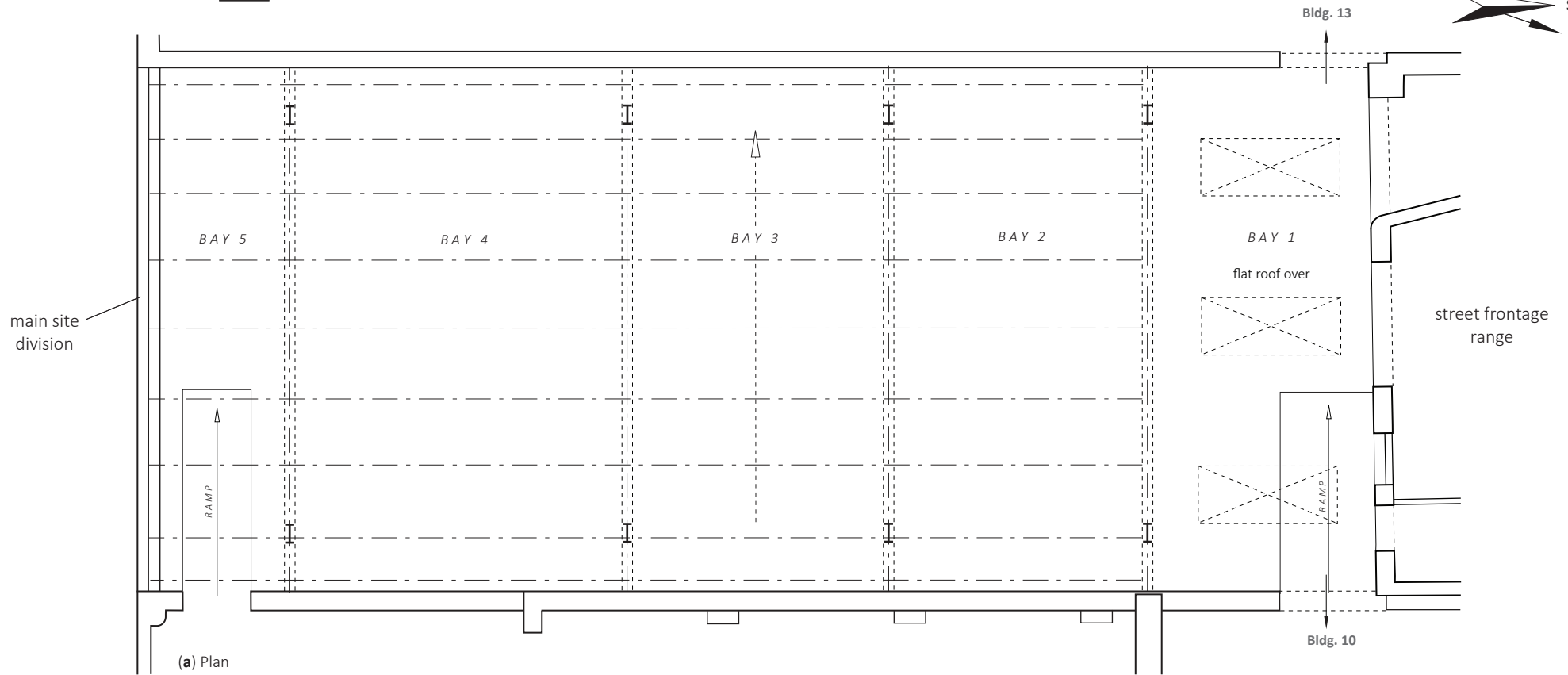
(a) First floor level



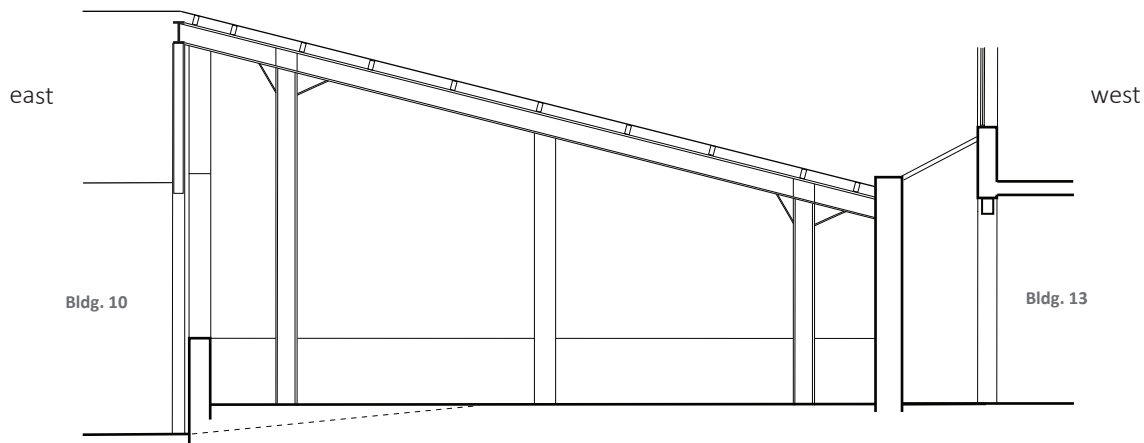
(b) Second floor level



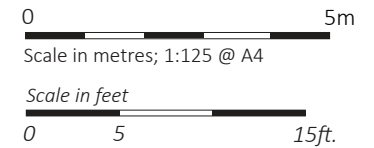
NB. for illustrative purposes only, **do not** scale from this drawing



(a) Plan



(b) Transverse cross-section looking south



NB. for illustrative purposes only, **do not** scale from this drawing



0 5 10m

Scale in metres; 1:125 @ A4

Scale in feet

0 10 30ft.

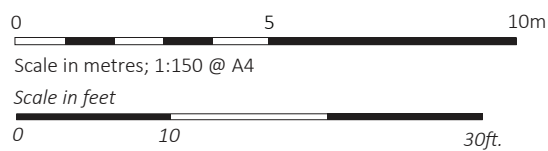
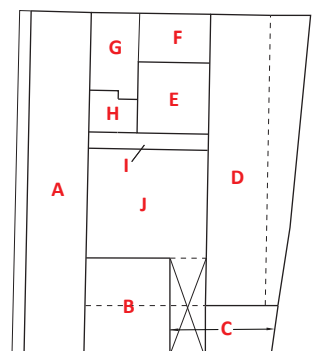
RIC TYLER
MCIFA FGCert. Arch. Hist (Oxf)

Buildings 4 to 15 (unlisted)
Harper's Hill, Jewellery Quarter, Birmingham
Figure 47: Building 13, north elevation to Northwood Street
(Based, in part, on Glenn Howells Architects Drg. No. 2144/DPQ-X-063 of Sept. 2018)

NB. for illustrative purposes only, do not scale from this drawing



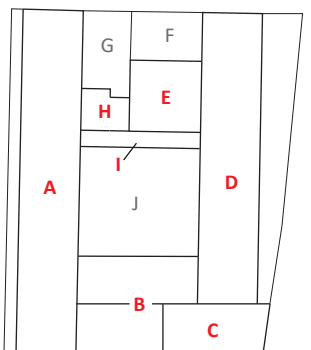
KEY PLAN (NTS)



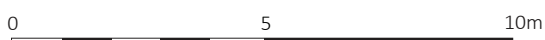
NB. for illustrative purposes only, **do not** scale from this drawing



KEY PLAN (NTS)

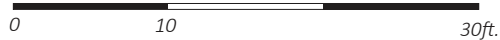


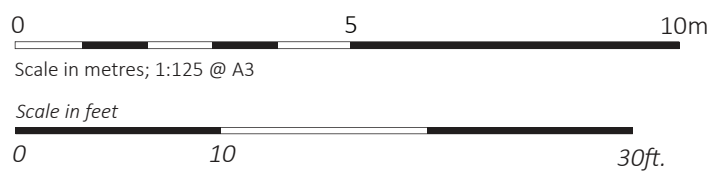
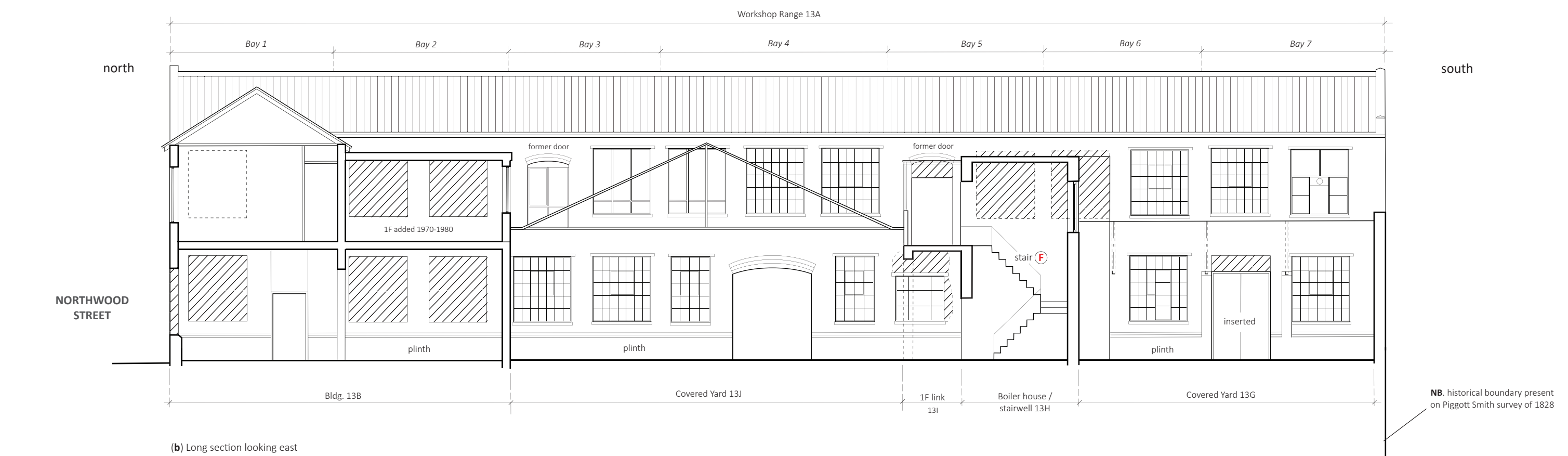
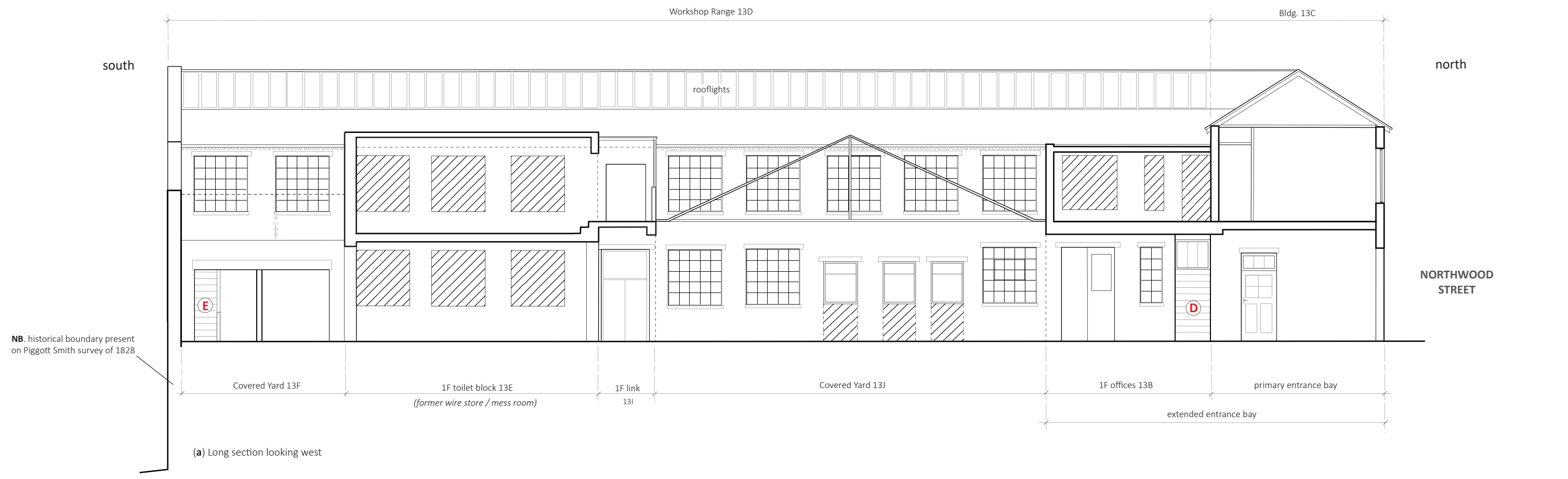
NORTHWOOD STREET



Scale in metres; 1:150 @ A3

Scale in feet

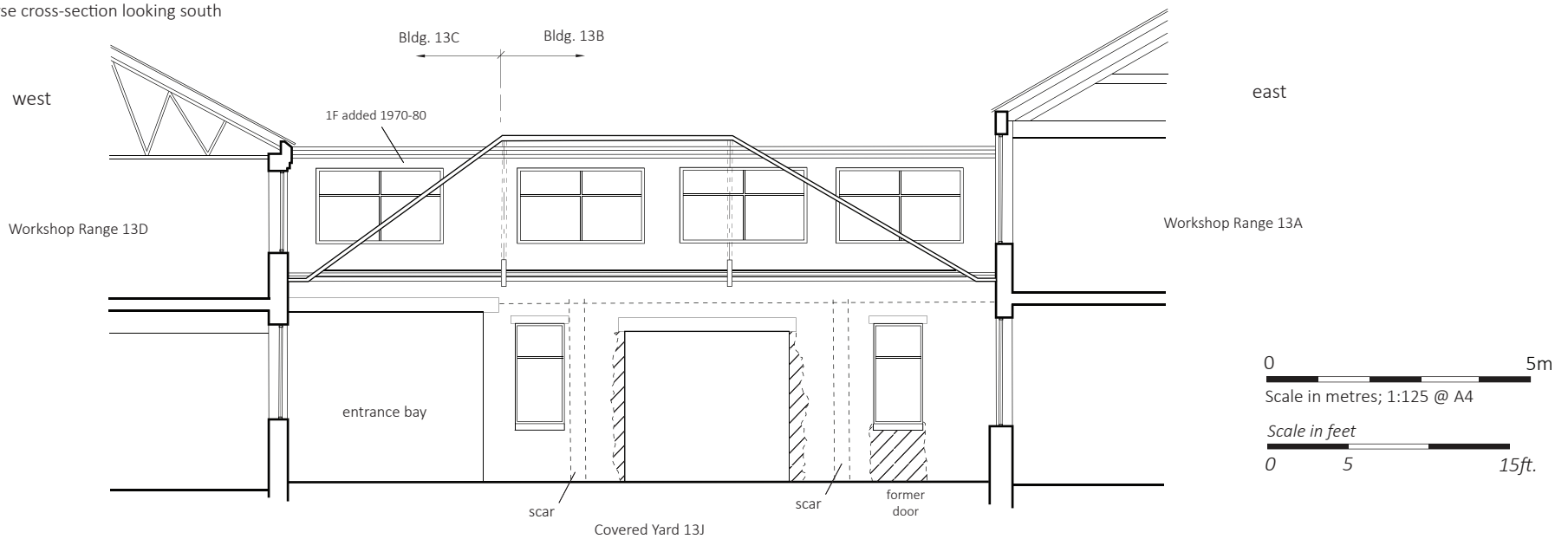




NB. for illustrative purposes only, **do not** scale from this drawing



(a) transverse cross-section looking south



(b) transverse cross-section looking north

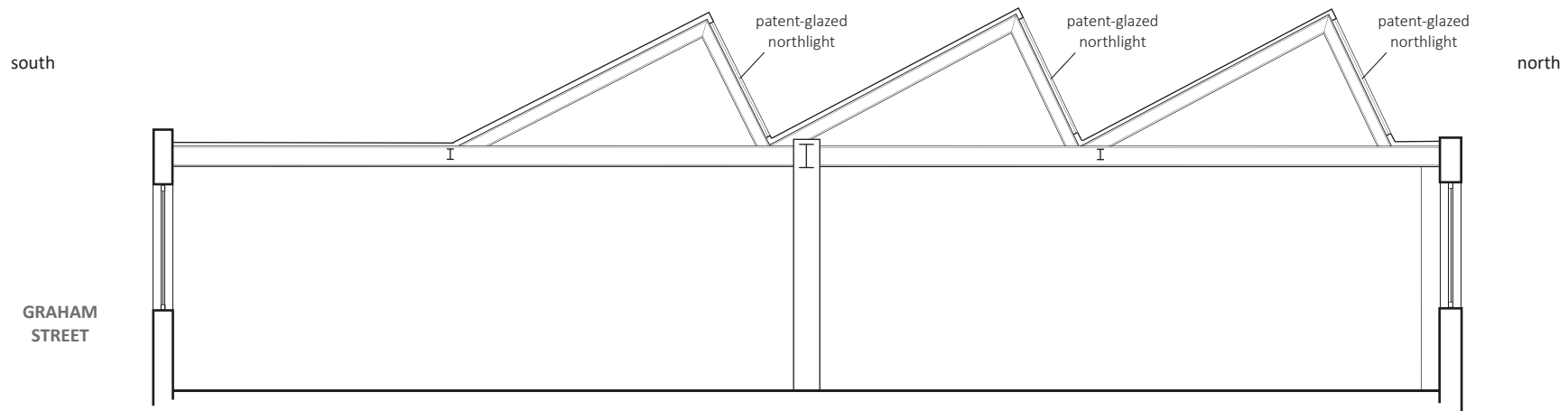
NB. for illustrative purposes only, **do not** scale from this drawing



(a) South elevation to Graham Street

0 5m
Scale in metres; 1:150 @ A4
0 15ft.
Scale in feet

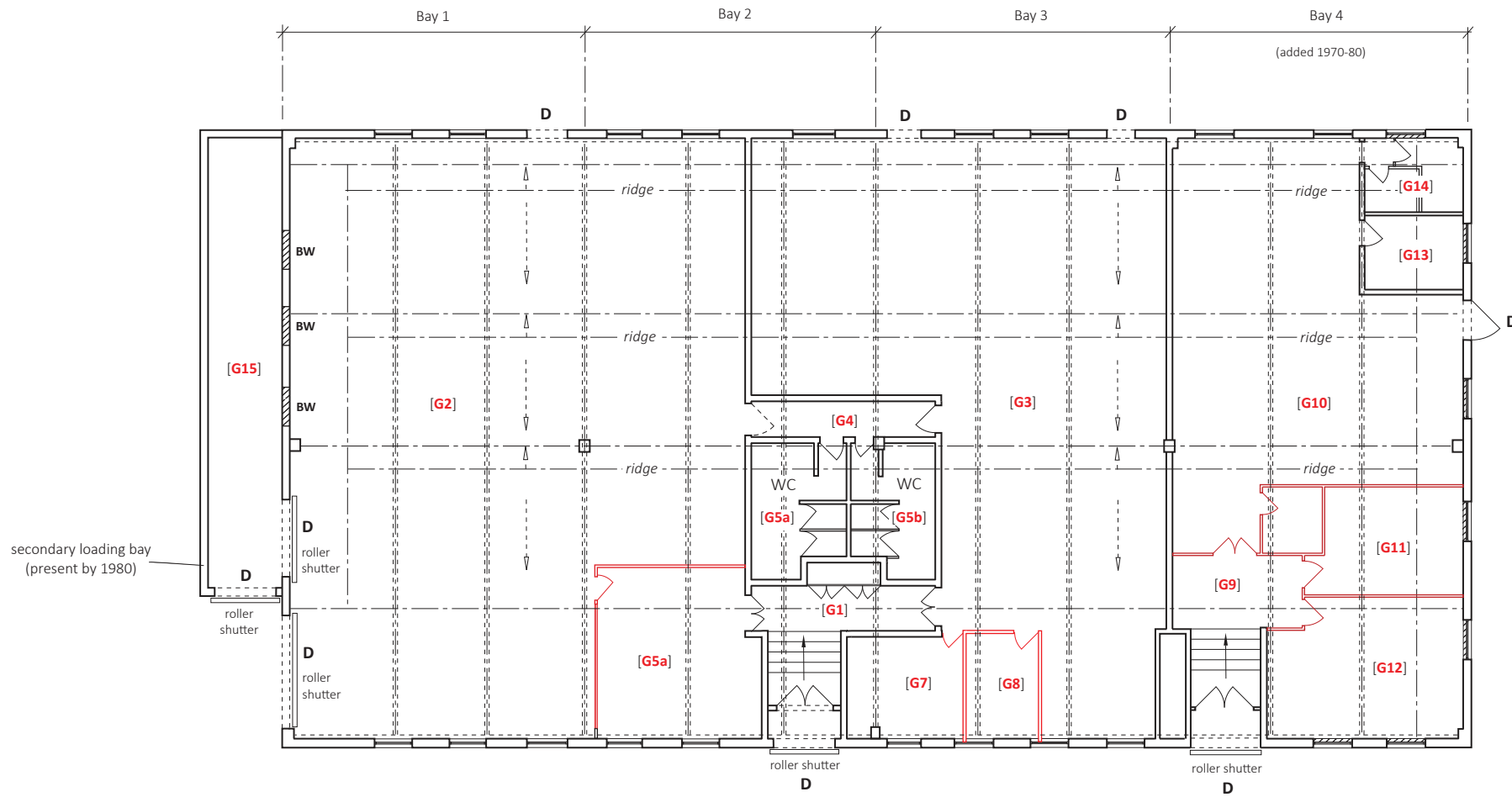
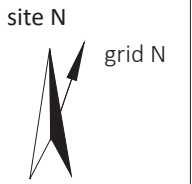
(Bay 4 added, 1970-80)



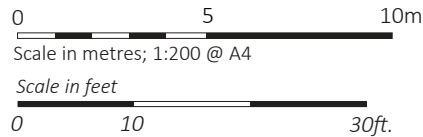
(b) Transverse cross-section looking west

0 5m
Scale in metres; 1:100 @ A4
0 15ft.
Scale in feet

NB. for illustrative purposes only, **do not** scale from this drawing



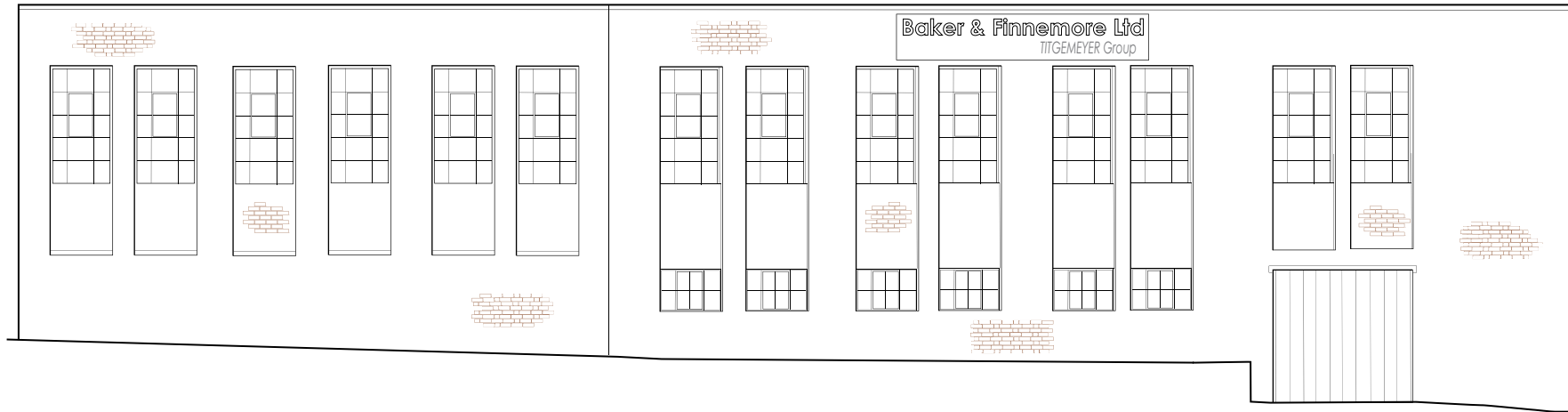
GRAHAM STREET



NB. for illustrative purposes only, **do not** scale from this drawing

west

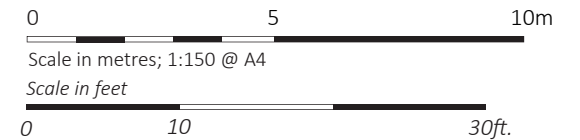
east



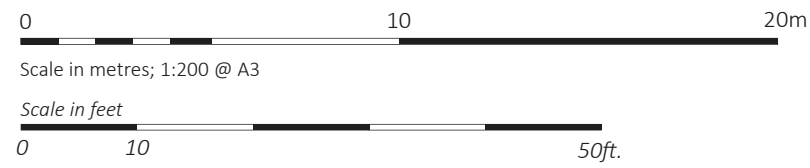
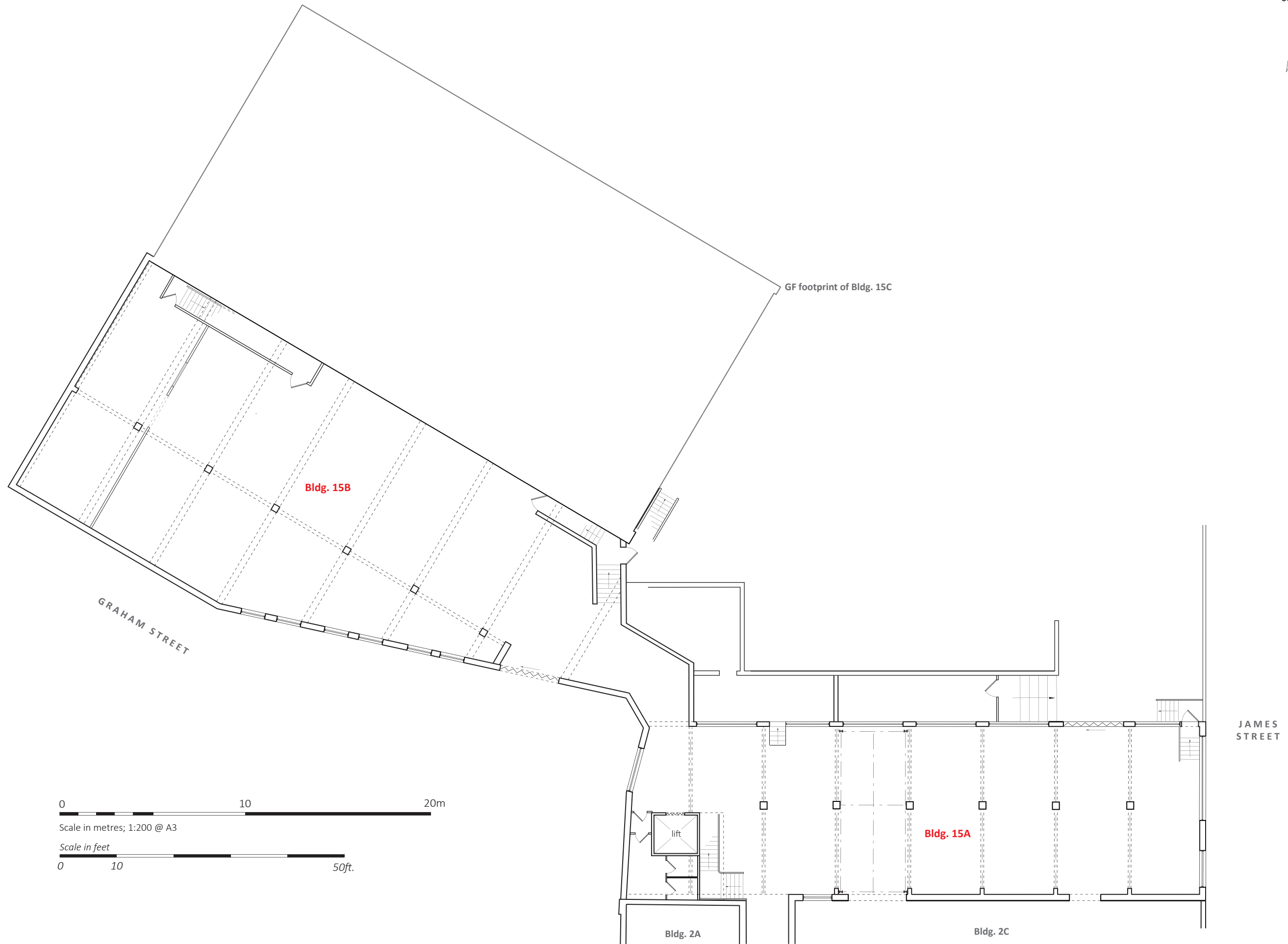
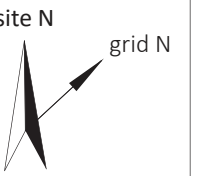
(a) elevation to Graham Street



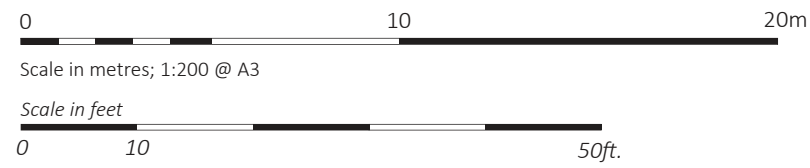
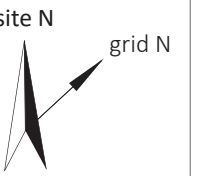
(b) elevation to Newhall Street



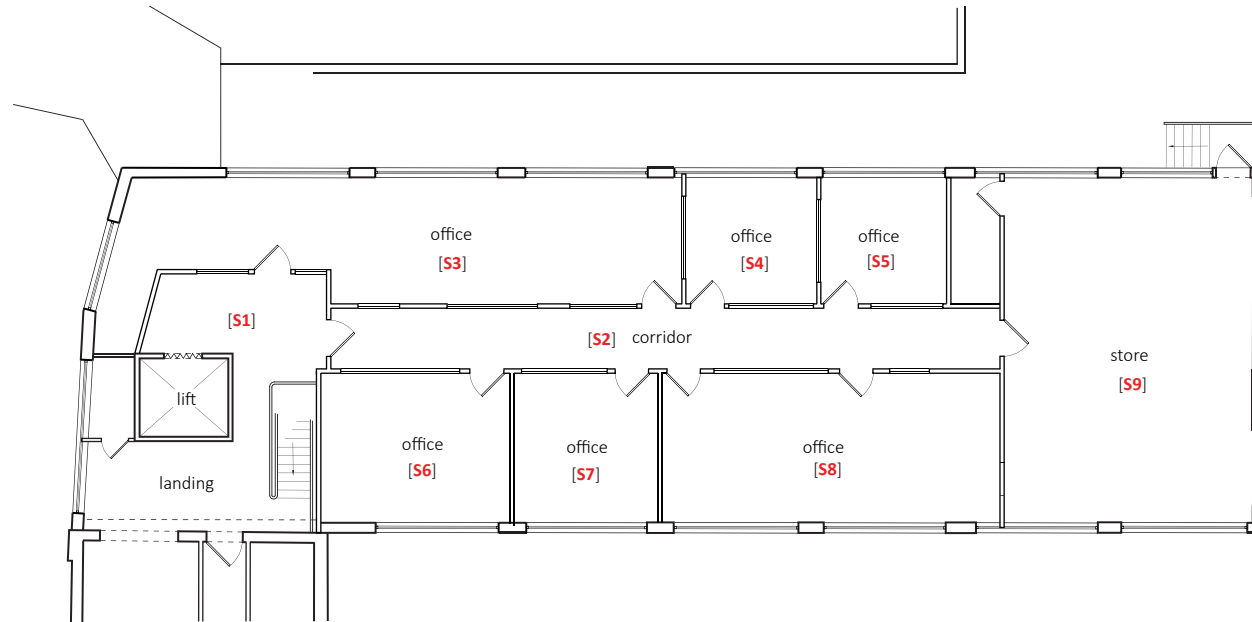
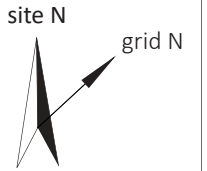
NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing



Bldg. 2a

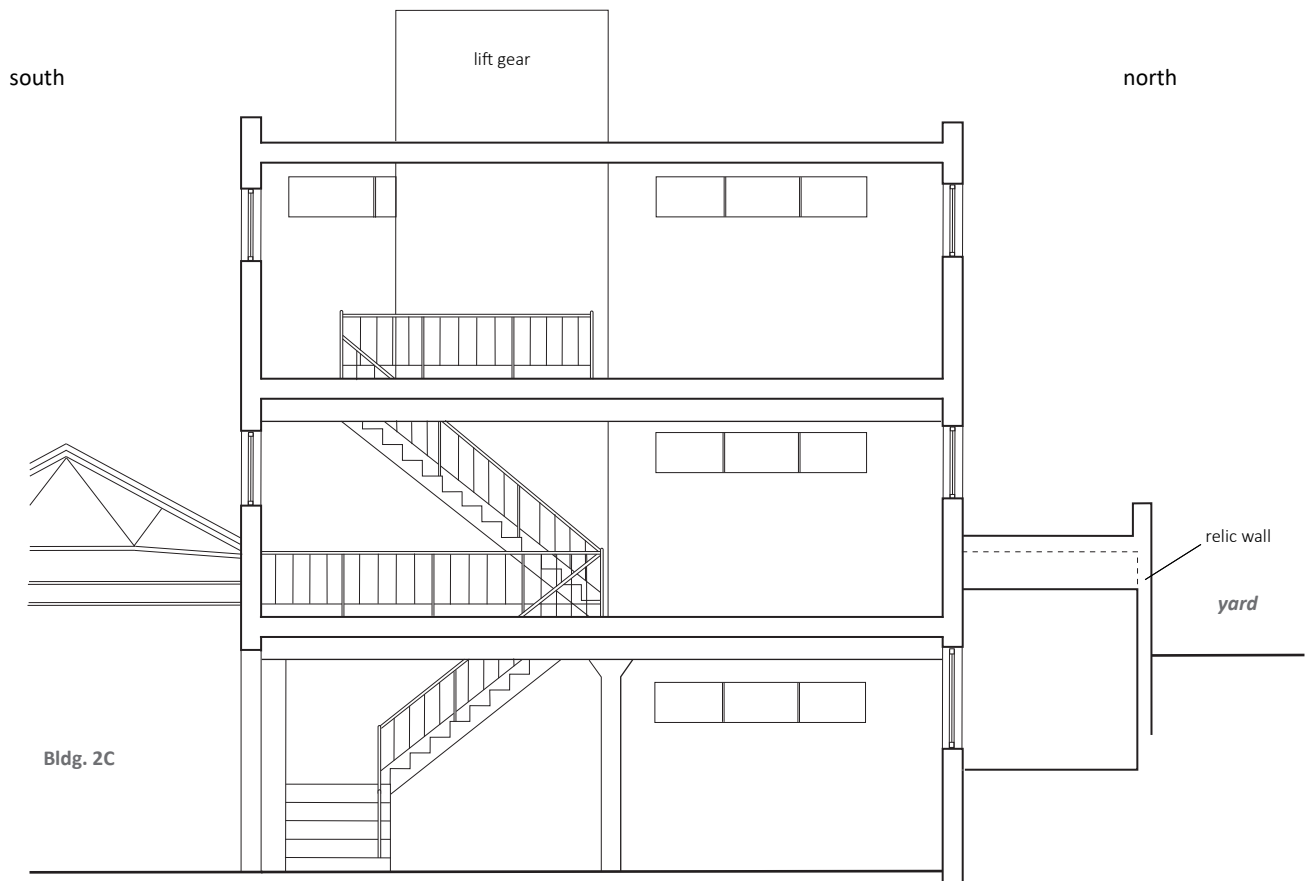
0 10 20m

Scale in metres; 1:200 @ A4

Scale in feet

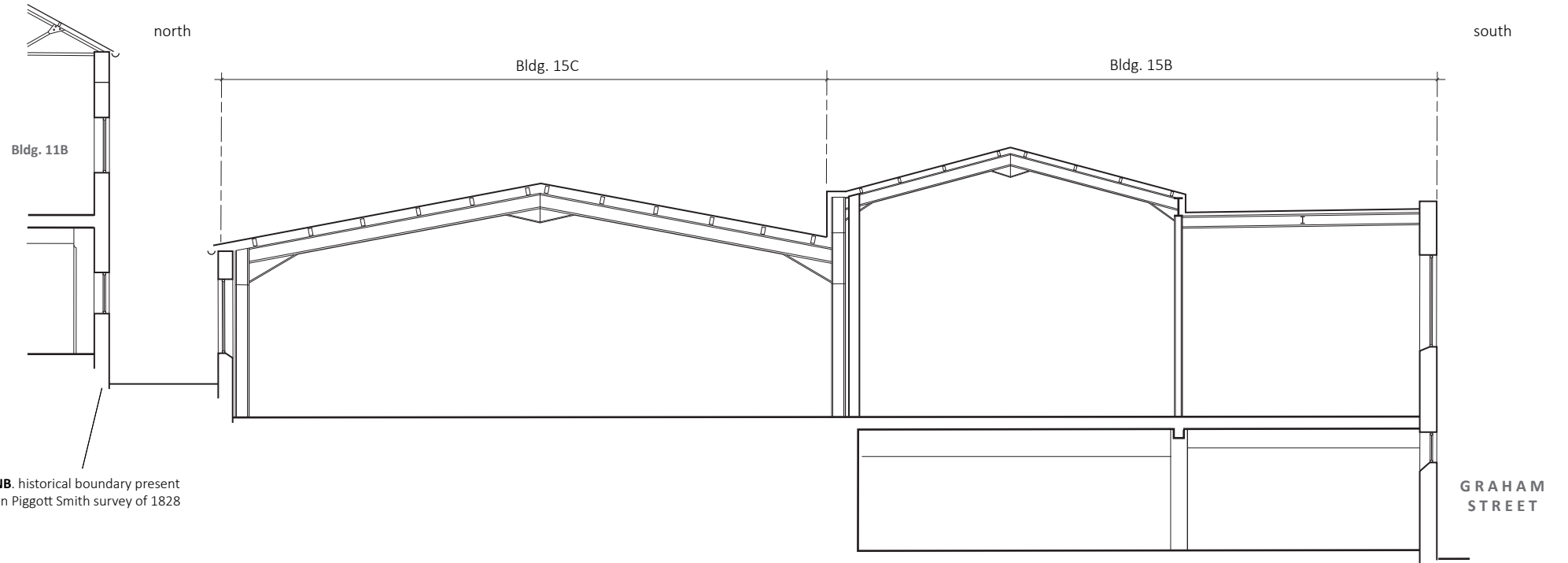
0 10 50ft.

NB. for illustrative purposes only, **do not** scale from this drawing

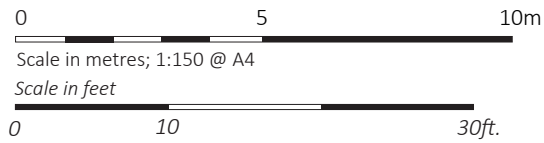


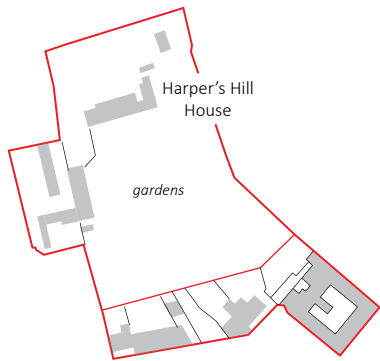
0 5m
Scale in metres; 1:100 @ A4
Scale in feet
0 15ft.

NB. for illustrative purposes only, do not scale from this drawing

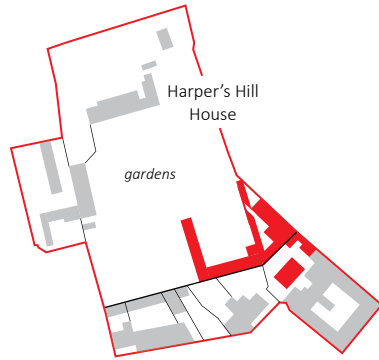


NB. historical boundary present on Piggott Smith survey of 1828

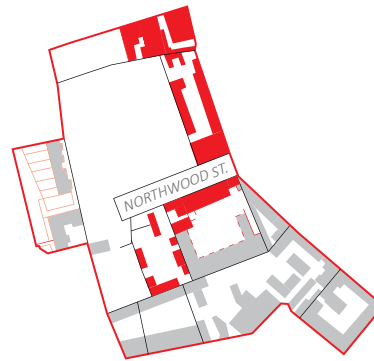




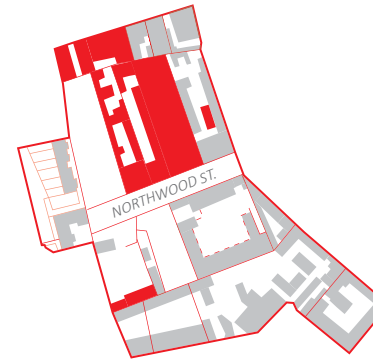
(a) Phase 0: early C19th (1818/28 maps)



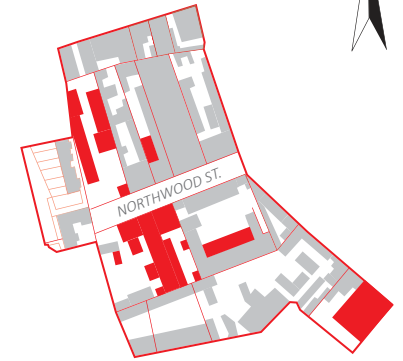
(b) Phase I: mid C19th (1855/1870 map)



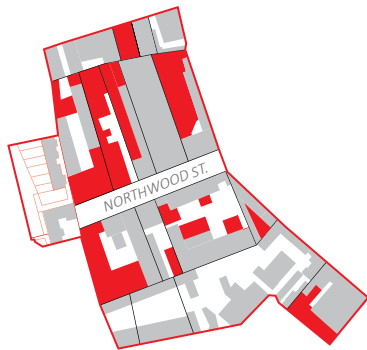
(c) Phase II: late-C19th (1890 OS map)



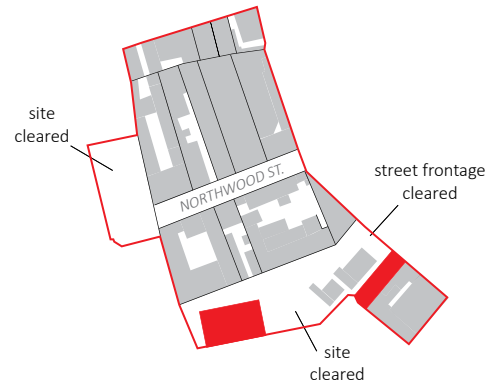
(d) Phase III: late-C19th/early-C20th (1905 OS map)



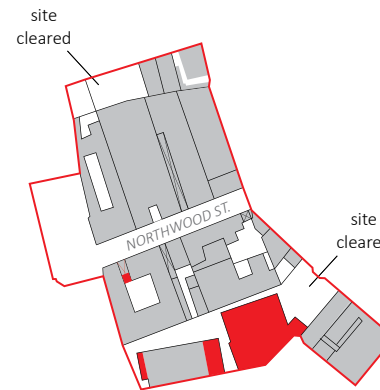
(e) Phase IV: early-C20th (1917-27 OS map)



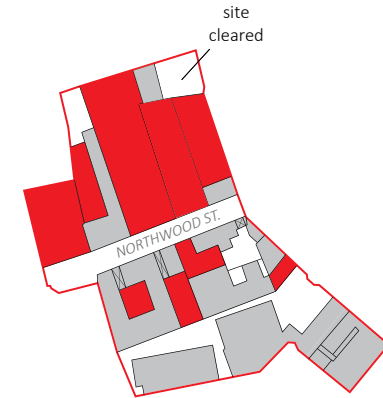
(f) Phase V: mid-C20th (1948 AP; 1955 OS)



(g) Phase VI: mid-late C20th (1970 OS map)



(h) Phase VII: late-C20th (1980 OS map)



(i) Phase VIII: late-C20th/early-C21st (1980 OS map)

KEY









- new structures at each phase
- pre-existing structures at each phase

NB. for illustrative purposes only, **do not** scale from this drawing

site N grid N



KEY TO PHASING

- | | | | |
|---|--|---|---|
|  | PHASE I: mid-C19th; present on Piggott-Smith survey of c.1855 |  | PHASE V: mid-C20th; present on 1948 AP/1955 OS |
|  | PHASE II: late-C19th; present on OS edition of 1890 |  | PHASE VI: mid-late-C20th; present on OS edition of 1970 |
|  | PHASE III: early-C20th; present on OS edition of 1905 |  | PHASE VII: late-C20th; present on OS edition of 1980 |
|  | PHASE IV: early-C20th; present on OS edition of 1917-27 |  | PHASE VIII: late-C20th/early C21st (post-dating 1980 OS) |

NB. for illustrative purposes only, **do not** scale from this drawing

site N grid N

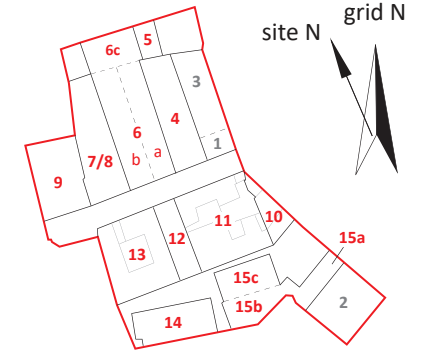


Bldg. 6: Regent Place frontage

A & E Zimmerman (c.1891/95-1928)
S Blanckensee & Son (1928-1948)
Albion Pressings (1948-c.1955)
British Hub Co. Ltd. (1955-c.1974)
AE Harris & Co. Ltd. (c.1974-2018)
Fully rebuilt c.1980

Bldg. 5: 37-39 Regent Place

early occupation (precursor bldgs.) unclear
Zimmerman; Buckley Bros.; (?) **British Hub Co. Ltd.**



key plan

Bldg. 6b: 119 Northwood Street

Wm. Devenport (c.1904-1928)
Alldays (1928-c.1990)
AE Harris & Co (c.1980-2018)
Fully rebuilt c.1980

Bldg. 6a: 117 Northwood Street

PG Allday & Co. (c.1892-1973/4)
Jason Plating (1942-c.1990)
AE Harris & Co (c.1990-2018)
(rebuilt save street frontage)

Bldg. 7b: 123 Northwood St.

A & E Zimmerman (c.1903-c.1928)
S Blanckensee & Son (c.1928-1948)
Albion Pressings (1948-c.1955)
British Hub Co. Ltd. (1955-c.1974)
AE Harris & Co. Ltd. (c.1974-2018)

Bldg. 4: 113/115 Northwood Street

CB Partridge and Son (c.1891-1940)
Jason Plating (1942-c.1990)
AE Harris & Co (c.1990-2018)

Bldg. 8: Covered Yard to 7a/b

AE Harris & Co. Ltd. (c.1990-2018)

Bldg. 11: 110-118 Northwood Street

Jabez Marshall Jr. (c.1903-c.1930)
William Gosling & Son (c.1930-c.1980)
AE Harris & Co (mid-1980s-2018)

Bldg. 7a: 123 Northwood St.

S Blanckensee & Son (1945-1948)
Albion Pressings (1948-c.1955)
British Hub Co. Ltd. (1955-c.1974)
AE Harris & Co. Ltd. (c.1974-2018)

Bldg. 10: 10-12 James Street

Origin and early occupation unclear (see **Appendix C.4**)
Owned by Goslings (c.1948-c.1980); largely sub-let
AE Harris & Co (mid-1980s-2018)

Bldg. 9: 125 Northwood Street

AE Harris & Co (2001-2018)

Bldg. 13: 128-138 Northwood Street

Partridges Ltd. (c.1902/3-1964)
AE Harris & Co (c.1964-2018)

Bldg. 12: 126 Northwood Street

Charles Doley (c.1902-late 1970s/early-1980s)
+ (?) *Ingham & Co.* @ No. 124 (1904-1921)
+ (?) *Agrippa/Fleetcroft/Midland Type Setters*
AE Harris & Co (c.1980s-2018)

Bldg. 14: 5-6 Graham Street

N/K (1942-c.1990)
AE Harris & Co (2015-2018); never occupied by Harris

Bldg. 15: Baker & Finnemore (c.1970/80-2020)

NB. original developers annotated in red