

RUDDS BRIDGE

Station Road, Far Forest
Rock, Worcestershire

[WSM48377]

Historic Building Record

Planning Ref. WF/13/0334/FULL (Condition 4)

WCC HER Fieldwork Reference: **WSM55835**



FINAL REPORT

[Report No. 2014_006]

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Historic Building Survey
[WCC HER ref. **WSM 48377**; Fieldwork ref. **WSM 55835**]

Planning Reference: **WF/13/0334/FULL** (Condition 4)

Summary

*An historic building survey was undertaken in February 2014 in respect of the property known as 'Rudds Bridge', located off Station Road, Far Forest, Rock, Worcestershire (centred on NGR SO 7284 7603). The record was required by the planning archaeologist of Worcestershire County Council as a condition of planning consent (ref. **WF/13/0334/FULL**, condition 4) for the extension and modernisation of the extant cottage. The cottage is neither statutorily nor locally listed but is included upon the WCC Historic Environment Record (ref. **WSM 48377**) and is thus recognised as a non-designated 'heritage asset' under the terms of National Planning Policy Framework. The WCC HER reference assigned to the programme of work is **WSM 55835**.*

Historically a part of the Manor of Bewdley, a detached part of the Parish of Ribbesford, Rudds Bridge is located within the area of the former Hedgwick Common, an area of 'waste', wood-pasture held in common by the tenants of the Manor, within the Wyre Forest. It is probable that the site of Rudds Bridge originated as informal encroachment onto estate lands, gradually being formalised through a process of copyhold tenancy and eventual freehold via enfranchisement in the early 19th century. The origins of the cottage itself remain somewhat obscure, though it would seem that a structure of some form existed as early as the early-mid 18th century, being extended in the mid-19th century (1854) and having essentially attained its current form by the time of the 1st Edition Ordnance Survey map of 1885. The early, domestic 'core' of the range of buildings comprises a functionally simple two-up, two-down cottage extended to the rear, reasonably in the mid-19th century. Adjoining outbuildings include, to the west an in-line cowhouse/stable range (formerly with pitched roof) and early pig sty / hen house and, to the east an original brew-/wash-house and coal/wood stores, all built to reflect a local vernacular tradition. Additions and major interventions during the course of the 20th-century have been relatively limited in nature, though primary fixtures and fittings do not survive to any significant degree.

The recorded cottage and outbuildings represent an interesting, though unremarkable, example of a locally recognisable and familiar functional form, common to a number of small-scale, isolated farmsteads and smallholdings in the Far Forest area. It is unfortunate that the historical record is imprecise and somewhat ambiguous, though hardly surprising given the relatively low status and isolated location of the buildings concerned. The similarity of the core cottage with nearby structures at Worrals Farm and Newalls is notable and suggestive of a wider, planned phase of development, though it has not been possible to establish an historical context for such a programme of building.

The current project has allowed for an adequate visual and graphic record of the buildings to be made within an established historical context prior to commencement of work, forming in effect a 'preservation by record', in accordance with the project brief and with National Planning Policy Framework, and thus fulfils condition 4 of the planning consent.

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1 INTRODUCTION

The current report outlines the results of an historic building survey undertaken in February 2014 in respect of the property known as Rudds Bridge located off Station Road, Far Forest, Rock, Worcestershire (centred on NGR SO 7284 7603). It has been prepared at the request of the planning archaeologist of Worcestershire County Council in response to a condition of planning consent for modernisation and extension of the property, a programme of works involving demolition/rebuilding of outbuildings (Planning ref. WF/13/0334/FULL; Condition 4).

1.1 Planning Background

1.1.1 A planning application (ref. **WF/13/0334/FULL**) was submitted to Wyre Forest District Council (WFDC) by Mr John Haywood of Far Forest, Kidderminster, Worcestershire acting on behalf of Mrs N Gatehouse of Pound Green, Bewdley, Worcestershire in respect of the modernisation and extension of a cottage property known as Rudds Bridge located off Station Road, Far Forest, Rock, Worcestershire, a scheme comprising internal alterations and demolition/modification of associated outbuildings. The planning application was received by WFDC on 19th June 2013 and approved on 14th August 2013.¹

1.1.2 The structure under consideration is neither statutorily nor locally listed, and has been adjudged to be of insufficient merit to warrant preservation *in-situ*. However, it is included upon the Worcestershire County Historic Environment Record (HER), reference **WSM 48377** and is thus recognised as a non-designated 'Heritage Asset' under the terms of National Planning Policy Framework (NPPF; DCLG 2012).² A conditional requirement for a historic building record of the building to be made in advance of work was accordingly attached to the decision notice (Condition 4); the full wording of the condition reads as follows:

'A) No development shall take place until a programme of historic building recording and interpretation, including a Written Scheme of Investigation, has been submitted to and approved by the local planning authority in writing.

B) No demolition/development shall take place other than that in accordance with the Written Scheme of Investigation approved under condition (A).

C) The site investigation and post investigation assessment must be completed in accordance with the programme set out in the Written Scheme of Investigation approved under condition (A) and the provision made for analysis, publication and dissemination of results and archive deposition has been secured.'

¹ <http://www.wyreforest.gov.uk/fastweb/detail.asp?AltRef=13/0334/FULL&ApplicationNumber=13%2F0334%2FFULL&AddressPrefix=&Postcode=&CaseOfficer=&ParishName=&AreaTeam=&WardMember=&DateReceivedStart=&DateReceivedEnd=&DateDecidedStart=&DateDecidedEnd=&Locality=&AgentName=&ApplicantName=&ShowDecided=&DecisionLevel=&Sort1=FullAddressPrefix&Sort2=DateReceived+DESC&Submit=Search>

² https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf

1.2 Site Location

- 1.2.1 Rudds Bridge cottage is sited in an isolated, rural location near the Dowles Brook, a small tributary of the Severn which it meets above Bewdley, on the southern edge of Brand Wood (part of the Wyre Forest) in the northernmost part of the extensive civil parish of Rock. Rock parish itself is located to the far north-west of the county of Worcestershire, c.5.6 km west of Bewdley and 25km north-west of the county town of Worcester (Figure 1).³ The property is accessed by means of an unmetalled track opening off the eastern side of Station Road which itself leads off Kinlet Road on the northern side of the A4117 Cleobury Mortimer Road; this track descends steeply to a footbridge over Dowles Brook (the original 'Rudds Bridge').⁴ The cottage itself occupies an elevated site above a small tributary brook feeding into the Dowles Brook to the north;⁵ the embanked line of the former Bewdley and Tenbury railway passes close by, immediately south of the property (see Figure 2).

1.3 Requirement for Work

- 1.3.1 The historic building record was required by the planning archaeologist of Worcestershire County Council under the terms of **paragraph 141** of the National Planning Policy Framework (NPPF) which stipulates that any permitted development affecting a heritage asset should include the provision to record that asset and that Local Planning Authorities should:

'...require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible.'

1.4 Scope of Report

- 1.4.1 The project has been undertaken in accordance with a Written Scheme of Investigation (WSI; Tyler, 2014), prepared in response to a brief set by Mr Mike Glyde, planning archaeologist of Worcestershire County Council (Glyde, 2013); the WSI was reviewed and approved by the planning archaeologist in advance of work. Copies of the project Brief and WSI are included below as **Appendices A** and **B** respectively. The project has been issued with the WCC HER fieldwork reference **WSM 55835**.
- 1.4.2 The recording, research and report preparation have been undertaken in accordance with English Heritage guidelines as published in *Understanding Historic Buildings: A Guide to Good Recording Practice* (EH, 2006), the Institute for Archaeologists' *Standard and Guidance for the Archaeological Recording of Standing Buildings or Structures* (IfA, 2008), and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation of Works to Historic Buildings* (ALGAO, 1997).
- 1.4.3 Fieldwork and report preparation have been undertaken in accordance with guidelines as set down by Worcestershire County Council in *'Standards and Guidelines for Archaeological Projects in Worcestershire'* (WHEAS, 2010).
- 1.4.3 Archival research was undertaken on 25th February 2014 and site survey on 27th February 2014.

³ Dowles Brook, which runs 120m to the north of Rudds Bridge cottage, forms the parish and indeed the county boundary with Shropshire at this point.

⁴ The current footbridge is a post-WWII 'Bailey' bridge (Plate 43), replacing an earlier timber structure.

⁵ The tributary is understood to be known as 'Hope Brook' (info. *pers. comm.* Prof. Susan Limbrey, The Newalls, Rock).

2 AIMS AND OBJECTIVES

- 2.1 The general aim of the historic building survey, as stated at §.4 of the brief, was ‘to provide an illustrative and descriptive account and interpretation of the building including a discussion of its local, regional and national significance’. The record was undertaken to a standard commensurate with a ‘Level 3’ as defined by English Heritage in ‘*Understanding Historic Buildings: A Guide to Good Recording Practice*’ (EH, 2006).
- 2.2 The purpose and specific objectives of the survey are as outlined in detail at Section §.4 of the project brief (**Appendix A**).

3 METHODOLOGY

3.1 Documentary Research

- 3.1.1 A search was made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs and drawings, written descriptions, and primary and secondary sources related to the site at the Worcestershire Archives and Local History Collections at The Hive, Worcester. Local historical groups, viz. the Bewdley Historical Research Group and the Oak Lands District History Society were also consulted, as were standard on-line sources including Access to Archives (www.a2a.org.uk). A full list of sources is included below at section §.9.
- 3.1.2 As required by the project brief (**Appendix A**, §.4), a standard search of the Worcestershire County Council Historic Environment Record (WCC HER), the primary source for archaeological information for the county, was made prior to the undertaking of fieldwork (Cornah, 2014; see §.4 and **Appendix E**).

3.2 Historic Building Record

- 3.2.1 The Historic Building Record comprised a detailed visual examination of the exterior and interior of the structure under consideration and the compilation of drawn, photographic and written records of the same to a level commensurate with a ‘Level 3’ analytical record, defined by English Heritage in *Understanding Historic Buildings: A Guide to Good Recording Practice* as follows:

‘...an analytical record, [comprising] an introductory description followed by a systematic account of the buildings origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building’s appearance and structure to support an historical analysis.’ (EH 2006, 14).

- 3.2.2 The historic building record thus comprised three related elements; a drawn record, a photographic record and a written account, details as follows:

The Drawn Record

- 3.2.3 Site survey involved the annotation and enhancement of existing survey drawings (hard copy) supplied by John Haywood, Architectural Consultant of Far Forest, Worcestershire.⁶ Drawings were checked for accuracy on site and architectural/archaeological detail added where appropriate, measurements being captured by a combination of hand tape and hand-held laser measurement. A register of project drawings is included below as **Appendix C**.

⁶ John Haywood Drawing Nos. 120/3 (plans) and 120/4 (elevations) dated June 2013.

The Photographic Record

- 3.2.4 The photographic record comprised high resolution digital photography using a Nikon D3000 digital single lens reflex camera (10MP), extending to include both general and detail shots, contextual views and accessible exterior elevations, visible structural and decorative details (interior and exterior), and general interior views of principal rooms and circulation areas. Where possible, photographs included graded photographic scales. All photographs were recorded on *pro-forma* recording sheets detailing subject, orientation, photographer and date. A register of project photographs is included below as **Appendix D** with location plan; a selection is reproduced below as plates.

The Written Record

- 3.2.5 To accompany the drawn and photographic records, a systematic written account of the building was made as free text; this forms the basis of the following description.

4 ARCHAEOLOGICAL CONTEXT

*A standard historic environment record search was made of the WCC HER (Cornah, 2014) covering a 500m radius search area centred upon the site (NGR SO 7284 7603; see **Appendix E**).*

4.1 Designated Heritage Assets

- 4.1.1 There are no Scheduled Ancient Monuments (SAMs) within or encroaching upon the 500m radius search area.
- 4.1.2 There are no Conservation Areas (CAs) within or encroaching upon the 500m radius search area.
- 4.1.3 There are no Registered Parks or Gardens (RPGs) or Registered Battlefields (RBs) within or encroaching upon the 500m radius search area.
- 4.1.4 There are no Statutory Listed Buildings (LBs) located within the 500m radius search area.

4.2 Non-Designated Heritage Assets

- 4.2.1 There are no locally listed buildings located within the 500m radius search area.

4.3 Non-Listed Historic Buildings

- 4.3.1 There are a total of 8 non-listed historic buildings, including Rudds Bridge itself, included on the HER within or adjoining the 500m radius search area (see **Appendix E**), as follows:

HER Ref.	Site Name	Summary Description	Grid Ref.
Non-listed Historic Buildings			
WSM 15121	Wyre Forest Station	19 th -century railway station (extant) for GWR Tenbury and Bewdley Railway (186-)	SO 7264 7600
WSM 48377	Rudds Bridge	Stone cottage east of Goodmoor Grange	SO 7284 7603
WSM 53766	Steppingstones Cottage	Unlisted 19 th -century farmstead with outbuildings.	SO 7236 7623
WSM 53773	Worrall's Farm	Unlisted 19 th -century farmstead with unconverted outbuildings.	SO 7263 7573
WSM 53774	Goodmoorhill Farm	Partially extant, unlisted 19 th century farmstead with unconverted outbuildings.	SO 7308 7610
WSM 54184	The Newalls	Unlisted 19 th -century farmstead with converted outbuildings.	SO 7284 7588
WSM 54198	Boundary Cottage	Unlisted 19 th -century farmstead with converted	SO 7241 7606

		outbuildings.	
WSM 56734	Worrall's Farm (outbuilding)	Unlisted 19 th -century cartshed/stables with hay loft over	SO 7261 7571

Table 1:

Summary of non-listed buildings recorded on the WCC HER within a 500m radius search area.

4.4 Non-Designated Monuments

- 4.4.1 There are a total of 7 non-designated monuments included on the HER within the 500m radius search area (see **Appendix E**), all related to the late-19th and 20th-century expansion of the town:

HER Ref.	Site Name	Summary Description	Date	Grid Ref.
Monuments				
WSM 15050	GWR Teme Valley Line	Dismantled branch line off SVR, closed to passengers 1962, freight 1964.	Opened 1864	SO 6999 7355
WSM 45512	Terraced trackway, Goodmoor Hill Farm	Earthwork, raised trackway identified by Lidar	N/K	SO 7321 7625
WSM 48806	Pond north of Goodmoor Grange	Extant pond present on 1 st ed. OS map (possibility of environmental deposits)	N/K	SO 7274 7615
WSM 48808	Meander loop north of Strawberry Cottage	Extant feature present on 1 st ed. OS map (possibility of environmental deposits)	N/K	SO 7265 7616
WSM 48658	Trackway NE of Rudds Bridge	Former access to Dowles Brook/Brand Wood	N/K	SO 7295 7608
WSM 48659	Nissen Hut north of Goodmoor Cottage	Ruined nissen hut with adjacent garden area. Occupied within living memory.	WWII	SO 7295 7609
WSM 51492	Site of field barn	Demolished C19 th /20 th	19 th -century	SO 7247 7585

Table 2:

Summary of non-designated monuments recorded within 500m search area.

4.5 Landscape Components

- 4.5.1 There are a total of 6 non-designated 'landscape components' included on the HER within the 500m radius search area (Cornah 2014):⁷

HER Ref.	Site Name	Summary Description	Date	Grid Ref.
Landscape component				
WSM 59142	Site of field barn (NB. same as WSM51492)	Demolished C19 th /20 th	19 th -century	SO 7247 7585
WSM 61416	Steppingstones Cottage (NB. same as WSM53766)	Unlisted farmstead with outbuildings.	19 th -century	SO 7236 7623
WSM 61423	Worrall's Farm (NB. same as WSM53773)	Unlisted farmstead with outbuildings.	19 th -century	SO 7263 7573
WSM 61424	Goodmoorhill Farm (NB. same as WSM53774)	Unlisted farmstead with outbuildings.	19 th -century	SO 7308 7610
WSM 61834	The Newalls (NB. same as WSM54184)	Unlisted farmstead with outbuildings.	19 th -century	SO 7284 7588
WSM 61848	Boundary Cottage (NB. same as WSM54198)	Unlisted farmstead with outbuildings.	19 th -century	SO 7241 7606

Table 3:

Summary of 'landscape components' recorded within 500m search area.

4.6 Historic Landscape Characterisation

- 4.6.1 The HLC records that the site currently under consideration lies within an area of field amalgamation (ref. **HWR 645**) set within a wider context of ancient semi-natural and secondary woodland, extensive planned

⁷

NB. all landscape components represent duplicate listings of monuments or non-listed buildings; relevant cross-refs. included within Table 3.

orchards⁸ and characterised by scattered small-holdings and dispersed, isolated farmsteads (Cornah 2014, 6; figure 10).

4.7 Previous Archaeological Work

- 4.7.1 The only recorded incidence of previous archaeological work within the search area (Cornah 2014, figure 8) is an Historic Environment Assessment of Wyre Forest undertaken by A. Mindykowski of WCC in 2007, reference **WSM 34596**.⁹

5 HISTORICAL BACKGROUND

5.1 General Historical Context¹⁰

- 5.1.1 The civil parish of Rock is located in the western part of Wyre Forest District, said to be the second largest parish in England, though historically Far Forest has been included within the Manor of Bewdley, forming a detached part of the parish of Ribbesford in Doddingtree Hundred. Rock is not included in Domesday, though two Ribbesfords are recorded as outlying berewicks of the king's lands at Kidderminster, and are described as 'waste'. At the time, it would appear that the area of Rock parish was spread over five separate manors, namely Alton ('*Alvintune*'), Lindon ('*Linde*'), Rockmoor ('*More*'), Hollin ('*Holim*') and Stildon ('*Stilledune*') held by Ralph of Tosny and by Drogo, son of Poyntz. These consolidated into the parish of 'Ak' or 'Le Aka' in the later 13th century (Reiss 1904, 16), the name deriving from the Anglo-Saxon word for 'oak', rendered historically as '*Oke*' (C14th), '*Roke*' (C15th), '*Acha alias Roch*' (C16th) and becoming established in its current form as 'The Rock' or simply 'Rock' in the 16th /17th century (VCH). The ecclesiastical parish of Bewdley Far Forest was formed on 11th July 1845 from parts of Ribbesford, Rock and Stottesdon. The somewhat involved descent of the various manors comprising the modern parish of Rock are detailed in the VCH (Worcs. Vol. IV, 1924, p.319-328) and will not be repeated here.

- 5.1.2 The Manor of Bewdley, and other manors within which the Wyre Forest lay, included a number of 'wastes', that is, areas of wood-pasture held in common by the tenants of the manor (Davies 2009, 75) including Alton, Buckridge and Hedgewick (or Hedgewick). These 'wastes' or commons were to go on to form the focus for nascent forest-edge communities, developing either by a process of squatter encroachment or by more legitimate means. Rudds Bridge cottage itself lies within the area of the former Hedgewick Common, the boundaries of which approximate to the Dowles Brook to the north, Lem Brook to the west, the Cleobury Road to the south at Far Forest, and possibly Brand Lodge Coppice / Dog-Hanging Coppice to the east. Together these boundaries define a substantial area of common land which was originally split into two parts, namely 'Great' and 'Little' Hedgewick, the border between the two possibly having been marked by Yarron's Coppice (*ibid.*). While the commons of Alton and Buckridge were formally enclosed under the Alton Enclosure Act, finally passed in 1820 (Collett 2007, 47),¹¹ no corresponding act was made for Hedgewick. The latter common would appear, by contrast, to have been more gradually enclosed on a piecemeal basis over an extended period of time from the 17th century on (Davies 2009, 76; Collett *pers. comm.*) with the remainder enclosed by local agreements between 1787 and 1840.

5.2 1748 Manorial Survey

- 5.2.1 The 1748 'Survey of the Manor of Bewdley in Worcestershire' by John Ingram for Edward Winnington Esq.¹² presents the first reference to '*Rudds Cottage*', described as being located '*at Hopes Brook*' (see §.1.2.1, fn. 5

⁸ *Inter alia*: HWR 641, 644, 648, 954, 958, 959, 981, 996, 1004 (see also Stephens, 2009)

⁹ <https://public.worcestershire.gov.uk/sites/archaeology/Reports/WR6192.pdf>

¹⁰ Based upon published sources; Collett 2007, Reiss 1904, VCH 1923.

¹¹ The subdivision and enclosure of former common lands further to the 1820 Act witnessed a marked increase in building activity (Collett 2007, 47).

¹² Original documents (in ownership of Bewdley Historical Research Group) not examined; photocopies of original documents in ownership of Mr John Collett examined as part of current project.

above). No map to accompany the survey survives, though the schedule (p.84) records that *'The Widow Dalloway, assignee of George Davis, holds (the property) by lease granted in 1729 for 50 years absolute from Michelmias 1728'* (a marginal note records that *'Davis never assigned to Dalloway'*). The same entry records that *'An orchard covering ... (illegible) ... part of Rudds Tenement is laid open to Copyhold Land'*.

5.3 The Manorial Court Roles

- 5.3.1 The Bewdley manorial court rolls have not been examined during the course of the current project although published extracts (see Collett 2007, 76) record a number of family names familiar from other relevant documents (tithe/manorial survey etc.). As is the case with later, historical census returns (see §.5.5 below), it is not realistically possible to relate entries to specific properties with any degree of certainty. One pair of entries from the later 18th century are of particular interest, however, and may be relevant in the context of the current study;

29/8/1776 (Vol. 4., p.72)... Copyholder **Roger Dalloway** (see 1785 survey; §.5.4.1 below) *took over a cottage and land of about 6 acres at Little Hedgewick on the death of his father Roger Dalloway. Rent 5 shillings & 6 pence.*

13/4/1798 (Vol. 4, p.84)... *came Thomas Dallow alias Dalloway eldest son of Roger Dalloway re. a copyhold being at Little Hedgewick. Ann wife of Thom D. to the use of **George Palmer**.* (see 1845 tithe; §.5.4.2 below)

5.4 Map Regression

Map of the Manor of Bewdley, 1785

- 5.4.1 The first map to show the site of Rudds Bridge in any detail is the *'Map of the Manor of Bewdley in the County of Worcester, the property of Sir Edward Winnington, Bart.'*¹³ of 1785 (Figure 3).¹⁴ The map clearly shows the lands around Kinlet Road, Station Road (formerly 'Fletchers Lane') and parts of Sugar Lane (formerly Shugar's Lane'); the extant trackway which opens off Fletchers Lane extends as far as the Dowles Brook to the north, where a footbridge (the original 'Rudds Bridge') led on *'to Kingswood'* on the northern bank.¹⁵ Structures are indicated fronting Fletchers Lane to the south at 'Worralls Farm' ('P.71'; **WSM 53773**), and onto the trackway at 'The Newalls' (N.65; **WSM 54184**),¹⁶ while a further, small structure is indicated to the north, on the west side of the track adjacent to Dowles Brook ('M.62'; see §.5.4.4 below). Rudds Bridge cottage is not shown, though this presumably results from the alternative tenurial status of the land on which it stands, even at this early date being held under copyhold by one Roger Dalloway, as opposed to by Sir Edward Winnington.

Bewdley Parish Tithe Map, 1845

- 5.4.2 By the time of the Bewdley Tithe map of 1845 (Figure 4),¹⁷ the former copyhold lands of Roger Dalloway were in both the ownership and occupation of one George Palmer (see §.5.3.2 above), while a majority of the Forest remained in the ownership of Sir Thomas Edward Winnington,¹⁸ listed as 'First Commissioner of Her Majesty's Woods and Forests and Land Revenues.' The large copyhold plot of the previous survey is shown as having been subdivided to form two fields, 1016 ('part of orchard') and 1017 ('Raily Piece, House and Garden'), with a structure shown for the first time to the southern side of the latter on the site of the extant 'Rudds Bridge' cottage. The accompanying apportionment records plot 1017 with a total area of 1A 1R 29P

¹³ Sir Edward Winnington (b. c.1728; d.1791) was first created a baronet in 1755 and served as MP for Bewdley from 1761 to 1774.

¹⁴ WAAS: BA 4600/737; ref. 705:550.

¹⁵ The exact derivation and history of the name 'Rudds Bridge' has not been identified. Collett (2007, 8) indicates that the family name was present in the Forest in the early 1700s and the name is first linked to the current location in the manorial survey of 1748 (§.5.2.1).

¹⁶ The core of the extant cottages at both Worralls and Newells are essentially similar to the recorded cottage at Rudds Bridge and all three are presumably contemporary.

¹⁷ WAAS: Digital copy on CD S760-39.

¹⁸ The 4th Baronet and great-grandson of the Winnington of the 1785 survey, b.1811; d.1872, High Sheriff of Worcs. (1851-2); MP for Bewdley (1837-47 and 1852-68).

and a rateable value of £0 7s. 10d. Palmer is also shown to have been in occupation of a number of other plots to a total area of 4A 0R 18P (c.1.6 ha), a very basic smallholding unit, summarised in tabulated form overleaf and shown in Figure 4a:

No.	Owner	Occupier	Description	State of Cultivation	Area		
					A	R	P
1015	Sir TE Winnington	George Palmer	Part of orchard	Pasture	---	---	38
1016	George Palmer	George Palmer	Part of orchard	Pasture & Arable	2	2	30
1017	George Palmer	George Palmer	Raily Piece, house and garden	Arable	1	1	29
1018	Sir TE Winnington	George Palmer	House, Garden and Banky Piece	---	1	---	12
1019	Sir TE Winnington	George Palmer	Part of The Rough	---	2	2	37
1020	Sir TE Winnington	George Palmer	Clover Piece and part of The Rough	---	3	1	36
1021	Sir TE Winnington	George Palmer	Davis's Piece	Arable	1	3	13
1022	Sir TE Winnington	George Palmer	Stoney Piece	Arable	2	2	23

Table 4:

Relevant extracts from apportionment accompanying Rock parish tithe map of 1845 (see Figure 7).

- 5.4.3 The cottage itself, together with its associated outbuildings, is shown rather schematically to have occupied a rectangular ground plan aligned approximately east-west, with the in-line annexes being slightly narrower than the main range. The extended, rectangular plan form of the main range may imply that the adjoining stable/cowhouse to the west of the cottage (see §.6.3) was in place before the northwards extension of the domestic accommodation and thus may form part of the original arrangements (see discussion at §.7).

Sale of Crown Lands, 1870¹⁹

- 5.4.4 A plan accompanying particulars for the 'Sale of Crown Lands at Bewdley, Worcestershire' by auction at Bewdley Town Hall on 30th June and 1st July 1870 (Figure 5)²⁰ again confirms that the lands of Rudds Bridge lay outside of the Crown Estate, being annotated as in the hands of the 'Late John Palmer' and not forming part of the extensive lands for sale in lots. The depiction of Rudds Bridge cottage on the map is again essentially schematic, though it reflects fairly closely the depiction on the previous tithe survey and accords with the extant buildings. Of some interest is the description in the accompanying particulars of the Newalls, a house which can be shown to be of broadly similar layout to Rudds Bridge: 'No. 437: Stone and Tiled House, containing Living Room, Dairy, Cellar and Two Bedrooms, with Cow House, Barn, and Brew House, Garden and Orchard' tenanted by one E Green. The small building to the north of Rudds Bridge, adjacent to the Dowles Brook and visible on the earlier 1845 and 1785 surveys, is described as 'No. 435; Stone and Thatched Cottage and Close at Budd's Bridge' tenanted by one J Palmer. The single greatest development since the time of the previous tithe survey was the arrival of the Tenbury and Bewdley line of the GWR railway (**WSM 15050**) which had opened to passengers in 1864, with its associated Wyre Forest station (**WSM 15121**) at nearby Station Road (see Figure 2 and **Appendix E**).

Ordnance Survey Mapping, 1885-1940

- 5.4.5 The first edition Ordnance Survey County Series 1:2500 map of 1885 (Figure 6) shows Rudds Bridge amid a number of fields laid to orchard and provides the first depiction of the cottage in sufficient detail to allow observations and judgements as to the development of the buildings themselves. It is clear that the cottage and attached outbuildings (stables/cowhouse, pig sty/fowl house to the west, attached brew/wash-house and stores to the east) had essentially developed to their present form by this date. West of Rudds Bridge, 'Goodmoor Lodge' had been newly erected on a modest 'cross' plan; the Betts family (precious metals refiners based in Birmingham) are recorded at Goodmoor as early as the 1880s and are assumed to have acquired the land in the 1870 Crown sale (see fn.19). To the south, the Bewdley and Tenbury line railway of 1864 is shown in more detail; aligned east-west and embanked as it crosses the narrow valley of the Hope

¹⁹ It is understood that a large amount of the Crown property was purchased at this time by the Betts family of Goodmoor Lodge.

²⁰ Copy of original document held by Mr Charles Purcell of the Bewdley Historical Research Group.

Brook, the line crosses the Rudds Bridge access track by means of an overbridge (the embanked line of the former track survives to the present day though the stone abutments of the bridge have been dismantled). The small thatched cottage formerly lying to the north adjacent to Dowles Brook, indicated on earlier surveys and schedules, had been removed by this date.

- 5.4.6 The second edition Ordnance Survey map of 1904 (Figure 7) again illustrates the core of Rudds Bridge as extant today while a small square structure and fenced enclosure are shown immediately south-west of the cottage, of which no trace survives. Further afield, Goodmoor Lodge had been significantly enlarged and renamed as 'Goodmoor Grange' with associated woodland gardens. The 1927 edition (Figure 8) depicts little fundamental change; the small, square structure of the 1904 survey was apparently short-lived and had been removed while a new shed, rectangular in plan, had been erected to the east, flanking the trackway; this survives, comprising a rudimentary structure constructed largely of railway sleepers (Plate 42).

5.5 Historical Census Data²¹

- 5.5.1 Given the isolated location of the cottage and the non-specific references within early census returns, where properties within the Far Forest are listed simply as 'Forest', it is difficult to trace the historical occupation of particular properties with any degree of certainty, a problem exacerbated by the prominence of certain repeated family names. The 1841 return for Ribbesford Parish (District 7), however, records one George Palmer, a labourer aged 75, living with his wife Mary (77), one Edward Palmer (a farmer aged 35, presumably his son), daughter-in-law Maria (also 35) and five grand-children (?John, 15; Emma, 11; Elizabeth, 9; Daniel, 3 and William, 2); it is tempting to relate this to the occupancy recorded in the Tithe survey of 1845 (see §.5.4.2 above).

5.6 Family History

- 5.6.1 It is understood that Rudds Bridge cottage has been in the ownership of the current occupant's and applicants family (*viz.* Gatehouse née Doolittle) for four generations (J Barratt *pers. comm.*), reasonably since the later years of the 19th century and possibly as far back as the Crown Estates Sale of 1870. Indeed, a William Doolittle (farmer) aged 27, together with his wife Ann, three sons and one servant are recorded in Far Forest in the 1871 census²² though, as stated above, it is not possible to relate the entry to any specific locality or property. By 1881, Doolittle (listed as a 'farmer of 50 acres') had moved to 'Worralls', while the same return lists one George Palmer, farmer (aged 55) at 'Budds Bridge'.²³
- 5.6.2 Since around the 1950s, the property has been subject to a single, long-term tenancy during which time only limited upgrading of the property has been effected such that, when assessed with comparable properties within and around the Wyre Forest area, Rudds Bridge is notable in being relatively 'unimproved'.

6 BUILDING DESCRIPTION

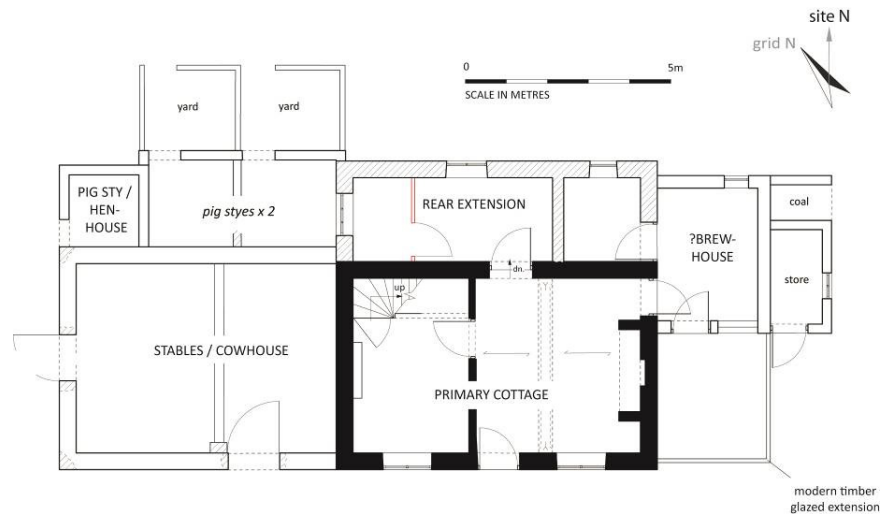
6.1 Overview

- 6.1.1 The recorded structure (Figures 9 and 10; Plates 1 and 2) comprises a primary domestic 'core', approximately square in plan, stone-built of two storeys beneath a tile-clad, asymmetrically-pitched roof, gabled to east and west. The principal axis of the building is aligned approximately south-east to north-west; this will be simplified for the purposes of the following description such that the principal façade of the cottage will be assumed to face to the south (see inset plan overleaf).

²¹ Accessed via www.ancestry.co.uk.

²² Ribbesford Parish, Enumeration District 7.

²³ Rock Parish, Enumeration District 7a.



Plan of Rudds Bridge cottage illustrating the principal elements described in text.

- 6.1.2 The development of the core building is somewhat unclear though it would appear to have evolved over two discrete phases, with an original single-depth plan dating to the mid-18th century, extended to the rear (north) by the mid-19th century at the latest. Further extensions and additions about the gable ends of the cottage including stable/cowhouse, fowl house, pig sties, brew/wash-house and coal/wood store, all effectively in place by the time of the first edition Ordnance Survey map in 1885 (see above). The domestic core, western and eastern extensions will be described in turn.

6.2 The Primary Cottage with Rear Extension

Exterior

- 6.2.1 The core of the cottage is stone-built in locally sourced sandstone rubble, roughly dressed and laid to courses. The front, **south elevation** (Figure 11; Plate 3) rises c.4.05m/13ft to eaves level, beneath a pitched, tile-clad roof, gabled to east and west; a twin flue stack rises above the eastern gable, a single-flue stack to the east, both brick and flush to the wall. The eaves level is defined by a three-course projecting band with central dog-tooth course (Plate 4). A date plaque hard beneath the eaves band at the centre of the elevation (Plate 5) records the date '1854' together with the initials 'J.M.P.', presumably John Palmer, son of George (see §.5.4-5 above).²⁴ A central ground floor doorway (Plate 6), opening onto the main living room, is flanked to east and west by symmetrically opposed window openings (Plate 7), all with segmental heads of brick headers (the lower course laid on its short edge, the upper on its long edge); windows and door are all modern replacements. First floor windows are located vertically above the ground floor openings, interrupting the brick eaves band with flat heads formed of the timber wall plate; the western window retains a two-light iron casement with single, pin-hung opening light and stay rod within a pegged wooden frame (Plate 8), that to the east is, again, a modern replacement. Two tie-rod end-plates are evident at first floor level, to the east and west ends of the elevation (Plate 9).
- 6.2.2 The rear, **north elevation** (Figure 12; Plate 10), again in stone rubble though less regular than the south front, is lower, rising 3.4m/11ft through 1½ storeys to eaves level which is again defined by a three-course brick band, here with a simpler central course of plain dentilation (Plate 11). A narrow ground floor window to the

²⁴ The date plaque clearly does not relate to the first building of the cottage and thus reasonably commemorates a phase of rebuilding and extension (see §.7.2.4 below).

east appears primary, with segmental brick arch of a single header-course (Plate 12) while a larger window to the west, with brick jambs, flat head and sloping tile cill (Plate 13) is clearly inserted.

- 6.2.3 The **western elevation** (Figure 13a; Plate 14) presents an asymmetrical gable end in roughly course sandstone rubble, with a longer roofslope and lower eaves to the north side; the lower part of the elevation is masked by the abutting stable/cowhouse and pig sties. The single-flue gable stack is lined in brick, rising vertically to the lower wall but diverting markedly to the north above the level of the southern eaves line to the ridge. A clear, vertical ragged joint off centre to the north side of the elevation (reflected to the east, Plate 15) reasonably marks the extent of a phase of rebuilding and northward extension of the cottage, perhaps related to the date plaque of the front elevation. The northern extension is lit by a single-light, pin-hung opening casement similar to the upper two-light casement of the south front. A 'ghost' of a former pitched roof presumably relates to an earlier, higher stable/cowhouse range (see below).
- 6.2.4 The **eastern elevation** (Figure 13b; Plate 15) presents a mirror image of the western gable, previously described, with brick-lined flue (deviating to north above southern eaves level), off-centre ragged joint and single-light casement lighting the northern extension. The brick ridge stack is here of two-flue form serving internal fireplaces at both ground and first floor levels. The elevation is partly masked at ground floor level by the single-storey brew/wash-house extension and modern, makeshift 'conservatory'.

Interior

- 6.2.5 At **ground floor** level (Figure 9), the central door of the south elevation opens onto the principal living room [G.01] (Plate 16), occupying the eastern part of the cottage plan. The room measures 4.1m/13ft square, the ceiling spanned by a single transverse beam, plain chamfered (1½in.) and ogee-stopped (Plate 17), arguably confirming an early origin. The room is lit by a single window at the eastern end of the south wall and is heated by a wide fireplace located centrally to the east wall (Plate 18), the latter with brick jambs retaining evidence for two successive phases of historical reduction (Plate 19), subsequently removed. Plain plank and batten doors with generic, iron thumb-latches (eg. Plate 20) open to the west (onto Room [G.02]), to the north onto the rear extension [G.03-05] and to the east onto former brew/wash-house (now kitchen) [G.07]. It is notable that the north wall of [G.01] is of comparable thickness to the main exterior walls (15in.), clearly indicating that the original cottage plan was of a single-room depth only.
- 6.2.6 Room [G.02] (Plate 20) to the west is smaller (2.75 x 3.2m/9 x 10½ft), lit again by a window within the south wall only and heated by a fireplace within the western gable end, furnished with a simple (?) 1950s tiled surround in beige/brown with single-dropped shoulders. At the west end of the north wall, a simple plank and batten door opens onto a straight-flight stair, rising from west to east with ¼- turn winders to the bottom (Plate 21).
- 6.2.7 To the north side of the cottage, a secondary extension comprises two primary rooms, [G.03/04] to the west and [G.05] to the east, the former having been subdivided in the 1950s(?) by the introduction of an ephemeral stud partition with four-panel connecting door (Plate 25). Bathroom [G.03] is lit by an inserted steel-framed casement, while store [G.04] retains an early three-light timber window (Plate 26) with timber lintel and slightly splayed reveals, primary to the extension though now covered over externally. Secondary conversion has resulted in the rooms retaining little fabric of historical significance to indicate its original function though it may have formerly been used as a dairy (a feature included in a 19th-century description of the similar and broadly contemporary structure at Worralls Farm).
- 6.2.8 The ground floor surfaces would appear to have been renewed by concrete slabs throughout and, in this context, it may be of interest that the descriptions of the broadly similar structures at Worrall's Farm and Newalls in the 1870 sale descriptions (see §.5.4.4) both include a cellar.²⁵

²⁵

Building work related to the proposed conversion may have some potential to expose evidence establishing whether Rudds Bridge was also originally furnished with a cellar.

6.2.9 The **first floor** (Figure 10) is reached by means of the stair rising from [G.02] (Plates 22/3) which ascends to a small landing [F.01]. Principal bedroom [F.02] (Plate 27) is located to the east, occupying the same floor plan as living room [G.01] immediately below; it is lit by a single window in the south wall and was originally heated by a fireplace within the east wall (now blocked). Subsidiary bedroom [F.03], unheated and lit by a single window in the south wall, occupies the south-west corner of the cottage plan, being defined to the north by an inserted partition of vertical planking. The evidence of the upper handrail flanking the south side of the stairwell (Plate 23), which displays redundant sockets for regularly spaced stick balusters, suggests that unusually [F.03] was formerly unenclosed on this side.

6.2.10 The secondary extension to the north is occupied by two narrow, unheated rooms [F.04/05] (Plates 29/30), accessed directly from landing [F.01] via a single (5in.) step down; each room is lit by a single light, pin-hung casement window within the gable walls.

6.3 The Western Extensions (stable/cowhouse, pigsties etc.)

6.3.1 Abutting the western gable end of the domestic core is a single-storey **cowhouse/stable** range [G.06] (Plates 31/2) measuring 6.6m/21½ft (E/W) x 5.35m/17½ft (N/S), again of stone-rubble construction beneath a gently sloping roof and with red-brick detailing. The upper part of the south wall appears to be rebuilt and/or raised, evident in particular in the brickwork of the south-east angle, implying an historical phase of modification more clearly evidenced elsewhere. A single, wide doorway with double-header segmental arch (as per windows of core, south elevation) is located off-centre towards the east of the south elevation while a further doorway of similar detailing (though slightly narrower) opens at the centre of the west elevation (Plate 33).²⁶ Relic brick jambs above the latter doorway indicate a former upper level opening which, in conjunction with the evidence of the 'ghost' of a former roofline on the western gable of the domestic core (§.6.2.3; Plate 14), indicate that the cowhouse/barn was formerly furnished with a taller profile and pitched roof. The north elevation is mostly obscured by later accretions, though a dog-tooth eaves band is visible (Plate 36) indicating original eaves height. Internally, the range is floored in brick pavements, in parts obscured by secondary concrete slabs, and is divided into two parts by a roughly constructed, low transverse wall of stone and brick construction (Plate 35); a substantial tie beam, supported to the south on an inserted pier of brick, is all that survives of any original roof structure. The south wall has clearly been raised in brick, a modification related to the replacement of the pitched roof, while it was also noted that the stonework of the western gable end of the domestic core, here exposed, was less well finished than within the exposed sections, possibly implying contemporaneity (also suggested by historic mapping – see §.5.4).

6.3.2 Appended to the west end of the north wall of the cowhouse/stables is a small, stone-built structure [G.10] 1.9m x 2.15m (6ft 3in. x 7ft) in plan, beneath a mono-pitched, tile-clad roof with a single, low doorway to the west, originally a **pig sty**. Historical Ordnance Survey mapping (Figures 6-8) indicates what is assumed to be a former walled 'outlet' yard to the east of the sty; a small upper opening with brick jambs may represent a hen-hole for a former **hen-house** over (nothing survives internally to prove/disprove such an assertion).

6.3.3 Two very plain, 20th-century **pigsties** [G.11], brick-built and roofed in corrugated iron sheets, occupy the space between the early pigsty/hen-house described above and the north-west angle of the domestic 'core' of the cottage (Plate 37), the introduction of which necessitated the covering over of the three-light window formerly lighting [G.04] within the northern extension. The brick outlet wall of the eastern sty has partially collapsed.

6.4 The Eastern Extensions (brew/wash-house, stores etc.)

6.4.1 Abutting the eastern gable end of the domestic core, and clearly overlapping the junction of the primary and extended cottage plan (and thus contemporary/post-dating the latter) are two early in-line extensions to the north and a makeshift 'conservatory' structure to the south (Plate 38). The earliest element is kitchen [G.07],

²⁶

A millstone incorporated into a cobbled pathway against the west elevation of the cowhouse/stables (Plate 34) presumably originates from one of a number of mills formerly ranged along the banks of the Dowles Brook (see Booth 2010).

presumably an original **brew-/wash-house**, stone-built of a single storey with tile-clad pitched roof, gabled to the east with a single-flue ridge stack. It is accessed from living room [G.01] via a doorway inserted to the north of the fireplace, and from the exterior to the south (doorway now opening onto conservatory). Internally, [G.07] is open to the roof and retains little fabric of historical significance – any original fixtures having been removed for the introduction of the present kitchen fittings; against the east wall, a Rayburn stove vents via the original brick ridge-stack (Plate 40). Eastwards again, two stores [G.08/09] are accessible only from the exterior (Plates 39/41). The block is for the most part of brick construction, with a pitched roof approximating the ridge line of kitchen [G.07], gabled to the east. That section of wall to the south of the door serving [G.09] however, along with the return wall forming the southern side of the latter store, are of stone rubble construction (Plate 41) and it is clear that the extant structure incorporates the fabric of an earlier, smaller core.

- 6.4.2 The makeshift 'conservatory', erected in recent years, occupies the angle between the eastern extensions and the east gable of the domestic core (Plate 38).

7 DISCUSSION AND CONCLUSION

7.1 Overview

- 7.1.1 It is probable that the site of Rudds Bridge originated as informal encroachment onto estate lands, gradually being formalised through a process of copyhold tenancy and eventual transfer to freehold tenure via enfranchisement in the early 19th century. A total of four principal phases of development of the cottage itself have been identified during the current study (see Figure 14). The origins of the cottage remain somewhat obscure, though it would seem that a structure of some form existed as early as the early-mid 18th century (Phase I), being extended in the mid-19th century (Phase II; 1854) and having essentially attained its current form by the time of the 1st Edition Ordnance Survey map of 1885 (Phase III). The similarity of the core cottage with nearby structures at Worrals Farm and Newalls is notable and suggestive of a wider, planned phase of development, though it has not been possible to establish an historical context for such a programme of work (Collett, *pers. comm.*). Additions and major interventions during the course of the 20th-century (Phase IV) have been relatively limited in nature, though primary fixtures and fittings do not survive to any significant degree.

7.2 Interpretation and Development

PHASE I: Primary Cottage; (?)mid-18th century

- 7.2.1 Though ultimately inconclusive, historical research suggests that there may have been a structure of some form on the site of the extant Rudds Bridge since at least the mid-18th century, possibly as far back as the 1720s, and that it was being referred to even at this early date as 'Rudds Cottage'. The form and extent of the primary structure remains somewhat unclear, however, having been obscured to an extent by subsequent phases of enlargement and modification. The early core would appear to be the southern part of the domestic cottage, occupying a simple, two-room plan with a large living room/kitchen [G.01] to the east and smaller parlour [G.02] to the west. It is assumed that the original building was of two storeys, with storage and sleeping accommodation over, though it is apparent that the upper storey and roof line would have been altered significantly at the time of the northwards extension of the house (Phase II, below). Such a layout conforms to a standard local pattern identified by Collett (2007, 48) who notes that '*the majority of the cottages.. (in Rock) ..were of a basic functional design consisting of just four rooms, two up and two down, with a single central door and a small window in each room, all at the front of the building*'.²⁷ Similar layouts are evident in the immediate vicinity at both Worrall's Farm and at Newalls, the latter of which retains its original single-room depth.

²⁷

Single-storey, one room cottages are also known, with raised sleeping platforms to one end somewhat in the manner of the Welsh 'croglot' (see William 2010, 71-3), as are paired one-up/one-down cottages (see Collett 2007, 50).

- 7.2.2 Little demonstrably primary diagnostic fabric survives, a notable exception being the chamfered and ogee stopped ceiling beam within [G.01] (Plate 17) which would reasonably support a date in the early-mid 18th century for the construction of the original cottage. Many fixtures and fittings have been renewed and where extant details such as plank and batten doors and associated iron furniture have survived, they are generic in form and difficult to date with any degree of accuracy. A number of the upright 'Norfolk'²⁸ thumb-latches of 19th-century form were noted throughout the building, though their use in secondary contexts indicates they most probably relate to a phase of upgrading.

PHASE Ib/II: (?)cowhouse/stable; mid-late 18th century

- 7.2.3 It appears possible that the western cowhouse/stable range, originally taller with a pitched roof, was contemporary with the primary cottage, an arrangement suggested by the extended, narrow plan of early depictions (see 1845 tithe survey) and by the quality of stonework exposed in the western gable of the core. The evidence of the physical fabric is somewhat ambiguous, however. Certainly, the dog-tooth eaves band of the north elevation matches that of the southern façade of the cottage and not the northern extension, where a plainer, dentilated band is used, although the use of red brick in quoins/openings in the cowhouse/stable and the apparent misalignment of the northern walls of the two elements²⁹ suggests they may not be contemporary, or at least that the latter has been modified historically. Alternatively, the cowhouse/stable may date to Phase II, erected contemporary with, or subsequent to, the northern extension of the domestic core.

PHASE II: Northern extension; mid-19th century, probably 1854

- 7.2.4 The first major alteration to the form of the cottage appears to have been the northwards extension of the domestic core by the addition of two additional rooms at ground and first floor level, the phase- break being clearly indicated externally by the vertical ragged joints evident within the eastern and western gable ends. It is clear that the upper storey and roof-line of the cottage would have had to be modified to accommodate this northern extension, resulting in the extant, asymmetrical profile and this would account for the distinct northward 'kink' above eaves level in the brick-lined flues serving eastern and western ridge stacks. The stone plaque set high in the southern front records the date of 1854 and the initials 'JMP' (presumably John Palmer, see §.5); it is clear that this inscription does not relate to the original construction of the cottage (see above) and it must be assumed that it therefore commemorates a significant phase of modification, and is may reasonably be argued that this relates the northward extension of the cottage core.³⁰ As noted above (§.6.2.7), the original function of the extension is not clear, though reference to 19th-century descriptions of similar properties and its physical proximity to the early pig sty may suggest and original dairy use.

PHASE IIIa/b: Eastern extensions: brew-/wash-house and coal/log store; post-1854, pre-1885

- 7.2.5 At the eastern gable end of the domestic core of the cottage, a series of structures (kitchen [G.07] and wood/coal stores [G.08/09]) clearly post-date the northern extension of the cottage itself, which kitchen [G.07] clearly abuts to the east. All elements were clearly in place by the first edition Ordnance Survey map of 1885, however, and so all have here been included within a single, late 19th-century development phase. The earlier element (Phase IIIa) comprises kitchen [G.07], a single-storey stone-built structure with single-flue stack rising above the eastern gable; as elsewhere, little original fabric survives to indicate primary function, though an original brew-/wash-house seems likely. Eastwards again from [G.07], a pair of small rooms [G.08/09], accessible only from the exterior only, abut [G.07] in a clear straight joint and are thus, in their

²⁸ ie. with upright handle applied to back plate; a single 'Suffolk' latch (where the handle is applied directly to the door) survives at [G.07/05], of earlier form and possibly early 19th-century in date.

²⁹ The north wall of the cowhouse/stable abuts the cottage just north of the north-west angle of the primary core.

³⁰ An identical phase of extension can be seen at Worrall's Farm on Station Road (WSM53773) where a corresponding stone plaque within the front elevation records the date of 1844 and the initials 'STW' (?Winnington).

current form, assigned to Phase IIIb. These are for the most part brick-built, though a stone-built core reasonably represents part of an earlier structure related to the Phase IIIa brew-/wash-house.

PHASE IV: 20th-century modifications

- 7.2.6 Modifications to the buildings during the course of the 20th century appear to have been limited. A number of doors and windows have been replaced (within original openings), partition walls introduced within the north extension at ground floor (probably in the 1950s)³¹ and to the north side of room [F.03] at first floor level. Two brick-built pig sties to the north of the cowhouse/stable block, post-date the 1927 Ordnance Survey map, while the makeshift 'conservatory' at the south-east corner represents a recent introduction.

7.3 Conclusion

- 7.3.1 The recorded cottage and outbuildings represent an interesting, though unremarkable, example of a locally recognisable and familiar functional form, common to a number of small-scale, isolated farmsteads and smallholdings in the Far Forest area. It is unfortunate that the historical record in regard to Rudds Bridge is imprecise and somewhat ambiguous, though hardly unsurprising given the relatively low status and isolated location of the buildings.
- 7.3.2 Submitted drawings for the modernisation, adaptation and extension of Rudds Bridge cottage, approved by WFDC on 14th August 2013, indicate that the proposed building, while maintaining the ground plan of the extant range, involves significant and fairly radical alterations both to the interior layout and exterior appearance of the cottage and its associated outbuildings, together having a considerable impact upon its historical character. In this context, and given the limited significance of the structures reflected in their non-designated status, the current project has allowed for an adequate visual and graphic record of the buildings to be made within an established historical context prior to commencement of work, forming in effect a 'preservation by record', in accordance with the project brief and with NPPF, and thus fulfilling condition 4 of the planning consent.

8 ACKNOWLEDGEMENTS

- 8.1 The project was commissioned by Mrs N Gatehouse of Pound Green, Far Forest, Worcestershire and has been undertaken in accordance with a brief set by Mr Mike Glyde, archaeological officer of Worcestershire County Council Archives and Archaeology Service (WAAS). Ms Tegan Cornah of WAAS undertook the standard Historic Environment Search informing Section §.4 of the current report while thanks are also extended to the staff at the Worcestershire County Archives at The Hive, Worcester.
- 8.2 Thanks to Mr And Mrs Barratt at Rudds Bridge for allowing access to their home for the purposes of recording, and to Mr John Haywood (Architect) for supplying outline survey drawings for use on site, which have also served as the base for the illustrations reproduced within this report.
- 8.3 Particular thanks are extended to Mr Charles Purcell of the Bewdley Historical Research Group and to Mr John Collett of Oak Lands District History Society, Far Forest for discussing aspects of local history based upon their own researches.
- 8.4 Documentary research and site recording were undertaken by Mr Ric Tyler MIfA who also wrote, collated and illustrated the current report.

³¹ The GF tiled fireplace surround within [G.02] is broadly contemporary.

9 SOURCES

a) Cartographic Sources (in chronological order)

- 1785 'Map of the Manor of Bewdley, 1785' (WAAS: BA4600/737 ref.705:550).
- 1845 'Tithe Map of Bewdley Parish' (WAAS: S760-39; digital copy on CD).
- 1870 'Sale of Crown Lands, Bewdley, Worcestershire' (Copy of original sales particulars held by Bewdley Historical Research Group)
- 1885 Ordnance Survey 1st Edition County Series 1:2500 map.
- 1903 Ordnance Survey 2nd Edition County Series 1:2500 map.
- 1927 Ordnance Survey 3rd Edition County Series 1:2500 map.

b) Primary Sources

Worcestershire Archives and Archaeology Service (WAAS)

BA4600/737 ref.705:550: 'Map of the Manor of Bewdley, 1785'.
S760-39 (CD): 'Tithe map of Parish of Bewdley, 1845' and accompanying apportionment

Bewdley Historical Research Group

Copy of 'Survey of the Manor of Bewdley, 1748'.
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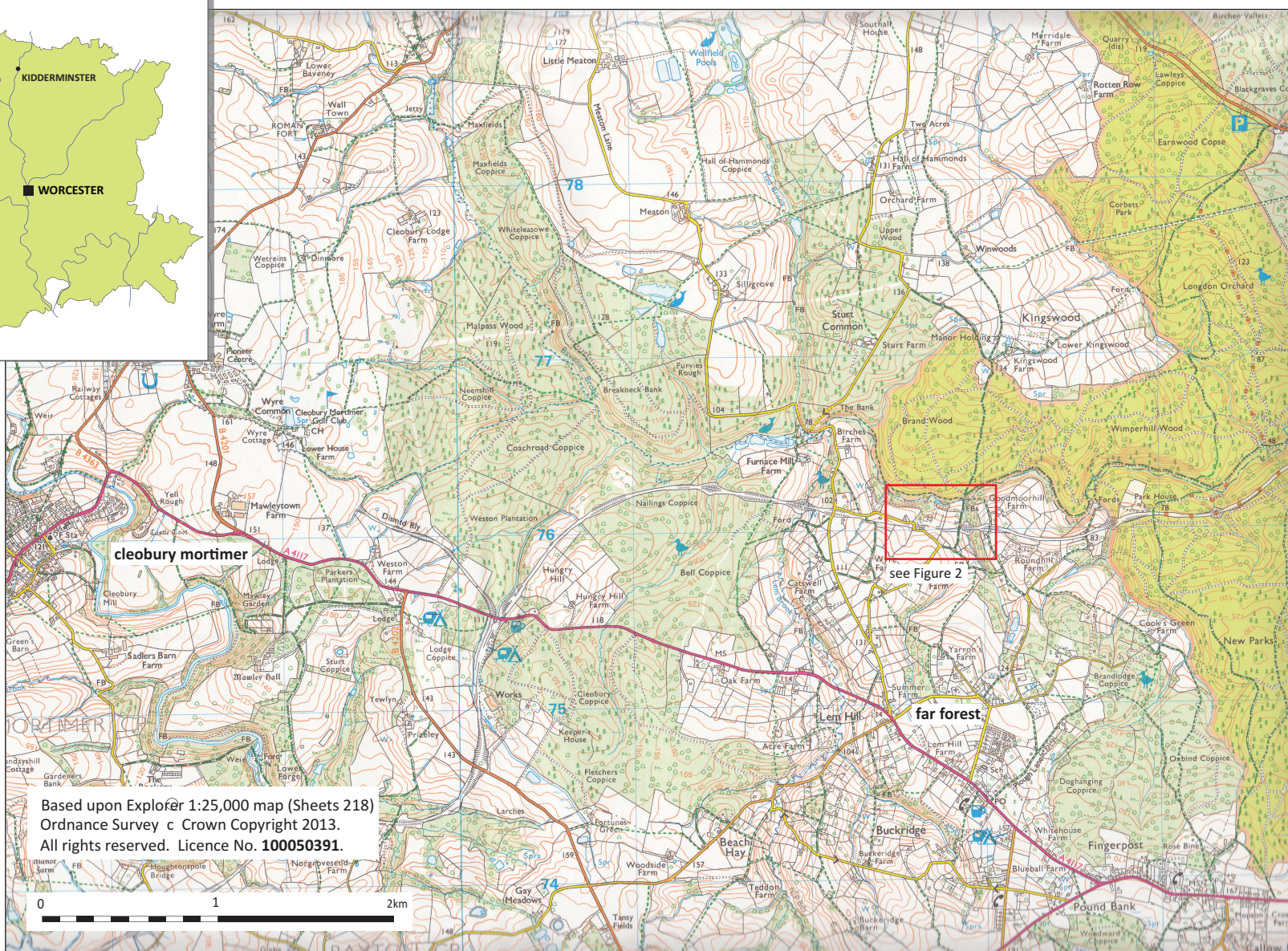
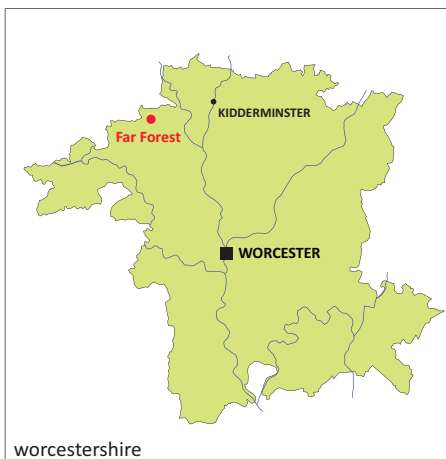
VCH, 1923. *Victoria County History of the County of Worcester*, Vol. IV. Doddingtree Hundred.

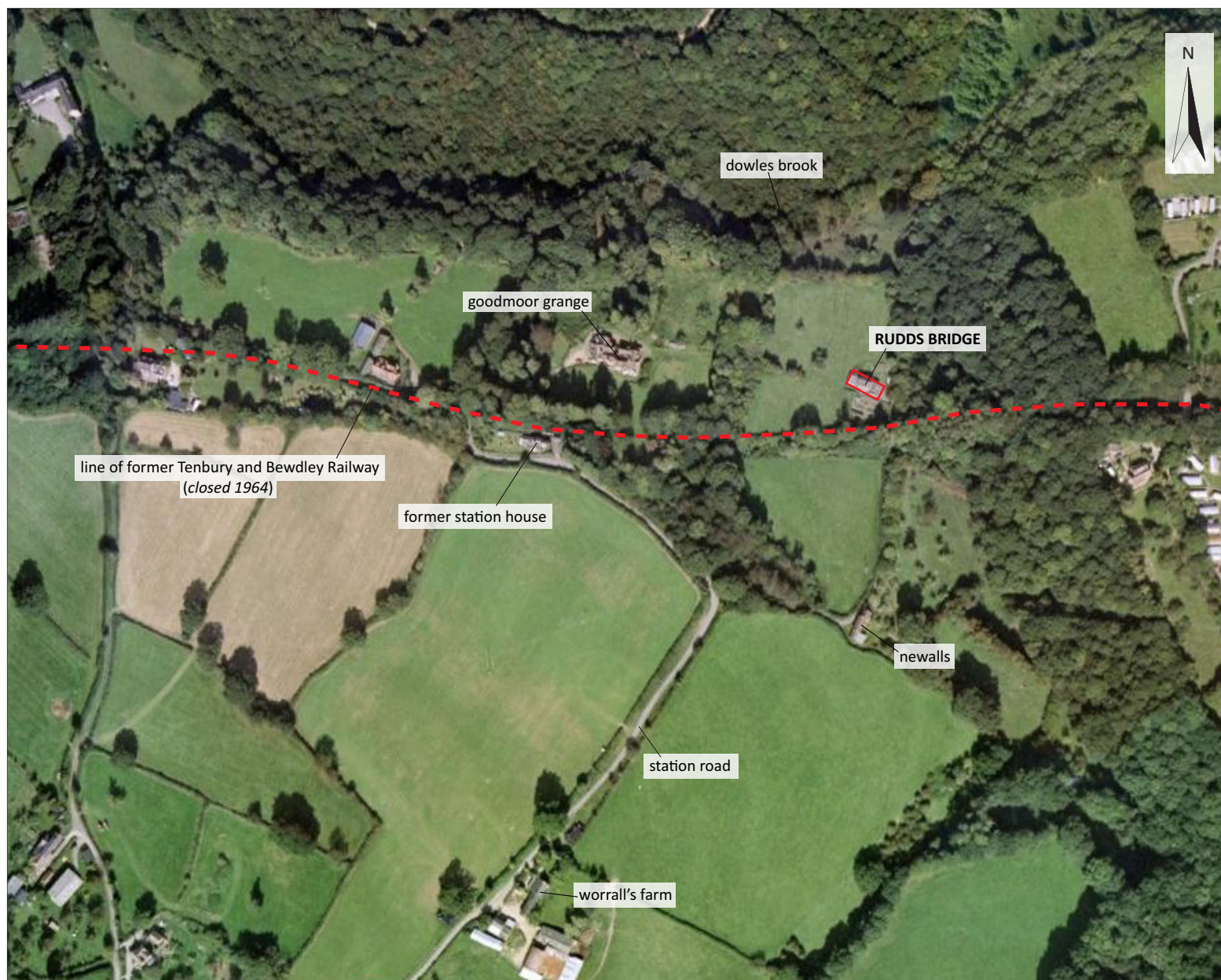
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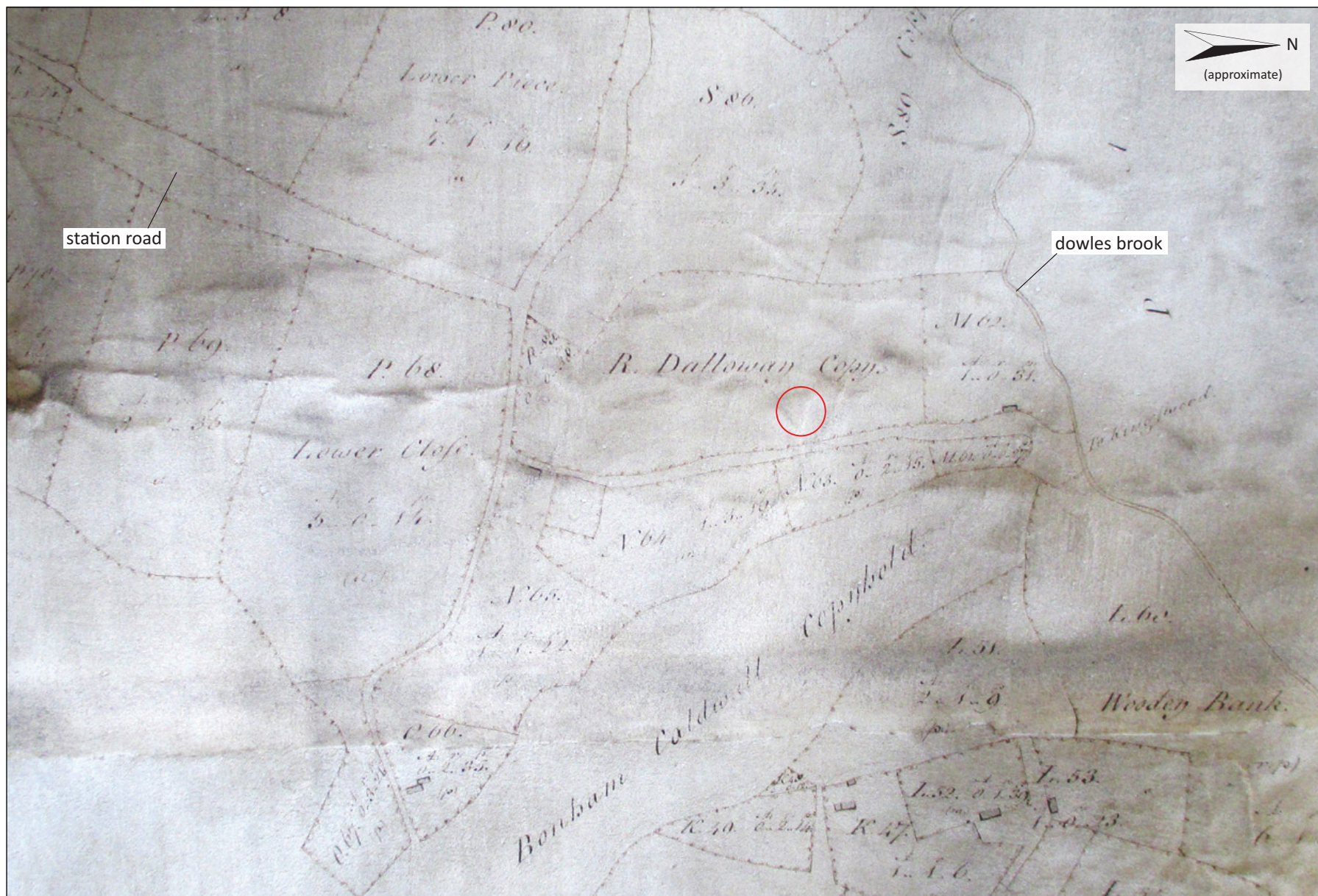
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d) On-line Sources

- www.ancestry.co.uk
- <https://www.gov.uk>
- <http://www.wyreforest.net>







WAAS BA 4600/737; ref. 705:550; unknown copyright.

○ Site of future Rudds Bridge cottage highlighted in red



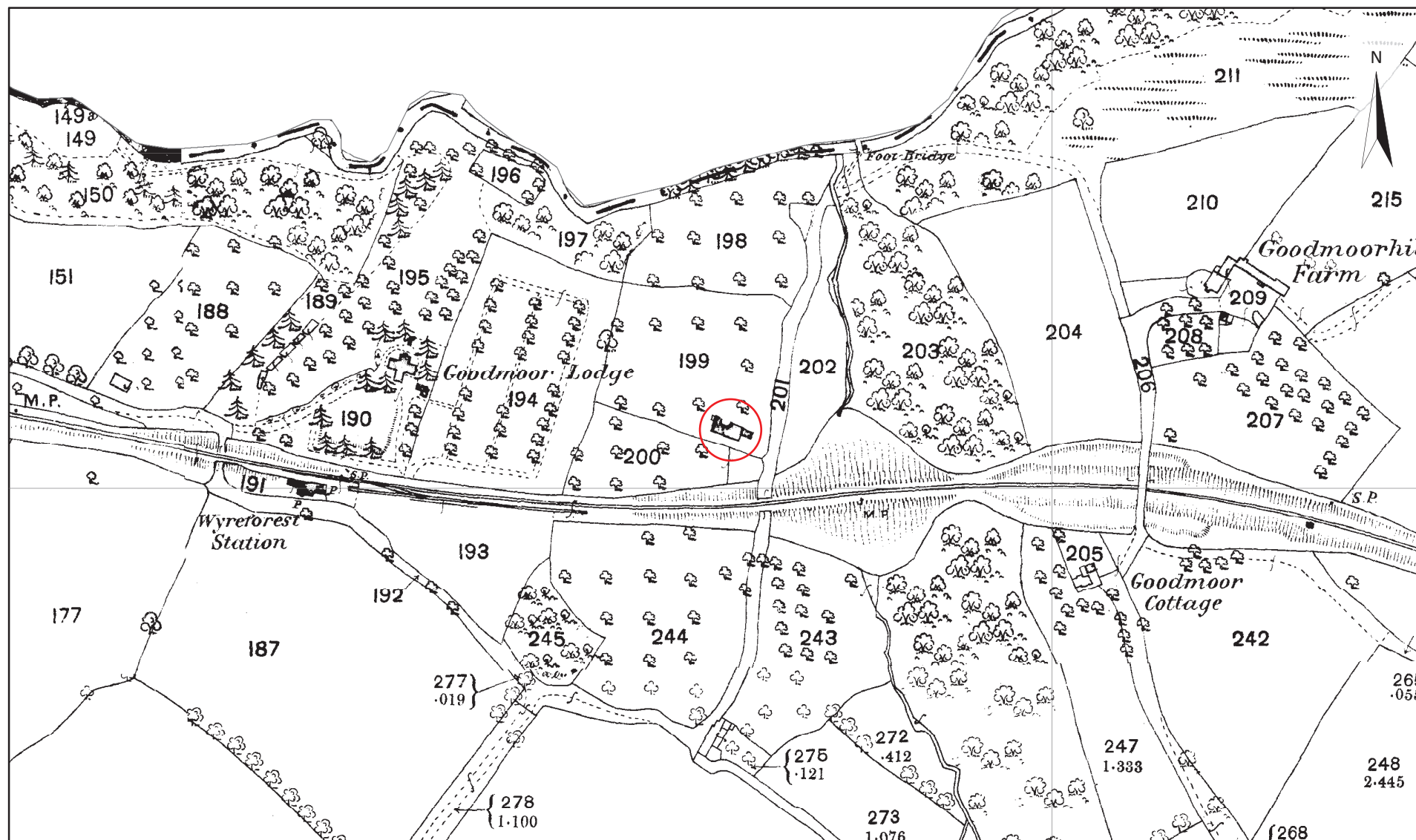
(a) Wider context showing lands farmed by George Palmer (outlined in red) totalling 4A OR 18P (c.1.6 ha); see main text §.5.2.2.



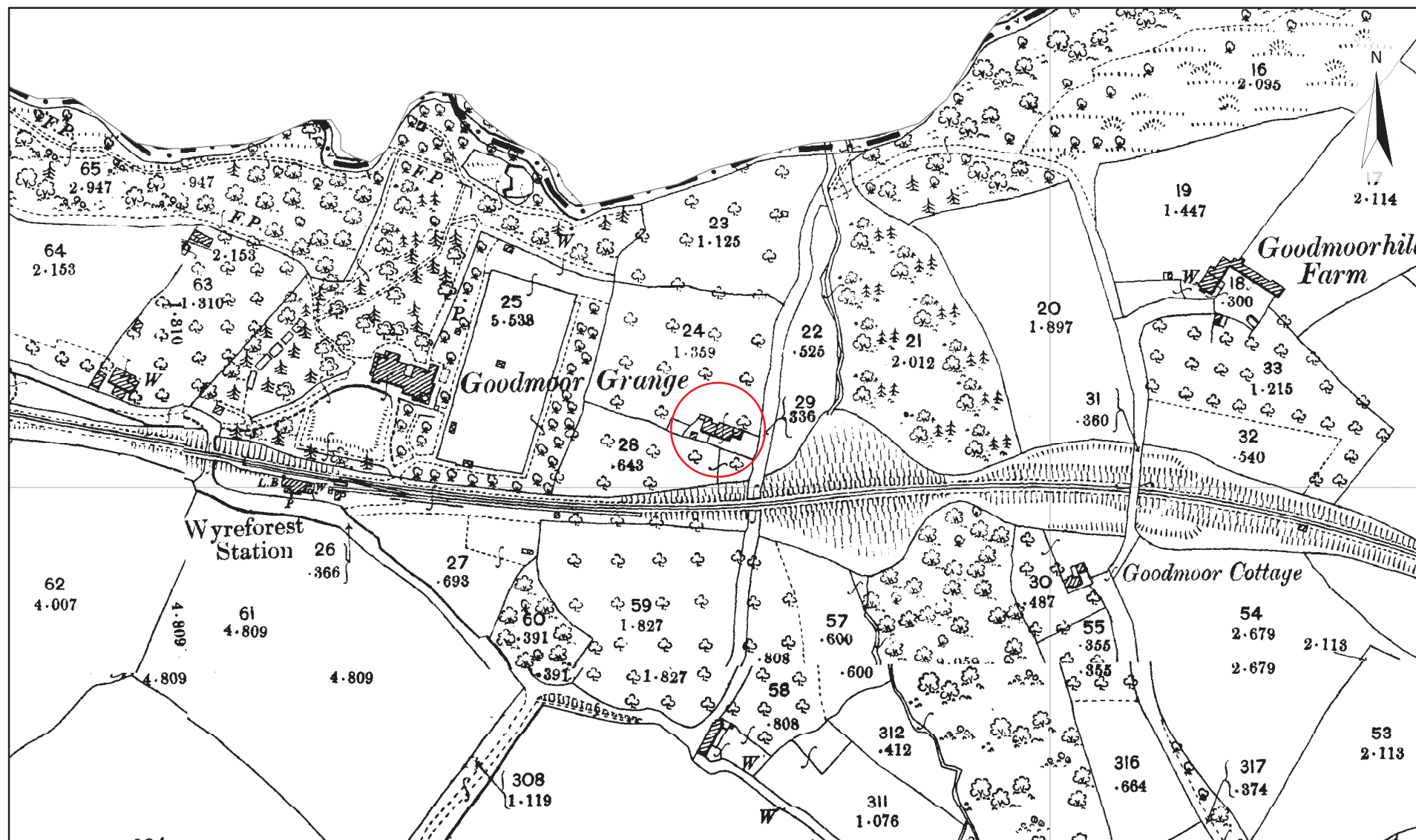
(b) Detail of parcels 1016/1017, listed in ownership of George Palmer and including Rudds Bridge cottage (highlighted)



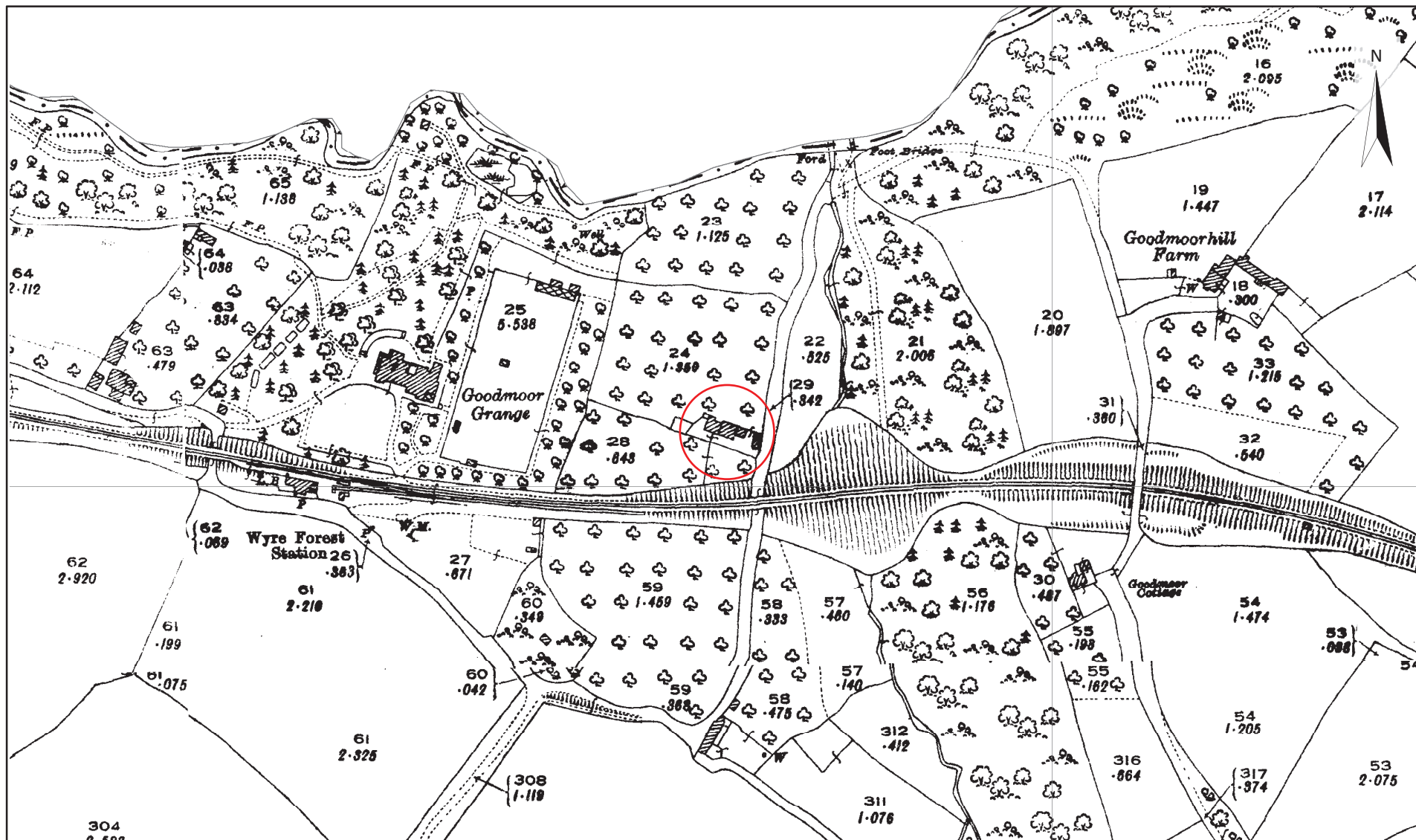
Map included with original sale particulars, copy held by Mr C Purcell of Bewdley Historical Research Group



○ Rudds Bridge highlighted in red

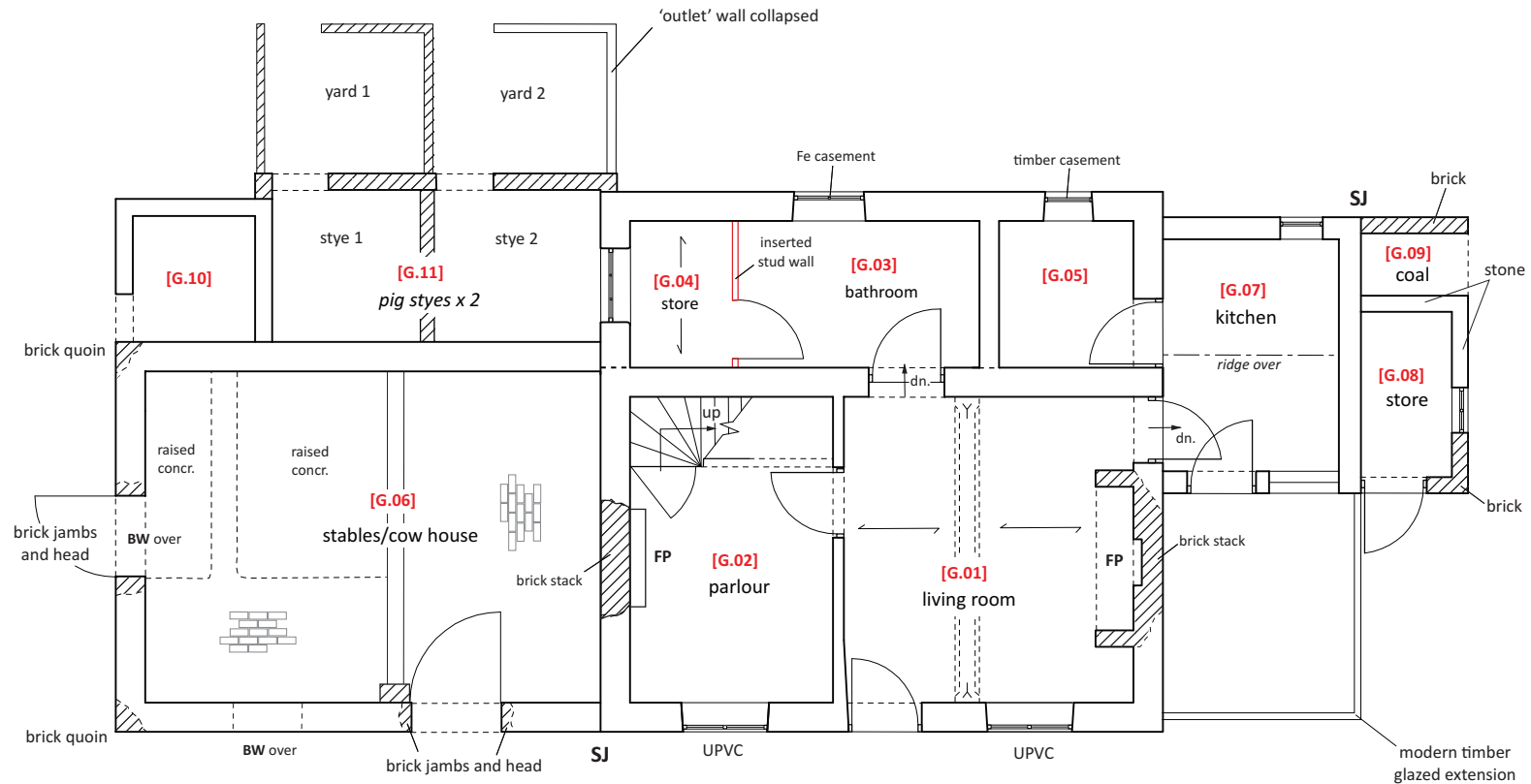


○ Rudds Bridge highlighted in red




○ Rudds Bridge highlighted in red

NB: for illustrative purposes only, do not scale from this drawing

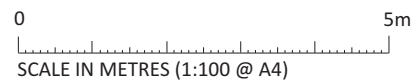


KEY

NB: masonry in coursed stone rubble except where noted

 brick

SJ straight joint



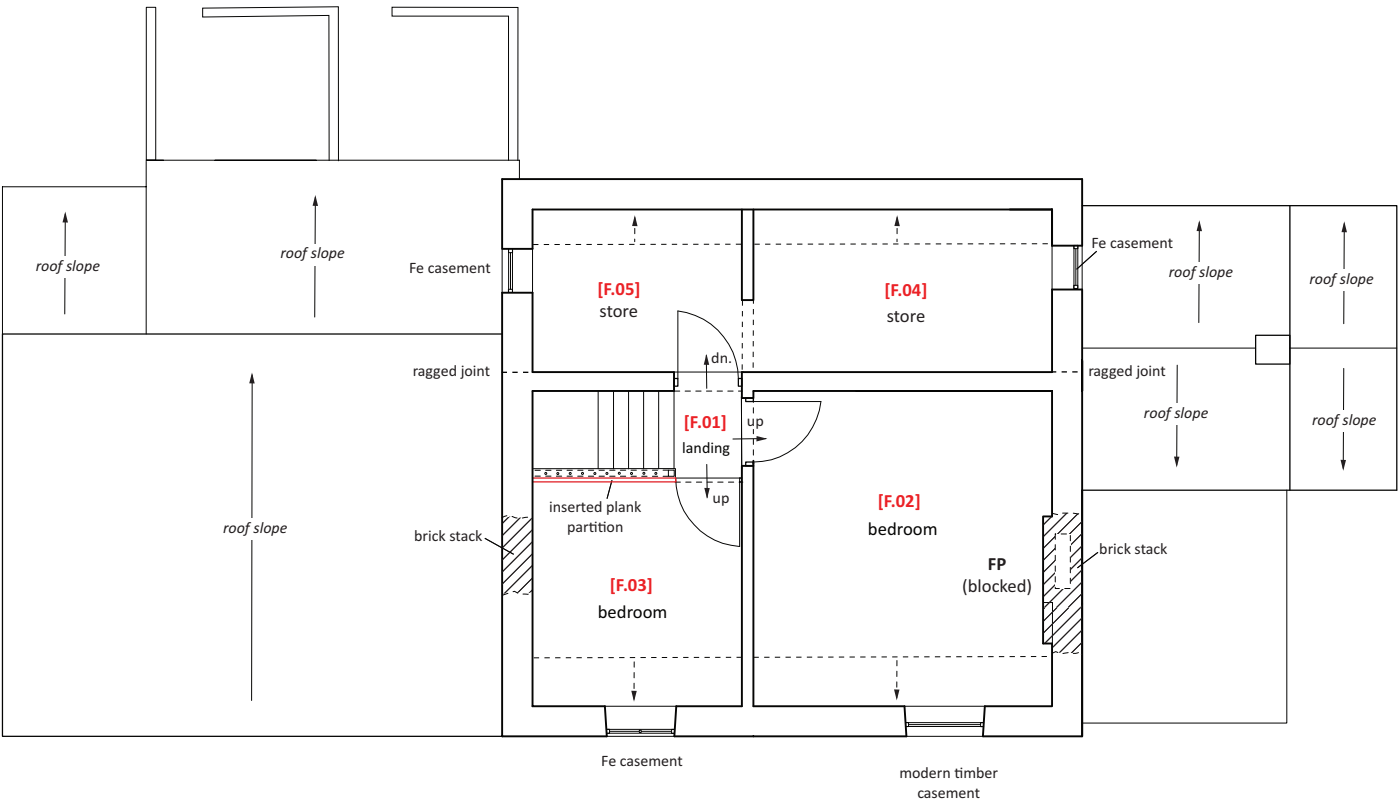
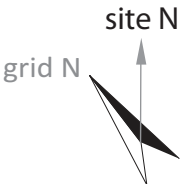
RIC TYLER
MFA PG Cert. Arch. Hist (Oxf.)

Rudds Bridge, Far Forest, Rock, Worcestershire

Figure 9: Ground floor plan

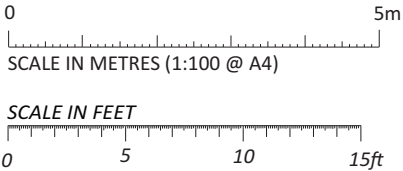
(Based upon John Haywood Drg. No.120-1, used by permission)

NB: for illustrative purposes only, do not scale from this drawing

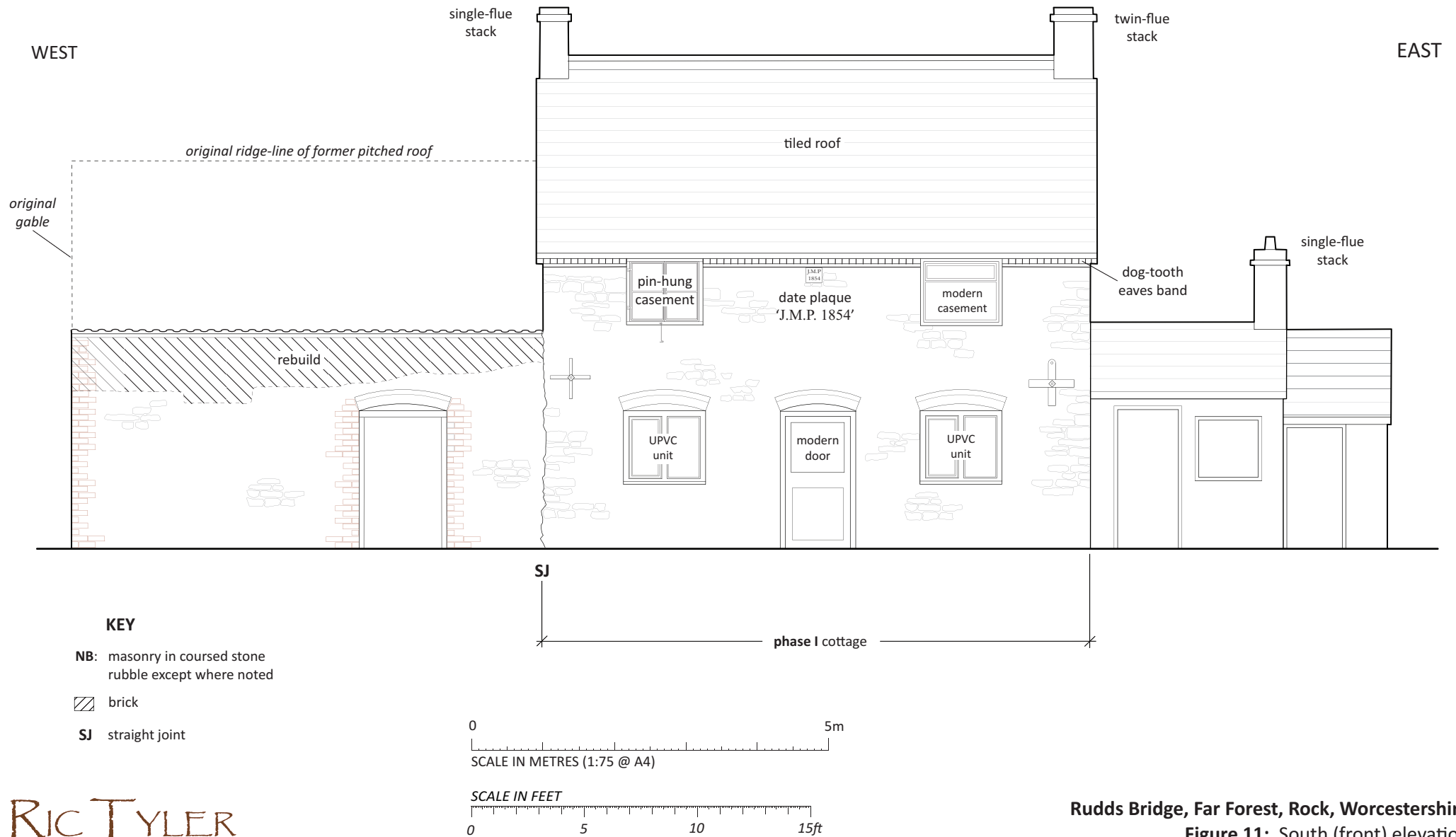


KEY

- NB: masonry in coursed stone rubble except where noted
- brick
- SJ straight joint



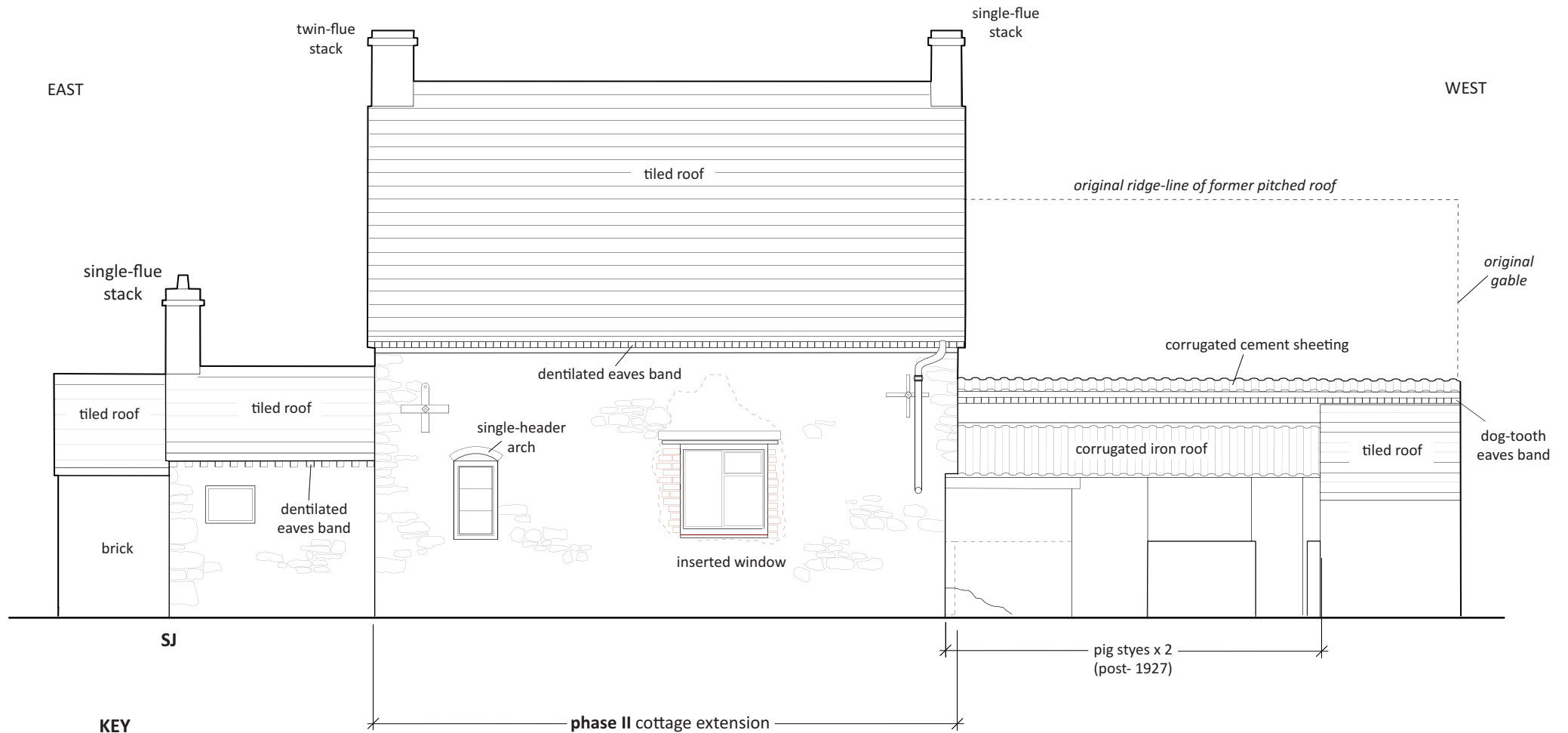
NB: for illustrative purposes only, do not scale from this drawing



RIC TYLER
MIFA PG Cert. Arch. Hist (Oxf.)


Rudds Bridge, Far Forest, Rock, Worcestershire
Figure 11: South (front) elevation
(Based upon John Haywood Drg. No.120-1, used by permission)

NB: for illustrative purposes only, do not scale from this drawing



KEY

NB: masonry in coursed stone rubble except where noted

 brick

SJ straight joint

0 5m
SCALE IN METRES (1:75 @ A4)

SCALE IN FEET

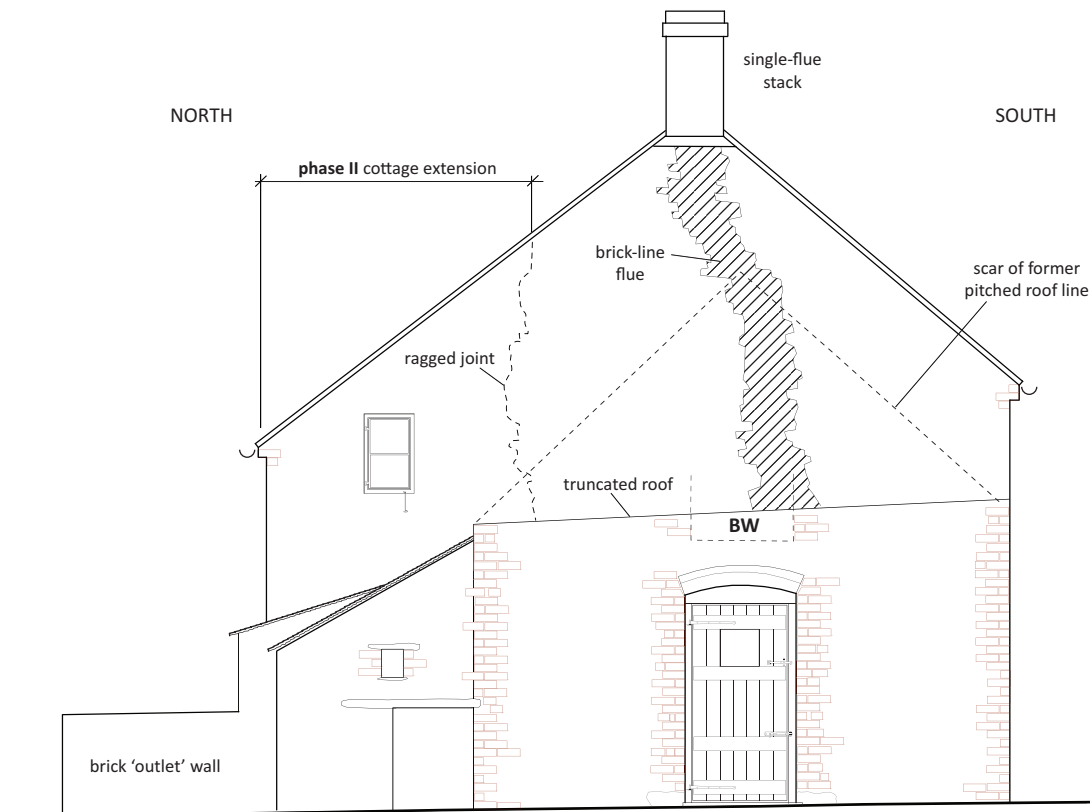
RIC TYLER
MFA PG Cert. Arch. Hist (Oxf.)

Rudds Bridge, Far Forest, Rock, Worcestershire

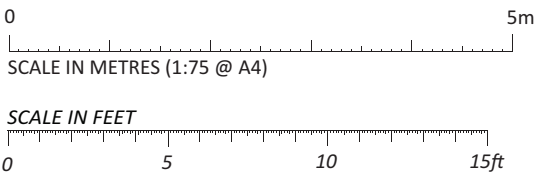
Figure 12: North (rear) elevation

(Based upon John Haywood Drg. No.120-2, used by permission)

NB: for illustrative purposes only, do not scale from this drawing

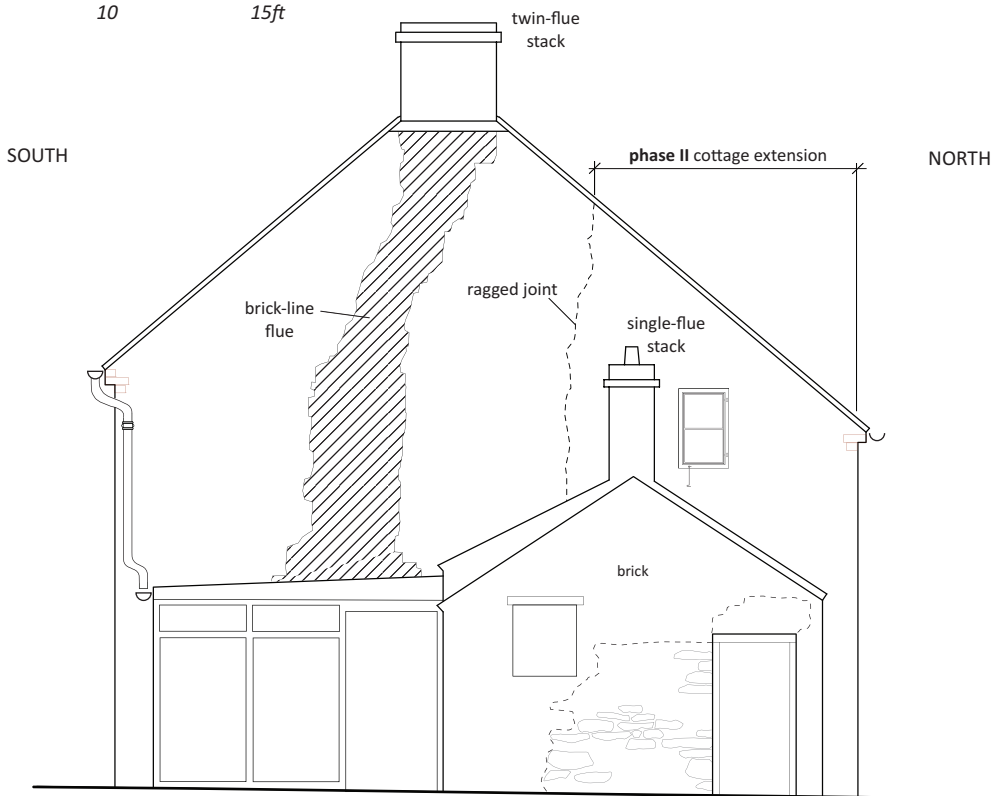


(a) West elevation



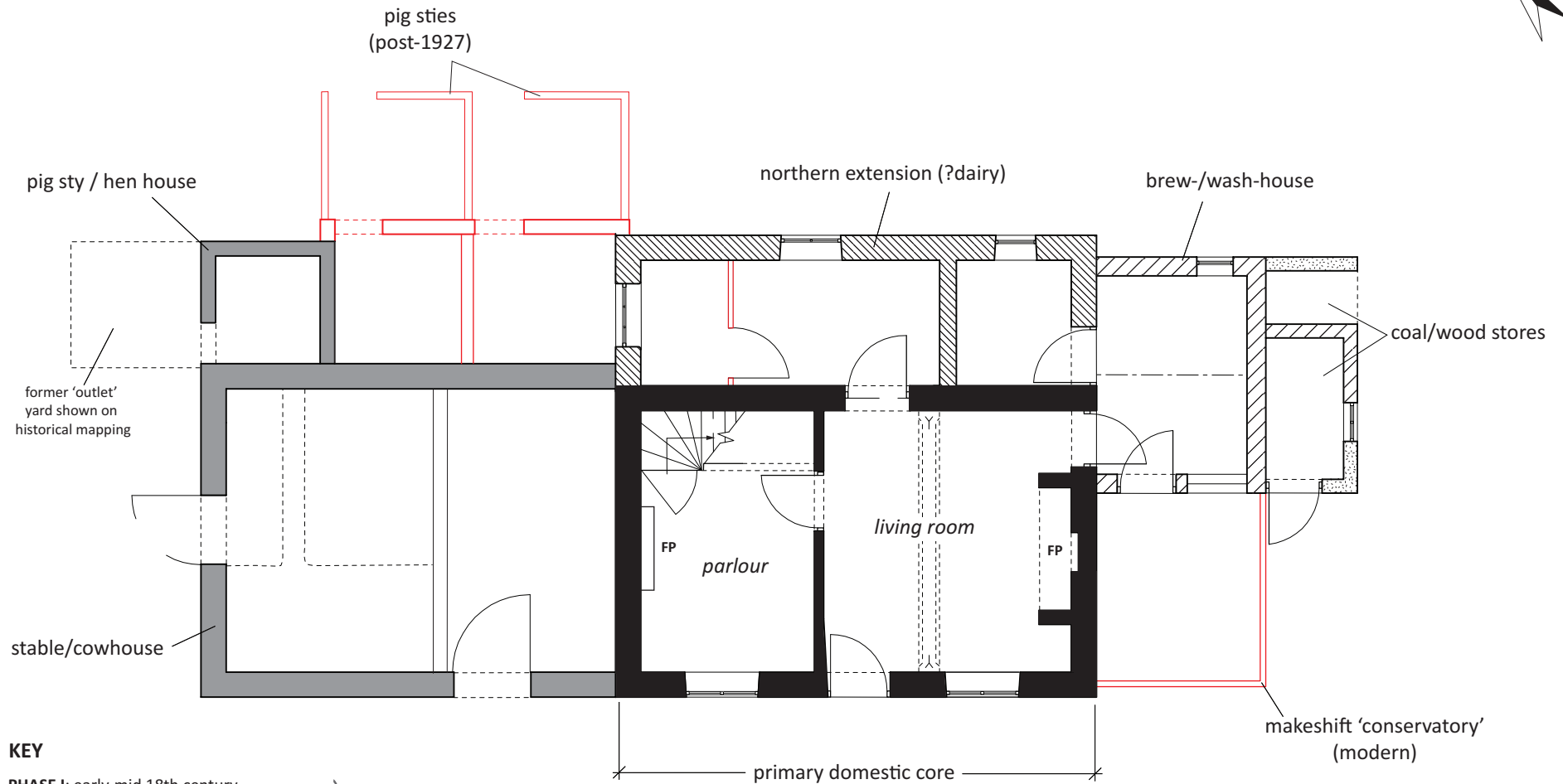
KEY

- NB: masonry in coursed stone rubble except where noted
- brick



(b) East elevation

NB: for illustrative purposes only, do not scale from this drawing



KEY

- PHASE I: early-mid 18th century
 - (?)PHASE Ib/II: later 18th/early 19th century
 - PHASE II: mid-19th century, prob. 1854
 - PHASE IIIa: later 19th century (post-854)
 - PHASE IIIb: later 19th century (pre-1885)
 - PHASE IV: 20th-century additions and insertions
- all elements
extant by 1885

0 5m
SCALE IN METRES (1:100 @ A4)

SCALE IN FEET
0 5 10 15ft



Plate 1: General view of southern (front) elevation, looking north-west.



Plate 2: General view of northern (rear) elevation, looking south-west.



Plate 3: Primary cottage, south elevation.



Plate 4: South elevation; dog-tooth brick eaves band.



Plate 5: Date stone to eaves level of south elevation; 'JMP (John Palmer?), 1854'.



Plate 6: Detail of door (door renewed).



Plate 7: Detail of GF window with (modern UPVC double-glazed unit).



Plate 8: Early, upper west casement window with pin-hung opening light.



Plate 9: Iron tie-rod end plate (west).



Plate 10: Primary cottage, north elevation.



Plate 11: North elevation; dentilated brick eaves band.



Plate 12: Primary window to north elevation.



Plate 13: Inserted window to north elevation.



Plate 14: West gable end of cottage; upper part visible above stable/cowhouse, **NB:** vertical ragged joint to left of ridge and scar of former pitched stable/cowhouse roof.



Plate 15: Eastern gable end of cottage; upper part visible above extensions, **NB:** vertical ragged joint to left of ridge.



Plate 16: Living room [G.01] looking south-west.



Plate 17: Principal ceiling beam, chamfered and ogee-stopped.



Plate 18: Living room [G.01]; principal fireplace and door to kitchen [G.07] (?brewhouse).



Plate 19: Evidence for successive historical alterations to fireplace.



Plate 20: Detail of typical internal plank and batten door.

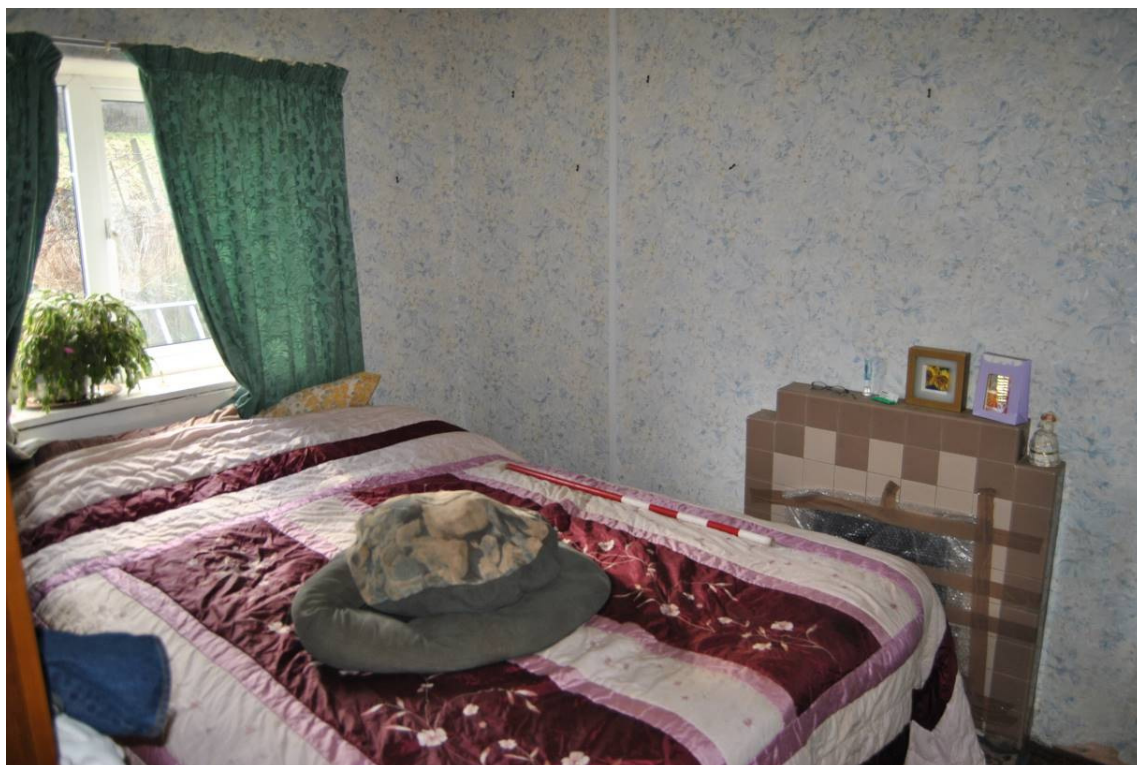


Plate 21: Room [G.02] looking south-west.



Plate 22: Stair opening off north side of [G.02].



Plate 23: Stair rising to first floor level.



Plate 24: Bathroom [G.03] looking north-west.

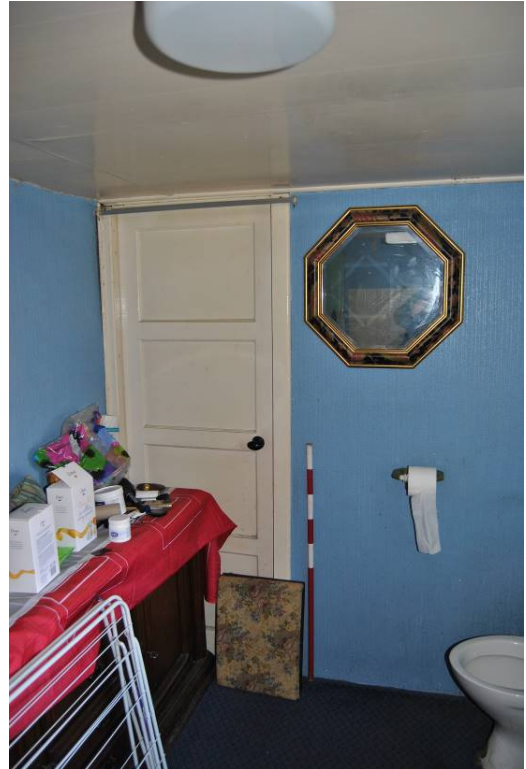


Plate 25: [G.03] inserted stud partition and 1950s panelled door to [G.04].



Plate 26: [G.04] looking west.



Plate 27: Bedroom [F.02] looking south-east with projecting chimney-breast.

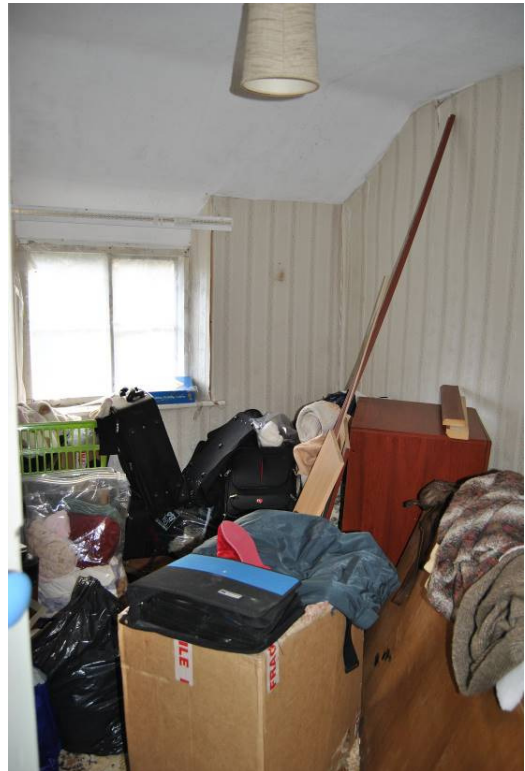


Plate 28: Bedroom [F.03] looking south-west



Plate 29: Room [F.04] looking east.



Plate 30: Room [F.04] looking west.



Plate 31: Western stable/cowhouse, general view looking north-east. **NB:** rebuild of upper south elevation evidenced by new brickwork (top 9 courses) at SW angle.



Plate 32: Western stable/cowhouse, general view looking north-west.



Plate 33: Stable/cowhouse, east elevation. **NB.** lower brick jambs of former window above door.



Plate 34: Mill stone re-used in pathway to west side of cowhouse.



Plate 35: Interior of stables/cowhouse looking east.



Plate 36: Pig sty/fowl house (centre) and 20th-century brick pig sties (left) looking south-east. **NB:** dog tooth eaves band to rear of stable/cowhouse.



Plate 37: 20th-century pig sties x 2 looking south-east, **NB:** dog tooth eaves band to rear of stable/cowhouse.



Plate 38: Eastern extensions (?brewhouse with stack/store) and modern makeshift 'conservatory', looking north-west.



Plate 39: Eastern extensions (stone ?brewhouse/ stone and brick store) looking south-west.



Plate 40: Kitchen [G.07] looking north-east.



Plate 41: East elevation of store, NB: stone and brick masonry.



Plate 42: Outbuilding to east of cottage, constructed of railway sleepers; early 20th century, first evident on OS map of 1927 (Figure 8), extended to north (left).



Plate 43: Extant, post-WWII 'Bailey' bridge, site of the original 'Rudd's Bridge' over Dowles Brook, c.140m north of recorded cottage.

APPENDIX A: WAAS Brief (M Glyde, 05.09.13)

REQUIREMENTS FOR HISTORIC BUILDING RECORDING WORK AT
RUDD'S BRIDGE, STATION ROAD, ROCK, WORCESTERSHIRE

1 Site Location

The site is located at SO 7284 7603 as shown on the attached plan.

2 Planning background

A planning application has been submitted to and approved by Wyre Forest District Council (WF/13/0334). The application proposed modernisation and extension of the existing cottage. The planning officer dealing with this application is Julia McKenzie-Watts.

The approved development will affect a building of historic or architectural significance, and is registered on the County Historic Environment Record (reference WSM48377).

In this instance it is believed, on current evidence, that the historic asset is not of such significance to warrant pre-determination evaluation or preservation in situ, and that the impact of the development on the historic environment can be appropriately offset by a conditional programme of Historic Building Recording.

In line with National Planning Policy Framework **paragraph 141**, any permitted development affecting a heritage asset should include the provision to record that asset.

"... They should also require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible."

The wording of the planning condition applied to the consent is shown in section 7 of this brief.

This document defines the works upon which the Written Scheme of Investigation is required to fulfil the condition.

3 Historic Environment Background.

Although un-designated, the cottage appears to date from pre 1843, as a building of same layout appears on the 1843 tithe map for Rock. The application provides little detail on the existing structure, but given the proposals to modernise and extend the building, I would advise, as a condition of planning consent, that a programme of historic building recording be carried out prior to and where appropriate during development.

The above is not a full HER assessment as required by this brief.

4 Scope of the Project

The chosen contractor employed by the applicant must contact the HER Manager/Officer at Worcestershire Archive and Archaeology service, to obtain a unique fieldwork reference number prior to any work being carried out. This fieldwork reference number must be clearly marked on all reports, finds and archive material created during the project.

The aim of this survey is to:-

- Provide an illustrative and descriptive account and interpretation of the building, including discussion of its local, regional and national significance.

A detailed photographic and descriptive survey consisting of the following minimum requirements:-

The applicant or successor in title must ensure that all debris, stored material, vehicles and excessive obscuring vegetation, (that will be removed as a course of the development) are removed before the commencement of the building recording. This includes all accessible internal spaces and land immediately surrounding the buildings being recorded. Fixtures and fittings contemporary with the building must remain in place.

The survey will be based on a level 3 record, defined as follows:-

'... An analytical record, and will comprise an introductory description followed by a systematic account of the buildings origins, development and use. The record will include an account of the evidence on which the analyses has been based, allowing the validity of the record to be re examined in detail. It will also include all drawn and photographic records that may be required to illustrate the buildings appearance and structure to support an historical analysis.' Refer to section 5.3 of '*Understanding Historic Buildings – A guide to good recording practice*'. *English Heritage 2006*

- Detailed analysis and description of the history, character, date, techniques of construction, phasing and significance of the structure(s).
- Provision should be made to allow appropriate time *on site for visual interpretation and analysis* of the building's design, phasing and construction.
- Primary and secondary documentary sources, relating to the building must be consulted.

Documentary Reference:-

• **HER assessment.** This must be carried out prior to any fieldwork being carried out. It will include consulting all available maps (OS and Tithe), aerial photographs and archive material etc. Where their inclusion in the final report will aid interpretation then these should be plotted or reproduced in the final report. The HER search should be tailored to providing contemporary and relevant records to the development of the farmstead.

• **Archive Search.** Maps, photographs and documents relating to the building, including census returns referenced at the County Archive.

Building recording will consist of:-

• 35mm or Medium format black & white and colour print photographs or high-resolution digital photography, all with suitable scales, of the following.

- All external elevations.
- All internal room spaces and roof structures (where accessible)
- Details of any architectural or functional fixtures, fittings and features relating to either the function or development of the building.
- Photographs illustrating the buildings relationship to surrounding buildings and setting.

A suitable sample of these photographs must be included in the final report, and should include examples which illustrate not only the general character of the buildings, but details relating to specific elements discussed in the text. A general view of the structures in their wider setting should also be included.

- The collation and annotation of existing survey drawings.

The report shall contain

- A phased plan of the building, with photo locations clearly marked, and a location plan related to the national grid. *This may be based on an existing survey plan.*
- Annotated elevation drawings. *These may be based on an existing survey plan.*
- Appropriate additional illustrations that help support findings and the interpretation of the buildings.
- Additional illustrations of dateable fixtures and fittings (mouldings, catches, hinges, latches etc).

- Record of historic carpenters marks, apotropaic marks and graffiti.
- A summary description of the building in its current form in the format of a typical listed building description.

Publication

Final Report: A programme of Archaeological Building Investigation and Recording will determine, as far as is reasonably possible, the nature of the archaeological resource associated with a specified building, structure or complex. The results should inform the research cycle and should take into account local, regional and national research frameworks. Fulfilment of the research aims will be by the submission of a final report, in accordance with the IfA Code of Conduct, Principle 2.

5 Minimum Requirements

The Code of Conduct of the Institute for Archaeologists will be followed.

Fieldwork must be carried out in accordance with the *Requirements and Guidelines for Archaeological Projects in Worcestershire*. Copies are available from the Planning Advisory Section on request.

1. Before the project commences a proposal including a methods statement detailing approaches to the site, must be submitted to and approved by the Planning Advisory Section.
2. The project proposal must include appropriate named specialist provision.
3. Written Schemes of Investigation must be sent to the curator for approval at least five working days before commencement of works, unless previously agreed.
4. The finds assessment report must reference all ceramics to the county type fabric series
5. Prior to commencement of any fieldwork the archaeological contractor must contact the HER Officer of the Worcestershire Archive and Archaeology Service for an HER fieldwork reference number. This must be clearly marked on all reports, finds and archive material. Tel **01905 765560 or 01905 765905**
6. The landowner must be encouraged to deposit artefacts with a local or relevant specialist museum. This must have Museum and Galleries Commission approved storage facilities. Artefacts may only be deposited in accordance with the selected museum's collections policy.
7. At least one week's notice shall be given to the Planning Advisory Section prior to commencement of fieldwork, unless otherwise agreed.
8. At least two colour slides (or high-resolution digital images) showing general views of fieldwork in progress and where appropriate key finds / features SHALL BE SUBMITTED IN ADDITION TO THE FINAL REPORT. These shall be used for educational / promotional displays.
9. A digital copy in .pdf format (see below) must be sent to the Historic Environment Planning Advisor for approval **before** formal submission into the County Historic Environment Record.
10. Upon approval, one bound paper and one digital .pdf copy of the report must be lodged with the County Historic Environment Record within three months of completion of fieldwork. A digital copy must also be deposited with Oasis (<http://www.oasis.ac.uk/>) the English Heritage's Online Access to the Index of Archaeological Investigations website.
11. The report shall also be submitted to the HER in digital format. The preferred format for digital copies is PDF, however, the HER will take other formats, from which they will create PDFs. All reports submitted as part of the development control process will be included on the Online Archaeology Library 3 months after submission unless the report is deemed to be archaeologically or commercially sensitive by the Policy and Advisory Manager. Contact the HER if you feel that your report is sensitive and should not be available over the internet.
12. The Planning Advisory Section of the Worcestershire Archive and Archaeology Service must be invited to monitor the fieldwork.

6 Archiving

- All physical archival material shall be deposited with the County Museum. There is now a joint archaeology store between the City and County Museums.
- The digital Archive must be deposited with the **Archaeological Data Service**.
- Proof of deposition will be required in order to fully discharge the planning condition.

7 Disclaimer

- This brief has been prepared on the basis of information available through the County Historic Environment Record. If the Applicant has further information which may be relevant to the site they should contact the Planning Advisory Section as soon as possible.
- The Planning Advisory Section cannot accept responsibility for the following:
 - Notification of hazards, e.g. services, contaminated ground, the condition of the building
 - Obstacles to fieldwork
 - Access to the site
- It will be the responsibility of the contractor, any sub contractors and the applicant to establish safe working practices based on Construction Design and Management (regulations) and other current health and safety legislation.
- It will be the responsibility of the contractor to ensure that the developer/applicant has secured appropriate consent for all archaeological groundwork's regarding environmental, ecological and species protection legislation prior to commencement of fieldwork.

8 Planning Condition Wording

Condition no.4 states

A) No development shall take place until a Programme of Historic Building recording and Interpretation, including a Written Scheme of Investigation, has been submitted to and approved by the local planning authority in writing. The scheme shall include an assessment of significance and research questions; and:

1. The programme and methodology of site investigation and recording.
2. The programme for post investigation assessment.
3. Provision to be made for analysis of the site investigation and recording.
4. Provision to be made for publication and dissemination of the analysis and records of the site investigation
5. Provision to be made for archive deposition of the analysis and records of the site investigation
6. Nomination of a competent person or persons/organisation to undertake the works set out within the Written Scheme of Investigation.

B) No demolition/development shall take place other than in accordance with the Written Scheme of Investigation approved under condition (A).

C) The development shall not be occupied until the site investigation and post investigation assessment has been completed in accordance with the programme set out in the Written Scheme of Investigation approved under condition (A) and the provision made for analysis, publication and dissemination of results and archive deposition has been secured.

9 Written Scheme of Investigation Checklist

All Written Schemes of Investigation (WSI's) or method statements are checked for minimum compliance. As well as the requirements given in IfA guidance, the following must be included in any WSI submitted.

- Correct Site Name
- Correct Fieldwork Type
- Traceable Source for WSI (contractors reference no. - site code etc)
- Correct planning application for which the work is being undertaken.
- Correct applicant and or agent for which the work is being undertaken.
- Correct planning authority for which the work is being undertaken.
- Correct HER references (not activity number for the work the WSI is for)*
- Correct reference to the brief
- Correct aims and requirements as detailed in the brief.
- Details of the resources to be applied (staff and time)
- Clear explanation of any contingencies
- Named specialist provision
- Details of methodology and standards proposed to fulfill the brief
- details of the Report structure and content
- Health & Safety

10 Contact Numbers (Correct at the time of preparing this document)

Applicant: Mrs N GAtehouse
c/o agent

Agent: J Haywood
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Rock
Kidderminster
DY14 9TE

0129 266946
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For further information regarding this brief please contact :

Planning Advisory Section,
Worcestershire Archive & Archaeology Service,
The Hive,
Sawmill Walk,
The Butts,
Worcester.
WR1 3PB

Tel: 01905 765869

E-mail: mglyde@worcestershire.gov.uk

Reference to this document should be:

Glyde, M., 2013, "*Requirements for Historic Building Recording Work at Rudds Bridge, Station Road, Rock, Worcestershire.*" Archive and Archaeology Service, Worcestershire County Council.

APPENDIX B: Written Scheme of Investigation (Tyler 2014)

RUDDS BRIDGE
Station Road, Rock, Worcestershire
[WSM48377; NGR SO 7284 7603]

Written Scheme of Investigation for an
Historic Building Survey

Planning Reference: WF/13/0334/FULL (Condition 4)

1 PROJECT BACKGROUND

1.1 Introduction

- 1.1.1 The following document represents a Written Scheme of Investigation (WSI) for an Historic Building Survey to be undertaken in respect of Rudds Bridge, Station Road, Rock, Worcestershire (centred on NGR SO 7284 7603). The WSI has been prepared in response to a Project Brief (WAAS, 2013), dated 5th September 2013, set by Mr Mike Glyde, Historic Environment Planning Officer for Worcestershire Archive and Archaeological Service (WAAS).

1.2 Planning Background

- 1.2.1 The Historic Building Record has been required by Worcestershire County Council (WCC) under the terms of the National Planning Policy Framework (NPPF; DCLG 2012),¹ as a condition of planning consent (ref. **WF/13/0334/FULL** (Condition 4) submitted to Wyre Forest District Council on 19th June 2013 and approved on 14th August 2013.² The proposed scheme involves the modernisation and extension of an existing cottage; the full wording of the condition are included at section §.8 of the project brief.

1.3 Requirement for Work

- 1.3.1 The existing cottage at Rudds Bridge appears to pre-date 1843, as a building of similar layout is illustrated on the Rock tithe map of that date. Though it is not statutorily or locally listed, nor does it lie within a Conservation Area, the building is included upon the Worcestershire County Historic Environment Record (HER), reference **WSM48377** and is thus recognised as a non-designated 'Heritage Asset' under the terms of NPPF.
- 1.3.2 Paragraph 141 of NPPF stipulates that, any permitted development affecting a heritage asset should include the provision to record that asset and that Local Planning Authorities should:

¹ https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf

² <http://www.wyreforest.gov.uk/fastweb/detail.asp?AltRef=13/0334/FULL&ApplicationNumber=13%2F0334%2FFULL&AddressPrefix=&Postcode=&CaseOfficer=&ParishName=&AreaTeam=&WardMember=&DateReceivedStart=&DateReceivedEnd=&DateDecidedStart=&DateDecidedEnd=&Locality=&AgentName=&ApplicantName=&ShowDecided=&DecisionLevel=&Sort1=FullAddressPrefix&Sort2=DateReceived+DESC&Submit=Search>

"...require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible."

2 AIMS AND OBJECTIVES

2.1 The general aim of the historic building survey, as stated at §.4 of the brief, is 'to provide an illustrative and descriptive account and interpretation of the building including a discussion of its local, regional and national significance'. The record will be undertaken to a 'Level 3' as defined by English Heritage in '*Understanding Historic Buildings: A Guide to Good Recording Practice*' (EH, 2006).

2.2 The purpose and specific objectives of the survey are as outlined in detail at Section §.4 of the project brief.

3 METHODOLOGY

3.1 Documentary Research

3.1.1 A search will be made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs, drawings and written descriptions, and primary and secondary sources related to the site held by the Worcestershire County Record Office, The Hive, Worcester and, if appropriate, at the National Archives, Kew and the National Monuments Record (NMR), Swindon.

3.1.2 A standard search will be made of the Worcestershire HER in advance of fieldwork, so as to place the recorded structure within a local HER context.

3.2 Historic Building Recording

3.2.1 The building survey will comprise a visual examination of the structure and an analysis of the building's design, phasing and construction. Recording will consist of three principal elements as follows:

Drawn Record

3.2.2 Floor plans, elevations and cross-sections (as appropriate) will be prepared on site and annotated with relevant architectural and archaeological detail, such as elements of framing, blocked openings, changes in masonry etc. Supplied survey drawings (John Haywood Drgs. 120/1-5) will be checked and validated on site and used as a basis for archaeological recording. Any new survey drawings will be prepared at an appropriate scale in pencil on archivally stable drafting film.

Photographic Record

3.2.3 The photographic record will comprise high resolution digital photography, using a Nikon D3000 digital single lens reflex camera.³ The record will be commensurate with a Level 3 record as defined by English Heritage (2006, 14), extending to include both general and detail shots, contextual views and all accessible exterior elevations, visible structural and decorative details (interior and exterior), and general interior views of principal spaces. Where possible, photographs will include graded photographic scales. All photographs will be recorded on *pro-forma* recording sheets detailing subject, orientation, scales included, photographer and date.

³ Black and white negative photography, referred to in the brief, is not required in the current case (telephone conversation Mike Glyde, 17.02.14)

Written Record

- 3.2.4 A systematic written record of the buildings will be generated as free text to accompany the drawn and photographic records.

5 REPORT FORMAT

- 5.1 Upon completion of the documentary research and fieldwork, the results of the historic building record will be presented in a fully illustrated, interpretive report containing the following information:

Text

- Non-technical summary
- Introduction and site location
- Aims and objectives
- Methodology
- Historical background
- Description and analysis of the building and its features
- List of sources consulted
- A summary description of the site in the format of a typical listed building description

Figures

- Location plan and a selection of historic maps / images (if located)
- Measured plans, elevations and cross-sections as appropriate
- A phase plan to illustrate the development of the building as apparent from historical sources and examination of the built fabric
- A selection of colour plates

Appendices

- Copies of project brief and WSI
- A register of project drawings
- A register of project photographs with location plan

- 5.2 A draft copy of the report will be submitted to the HER Planning Advisor in digital format (*.PDF) for approval. Further to approval, one bound hard copy and one digital PDF copy of the final report will be lodged with the County HER within three months of the completion of fieldwork. A digital copy will also be deposited with the Oasis on-line index of archaeological investigations.

6 STAFFING

- 6.1 Documentary research, site assessment and recording, and report preparation will be undertaken by Mr Ric Tyler MIfA.

7 ARCHIVING

- 7.1 Upon completion of work, a full project archive will be prepared in accordance with established best practice and deposited with the Worcestershire County Museum.

8 TIMETABLE

- 8.1 At least one week's notice will be given to the Planning Advisory Section of the WAAS prior to commencement of work. Prior to the commencement of work on site, a HER fieldwork reference will be obtained from the Information and Records Officer of the WAAS.
- 8.2 It is proposed that archival research and site survey be undertaken in the week commencing 24th February 2014. A draft report will be submitted for approval normally within 4 weeks of completion of fieldwork as per §.5 above.

9 MONITORING

- 9.1 The Planning Advisory Section of WAAS will be invited to monitor the project during the course of fieldwork.

10 PROFESSIONAL STANDARDS

- 10.1 The project will follow the requirements set down in the *Standard and Guidance for Archaeological Desk-Based Assessment* (IfA, revised edition 2008a) and *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (IfA, revised edition 2008b). Recording work will conform to guidelines set down by English Heritage's *Understanding Historic Buildings: a guide to good recording practice* (EH 2006) and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*, (ALGAO 1997).
- 10.2 The *Code of Conduct of the Institute for Archaeologists* (IfA, revised edition 2010) will be adhered to at all times.
- 10.3 Fieldwork and report preparation will be undertaken in accordance with guidelines as set down by Worcestershire County Council in '*Standards and Guidelines for Archaeological Projects in Worcestershire*' (WHEAS, 2010).

11 HEALTH AND SAFETY

- 11.1 All current health and safety legislation, regulations and guidance will be complied with during the course of the project.

12 REFERENCES

Association of Local Government Archaeological Officers (ALGAO), 1997. *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*.

Department for Communities and Local Government (DCLG), 2012. *National Planning Policy Framework*.

English Heritage, 2006. *Understanding Historic Buildings: A Guide to Good Recording Practice*.

IfA, 2008a. *Standard and Guidance for Archaeological Desk-Based Assessment*

IfA, 2008b. *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*

IfA 2010. *Code of Conduct*.

WHEAS, 2010. *Standards and Guidelines for Archaeological Projects in Worcestershire*.

WAAS, 2013. *Requirements for Historic Building Recording Work at Rudds Bridge, Station Road, Rock, Worcestershire*.
WHEAS Project brief, dated 5th September 2013.

APPENDIX C: Register of Project Drawings

NB: all annotated site drawings based upon paper print out of survey supplied by John Haywood

Drg. No.	Subject	Format	Scale	Date	Recorder
2014_006/001	Ground Floor Plan	A4 paper print out (x2); annotated	1:50	27.02.14	R Tyler
2014_006/002	First Floor Plan	A4 paper print out (x2); annotated	1:50	27.02.14	R Tyler
2014_006/003	South Elevation	A4 paper print out (x1); annotated	1:50	27.02.14	R Tyler
2014_006/004	North Elevation	A4 paper print out (x1); annotated	1:50	27.02.14	R Tyler
2014_006/005	East Elevation	A4 paper print out (x1); annotated	1:50	27.02.14	R Tyler
2014_006/006	West Elevation	A4 paper print out (x1); annotated	1:50	27.02.14	R Tyler

APPENDIX D: Register of Project Photographs

NB: All photographs taken with Nikon D3000 digital SLR camera, 10 mega-pixels. Photo locations are illustrated on the plans below while files marked with an asterisk (*) are reproduced as plates within the current document.

Photo No.	Plate No.	Subject	Orientation	Date	Photographer
DSC_0001*	27	Room [F.02] looking SE	→ SE	27.02.14	R Tyler
DSC_0002		Room [F.02] looking NE	→ NE	27.02.14	R Tyler
DSC_0003		Room [F.02] looking SE	→ SE	27.02.14	R Tyler
DSC_0004		Room [F.02]; detail of plank and batten door (back)	---	27.02.14	R Tyler
DSC_0005		Room [F.02]; detail of plank and batten door (front)	---	27.02.14	R Tyler
DSC_0006*	1	General view of South elevation from SE	→ NW	27.02.14	R Tyler
DSC_0007		General view of South elevation from SW	→ NE	27.02.14	R Tyler
DSC_0008*	3	Domestic 'core'; south elevation	→ N	27.02.14	R Tyler
DSC_0009		South elevation; detail of dog-tooth eaves band and date stone	↑	27.02.14	R Tyler
DSC_0010*	5	South elevation; detail of date stone	↑	27.02.14	R Tyler
DSC_0011*	4	South elevation; detail of dog-tooth eaves band	↑	27.02.14	R Tyler
DSC_0012*	32	Cowhouse/stable; south elevation	→ NW	27.02.14	R Tyler
DSC_0013*	7	South elevation; detail of GF window	→ N	27.02.14	R Tyler
DSC_0014*	6	South elevation; detail of door	→ N	27.02.14	R Tyler
DSC_0015*	8	South elevation; detail of 1F window (W)	↑	27.02.14	R Tyler
DSC_0016		South elevation; detail of 1F window (E)	↑	27.02.14	R Tyler
DSC_0017*	9	South elevation; detail of tie-rod end plate (E)	→ N	27.02.14	R Tyler
DSC_0018		South elevation; detail of tie-rod end plate (W)	→ N	27.02.14	R Tyler
DSC_0019		South elevation; SJ at cottage/stable	→ N	27.02.14	R Tyler
DSC_0020		Eastern extensions with 'conservatory' to foreground	→ NW	27.02.14	R Tyler
DSC_0021		East gable end	→ W	27.02.14	R Tyler
DSC_0022*	15	East gable end; detail of brick-lined flue	→ W	27.02.14	R Tyler
DSC_0023		East gable; detail of vertical ragged joint	↑	27.02.14	R Tyler
DSC_0024		Eastern extensions with 'conservatory' to foreground	→ NW	27.02.14	R Tyler
DSC_0025*	39	Eastern extensions, north elevation oblique	→ SW	27.02.14	R Tyler
DSC_0026*	2	General view of North elevation from NE	→ SW	27.02.14	R Tyler
DSC_0027		Eastern extensions, north elevation	→ S	27.02.14	R Tyler
DSC_0028*	41	Eastern extensions, east gable	→ W	27.02.14	R Tyler
DSC_0029		Eastern extensions, door to store [G.09]	→ W	27.02.14	R Tyler
DSC_0030		Eastern extensions, east gable; brick and stone walling	→ W	27.02.14	R Tyler
DSC_0031		Eastern extensions, east gable	→ SW	27.02.14	R Tyler
DSC_0032		East gable end; brick-lined flue	↑	27.02.14	R Tyler
DSC_0033		Eastern extensions, north elevation	→ S	27.02.14	R Tyler
DSC_0034*	10	North extension, north elevation	→ S	27.02.14	R Tyler
DSC_0035*	12	North elevation; window onto [G.05]	→ S	27.02.14	R Tyler
DSC_0036*	13	North elevation; inserted window onto [G.03]	→ S	27.02.14	R Tyler
DSC_0037		North elevation; inserted window onto [G.03]	→ S	27.02.14	R Tyler
DSC_0038*	11	North elevation; detail of dentilated eaves band	↑	27.02.14	R Tyler
DSC_0039		North elevation; 20 th -century pig sties [G.11]	→ SW	27.02.14	R Tyler
DSC_0040		North elevation; 20 th -century pig sties [G.11]	→ SW	27.02.14	R Tyler
DSC_0041		North elevation; dog-tooth eaves band to north side of cowhouse/stable	↑	27.02.14	R Tyler
DSC_0042*	31	Cowhouse/stable; south elevation	→ NE	27.02.14	R Tyler
DSC_0043		Cowhouse/stable; south elevation – detail of door	→ N	27.02.14	R Tyler
DSC_0045		Main cottage, west gable	↑	27.02.14	R Tyler
DSC_0046*	34	Cobbled path with mill stone at west end cowhouse	↓	27.02.14	R Tyler
DSC_0047		Cowhouse/stable; west elevation – detail of door	→ E	27.02.14	R Tyler
DSC_0048		Pig Sty / Hen House [G.10]; west elevation	→ E	27.02.14	R Tyler
DSC_0049*	36	Pig Sty / Hen House [G.10]; west elevation	→ SE	27.02.14	R Tyler
DSC_0050		Pig Sty / Hen House [G.10]; west elevation	→ SE	27.02.14	R Tyler
DSC_0051		Main cottage, west gable	↑	27.02.14	R Tyler
DSC_0052		Main cottage, west gable	↑	27.02.14	R Tyler
DSC_0053		Main cottage, west gable; vertical ragged joint	→ SE	27.02.14	R Tyler
DSC_0054		20 th -century pig sties [G.11]	→ SE	27.02.14	R Tyler

DSC_0055		20 th -century pig sties [G.11]	→ SE	27.02.14	R Tyler
DSC_0056*	37	20 th -century pig sties [G.11]	→ SE	27.02.14	R Tyler
DSC_0057		Dog-tooth eaves band to north side of cowhouse/stable	→ SE	27.02.14	R Tyler
DSC_0058		Dog-tooth eaves band to north side of cowhouse/stable	→ SE	27.02.14	R Tyler
DSC_0059		Cowhouse/stable [G.06]; interior looking east	→ E	27.02.14	R Tyler
DSC_0060		Cowhouse/stable [G.06]; interior low partition	→ E	27.02.14	R Tyler
DSC_0061		Cowhouse/stable [G.06]; brick paviour floor	↓	27.02.14	R Tyler
DSC_0062		Cowhouse/stable [G.06]; renewed roof	→ E	27.02.14	R Tyler
DSC_0063		Cowhouse/stable [G.06]; south wall, upper part rebuilt in brick	→ S	27.02.14	R Tyler
DSC_0064		Cowhouse/stable [G.06]; south wall, upper part rebuilt in brick	→ S	27.02.14	R Tyler
DSC_0065		Cowhouse/stable [G.06]; west gable wall, blocked (truncated) window	→ W	27.02.14	R Tyler
DSC_0066		Cowhouse/stable [G.06]; west wall, door and jambs of former upper window (blocked)	→ E	27.02.14	R Tyler
DSC_0067		Cowhouse/stable [G.06]; west wall, detail of upper BW	→ SE	27.02.14	R Tyler
DSC_0068		Main cottage, west gable	↑	27.02.14	R Tyler
DSC_0069		Main cottage, west gable above cowhouse	→ NE	27.02.14	R Tyler
DSC_0070		Cowhouse/stable; evidence of raising of south wall @ SW angle	↑	27.02.14	R Tyler
DSC_0071		Cowhouse/stable; west gable of cottage with brick-lined flue	→ E	27.02.14	R Tyler
DSC_0072		Cowhouse/stable; S wall abuts cottage	→ SE	27.02.14	R Tyler
DSC_0074		Cowhouse/stable [G.06]; brick paviour floor	↓	27.02.14	R Tyler
DSC_0075		Cowhouse/stable [G.06]; west wall, door and jambs of former upper window (blocked)	→ E	27.02.14	R Tyler
DSC_0076		Cowhouse and main cottage; west elevation	→ E	27.02.14	R Tyler
DSC_0077		Cowhouse and main cottage; west elevation	→ E	27.02.14	R Tyler
DSC_0078		Main cottage gable visible above cowhouse	→ E	27.02.14	R Tyler
DSC_0079		Main cottage gable visible above cowhouse	→ E	27.02.14	R Tyler
DSC_0080		Cowhouse and main cottage; west elevation	→ E	27.02.14	R Tyler
DSC_0081		Cowhouse and main cottage; west elevation	→ E	27.02.14	R Tyler
DSC_0103		Room [G.01] looking SE	→ SE	27.02.14	R Tyler
DSC_0104*	19	Room [G.01]; evidence for historical reduction of FP	→ NE	27.02.14	R Tyler
DSC_0105		Room [G.01] looking NW	→ NW	27.02.14	R Tyler
DSC_0106*	18	Room [G.01] looking E	→ E	27.02.14	R Tyler
DSC_0107*	16	Room [G.01] looking SW	→ SW	27.02.14	R Tyler
DSC_0108*	17	Room [G.01]; chamfer stopped ceiling beam	↑	27.02.14	R Tyler
DSC_0109*	20	Room [G.01]; detail of typical plank and batten door (@ [G.01/02])	→ W	27.02.14	R Tyler
DSC_0110		Detail of 'Norfolk' latch with incised handle	---	27.02.14	R Tyler
DSC_0111		Detail of 'Norfolk' latch with incised handle	---	27.02.14	R Tyler
DSC_0112*	21	Room [G.02] looking SW	→ SW	27.02.14	R Tyler
DSC_0113		Room [G.02]; 1950s ceramic tiled FP surround	→ SW	27.02.14	R Tyler
DSC_0114		Room [G.02]; door to stair (closed)	→ NW	27.02.14	R Tyler
DSC_0115*	22	Room [G.02]; door to stair (open)	→ NW	27.02.14	R Tyler
DSC_0116		Room [G.02] looking north	→ N	27.02.14	R Tyler
DSC_0117		Room [G.07] (kitchen) looking north	→ N	27.02.14	R Tyler
DSC_0118*	40	Room [G.07] (kitchen) looking NE	→ NE	27.02.14	R Tyler
DSC_0119		Room [G.07] (kitchen) looking SW	→ SW	27.02.14	R Tyler
DSC_0120		Room [G.07] (kitchen); door to [G.05]	→ W	27.02.14	R Tyler
DSC_0121		Detail of 'Suffolk' thumb-latch	---	27.02.14	R Tyler
DSC_0122		Room [G.05] looking NW	→ NW	27.02.14	R Tyler
DSC_0123*	24	Room [G.03] looking NW	→ NW	27.02.14	R Tyler
DSC_0124*	25	Room [G.05] looking west (inserted partition and 1950s door)	→ W	27.02.14	R Tyler
DSC_0125*	26	Room [G.04] looking W	→ W	27.02.14	R Tyler
DSC_0126		Room [G.04]; detail of window in west wall	→ W	27.02.14	R Tyler
DSC_0127		Looking up stair from [G.02] towards landing [F.01]	→ E	27.02.14	R Tyler
DSC_0128*	23	Looking down stair from landing [F.01] note upper handrail	↓	27.02.14	R Tyler
DSC_0130		Looking down stair from landing [F.01] note upper handrail	↓	27.02.14	R Tyler
DSC_0131*	28	Room [F.03] looking SW	→ SW	27.02.14	R Tyler
DSC_0132*	29	Room [F.04] looking E	→ E	27.02.14	R Tyler
DSC_0133		Room [F.04] looking W	→ W	27.02.14	R Tyler
DSC_0134*	30	Room [F.04] looking W	→ W	27.02.14	R Tyler
DSC_0135		Detail of 'Norfolk' latch (door to [F.05])	---	27.02.14	R Tyler
DSC_0136*	42	20 th -century shed to east of house (built of railway sleepers)	→ NE	27.02.14	R Tyler

DSC_0137		General view of cottage and outbuildings looking NE	→ NE	27.02.14	R Tyler
DSC_0138		Cowhouse and main cottage; west elevation	→ E	27.02.14	R Tyler
DSC_0139*	33	Cowhouse and main cottage; west elevation	→ E	27.02.14	R Tyler
DSC_0140*	14	West gable of cottage above cowhouse	→ E	27.02.14	R Tyler
DSC_0141		20 th -century shed to east of house (built of railway sleepers)	→ SW	27.02.14	R Tyler
DSC_0142*	43	'Rudds Bridge' (Baily bridge on site of wooden precursor)	→ NE	27.02.14	R Tyler
DSC_0144		Eastern store [G.08]	→ N	27.02.14	R Tyler
DSC_0145		Eastern store [G.08]; interior	→ NE	27.02.14	R Tyler
DSC_0146		Window in west wall [G.04] (seen from pig sty)	→ E	27.02.14	R Tyler
DSC_0147		Interior of pig sty [G.11]	→ S	27.02.14	R Tyler
DSC_0148		Door to cowhouse (reversed)	→ N	27.02.14	R Tyler
DSC_0149		Detail of 'Norfolk' latch (door to [F.05])	---	27.02.14	R Tyler
DSC_0150		Contextual view of building from south-west	→ NE	05.03.14	R Tyler
DSC_0151		Contextual view of building from south-west	→ NE	05.03.14	R Tyler
DSC_0152		Contextual view of building from south-west	→ NE	05.03.14	R Tyler
DSC_0153		General view of cottage and outbuildings from SW	→ NE	05.03.14	R Tyler
DSC_0154		Interior of cowhouse looking E	→ E	05.03.14	R Tyler
DSC_0155*	35	Interior of cowhouse looking E	→ E	05.03.14	R Tyler
DSC_0156		Brick paviour floor of cowhouse	↓	05.03.14	R Tyler
DSC_0157		Cowhouse/stable [G.06]; interior low partition	→ E	05.03.14	R Tyler
DSC_0158		Cowhouse/stable [G.06]; south wall, upper part rebuilt in brick	→ SE	05.03.14	R Tyler
DSC_0159		Cowhouse/stable [G.06]; south wall, upper part rebuilt in brick	→ SE	05.03.14	R Tyler
DSC_0160		Window lighting [F.05]	↑	05.03.14	R Tyler
DSC_0161		Window lighting [F.04]	↑	05.03.14	R Tyler

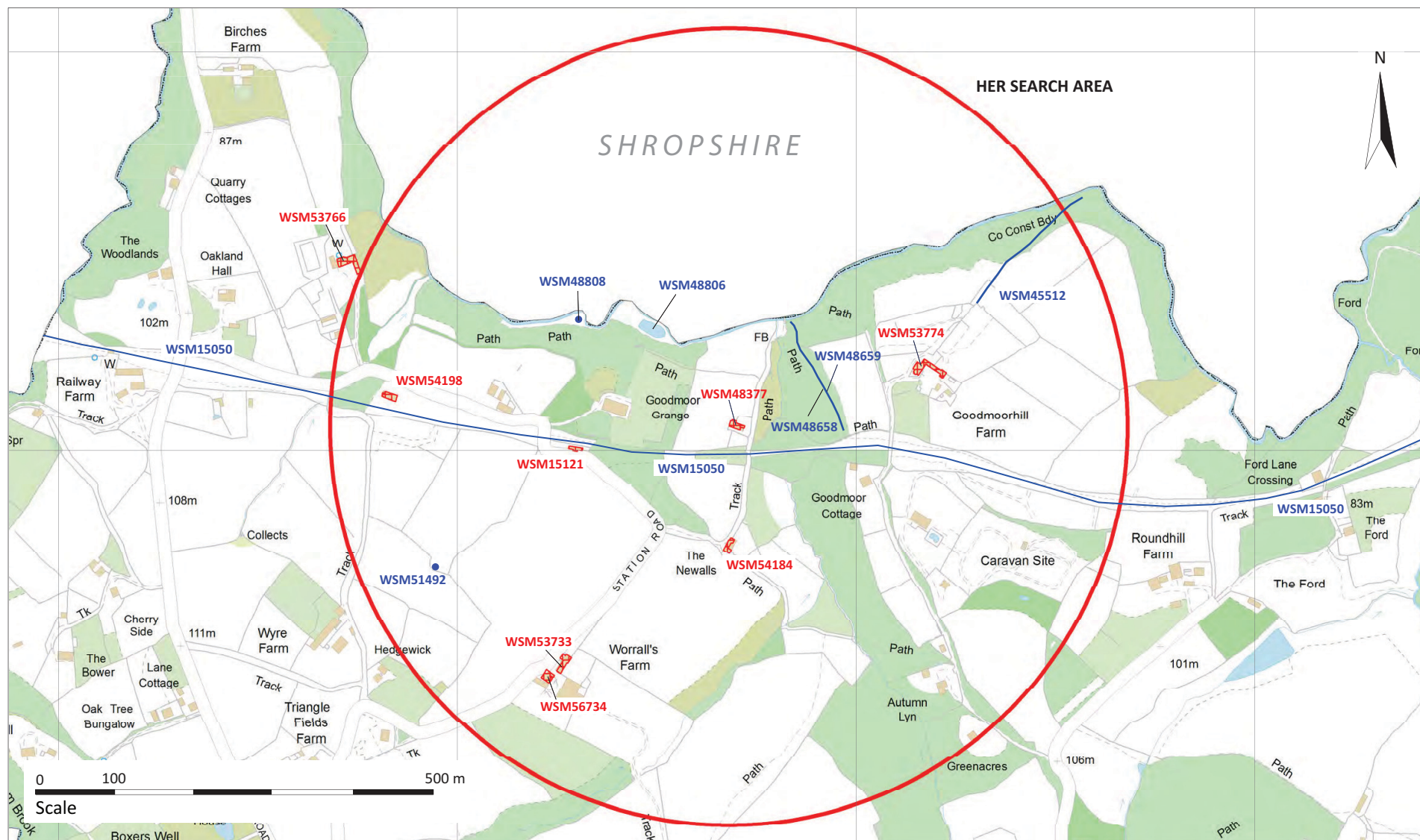
Photo location plan (see overleaf)



RIC TYLER MIFA

APPENDIX E:

HER plot of non-listed historic buildings and non-designated monuments
within 500m radius search area centred on SO 7284 7603 (based on Cornah, 2014).



(Based upon Cornah, 2014; valid for 3 months from date of issue - 24th February 2014)