

THE STABLE BLOCK, CANONS ASHBY HOUSE

Canons Ashby, Northamptonshire

(NGR SP 57657 50660)

Historic Building Recording and Assessment



DRAFT REPORT



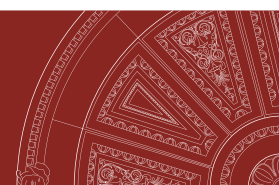
National Trust

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THE STABLE BLOCK, CANONS ASHBY HOUSE

Canons Ashby, Northamptonshire

Historic Building Record and Assessment

Summary

A programme of archival research and historic building survey/assessment was undertaken in July/August 2014 in respect of the unlisted stable block at Canons Ashby House, Canons Ashby, Northamptonshire (NGR: SP 57657 50660) on behalf of the National Trust. The project was commissioned by the Trust to research the origins and development of the building, and to record and assess the structure with a view to informing the Trust's decision-making process in respect of the conservation, adaptation and future use of the building.

Canons Ashby House, a Grade I listed Elizabethan country house of relatively modest proportions, is located in the hamlet of Canons Ashby, c.15.8km north-east of Banbury and 20.5km south-west of the county town of Northampton; the house and associated service buildings have been in the ownership of the Trust since 1981. The stable block currently under consideration is located c.50m SE of the house and forms, together with a coach house, part of a group of former service buildings adjunct to the main house. The stable block is stone-built in coursed ironstone, of a single storey beneath a pitched, slate clad roof gabled to north and south. Historically, the range has combined stabling, saddle room and wood/coal store facilities beneath a single roof. Ostensibly of 18th-century date, the stables were radically remodelled by Sir Henry Dryden in 1858, and again in 1981 by the Trust when the southern stables area was converted to residential use. At the time of preparation of the current report the range was in use for visitor catering facilities (preparation area, kitchen and café seating).

A total of six principal phases of development have been identified by the current study, though the earlier phases remain obscure and somewhat putative; they can be summarised as follows:

- Phase I:** *Obscure origins – possible cruck-built, timber-framed range?*
- Phase II:** *Non-specific 18th-century works (1758, recorded in inscribed kneeler)*
- Phase III:** *Early 19th century, 1843 (documented/non-specific)*
- Phase IV:** *Sir Henry Dryden remodelling (1858)*
- Phase V:** *National Trust: consolidation and adaptation (1981)*
- Phase VI:** *National Trust: conversion to visitor facilities/catering (2000)*

The evidential, historical and aesthetic values of the range are assessed as being of some significance, principally in terms of the 19th-century remodelling of the range, though all have been compromised to some extent by the unsympathetic internal remodelings of the late 20th- and early 21st-centuries. The historical value is enhanced when the stables are considered together with the adjacent coach house and within the wider context of the house and park as a whole, the associative value in particular being enhanced by its connection with Sir Henry Dryden, 'the antiquary'. The loss of all historical internal fixtures and fittings means, however, that its value in evidential and illustrative historical terms as a stable block is strictly limited.

The project has allowed for a detailed record of the building, its construction and general development history, to be made, so far as was possible from a non-intrusive survey and given the current uses of the building, in accordance with NPPF and as set out in the project WSI. Current draft proposals and their implications are assessed in the context of relevant national and local planning policy and guidance.

THE STABLE BLOCK, CANONS ASHBY HOUSE

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Historic Building Record and Assessment

1 INTRODUCTION

The current report outlines the results of a programme of historic building survey, recording and assessment undertaken in July/August 2014 in respect of the stable block at Canons Ashby House, Canons Ashby, Northamptonshire on behalf of the National Trust.

1.1 Background to the Project

1.1.1 Canons Ashby House, a two/three-storey stone-built house, quadrangular in plan and arranged around a small, central courtyard, represents an Elizabethan country house of relatively modest proportions; it is located in the hamlet of Canons Ashby, c.15.8km north-east of Banbury and 20.5km south-west of the county town of Northampton (centred upon NGR SP 57618 50689; Figure 1). The house was the seat of the Dryden family for over 400 years from the mid-16th century when it came to one John Dryden by marriage in 1551. The core of the extant house dates to this time, though possibly incorporating fabric of an earlier farmhouse, and was subsequently subject to successive phases of enlargement and remodelling, principally in the 1590s, the 1630s and 1708-10 (NT, 2001). The stable block currently under consideration is located c.50m SE of the Grade I listed House (NGR SP 57657 50660; Figure 2) and forms, together with the nearby coach house, part of a group of former service buildings adjunct to the main house (Figure 3). Ostensibly of 18th-century date, remodelled by Sir Henry Dryden in the mid-late 19th century, the stable range may likewise have earlier origins suggested by anomalous structural elements surviving within the extant range, specifically, a curved, 'cruck'-like timber within one of the transverse walls. The service ranges were refurbished and reordered in 1858 (stables) and 1865 (coach house) and both again in 1981 by the Trust. At the time of preparation of the current report the ranges were in use for visitor reception, retail, toilets and catering facilities (preparation area, kitchen and café seating). The house and associated service buildings have been in the ownership of the Trust since 1981.

1.1.2 The current report has been commissioned by the Trust to record and assess the stable block range only; it has been prepared both as an internal Trust document (for general information) and as supporting documentation to accompany a proposed planning application for internal reordering of the range, in accordance with para. 128 of National Planning Policy Framework (NPPF, DCLG 2012) which requires an applicant;

'to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.' (DCLG 2012, 30).¹

¹ https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf

1.2 Designations

- 1.2.1 Canons Ashby House is included on the Statutory List of Buildings of Special Architectural or Historical Interest as a Grade I listed building (LB ref.10753564),² and is located within the Grade II* Registered Canons Ashby Park.³ The stable block currently under consideration is not listed in its own right, though as a curtilage building of the Grade I listed main house it is clearly a non-designated 'heritage asset' under the terms of National Planning Policy Framework (NPPF; DCLG, 2012).⁴
- 1.2.2 The house and stable block fall within the area of the Canons Ashby Scheduled Ancient Monument (SAM, ref. 1015534),⁵ which also includes St Mary's Church and significant areas of the surrounding gardens and parkland. They also lie within the bounds of the Canons Ashby Conservation Area.⁶
- 1.2.3 The stable block is not currently included on the National Trust's Historic Buildings Sites and Monuments Record (HBSMR).

1.3 Scope of the Report

- 1.3.1 No official project brief was issued in respect of the current study, the parameters of which were arrived at through a process of discussion with the project originators, Mr Simon Chesters-Thompson (NT Curator, Midlands) and Mr Edward Bartlett (formerly NT property manager, Canons Ashby). The project has been undertaken in accordance with a Written Scheme of Investigation (WSI; Tyler 2014, see **Appendix A**), submitted to and approved by the Trust in advance of work.
- 1.3.2 The recording, research and report preparation have been undertaken in accordance with English Heritage guidelines as published in *Understanding Historic Buildings: A Guide to Good Recording Practice* (EH, 2006), the Institute for Archaeologists' *Standard and Guidance for the Archaeological Recording of Standing Buildings or Structures* (IfA, 2008), the National Trust's *Guidance Note on the Recording and Analysis of Historic Buildings* (NT, 1998) and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation of Works to Historic Buildings* (ALGAO, 1997).
- 1.3.3 Archival research and site survey were undertaken in late July 2014. The current report has been prepared based upon information current and available as of August 2014.

2 AIMS AND OBJECTIVES

- 2.1 The general objective of the historic building record and assessment was to research the origin, history, construction and development of the stable block and to assess its character, date and phasing with a view to understanding its significance and potential for sensitive adaptation.
- 2.2 Specific aims, as defined by section §.2 of the WSI, were as follows:
- to create a primary archaeological record of the building, its structural and constructional features and its developmental history so far as can be established from a non-intrusive survey.
 - to define any particular significances of the building, either as a discrete individual structure or in its wider context.

² <http://list.english-heritage.org.uk/resultsingle.aspx?uid=1075304>

³ <http://list.english-heritage.org.uk/resultsingle.aspx?uid=1000488>

⁴ https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf

⁵ Canons Ashby SAM: 'the remains of a medieval monastery, castle, settlement and fields, post-medieval houses, gardens and park, and a series of five dams'. See <http://list.english-heritage.org.uk/resultsingle.aspx?uid=1015534>.

⁶ <http://www.daventrydc.gov.uk/living/planning-and-building-control/conservation-area-maps/?assetdet1041827=28513>

- to bring together the findings of present and previous archaeological and historical work into an accessible narrative and analytical report explaining the buildings history and uses.
- to provide a sound, evidenced and accessible basis for future interpretation, presentation and understanding (eg. for future repairs or conservation measures that might be deemed necessary to safeguard the historic fabric).

3 METHODOLOGY

3.1 Documentary Research

3.1.1 A search was made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs, drawings, paintings and written descriptions, and primary and secondary sources related to the site held by the National Monuments Record (NMR), by the Northamptonshire County Record Office (specifically the Dryden Collection which contains a number of historical drawings by Sir Henry Dryden), the National Trust's regional offices at Hardwick/Alcester, the central archives at Heelis, Swindon and the Wansdyke storage facility,⁷ together with relevant archival materials retained at Canons Ashby itself. Standard on-line sources including The National Archives www.a2a.org were also consulted. Mr Andrew Brookes, partner of Melville and Partners (architects) was contacted regarding works undertaken at the property both in 1981 and in 2000.

3.1.2 A full list of sources is included below at section §.11.

3.2 Historic Building Record

3.2.1 The Historic Building Record comprised a detailed visual examination of the exterior and interior of the structure under consideration and the compilation of drawn, photographic and written records of the same to a level commensurate with a 'Level 3' analytical record, defined by English Heritage in *Understanding Historic Buildings: A Guide to Good Recording Practice* as follows:

'...an analytical record, [comprising] an introductory description followed by a systematic account of the buildings origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure to support an historical analysis.' (EH 2006, 14).

3.2.2 The historic building record comprised three related elements; a drawn record, a photographic record and a written account, details as follows:

Drawn Record

3.2.3 The building survey comprised an examination of the safely accessible areas of the stables range and the preparation of plans, sections and principal exterior elevations sufficient to illustrate its dimensions, features (including phase breaks, blocked features, former doorways etc.) and construction, phasing and development of the building so far as practicable from a non-intrusive survey. Site drawings were prepared at an appropriate scale, comprising for the most part the annotation of supplied base drawings though with limited new survey, measurements being obtained by a combination of taped measurement and hand-held laser (disto). A register of project drawings is included below as **Appendix B**.

⁷

Trust archives searched by relevant NT staff at request of Simon Chesters-Thompson.

Photographic Record

- 3.2.4 To complement the drawn survey, a photographic record was made comprising high resolution digital photography using a Nikon D3000 DSLR camera (10MP), commensurate with a Level 3 record. Where practically feasible, photographs included graded photographic scales. A register of site photographs was maintained recording subject, orientation, date and photographer; a register of site photographs is included below as **Appendix C**.

Written Record

- 3.2.5 A written record was maintained as free text to accompany the drawn and photographic records, and forms the basis for the building description included below. This extended to cover a summary of the building's form and type, its function (historically and at present), materials of construction, date and sequence of development so far as practicable from a non-intrusive survey.

4 HISTORICAL BACKGROUND

It is beyond the scope of the current project to present a full and detailed historical account of Canons Ashby House;⁸ a short summary is included however, for reasons of completeness and so as to enable the recorded structure to be placed within a broad historical context.

4.1 General Historical Context

- 4.1.1 'Ashby' is recorded in Domesday Book of 1086, where it is listed (as 'Ascebi') under the lands of 'Walter the Fleming' in Foxley Hundred, as follows:

Hugh holds 2½ hides from Walter in (Canons) Ashby. Land for 6 ploughs. In lordship 1 plough; 4 slaves. 9 villagers and 3 smallholders have 3 ploughs. Meadow 12 acres. The value was 40s; now £4.
(Morris 1979; 39,9).

- 4.1.2 The name 'Ashby' is a place-name of Anglo-Danish origin, meaning 'ash tree settlement', while the 'Canons' prefix derives from the Augustinian priory founded here in the mid-12th century. It is the most southerly of five 'Ashby' place-names in Northamptonshire, viz. Ashby St Ledgers, Canons Ashby, Castle Ashby, Cold Ashby and Mears Ashby (*ibid.*, xxii-xxiii), 'an isolated Danish outpost in English Mercia' (Steane 1974, 173). The name has been rendered historically as *Canons Hessheby* (1287), *Assheby Canonorum* (1320), *Channons Assheby* (1506) and *Coopesassheby/Cannonsassheby* in 1542 (Mawer and Stenton 1933, 39).

The Village

- 4.1.3 The village of Canons Ashby today is much reduced from its former extent, though its past location is clearly delineated by extensive surviving earthworks and related ridge and furrow to the north of Canons Ashby House (see RCHME 1981, figure 34); a flat topped motte within the deer park probably represents an early castle site and the precursor of the Manor House of the Cope family, who were granted the site in 1538. The evidence of the earthworks suggest a 'double-row' village lining a road extending from the motte in the north to the Priory church to the south with tenements at the north end and along the Adstone Road representing later expansion; 44 properties were recorded in 1344-5 (*anon.*).⁹ Even during the medieval period, however, the population of the parish was below the average for the county as a whole, perhaps as a result of the agriculturally less-productive clayey soils (*ibid.*). Over the following centuries, the village gradually reduced in size, not least due to forced desertion as a result of enclosure of arable land for sheep

⁸ See Gotch (1936, 84-86); Bailey, Pevsner and Cherry (2013, 153-8); Heward and Taylor (1996, 115-126)

⁹ Anon (nd.). 'Canons Ashby, Northamptonshire: An Archaeological Report' NCRO ref. ZB 294

pasture, a process underway by the mid-13th century if not before; by 1536, only five messuages and three cottages survived in the vill, with pasture occupying 1100 acres.

The Priory

- 4.1.4 The Augustinian Priory was founded in c.1147-51 at the southern end of the village when Stephen de Leye, who then held the Manor, granted the church of Ashby together with 4 virgates of land, a fishpond, a mill, the enclosure of 'Segeho', 26 acres in Ashby Field and the houses and crofts 'as far as the upper gate' (Steane 1974, 121), for the use of a Prior and 12 canons. Stephen later granted an additional ½ hide in Ashby while his son, Robert, endowed the canons with a further 11 virgates such that by 1295 the Prior held a full knights fee in Ashby of Roger de Grey, the heirs of the Leye family, who retained overall lordship of the parish until at least the mid-15th century (*anon.*).

4.2 Canons Ashby House

- 4.2.1 At the Dissolution the Manor, already entirely enclosed by that date, passed to one Sir Francis Bryan, a close ally of Henry VIII, who sold it on within a year to Sir John Cope, a wealthy Banbury lawyer and one time Escheator of Northamptonshire and Rutland. Cope formed a house ('Copes Ashby') from the east and south ranges of the former monastic cloister; a further range was added in 1580 though the house was subsequently demolished in c.1665 (Heward and Taylor 1996, 114). Canons Ashby House itself was erected by Cope's son-in-law, John Dryden just to the north of the Priory in c.1551, incorporating parts of a former farmhouse known as 'Wilkyns Farm' (*ibid.* 115).¹⁰ The house was subject to successive phases of enlargement and remodelling, principally in the 1590s, the 1630s and 1708-10 (NT, 2001).¹¹

4.3 Later History

- 4.3.1 A significant figure in the history of the house and estate, particularly so in respect to the current study, was Sir Henry Dryden 'the antiquary', who succeeded in 1837 at the age of 19. The first owner since the 18th century to live at Canons Ashby full-time, Sir Henry had neither the inclination nor the finances to make wholesale changes; in particular, in 1844 he abandoned plans for a large new stable block in favour of remodelling the existing ranges (see §.5.2 below).
- 4.3.2 During the early years of the 20th century, the estate passed through a succession of family members, a number of whom used the house only in the summer, modern heating and plumbing only being installed in the later 1940s (NT 2001, 45). In 1926, Cecil Dryden emigrated to Rhodesia and the house, mothballed during the Second World War, was subsequently rented out. From 1962 the house was let to Dr Christopher Woodard (who rescued the building from a state of near dereliction), and subsequently to an architect and jeweller, Louis Osman. By 1980, however, the house was again in a parlous state of repair and in need of a substantial programme of work, while the estate and outbuildings were similarly dilapidated (see Figure 11).

The National Trust

- 4.3.3 Although negotiations with the Trust had taken place as early as 1937, these had amounted to nothing and it was only in 1981 that the house and estate were eventually donated to the Trust by John Lawrence Dryden. Immediately, a programme of works was put in place to consolidate and repair the buildings of the main house and outbuildings; the project team was led by architect Rodney Melville, then of the John Osborne Partnership of Leamington Spa, and included R. Perrin of Walton on Thames (quantity surveyor), D.J. Ascough of Birmingham (structural engineer) and the Lichfield Office of specialist conservation contractors Linford

¹⁰ An agreement of 1573 (NCRO ref. D(CA) 598) mentions Dryden's mansion house, 'lately Wylkyns Farme'; original document not seen due to conservation issues. Robert (Robtus) Wylkyns is listed as a carpenter resident at Canons Ashby in a tax assessment of 1536 (15 Henry VIII); see <http://www.medievalgenealogy.org.uk/subsidies/transcripts/greensnorton16c.shtml>

¹¹ See Heward and Taylor's *Country Houses of Northamptonshire* (1996, 115-126) for a detailed description and development of the mansion house.

Building Group (Gundry 1982, 9). Phase 1 works, completed in the spring of 1982, focussed on major structural repairs to the south range of the house (incl. the south wall, tower, roofs, windows and floors together with internal fittings), but also included the consolidation of the stable block and the conversion of the southern part of the same to form living quarters for Trust staff, subsequently known as the 'Gardener's Cottage' (*ibid.*).¹²

5 MAP REGRESSION, HISTORICAL SURVEYS AND OTHER GRAPHIC SOURCES

5.1 Early Maps and Views

- 5.1.1 No enclosure,¹³ estate or tithe maps are listed at the Northamptonshire County Record Office (NCRO) and so the earliest cartographic sources for the area are those presented by the Ordnance Survey (eg. Figure 4). It is readily apparent that the stables range had evolved to occupy its present footprint by the publication of the first editions (1885, 1902) and so these and later maps are of no tangible use in tracing the evolution of the extant building.

5.2 Historical Surveys

Sir Henry Dryden's Survey, 1858

- 5.2.1 An historical survey of the stable block prepared by Sir Henry Dryden on the occasion of the enlargement and remodelling of the range in 1858 (see §.4.3.1 above) survives in the Dryden Collection at the NCRO. The survey comprises both measured plans (Figure 5)¹⁴ and elevations (Figure 6)¹⁵ each comprising 'before' and 'after' views which are invaluable, both as the only surviving depiction of the range prior to its remodelling, and in elucidating the details of the mid 19th-century work, much of which has itself been lost to subsequent phases of modification.
- 5.2.2 The 'before' plan and elevation (annotated '*Present state in 1858*') illustrate a basic two-part subdivision of the range; the northern section (covered by a tiled roof dating to 1843) was accessed via two doors in the eastern (road) elevation and formed an unlit wood barn and coal house while the southern, thatched section comprised a heated¹⁶ saddle room and discrete stables area,¹⁷ accessed from the western, courtyard side. Both of the latter were lit by windows in the western elevation, including a three-light mullioned window to the stables area (Figure 6, top). A high-level pitching door in the west elevation and ladder shown on the plan indicate that the stables were furnished with an upper hay loft which would have fed the racks and mangers ranged along the eastern side (see also Figure 7). The elevation records the presence of an inscribed 'springer' at the south-west angle, recording the date '1758'; this survives in the extant range (see §.7.2.4) where it has evidently been re-set.
- 5.2.3 In the 'after' survey drawings (annotated '*Proposed State*' and '*Completed Nov. 3 1858*'), the northern part of the range remains essentially unchanged with an unlit coal store and wood store for large/small firewood and gorse (Figure 5, bottom). To the south, however, significant changes had been effected - the single greatest modification being the extension of the range by approximately 8ft (2.45m) and the rebuilding of the southern gable end (apparently incorporating the three-light mullioned window formerly within the west wall). A new, larger saddle room was created to the north, divided off from the stables to the south by a new transverse partition incorporating a fireplace with central ridge stack, though with internal through access via a doorway flush against the western wall. The stables themselves were neatly partitioned to form four equal

¹² A number of 'before' and 'after' photographs of the exterior of the stable block survive at Canons Ashby (see §.5.3 below; Figures 11/12)

¹³ See Kain, Chapman and Oliver's '*Index of places in England and Wales with extant Enclosure Maps*'; http://assets.cambridge.org/97805218/27713/index/9780521827713_index.pdf

¹⁴ NCRO ref. Dryden Collection, D(CA)476/3.

¹⁵ NCRO ref. Dryden Collection, D(CA)476/4.

¹⁶ An angle fireplace with short eaves stack is shown to the north-west corner of the saddle room.

¹⁷ The latter subdivided to form three spaces labelled 'cart stable, 2 stalls & harness' and 2x 'loose box or two stalls'

loose boxes, each with feed rack and manger against the east wall, while to the south-west corner, a stair rose to the hayloft over. Loose boxes were ventilated by a series of four small wall-vents in the eastern wall (see Figure 5, bottom; Plate 12) and by a single, louvred ridge-vent (Figure 6, bottom). A series of brick piers were introduced to support (mid-span) the tie beams of the newly formed roof trusses.

- 5.2.4 The arrangements of the western elevation were also radically altered during this phase of work with new single-light windows to the stables (with top-hinged, opening upper casements) and double/single fixed-lights to the saddle room. Saddle room and stables were each served by a single, central doorway, 3½ft and 4ft wide respectively, with small gables over framing an upper doorway to the north and smaller, pitching door to the south. The newly rebuilt southern gable end incorporated the repaired, three-light mullioned window, reset from the west wall, at ground floor level with a further window over, lighting the hayloft (now blocked; see Figure 9a).

1999 Survey

- 5.2.5 It has not proved possible within the timeframe of the current project to trace any drawings relating to the 1981 Trust refurbishment of the stables range.¹⁸ A survey of August 1999 by On Centre Surveys on behalf of Rodney Melville and Partners (Figure 13) is of use, however, in showing the arrangement of internal partitions, suspended ceilings and additional fireplace/stack introduced to adapt the range to residential use.

5.3 Historical Photographs

19th Century Photographs

- 5.3.1 Two early images depict the range following Sir Henry Dryden's remodelling of 1858, and though neither affords a complete and unimpaired view of the building, are nonetheless of some use. The first image (Figure 8a)¹⁹ is a photograph by Sir Henry's daughter Alice, dating to 1886 which depicts the stables (obliquely) and coach house viewed from the south, with the mansion house beyond. The western, courtyard elevation is visible together with the southern gable end, though the details of the latter are obscured to a great degree by an adjacent tree. Of particular interest is the depiction of the western elevation; it would appear here that the courtyard façade to the north of the saddle room door was pierced by not one, as per the 1858 elevation drawing, but by two window openings, the northern-most being somewhat wider and presumably lighting the wood store internally. Certainly, a window is evident here in later photographs (see Figure 9b; §5.3.2 below), though it is unclear whether this suggests a shortcoming in Sir Henry's survey or an intermediate phase of work having been undertaken at some point between 1858 and 1886. A second early image, undated though assumed to be late 19th century (Figure 8b),²⁰ shows the southern end of the stables range (west), as viewed from the main house with Church Cottage in the background; this image confirms the southern fenestration pattern of the 1858 'after' elevation drawing though little else can be gleaned.

20th Century Photographs

- 5.3.2 A series of photographs from the mid-late 20th century shed light on the more recent development of the range, in particular the period immediately prior to and after the acquisition of the property by the Trust (the latter, a period for which little other documentary material has been traced). Two aerial views of July 1950 (Figure 9),²¹ one from the south-east and one from the west, are useful in illuminating two specific points: firstly that the first floor window of the southern gable end, now blocked but recognisable within the extant

¹⁸ Inquiries have been made to the NT Hardwick and Alcester Consultancy Hubs, to Heelis and to the Swandye storage facility. Melville and Partners, the architectural practice responsible for the works at Canons Ashby following acquisition by the Trust hold a substantial (uncatalogued) archive of materials from this period (Andrew Brookes, partner, *pers. comm.*). This archive, which was partially damaged by flooding in 1998, may include materials related to the refurbishment of the stables range in 1981, though it is beyond the scope of the current project to make a thorough search of this material.

¹⁹ National Trust Guidebook 2001, p.42, btm.

²⁰ Original at Canons Ashby House.

²¹ Originals at Canons Ashby House.

fabric, remained open at this date (Figure 9a), and secondly in confirming the former presence of a wide, (?)two-light window to the north of the saddle room door (Figure 9b), previously suggested but not clearly visible in the 1886 view.

- 5.3.3 A further oblique aerial view of October 1974 (Figure 10)²² clearly indicates that the upper window of the southern gable end had been blocked in by that date. What appears to be some form of system of bracing is visible, extending from the western eaves over the ridge of the northern section of the roof, suggesting the structure was becoming increasingly unstable by this date.
- 5.3.4 The increasingly dilapidated state of the range is confirmed by two views of 1981 (Figure 11),²³ immediately prior to the Trust's programme of stabilisation and remodelling works. The roof bracing system of the 1974 aerial view is seen to have been still in place, effectively preventing the westwards spread of the eastern eaves. The oblique view of the eastern (road) elevation clearly indicates that the paired doors to the north end of the range remained open at that time, while the extant windows to the south had yet to be inserted.
- 5.3.5 Two photographs of the Trust's works have been examined as part of the current project (Figure 12),²⁴ though it is possible that more records of this phase of work survive (see fn.19 above). The first image (Figure 12a) illustrates the extent of work necessary to stabilise the northern section of the roof, while the second image confirms that the extant double-doors at the north end of the western, courtyard elevation were introduced for the first time during this phase of work.

6 OTHER SOURCES

6.1 Historical Inventories

- 6.1.1 An inventory of 2nd December 1717,²⁵ prepared upon the death of Edward Dryden, lists the contents of the house on a room by room basis and, significantly, includes an assessment of a stables range as follows:

An Inventory of the quick and dead Stock of Edward Dryden aforesaid Esq. taken and apprais'd y^e 2nd day of December 1717 by M^r Beauchamp and M^r Freemantle as appears by the several particulars (viz.)

<i>Imprimis</i>	<i>37th In the Stables</i>
<i>Two Stone Horses, valued.....</i>	<i>30.00.00</i>
<i>A Saddle Stone Horse.....</i>	<i>4.00.00</i>
<i>A Mare and Foal.....</i>	<i>15.00.00</i>
<i>Two Geldings.....</i>	<i>20.00.00</i>
<i>Two Geldings in y^e little Stable.....</i>	<i>15.00.00</i>
<i>A Mare and Gelding.....</i>	<i>16.00.00</i>

- 6.1.2 An inventory of 1778²⁶ lists the contents of the house only.

²² Original at Canons Ashby House, digital copy supplied by Ms Laura Malpas (Visitor Operations Manager).

²³ Originals at Canons Ashby House.

²⁴ ditto.

²⁵ NCRO ref. Dryden Collection, D(CA)901. 'An Inventory then taken of all y^e Household Goods, Chattels &c of Edward Dryden Esq. deceas'd, in his House at Canons Ashby in ye County of Northampton'.

²⁶ NCRO ref. Dryden Collection, D(CA)201.

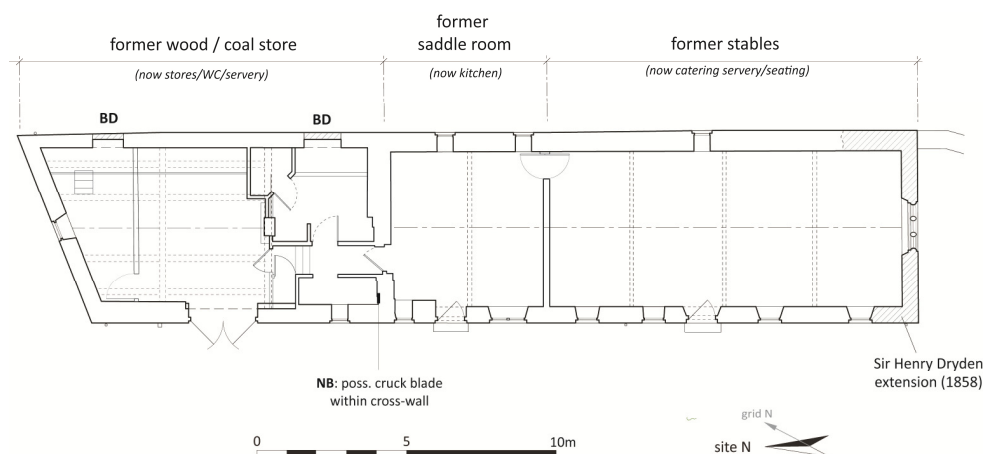
6.2 Previous Archaeological Work

- 6.2.1 An archaeological watching brief undertaken by Oxford Archaeological Unit in August 2000 (OAU, 2000) monitored the excavation of service trenches in and around the stable block, related to the creation of the current paved seating area, access ramps and stone wall. Two trenches exposed archaeological deposits and finds of post-medieval (and possibly medieval) date, but these have no immediate bearing upon the current study.

7 BUILDING DESCRIPTION

7.1 Overview

- 7.1.1 The stable block at Canons Ashby House is stone-built in coursed ironstone, of a single storey beneath a pitched, slate-clad roof gabled to north and south, occupying a sub-rectangular plan aligned approximately north-south.²⁷ The northern gable end is angled at some 20° from perpendicular, aligned parallel to respect the southern wall of the coach house block, immediately adjacent to the north, which is itself aligned parallel to the southern range of the mansion house (Figures 2/3; Plate 1). The stable block has been subject to fairly radical phases of remodelling in the mid-19th century and internal reorganisation in the late-20th and early 21st centuries; in its present state it occupies a tri-partite plan (see inset below), formerly wood store/saddle room/stables, and reflects to a broad extent the remodelled stable block created by Sir Henry Dryden in 1858.



Canons Ashby House: Sketch plan of stable block showing main elements referred to in text (see also Figure 14)

7.2 The Exterior

Western (Courtyard) Elevation

- 7.2.1 The **western elevation** (Figure 15; Plates 2/3), facing onto the stable yard, has an overall length of 27.6m/90½ft (N/S) and stands to a single full storey, 3.05m/10ft to eaves and 7.25m/23ft 9in. to ridge eaves level. It is constructed in orange/red ironstone, regularly though unevenly coursed (ie. individual courses vary in depth from 3-9in.) rising to a double-offset eaves band. The character of the stone coursing varies along the length of the elevation, with generally narrower coursing towards the south end of the range, though no clear 'breaks' are evident (it should be noted, however, that much of the central and southern

²⁷

The range is in fact aligned approximately NNW-SSE; this has been simplified for the purposes of the present account, such that the long elevations to road and yard will be described as facing to east and west respectively and gable ends to north and south.

parts of the range is obscured by climbing vegetation). The elevation owes its current appearance overwhelmingly to Dryden's mid-19th century remodelling; all but the double garage doors [d1] to the far north end (Plate 2; inserted 1981/2) would appear to date to this phase of work, though window [w1] is possibly slightly later (see §.5.3.1) and has been reduced from a double to a single light in the later 20th century (see Figure 9b). To the south end of the elevation, four identical single-light windows (see Plate 7) light the former stables area while, further north, a single-light [w2] and double-light [w3] window light the former saddle room (now kitchen). All windows are furnished with leaded lights formed of diamond quarries set within timber frames with iron saddle bars; [w4-7] have a lower fixed light with upper, top-hinged opening casement. Doors [d2] (Plate 5) and [d3] (both renewed) serve the former saddle room and stables respectively, each set beneath a small gable (Plate 4) with door [d4] and pitching door [d5] (Plate 6) over, formerly opening onto upper level haylofts; all are ledged and braced with external vertical set boarding, pin-hung on strap hinges and opening outwards. The pitched roof, gabled to north and south, is clad in banded plain and fish-scale tiles (Plate 8), understood to have been replicated during the 1981 refurbishment (A Brookes *pers. comm.*) and so presumably reflecting Dryden's work. A single, brick-built ridge stack (Plate 9) rises slightly south of centre, dating to 1858 and formerly serving a fireplace within Dryden's enlarged saddle room (kitchen [G.02]). The southern c.8ft of the elevation represents Dryden's 1858 extension (see Figure 5) though again, no clear 'phase break' is evident within the stonework.

Eastern (Road) Elevation

- 7.2.2 The **eastern elevation** (Figure 16; Plate 10) facing onto the road, is much plainer in aspect, again in orange/red ironstone, though here more roughly dressed, again regularly though unevenly coursed (individual courses vary, 2-7in. depth). It measures 30m/98½ft long (N/S) and stands to a maximum 3m/10ft tall to eaves level at its southern end beneath a pitched roof clad in banded plain and fish-scale tiles, as per to west. To the north end of the elevation, blocked doorways [d6] and [d7] (Plate 11) formerly opened onto the wood and coal store respectively, though both were blocked during the 1981 remodelling. To the south end of the range, three single-light windows [w9-11] (Plate 13) also date to the 1981 phase of work, inserted to light the newly created '*gardener's cottage*'. At high level, hard beneath the eaves band, is a series of four small, regularly spaced wall vents, all blocked (Plate 12). At the far south end of the range, an area of irregular stonework (Plate 14) corresponds approximately to the extent of Dryden's 1858 extension, though it does not resolve itself into any clear and logical 'phase break'; the south-east angle is formed of large, dressed ironstone quoins.

North Gable End

- 7.2.3 The **north elevation** (Figure 17a; Plate 15) presents a blind gable, save for a small, square fixed-light [w12] at high level, and is set at a 20° angle to the perpendicular, respecting the alignment of the adjacent coach house. The stonework of the lower elevation, below eaves level, is of roughly dressed and rounded ironstone laid to regular though uneven courses. Above eaves level, by contrast, the stonework is of more regular nature, neatly dressed and squared, and laid with narrow mortar joints suggesting it may have been rebuilt, presumably in 1858 (or perhaps in 1843, when this end of the range was first tiled; see Figure 6, top). Quadrant moulded kneelers to east and west support a raised stone coping.

South Gable End

- 7.2.4 The **south elevation** (Figure 17b; Plate 16) dates to Dryden's 1858 extension, commemorated in an inscribed kneeler to the south-east angle (Plate 19b). At ground floor level, the elevation is pierced by a three-light, ovolo-moulded, stone-mullioned window [w8] (Plate 17); although the mullions are obvious replacements, the remaining stonework is clearly of some age and it seems reasonable to argue that the window is that formerly located within the west wall (see Figure 6, btm.), re-set here during Dryden's remodelling. The central light of the window houses an opening casement with quadrant stay (Plate 26); a slot within the stone head (Plate 18) allowing for the removal of the pin-hung casement. A wide area of patching at high

level denotes the former presence of a first floor window [w13] (blocked at some point between 1950 and 1974; see Figures 9b and 10) with a narrow ventilation slit over.²⁸ Quadrant moulded kneelers to west and east record the dates '1758' and '1858' respectively (the former stone being annotated on Dryden's survey drawing (Figure 6) and presumably having been reset here), while a further inscribed block to the east records the Trust's 1981 refurbishment (Plate 19).

7.3 The Interior

- 7.3.1 The stable block as recorded occupies a basic tri-partite plan (Figure 14) reflecting, in essence, Dryden's mid-19th century remodelling, although structurally it can most logically be broken down into two distinct parts, defined by a substantial masonry transverse wall at Bay 6/7.²⁹ To the south, room [G.01] (Plates 20/21), 12m/39½ft (N/S) x 5.4m/17ft 8in. (E/W), occupies the area of the former stables though here, all trace of original form and function has been lost to subsequent conversion, first to residential use (1981) and latterly to servery/seating area (2000). The room, floored throughout in modern, face-laid blue brick, is accessed via a single, 4ft wide doorway [d3] set approximately central to the western wall; it is lit to the west by a series of single-light windows [w4-w7] (with upper, opening casements) introduced by Sir Henry Dryden in the mid-19th century (Plate 22) and, to the east, by a further window [w9] (Plate 23), inserted in the 1981 Trust remodelling. The south elevation includes the three-light mullioned window [w8], described above and assumed to have been reset from the west wall in 1858 (Plate 24). At high level, blocked window [w13] is clearly evident as an area of exposed masonry (Plate 25) above which is a central, vertical ventilation slit. The roof comprises three softwood, queen-post trusses (Figure 18a; Plates 20/21, here numbered T1 to T3 from south to north) defining four equal bays of c.10ft. Queen posts are joggled top and bottom, with the tie junction strengthened by iron stirrups, jib and cottered (Plate 27), and heads braced by a horizontal tension piece. Raking struts rise from the base of the queen post to the soffit of the principals just above the level of the lower purlin. Each truss is numbered with 'I' to all western members (tie/QP/principal/strut/tension piece) and 'II' to all eastern members (see Plate 27), while individual trusses are defined by the use of distinct marks. The roof is supported on two tiers of diagonally set trenched purlins, in bay lengths and scarfed at the back of each principal; it is ceiled over at the level of the upper purlin, though the stables were originally floored over at eaves level (9ft) with an upper hayloft accessed first by means of a simple ladder and, after 1858, by a timber stair rising at the south-west corner (Figure 5). The overall coherence of the roof structure and its relation to the footprint of the extant (ie. extended) range indicate that it dates to the 1858 reordering. The eastern side of the roof in particular has been subject to fairly extensive repair in 1981, with renewed principals and, in the case of T3, a new section of scarfed-in tie. A doorway at the east end of the north wall, an insertion of 1858,³⁰ provides through access to kitchen [G.02] (former saddle room).
- 7.3.2 Room [G.02] (5.4m/17ft 8in E/W x 5.2m/17ft N/S), the former saddle room, is fully fitted out as a modern commercial kitchen and retains little of historical significance. The western doorway [d2]³¹ and windows [w2-3] date to the 1858 reordering while the eastern windows [w10-11] were inserted in 1981 (A Brookes, *pers. comm.*). Above the suspended ceiling, a further queen-post truss T4 (Plate 30) matches the roof structure over [G.01], previously described while a single-flue stack rises centrally to the southern partition wall. The central opening between the queen-posts of T4 is partly infilled with horizontal planking (Plate 31), possibly related to hay storage.
- 7.3.3 The northern side of [G.02] is formed by a substantial stone-built wall, beyond which the northern end of the range (formerly a combined coal and wood store) has been subdivided by a series of inserted brick partitions. Axial corridor [G.03] (Plate 29) leads, descending 0.48m/19in. via a short flight of steps, to servery [G.06] at the north end of the range; doorways open to east and west onto store [G.04] and toilet [G.05]. Room [G.04] retains little of significance, though door [d6] (Plate 32; blocked in 1981) is exposed in the east wall while

²⁸ Former window [w13] is more clearly defined internally (see Plate 23).

²⁹ Historically, the stables/saddle room to the south, accessed from the west and the coal/wood store to the north, accessed from the east. Dryden's plans (Figure 5) indicate the door was formerly located to the west end of the transverse partition, to accommodate the loose boxes to the west

³¹ Door [d2] is narrower at 3½ft than [d3], reflecting its historical use.

[G.05] includes an intriguing raking timber in its south wall (Plate 33),³² reminiscent of a relic cruck-blade and possibly representing part of an earlier, timber-framed structure on the site (see §.8.1.1 below). The roof over [G.03-5] has been fully renewed during the 1981 refurbishment (Plate 34).

- 7.3.4 Room [G.06/06a] (Plates 36/7, 40/41) occupies the northernmost part of the range, max. 7.5m/24½ft N/S x 5.2m/17ft E/W, formerly wood and coal store and now a food servery and store/office area. Originally accessed for the east via door [d7] (Plate 41, blocked), the principal access is now via a wide double door [d1] within the west wall (Plate 38), inserted during the 1981 remodelling (Figure 12b) when the northern part of the range was used as a garage. Late 20th-/early 21st-century remodelings have effectively removed any evidence for former uses. A raised platform survives against the east elevation within [G.06] (Plate 40; visible also at ground level in [G.04]); the original function of this is unclear though it must logically post-date the blocking of doors [d6/7] and is labelled 'work bench' on the survey drawings of 1999 and so does not form a feature of any great historical interest.
- 7.3.5 The **roof** over the northern section of the range (Figure 18b; Plate 39) is of a more 'rustic' character than the 19th-century structure previously described; it is of three bays (c.3.5m/11½ft) defined by two softwood trusses (T5/6) of simple form with slender queen-struts rising from tie to principals and with collars simply lapped onto the southern face of the trusses. A brick pier with bull-nosed angles supports the tie of T5 mid-span – in form, it appears similar to those introduced within the stables and saddle room in 1858 though no pier is marked in this location on Dryden's plan (Figure 5, btm.). The roof is carried by two tiers of purlins, shallowly trenched into the upper face of the principals and scarfed at each truss.

8 DISCUSSION

8.1 Development

- 8.1.1 A total of six principal phases of development have been identified by the current study, though the earlier phases remain obscure and somewhat putative; they can be summarised as follows:

Phase I:	Obscure origins – a cruck-built timber-framed range?
Phase II:	Non-specific 18 th -century works (1758).
Phase III:	Early-mid 19 th century (1843).
Phase IV:	Sir Henry Dryden remodelling (1858).
Phase V:	National Trust: consolidation and adaptation (1981).
Phase VI:	National Trust: conversion to visitor facilities/catering (2000).

Origins and early development

- 8.1.2 The origins of the range remain somewhat obscure. The '1758' inscription on the south-western kneeler is the earliest dated element of the extant fabric, evidently reset in the 19th century (see below), though it is clear from documentary sources (see §.6.1) that a stables range (and 'little stable') existed before this date and the inscription thus presumably relates to an historical phase of remodelling. In this context, the survival of a single timber, reminiscent of a relic cruck-blade, within the principal transverse partition (Room [G.05]; Plate 33) is of particular interest. The incorporation of such a timber into a new-build, solid masonry wall would have been structurally superfluous and so the possibility exists that it represents an isolated survival of an earlier, 'PHASE I' timber-framed range, effectively 'encased' during later phases of modification. It has been noted that raised crucks survive within the early parts of the main house (see Plate 35), that part related to the former 'Wilkyns Farm' and possibly of early 16th-century date. Thus it is feasible that the extant stable block incorporates fabric of a significantly earlier precursor, though the subsequent loss of any further trace negates any attempt at a meaningful reconstruction.

³²

ie. the principal transverse partition between stables/saddle room and wood store

- 8.1.3 The inscribed date of 1758 on the south-western kneeler presumably relates to a historical phase of work (**PHASE II**), possibly the first rebuilding of the range in stone though it is not possible to define this in any detail.

The 19th century

- 8.1.4 Dryden's survey (Figure 6) indicates that the range was originally thatched throughout, with the northern section over the wood/coal store having been tiled in 1843, possibly the occasion of the rebuilding of the upper north gable end (**PHASE III**). The 'before' drawings give an overview of the range before Sir Henry Dryden's reordering of 1858.

- 8.1.5 Sir Henry Dryden's remodelling of 1858 (**PHASE IV**) is the first phase of work that can be closely defined. It had a dramatic impact on the overall appearance of the range, particularly upon the western, courtyard elevation, and although the basic arrangements of the PHASE III stables were retained, the accommodation was enlarged and improved throughout. The stables were extended to the south and the south gable rebuilt, internally the stalls were updated and replaced by four regular loose-boxes while the central saddle room accommodation was increased in size significantly. The southern part of the range was re-roofed and tiled. By contrast, to the north end of the range, the arrangements of the wood and coal store were left effectively unaltered. Dryden's 'antiquarian' interests are reflected in his resetting of the ovolo-mullioned window and inscribed date stones (both old and new) in the rebuilt south gable end.

The 20th century

- 8.1.6 The range had fallen into a poor state of repair by the time it came in to the hands of the Trust in 1981; the northern part of the range was being used as a store though it is understood that the interior fittings of the stable range, while in a dilapidated state, still survived at that time (A Brookes, *pers. comm.*). The major programme of works put in hand by the Trust (**PHASE V**) significantly changed the external elevations and in particular the internal arrangements of the range when the southern end where the stables were converted to residential use. Roofs were repaired, partly replaced and re-tiled, internal brick partitions and suspended ceilings inserted, an additional fireplace/stack introduced, doors blocked and new windows formed in the east elevation, while a pair of double doors formed at the north end of the courtyard elevation. Much of the loss of the historical character of the range can be traced to this phase of work.
- 8.1.7 The most recent phase of modification (**PHASE VI**; 2000) saw the conversion of the range to form catering/visitor facilities; this saw the introduction of a purpose-built food-preparation/kitchen area within the area of the former saddle room, and the removal of much of the 1980s internal partitioning/suspended ceilings to the southern end of the range to form an open plan seating area. A shop was installed in the former wood store to the north end of the range, which has subsequently (2011) been changed again to house a 'grab and go' catering outlet.

8.2 Assessment of Heritage Values and Significance³³

Evidential Value

- 8.2.1 **Evidential value** derives from the potential of a place to yield evidence about past human activity and can be natural or man-made (EH 2008, 28). Often, archaeological deposits are of evidential value as they are the primary source of human activity for a particular place or period. However, other types of asset can be of evidential value, especially where the documentary record is incomplete, and their value will be proportionate to their potential to contribute to an understanding of the past. Age is a strong indicator of

³³ Following definitions as laid out by English Heritage in 'Conservation Principles Policies and Guidance for the Sustainable Management of the Historic Environment' (EH, 2008).

relative evidential value but is not paramount, while the evidential value of an asset tends to be diminished in proportion to the extent of its removal or replacement.

- 8.2.2 The stables range clearly retains *evidential* value, especially when assessed in combination with the adjacent coach house range as a set of contemporary service outbuildings to a fairly modest country house. That said, the evidential value of the range as a stable block has unfortunately been compromised to a large degree by its late 20th-century, post-stables uses.

Historical Value

- 8.2.3 **Historical value** derives from the ways in which past people, events and aspects of life can be connected through a place to the present (EH 2008, 28). It tends to be either *illustrative* or *associative*. Illustrative value relates to the manner in which a place may provide a tangible link to illustrate aspects of history or prehistory; this relies on visibility, and may relate to distinctiveness of a regional tradition or an aspect of social organisation. Associative value is concerned with links with a notable family, person, event, or movement.

- 8.2.4 Forming an integral part of the service outbuildings associated with the Grade I listed Canons Ashby House, the stable block is clearly of significant historical value enhanced by its close physical proximity to the functionally related former coach house. The *illustrative historical* value is related largely to the stable block as remodelled, 19th-century form and is limited to a large degree to its exterior aspects; the repeated internal re-orderings of the 20th and early 21st centuries have had a cumulative negative impact upon the illustrative value of the interior spaces, such that little survives to indicate its original form and function.

- 8.2.5 The *associative historical* value of the stable block, forming a part of the Canons Ashby Estate with its long historical connection with Dryden family, dating back to the 16th century, can be seen to be highly significant. Specifically, the remodelled stable block as a work of Sir Henry Dryden, 'the antiquary', can be seen to have particularly strong associative value.

Aesthetic Value

- 8.2.6 **Aesthetic value** derives from the ways in which people draw sensory and intellectual stimulation from a place (EH 2008, 30); it can be as a result of conscious design or can arise largely fortuitously as a result of the development and use of a place over time, or from a combination of the two factors. Where aesthetic value derives from conscious design, this may relate to aspects such as form, proportions, massing or of views and vistas, and the retention of the value relies on maintaining the integrity of the concept. Fortuitous aesthetic values may involve the apparently organic form of a rural or urban landscape and reflect the appearance of a place as it has developed over a period of time. Aesthetic value resulting from the passage of time on human works (the 'patina of age') may overlie the values of conscious design, and may enhance or detract from them.

- 8.2.7 The *aesthetic* value of the stables range at Canons Ashby is again limited to a large extent to its external aspects which reflect the 19th century remodelling. It is a matter of regret that the interiors of the range have been so comprehensively compromised by later 20th century and early 21st century interventions, such that little survives of note beyond the envelope of the building structure itself; if nothing else, it serves to illustrate the changing focus of conservation priorities in the latter part of the 20th century.

Communal Value

- 8.2.8 **Communal value** derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory (EH 2008, 31). Communal values are closely bound up with historical (particularly associative) and aesthetic values, but tend to have additional and specific aspects. This may relate to *commemorative* or *symbolic* places, or places which contribute to a sense of identity. Communal

values may tend to relate more to an activity associated with the place rather than the physical buildings themselves and is thus less reliant on the physical survival of historic fabric.

8.2.9 The communal, commemorative and symbolic values of the stable range can be seen to be limited.

8.3 Relevant Planning Policy

8.3.1 Any proposed works at the stables will need to be undertaken in accordance with national and local planning guidelines and relevant legislation.

National Planning Framework

8.3.2 As a curtilage building of a Grade I listed building, the stables at Canons Ashby are clearly recognised as a non-designated 'heritage asset' under the terms of **National Planning Policy Framework** (NPPF). Section §.12 ('Conserving and Enhancing the Historic Environment') of NPPF (2012, 31), paras. **131** and **135** may thus be seen to be pertinent:

131. *'In determining planning applications, local planning authorities should take account of:*

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality;*
- *the desirability of new development making a positive contribution to local character and distinctiveness'*

135. *'The effect of an application on the significance of a **non-designated heritage asset** should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.'*

Local Planning Policy

8.3.3 The existing **Daventry District Local Plan** (2007)³⁴ sets out the council's policies and proposals for guiding the development and land use within the district. The following retained policies **EN2**, **EN18** and **EN21** can be seen to be pertinent:

Policy EN2

CONSERVATION AREAS

Planning permission for development within conservation areas will be granted provided that the development preserves or enhances the character of the area. Special consideration will be given to the environmental implications of the development of vacant sites and the redevelopment of existing buildings.

Proposals for development should not intrude into the setting of important buildings. Development will only be favourably considered if the following criteria are met:

- a. *development should reflect the general architectural character of the existing buildings.*
- b. *buildings should be closely related to the character of the conservation area in scale.*
- c. *attention should be given to detailing in order to add interest in general to new buildings.*
- d. *traditional materials appropriate to the area should be used for walls, roofs and all external joinery*
- e. *proposals for the alteration or repair of buildings should be sympathetic to the character and appearance of the building and the conservation area.*

³⁴

<http://www.daventrydc.gov.uk/living/local-plan/>

Policy EN18**THE REDEVELOPMENT, RENOVATION AND CONVERSION OF EXISTING BUILDINGS WITHIN VILLAGES**

Planning permission for the redevelopment, renovation or conversion of existing buildings within the existing confines of villages will normally be granted provided the proposal respects the distinctive nature and quality of its surroundings. In determining applications in respect of the renovation or conversion of such buildings, regard will be paid to the following criteria:

- a. the building(s) must be capable of renovation or conversion without substantial changes in appearance or dimensions.*
- b. the character and appearance of the original building(s) which make a contribution to the environment must be substantially reflected in the proposal and the applicant will be required to demonstrate that the inherent qualities of the building(s) have been retained and enhanced through sensitive design and the use of appropriate materials.*
- c. the renovation or conversion of the building(s) should not require substantial public service costs or involve the introduction of visually intrusive services such as overhead power cables or telephone lines.*
- d. provision should be made for on-site parking in accordance with the council's parking policy as set out in this local plan. Such provision should properly relate to the converted building(s) in terms of design, materials and siting.*
- e. in order to enable a proper assessment to be made of the impact of the proposed renovation or conversion, applications will only be considered where they are accompanied by detailed drawings of the proposal illustrating the extent of the renovation or conversion and all physical and structural alterations.*
- f. proposals for the renovation or conversion of buildings having a group value, such as those in squares, terraces or farmyards, should reflect that value.*
- g. proposals for the renovation or conversion of buildings which make an important contribution to the village or street scene, should reflect that contribution.*
- h. access to the site is of a safe standard without detriment to the appearance of the area.*

Policy EN21**CONVERSIONS AND/OR CHANGE OF USE OF TRADITIONAL BUILDINGS³⁵**

Planning permission for the conversion or adaptation of traditional buildings will normally be granted provided that:

- a. the essential character of the original building is retained*
- b. existing wall openings are retained or put back to their original form.*
- c. the original or existing roof line is retained with no additions.*
- d. all existing architectural features of the building are repaired and retained.*
- e. new openings in walls are only made where absolutely necessary and reflect the character of the existing openings in form, size and spacing.*
- f. in conversions to residential use, no features of a domestic character change the external appearance of the building.*

8.4 Impact of Current Proposals

- 8.4.1 From available documentation (Figure 18),³⁶ it would appear that proposed works have will have no significant impact upon the exterior aspect of the building which, given the extent of previous interventions, is to be welcomed. Internally, proposals relate purely to the reorganisation of 20th-/early 21st-century arrangements, with no significant interventions within the historic fabric of the range.

9 CONCLUSION

- 9.1 In conclusion, the stable block at Canons Ashby, externally at least, represents an attractive if unremarkable and essentially utilitarian range; when assessed together with the remodelled coach house to the north, it forms part of an interesting group of former service buildings adjunct to a country house of some recognised historical significance and reflects the mid-19th-century aspirations of the antiquarian and amateur architect,

³⁵ Para. §.3.62 defines a 'traditional building' as being 'of traditional construction in the local vernacular and being at least 10 years old'.
³⁶ 'The Stables Tearoom Concept Development', Inspire Design Consultancy, April 2014.

Sir Henry Dryden. Successive phases of reorganisation and remodelling have unfortunately had a cumulative negative impact upon the significance and value of the interiors.

- 9.2 Decisions regarding the proposed re-ordering of the catering facilities within the range will need to assess and balance the historical significance of the building, outlined within this document, against other pertinent issues including its function, both historical and present, its physical condition and the need to establish a viable long-term use. Every effort should be made to preserve the surviving historical exterior features and to avoid further interventions within the historical fabric of the range.
- 9.3 The current study has allowed for a detailed record of the building, its construction and general development history, to be made, so far as was possible from a non-intrusive survey and given the current uses of the building in accordance with NPPF and as set out in the project WSI.

10 ACKNOWLEDGEMENTS

- 10.1 The project was commissioned by Mr Edward Bartlett (formerly property manager at Canons Ashby House) and Mr Simon Chesters-Thompson (NT Curator, East Midlands). Thanks are also extended to Ms Laura Malpas (Visitor Operations Manager at Canons Ashby), Ms Rachel Zenker and Ms Michele Jackson (House Stewards at Canons Ashby), Ms Rachael Hall (NT Regional Archaeologist), Ms Melissa Osbourne (NT Building Surveyor) and Ms Sarah Deacon (NT Business Support Co-ordinator, Alcester Hub). Also to staff and volunteers at Canons Ashby House for co-operation and understanding during the course of survey work.
- 10.2 Thanks also to staff at the Northamptonshire County Record Office.
- 10.3 Documentary research, site recording and assessment were undertaken by Mr Ric Tyler MIfA who also wrote, collated and illustrated the current report.

11 SOURCES

a) Cartographic Sources (in chronological order)

- 1902 Second Edition Ordnance Survey County Series 1:10,000 map.

b) Other Graphic Sources (in chronological order)

- 1858 Sir Henry Dryden survey drawings (NCRO, see below)
- 1886 Photograph of house and outbuildings from the south-west by Alice Dryden (NT; Guidebook)
- ?C19th Photograph of stables from house with Church Cottage in background (NT; Canons Ashby)
- 1950s Aerial photographs of house and outbuildings x2 (NT; Canons Ashby)
- 1974 Aerial photograph of house and outbuildings (NT; Canons Ashby)
- 1981 Photographs pre-consolidation (NT; Canons Ashby)
- 1981-2 Photographs during consolidation/refurbishment (NT; Canons Ashby)

c) Primary Sources

National Trust Archives (Canons Ashby House)

- Historical Photographs; as per (b) above

Northampton County Record Office (NCRO): Dryden Collection

- D(CA)201 Inventory of 1778 (house only)
- D(CA)476/31 Sir Henry Dryden drawings; cross section (partly inked)
- D(CA)476/32 Sir Henry Dryden drawings; measured/dimensioned pencil sketches
- D(CA)476/33 Sir Henry Dryden drawings; stable block plans
- D(CA)476/34 Sir Henry Dryden drawings; stable block elevations
- D(CA)598 Agreement of 1573
- D(CA)901 Inventory of 2nd December 1717.
- ZB294 'Canons Ashby, Northamptonshire: An Archaeological Report'. Anon.

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Telephone conversation with Mr Andrew Brookes, partner with Melville and Partners, architects

d) Secondary Sources

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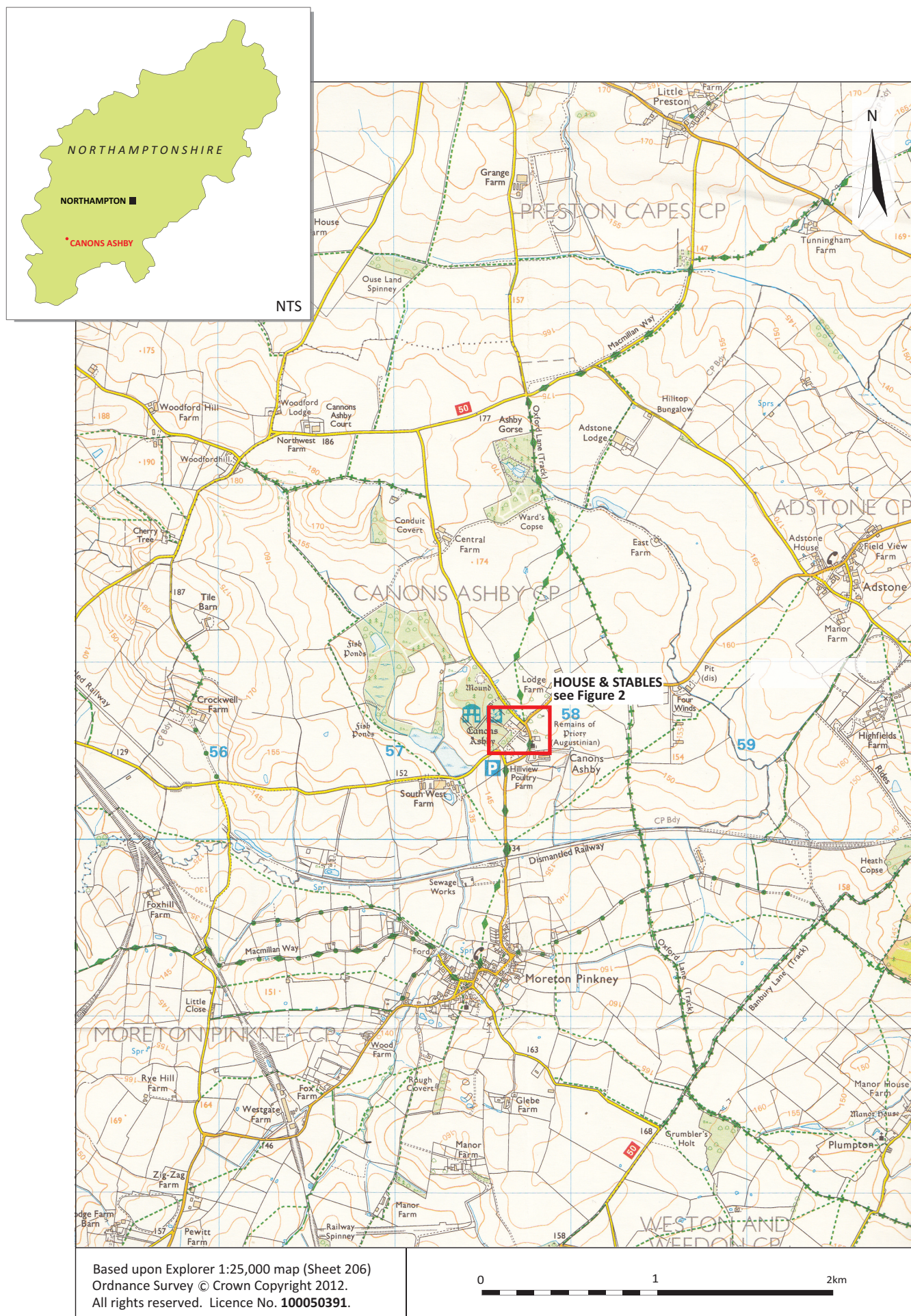
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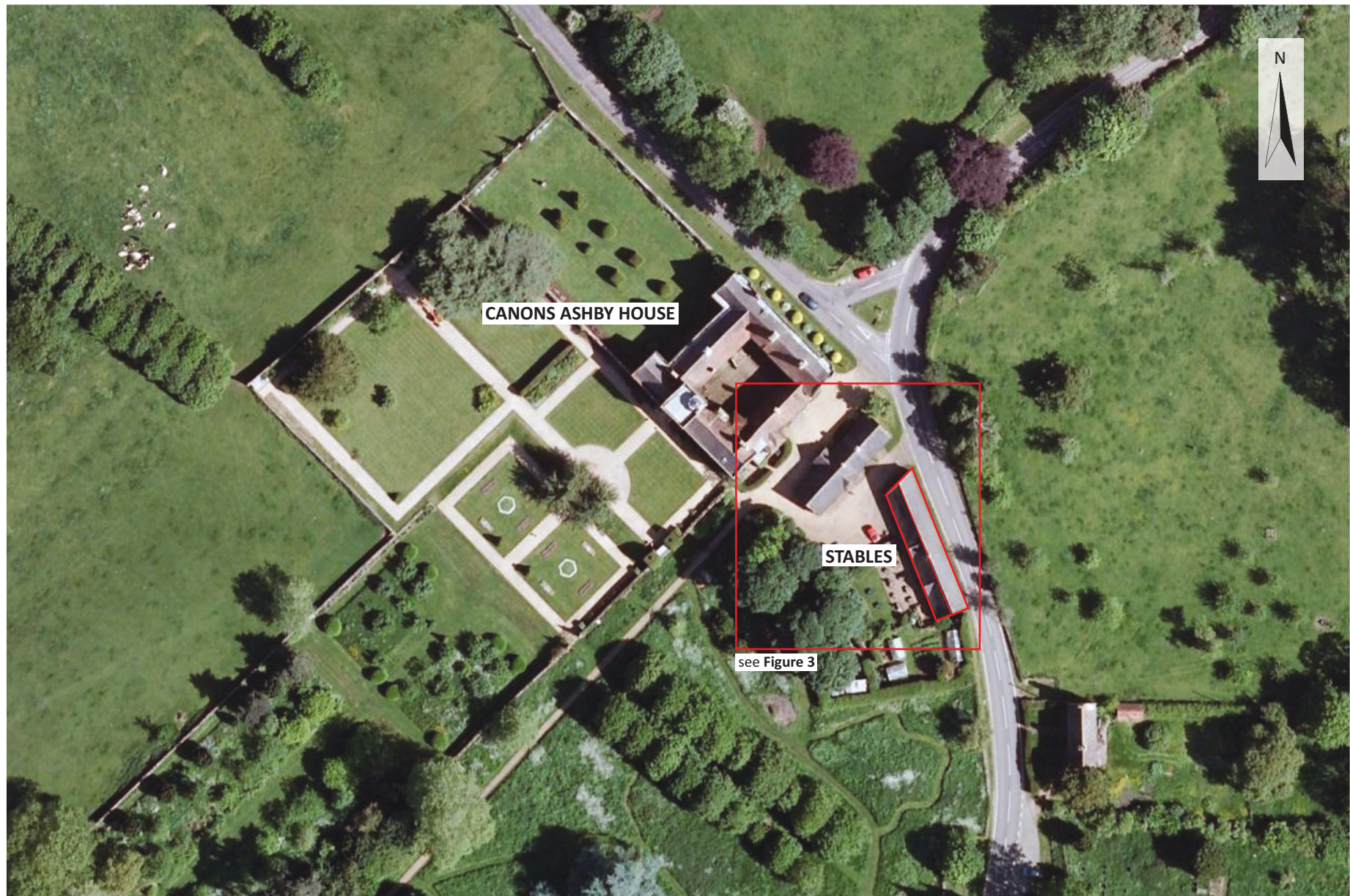
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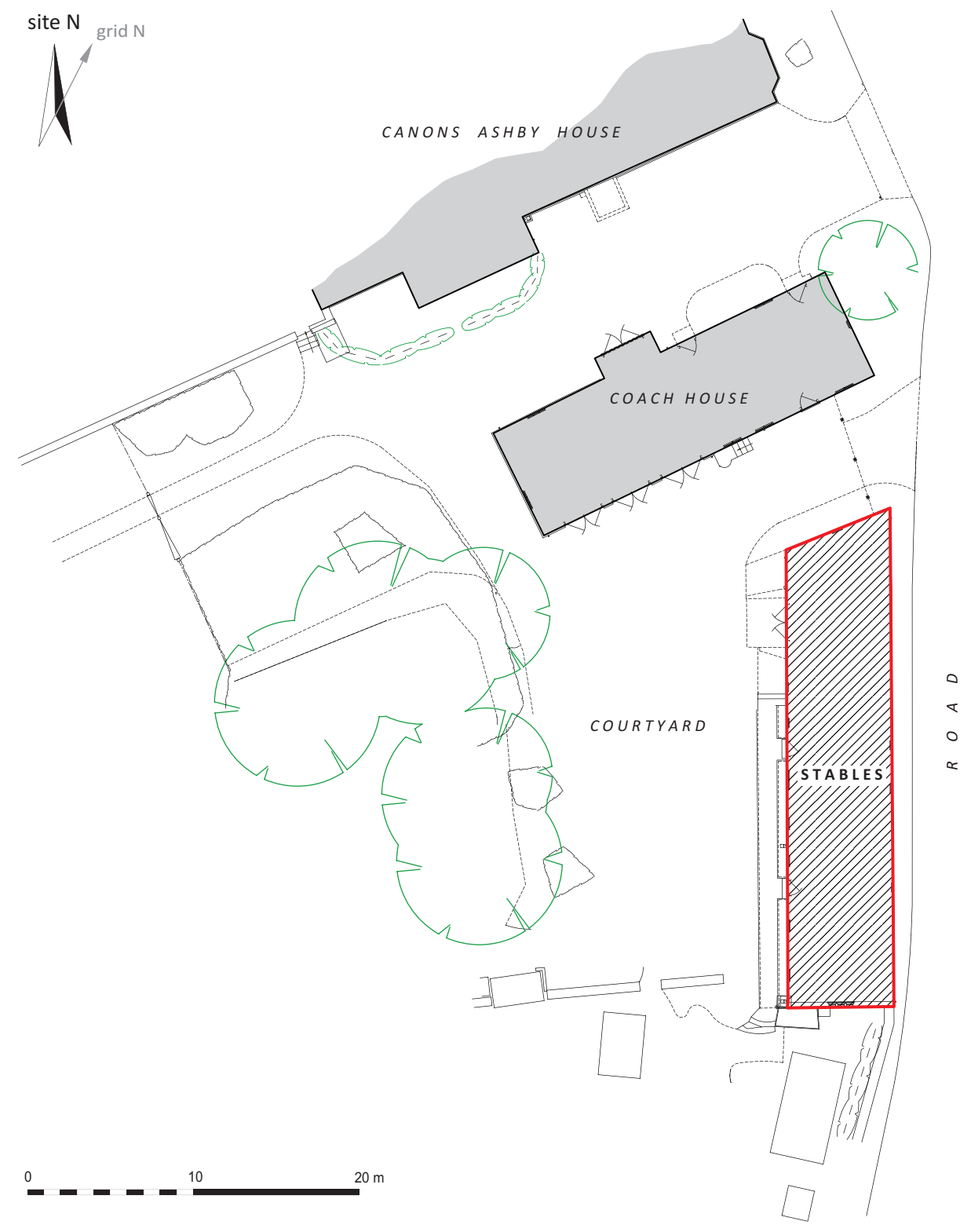
e) On-line Sources

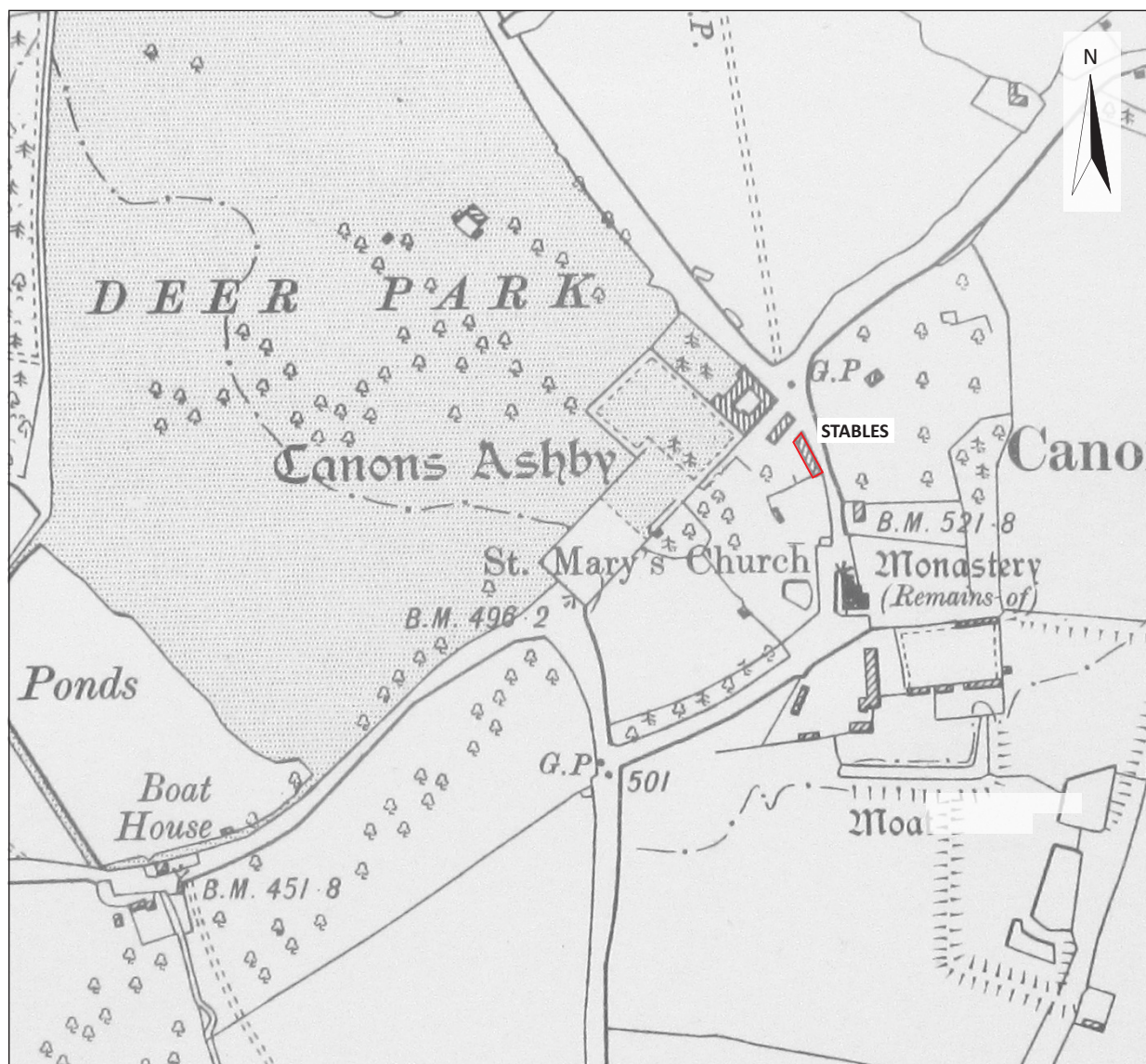
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- <https://www.gov.uk>
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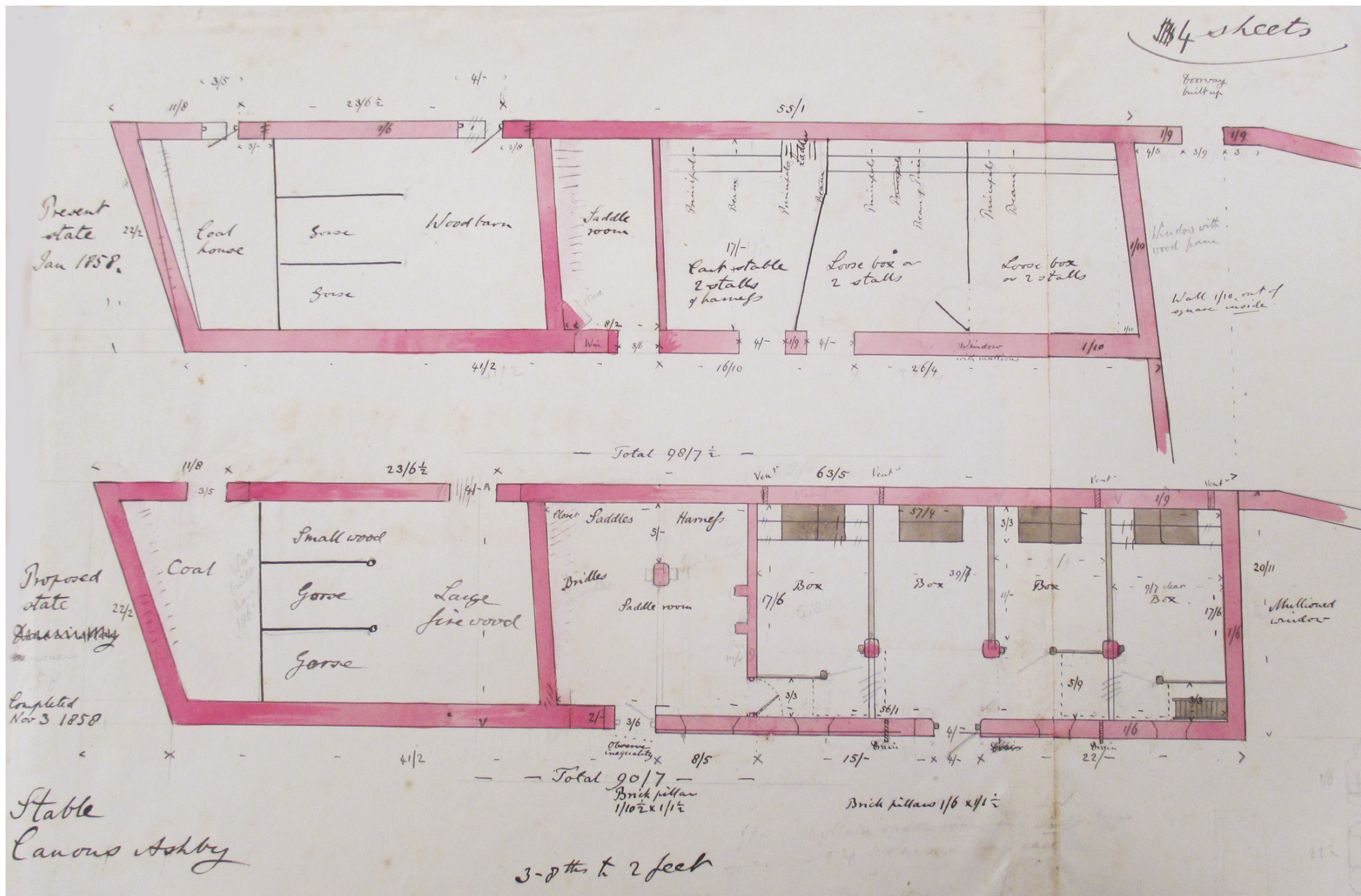




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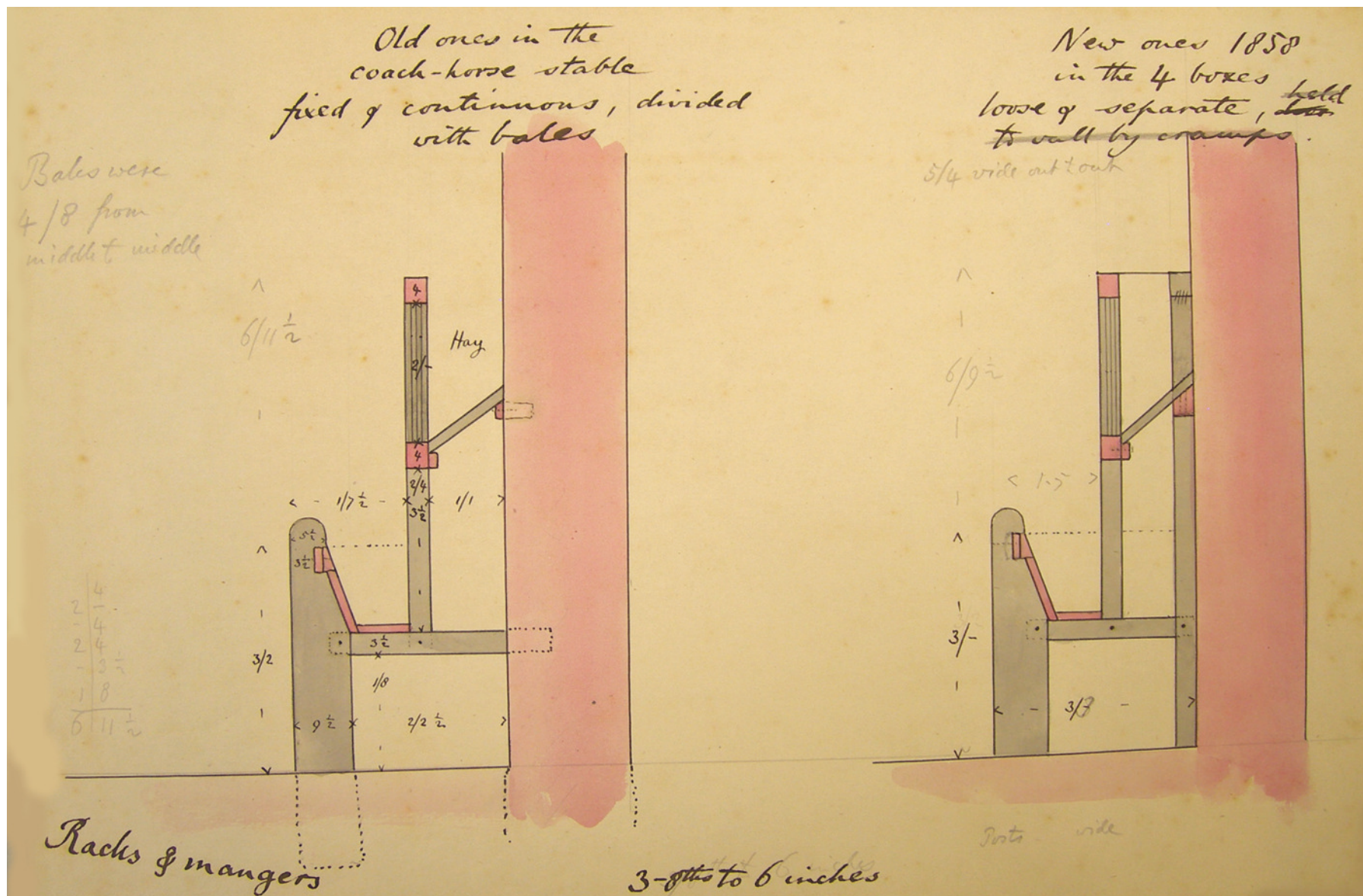
RIC TYLER

MIFA PG Cert. Arch. Hist (Oxf)

The Stable Block, Canons Ashby House, Canons Ashby, Northamptonshire

Figure 5: 'Before' and 'after' plans by Sir Henry Dryden, 1858

(Northamptonshire CRO Dryden Collection)





(a) Stables and coach house form south-west; photograph dated 1886 by Alice Dryden (NT 2001, 42).



(b) Undated photograph of stables from house with Church Cottage in background (original at Canons Ashby House).



(a) View looking north-west, note upper window to south gable end.



(b) View looking east, note missing garage doors and double-light window to north (left).



Note blocked upper window to south gable end



(a) View looking south-west; note open doorways to north end of east elevation (right) plus lack of windows to south (left).



(b) View looking south-east past gable end of derelict coach house range.

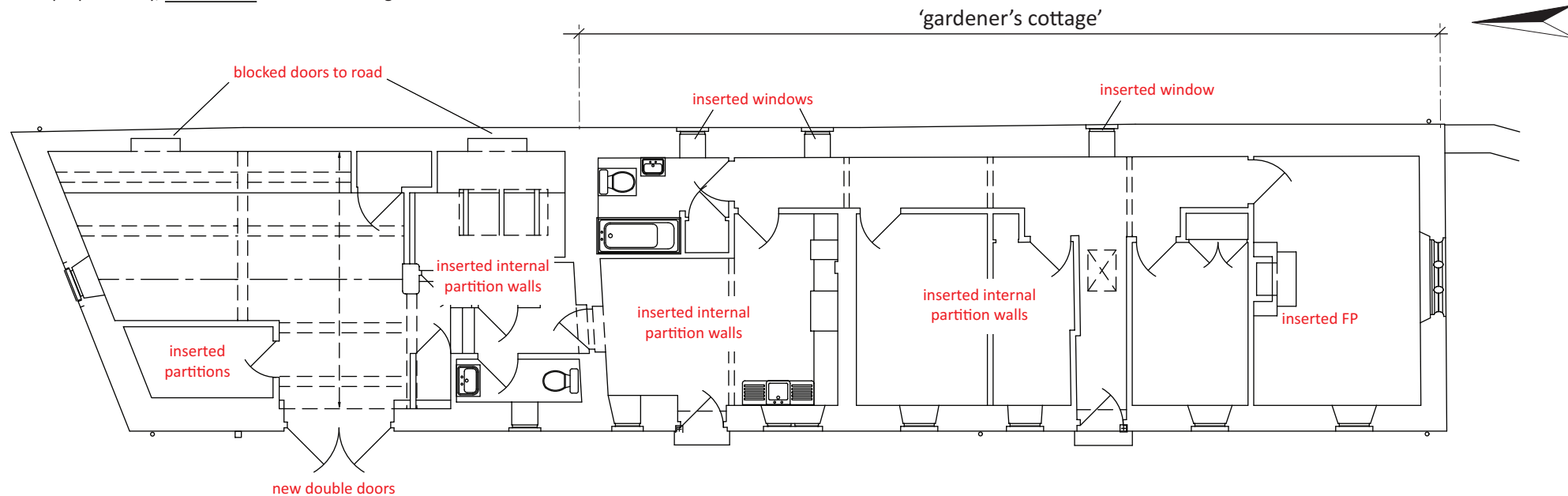


(a) View looking south-west showing extensive repairs to roof structure.

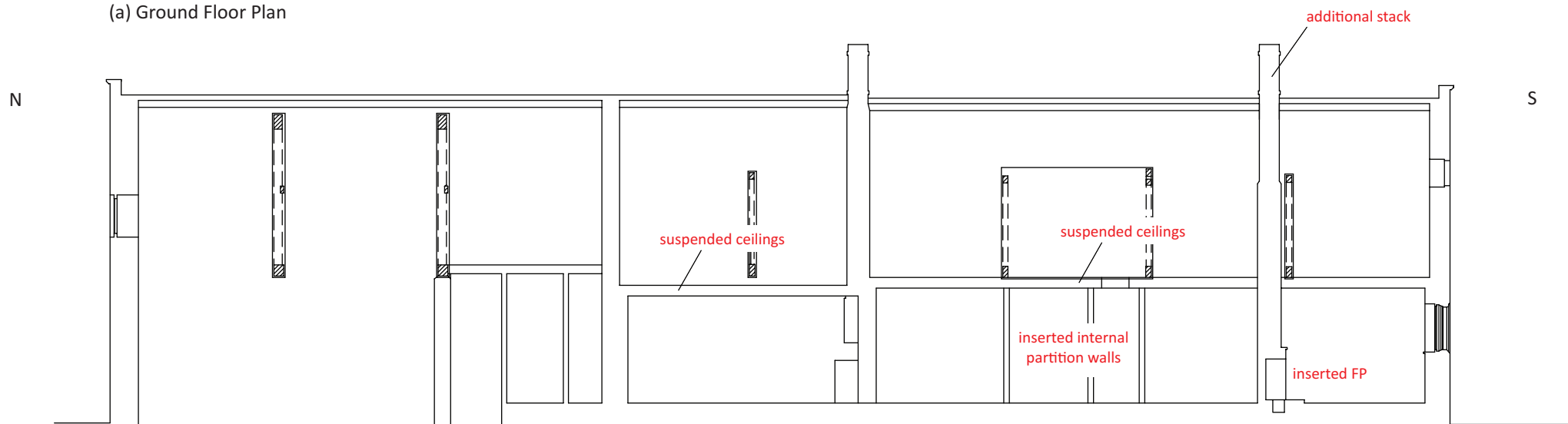


(b) View of west (courtyard) elevation looking south; note insertion of double garage doors to north end.

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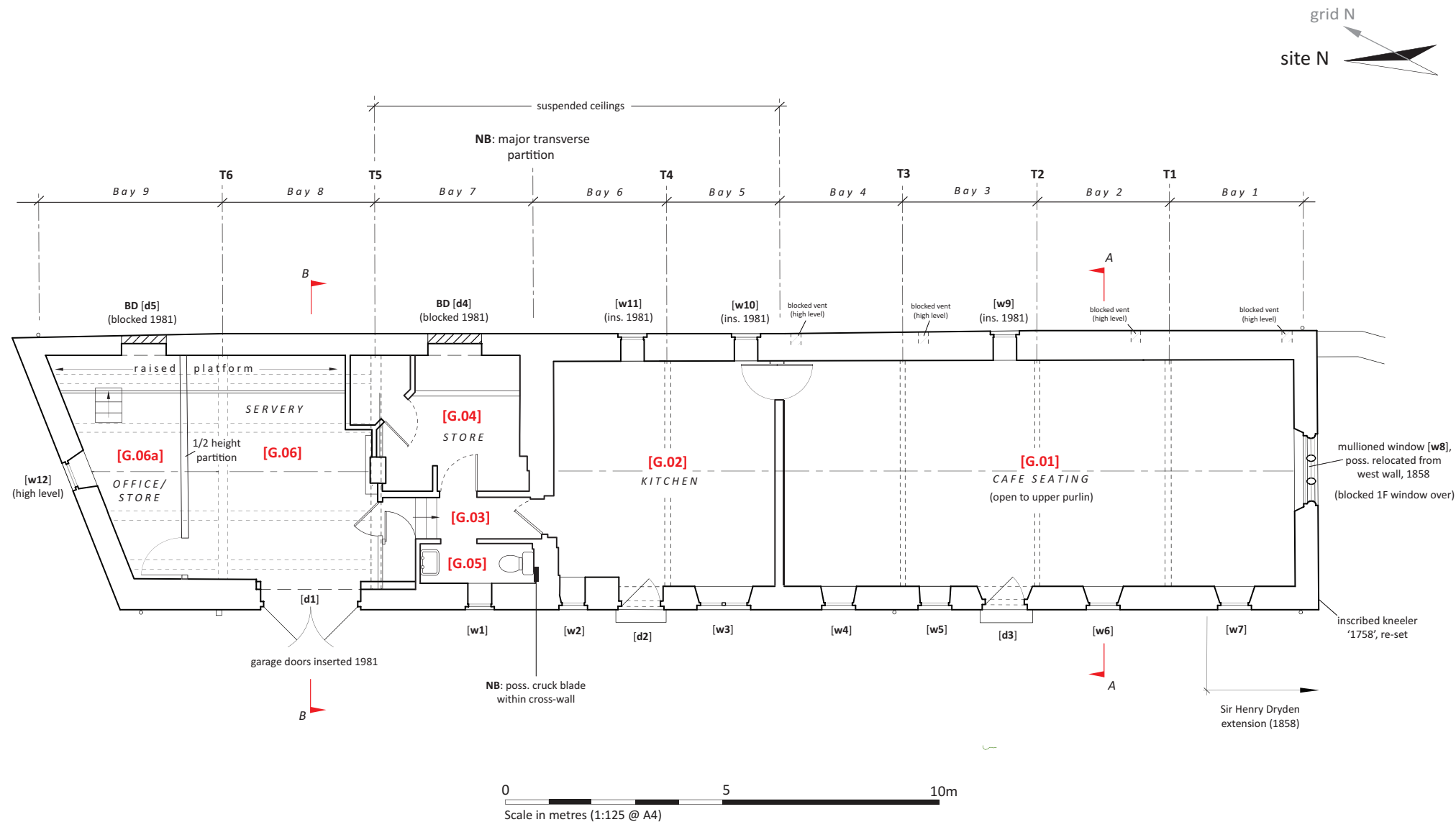


(a) Ground Floor Plan



(b) Longitudinal Section

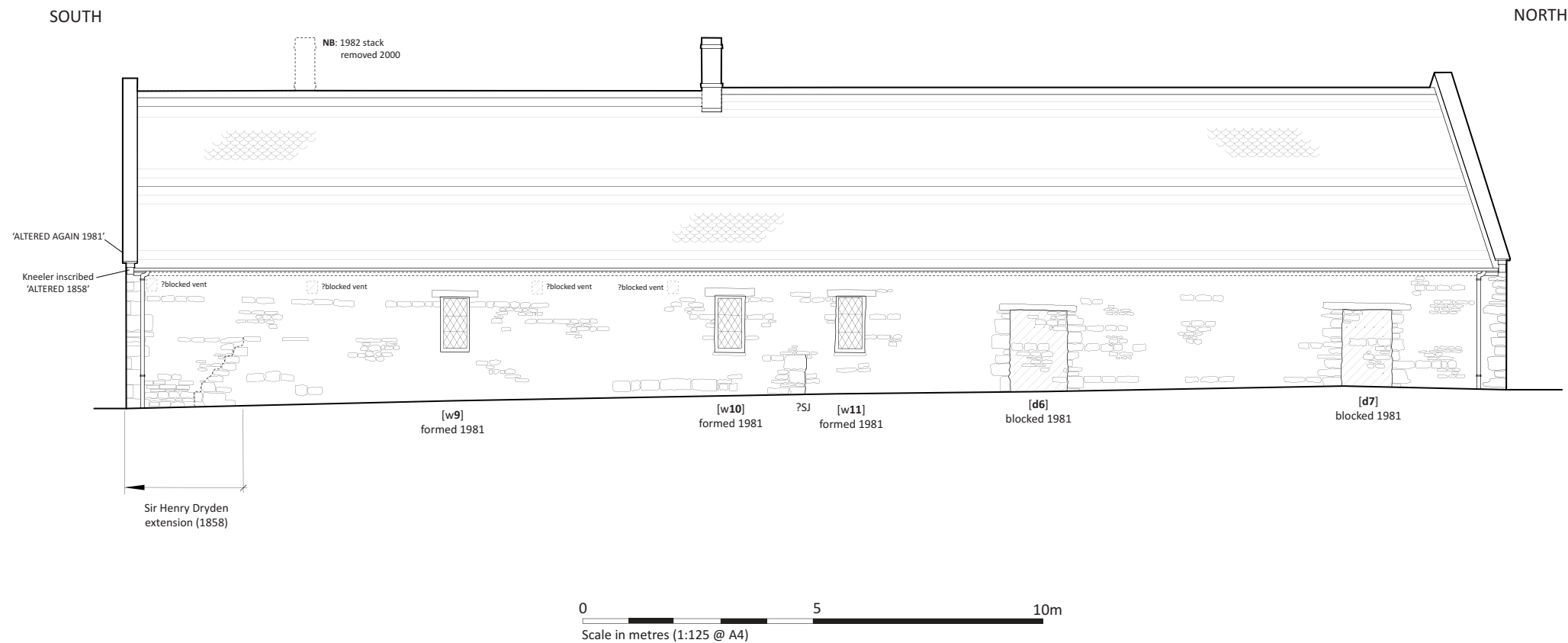
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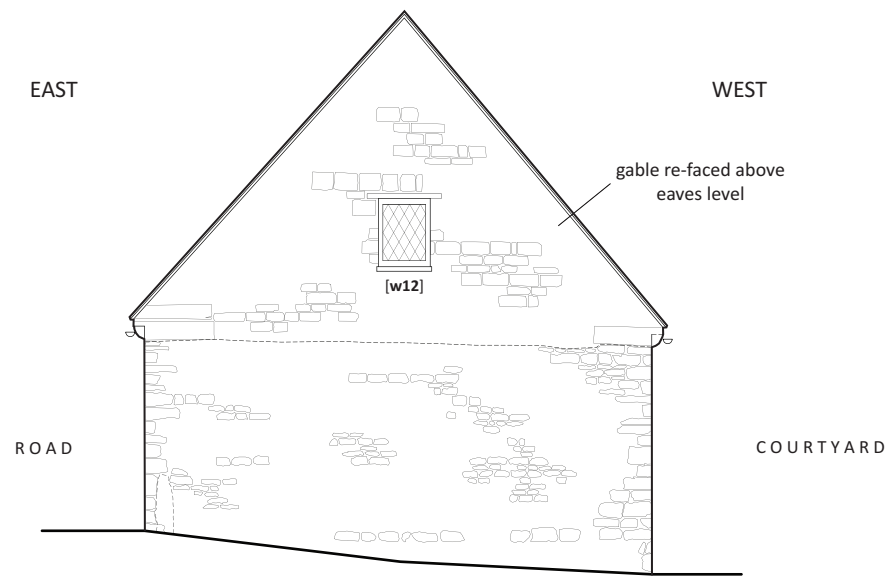
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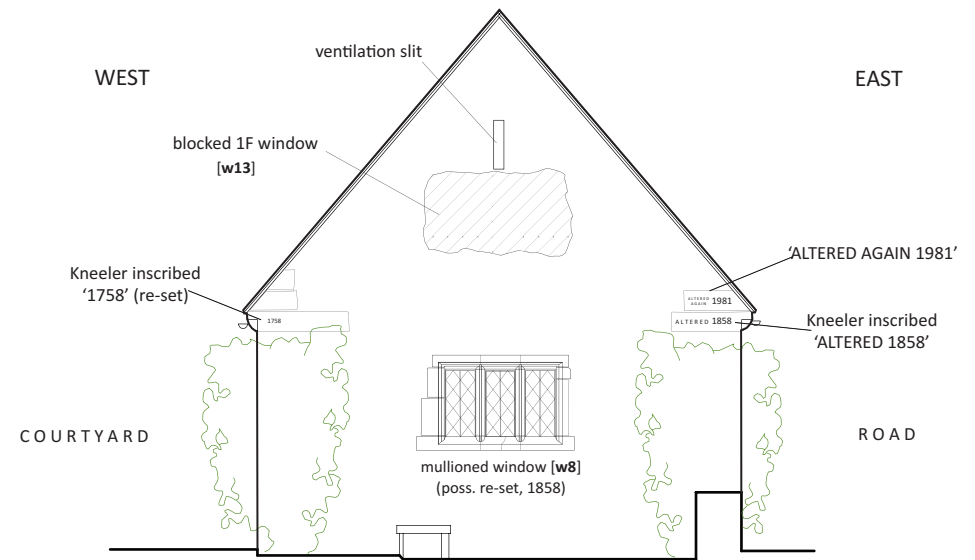
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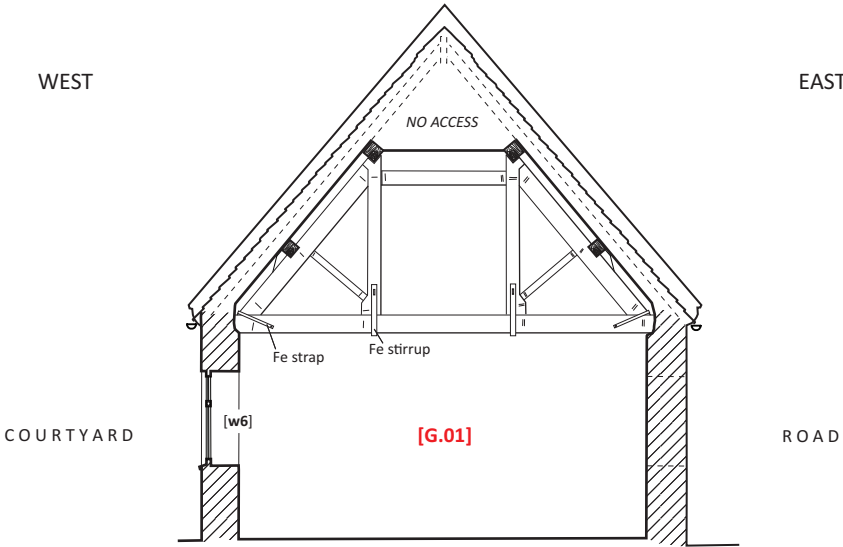
(a) North elevation



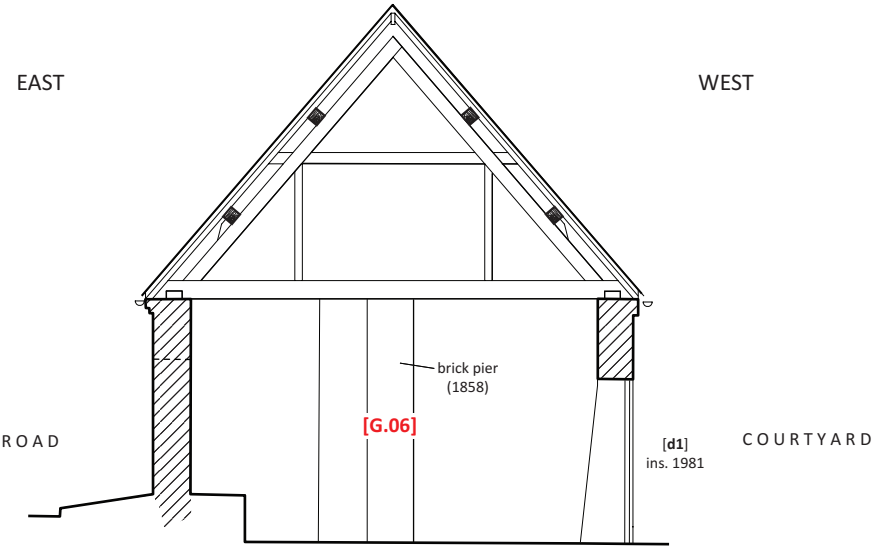
(b) South elevation

0 5 10m
Scale in metres (1:100 @ A4)

NB: for illustrative purposes only, do not scale from this drawing

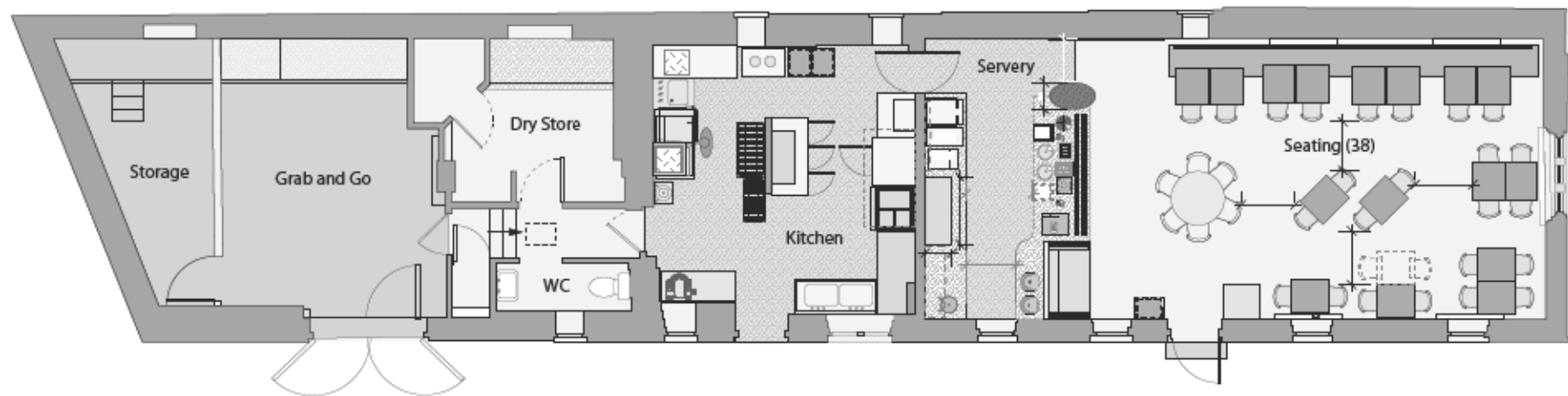


(a) Cross section at A-A looking north



(b) Cross section at B-B looking south





0 5 10m
Scale in metres (1:125 @ A4)



Plate 1: Contextual view of stables (centre) looking south with coach house (right) and tower of Priory Church of St Mary (background).



Plate 2: General view of western (courtyard) elevation looking south-east; double doors to foreground inserted 1981.



Plate 3: General view of western (courtyard) elevation and southern gable looking north-east.



Plate 4: Northern gable [d2] with hayloft door [d4]
Over, looking east.



Plate 5: Detail of door [d2].

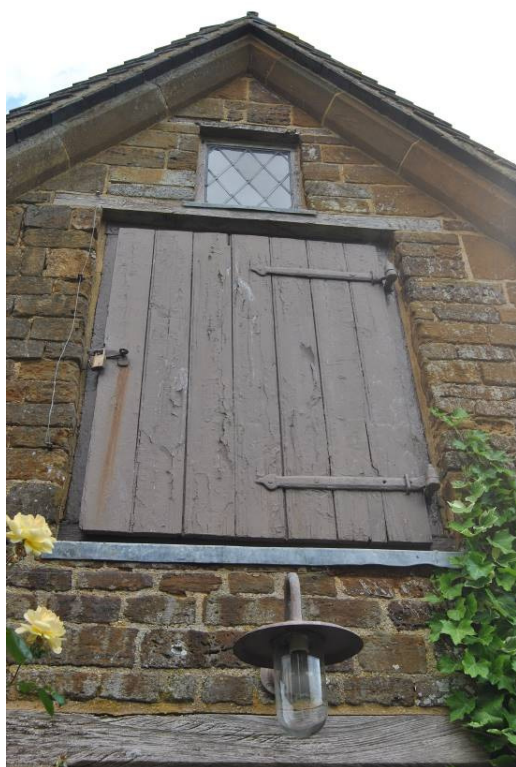


Plate 6: Southern gable; hayloft door [d5].



Plate 7: Typical Dryden-era, single-light window.



Plate 8: Banded plain and fish-scale tiling, understood to have been replicated in 1981 (A Brookes, *pers. comm.*).



Plate 9: Detail of rebuilt ridge stack formerly serving saddle room.



Plate 10: General oblique view of eastern (street) elevation looking south-west; doorways (right) blocked and windows (left) inserted, 1981



Plate 11: Detail of blocked doorway [d7]; NB: blocked during 1981 remodelling.



Plate 12: Detail of blocked vent (centre, beneath eaves band).



Plate 13: Inserted windows (x3) at south end of east elevation, introduced during 1981 remodelling.

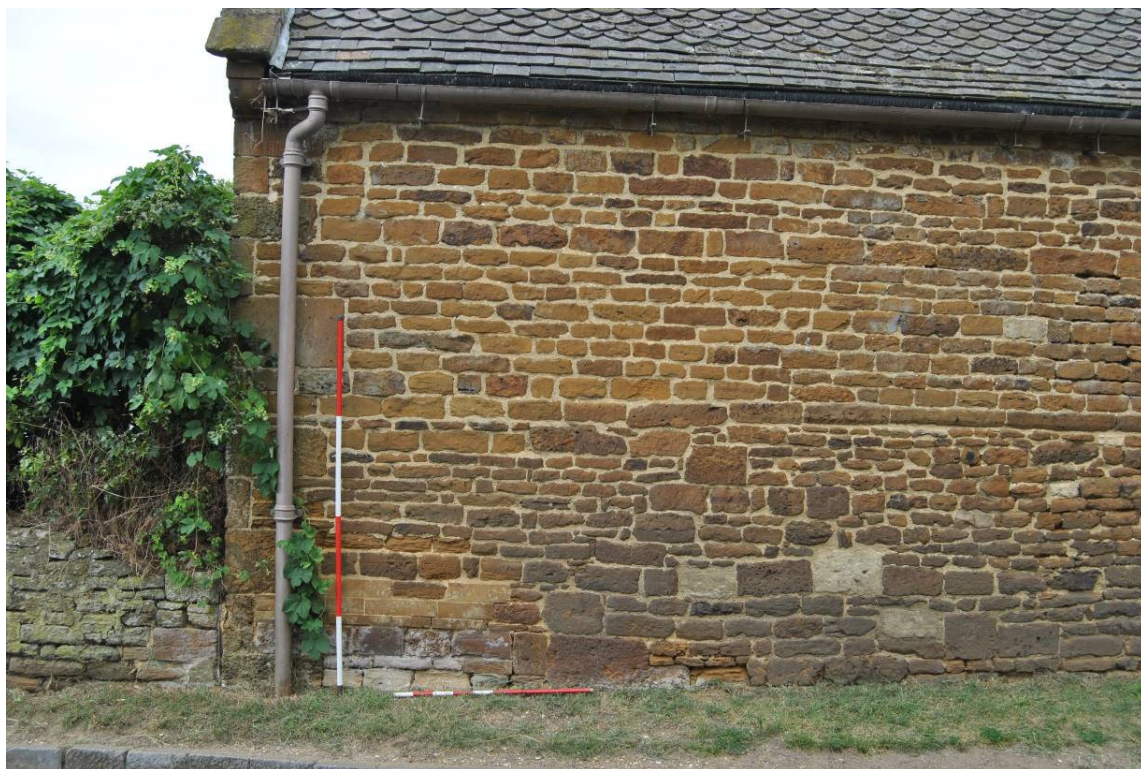


Plate 14: Irregular stonework at south end of east elevation corresponds approximately to Dryden's extension of 1858.

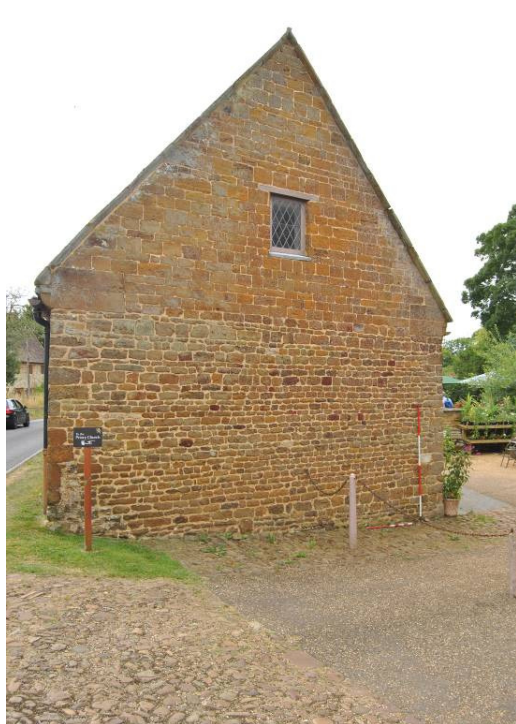


Plate 15: Northern, angled gable end, note rebuild above eaves level.



Plate 16: Southern gable end, note patching below upper ventilation slit.



Plate 17: Three light, stone-mullioned window [w8], repaired but possibly re-set from west elevation (see Figure 6, top).



Plate 18: Notched head to allow removal of opening casement.



(a)



(b)

Plate 19: Inscribed kneelers; (a) '1758' at SW angle, re-set by Dryden in 1858; (b) '1858' and '1981' at SE angle commemorate Dryden's remodelling work and National Trust's refurbishment respectively.



Plate 20: Room [G.01] looking north (trusses T2/T3).



Plate 21: Room [G.01] looking south (trusses T2/T1).



Plate 22: Dryden phase window to west wall.



Plate 23: NT phase window to east wall.



Plate 24: Detail of three-light, ovolo-mullioned window [w8] in south gable end.



Plate 25: Blocked upper window [w13] of southern gable end (exposed masonry).



Plate 26: Quadrant stay [w8].



Plate 27: Detail of iron stirrup and carpenter's marks, T1.



Plate 28: Kitchen [G.02] looking south.



Plate 29: Passage [G.03] looking south.



Plate 30: QP truss T4 over kitchen [G.02].



Plate 31: Boarding between central section of T4.



Plate 32: Store [G.04] looking east; blocked door [d6].



Plate 33: Toilet [G.05] looking south; (?)relic cruck blade.

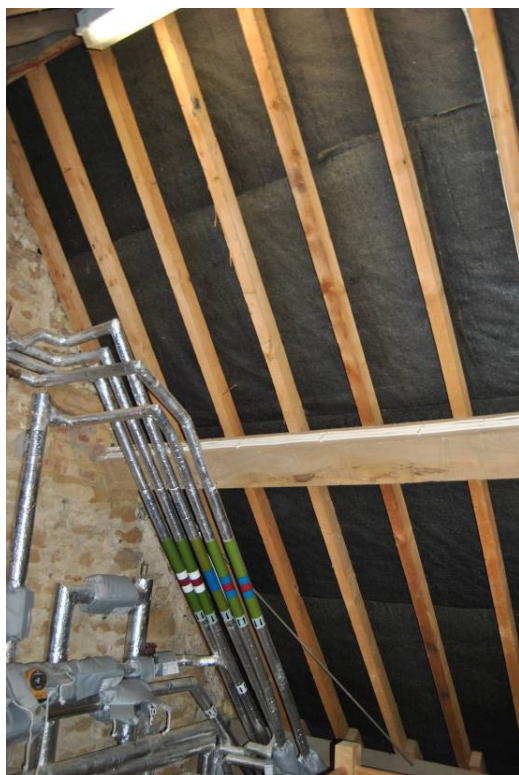


Plate 34: Renewed roof structure over [G.03-5].



(Plate 35: Comparable cruck blade in main house.)



Plate 36: Servery [G.06] looking north-east.



Plate 37: Servery [G.06] looking south-east.



Plate 38: Inserted door [d1] (1981) in west wall of [G.06].



Plate 39: Servery [G.06], truss T5.



Plate 40: Store/Office [G.06a] with raised platform to east side.

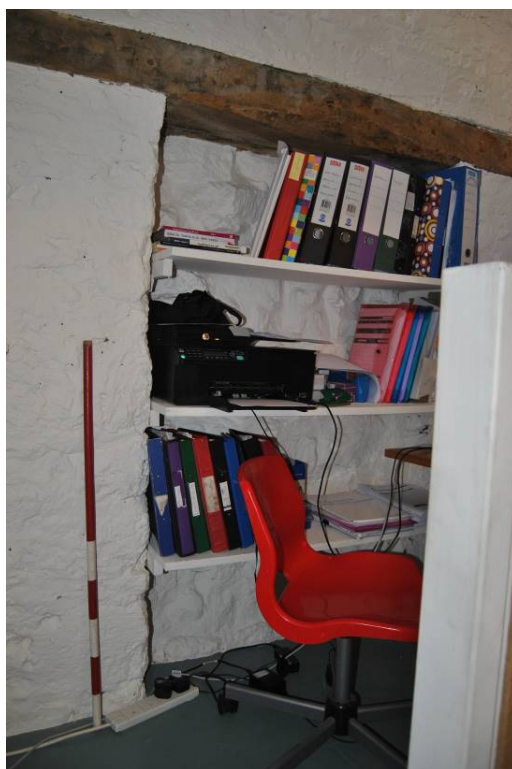


Plate 41: Blocked door [d7] seen within [G.06a].

APPENDIX A: Written Scheme of Investigation (WSI; Tyler 2014)

The Stable Block, Canons Ashby House, Canons Ashby, Northamptonshire

Written Scheme of Investigation for an

Historic Building Record and Assessment

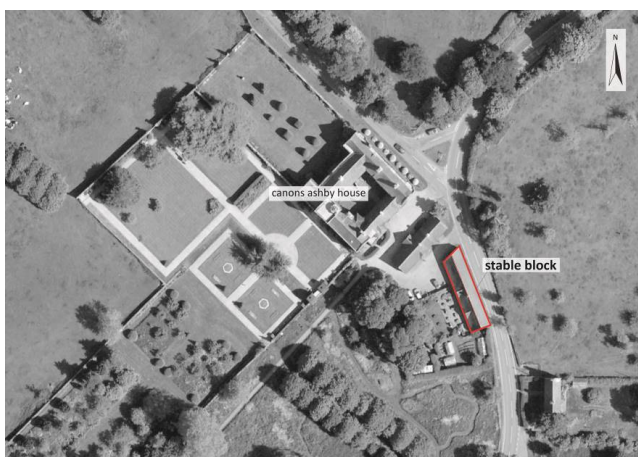
1 INTRODUCTION

1.1 Background to Project

- 1.1.1 The following document represents a **Written Scheme of Investigation** (WSI) for a programme of Historic Building Recording and Assessment to be undertaken in respect of the Stable Block at Canons Ashby House, Canons Ashby, Northamptonshire, and has been prepared in response to a request from Mr Simon Chesters-Thompson (NT Curator, East Midlands) and further to a site meeting with Mr Edward Bartlett (NT House Manager, Canons Ashby) on 14th July 2014.

1.2 The Site

- 1.2.1 Canons Ashby House, a two/three-storey stone-built house, quadrangular in plan and arranged around a small, central courtyard, represents an Elizabethan country house of relatively modest proportions; it is located in the hamlet of Canons Ashby, c.15.8km north-east of Banbury and 20.5km south-west of the county town of Northampton (centred upon NGR SP 57618 50689). The house was the seat of the Dryden family for over 400 years from the mid-16th century when it came to one John Dryden by marriage in 1551. The core of the extant house dates to this time, though possibly incorporating fabric of an earlier farmhouse, and was subsequently subject to successive phases of enlargement and remodelling, principally in the 1590s, the 1630s and 1708-10 (NT, 2001). The stable block currently under consideration is located c.50m SE of the Grade I listed House (NGR SP 57657 50660; see inset below) and forms, together with the nearby coach house, part of a group of former service buildings adjunct to the main house. Ostensibly of 18th-century date, remodelled by Sir Henry Dryden in the mid-late 19th century, the stable range may likewise have earlier origins suggested by anomalous structural elements surviving within the extant range (specifically, a curved, 'cruck'-like timber within one of the transverse walls). The service ranges were refurbished and reordered in 1858, 1865 and again in 1981 (by the Trust) and are currently used for visitor reception, retail, toilets and catering facilities (preparation area, kitchen and café seating). The house and associated service buildings have been in the ownership of the Trust since 1981.



Canons Ashby: stable block location (image ©Google Earth)

1.3 Designations

- 1.3.1 Canons Ashby House is included on the List of Buildings of Special Architectural or Historical Interest as a Grade I listed building (LB ref.10753564),¹ and is located within the Grade II* Registered Canons Ashby Park.² The stable block currently under consideration is not listed in its own right, though as a curtilage building of the Grade I listed main house it is clearly an 'heritage asset' under the terms of National Planning Policy Framework (NPPF; DCLG, 2012).³ The house and stable block fall within the area of the Canons Ashby Scheduled Ancient Monument (SAM, ref. 1015534), which also includes St Mary's Church and significant areas of the surrounding gardens and parkland.⁴

2 AIMS AND OBJECTIVES

- 2.1 The general aim of the historic building record and assessment is to research the origin, history, construction and development of the stable block and to assess its character date and phasing.

- 2.2 Specific objectives include:

- to create a primary archaeological record of the building, its structural and constructional features and its developmental history so far as can be established from a non-intrusive survey.
- to define any particular significances of the building, either as a discrete individual structure or in its wider context.
- to bring together the findings of present and previous archaeological and historical work into an accessible narrative and analytical report explaining the buildings history and uses.
- to provide a sound, evidenced and accessible basis for future interpretation, presentation and understanding (eg. for future repairs or conservation measures that might be deemed necessary to safeguard the historic fabric).

¹ <http://list.english-heritage.org.uk/resultsingle.aspx?uid=1075304>

² <http://list.english-heritage.org.uk/resultsingle.aspx?uid=1000488>

³ https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf

⁴ Canons Ashby SAM: 'the remains of a medieval monastery, castle, settlement and fields, post-medieval houses, gardens and park, and a series of five dams'. See <http://list.english-heritage.org.uk/resultsingle.aspx?uid=1015534>

3 METHODOLOGY

3.1 Documentary Research

- 3.1.1 A search will be made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs, drawings, paintings and written descriptions, and primary and secondary sources related to the site held by the National Monuments Record (NMR), by the Northamptonshire County Record Office (specifically the Dryden Papers which are understood to contain a number of historical drawings by Sir Henry Dryden), the National Trust's regional hub at Hardwick/Alcester and/or central archives at Heelis, Swindon, together with any relevant archival materials stored at Canons Ashby itself. Standard on-line sources including The National Archives www.a2a.org will also be consulted.

3.2 Structural Recording and Analysis

Drawn Record

- 3.2.1 The building survey will comprise an examination of the safely accessible areas of the stables range and the preparation of plans, sections and principal exterior elevations sufficient to illustrate its dimensions, features (including phase breaks, blocked features, former doorways etc.) and construction, phasing and development of the building so far as practicable from a non-intrusive survey. It will be carried out to a level commensurate with a 'Level 3' survey as defined by English Heritage in '*Understanding Historic Buildings: A Guide to Good Recording Practice*' (EH, 2006). Site drawings will be prepared at an appropriate scale in pencil on archivally stable drafting film, measurements being obtained by a combination of taped measurement and hand-held laser (disto).

Photographic Record

- 3.2.2 To complement the drawn survey, a photographic record will be made comprising high resolution digital photography using a Nikon D3000 DSLR camera (10MP), commensurate with a Level 3 record. Where practically feasible, photographs will include graded photographic scales. A register of site photographs will be made recording subject, orientation, date and photographer and will be presented with photo location plans.

Written Record

- 3.2.3 A written record will be maintained as free text to accompany the drawn and photographic records, and will form the basis for the building description in the final report (see below). This will extend to cover a summary of the building's form and type, its function (historically and at present), materials of construction, date and sequence of development so far as practicable from a non-intrusive survey.

3.3 Fieldwork Timetable

- 3.3.1 Documentary research and field survey will be undertaken at a time and to a timetable to be agreed.

4 REPORTING

4.1 Report Format

- 4.1.1 Upon completion of the documentary research and fieldwork, the results of the historic building record and assessment will be combined and presented in a fully illustrated, interpretive report, conforming to Annex 2 of the IFAs *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* and containing the following information:

Text

- Non-technical summary
- Introduction and site location
- Aims and objectives
- Methodology
- Summary of documentary history
- Systematic description of the building and its surviving/evidenced features
- Discussion
- Statement of significance
- Detailed list of sources consulted

Illustrations

- Appropriate illustrations including location plan and a selection of historic maps
- Plans, elevations and cross-sections of buildings as appropriate to illustrate the appearance and development of the buildings as apparent from historical sources and a non-intrusive examination of the built fabric
- A selection of colour plates

Appendices

- Copy of this WSI
- Register of project drawings
- Register of project photographs

- 4.1.2 If deemed necessary/ appropriate, a summary report of the project (approved in advance by the Trust) will be submitted for inclusion within the relevant Council for British Archaeology (CBA) journal, viz. South Midlands Archaeology.

4.2 Reporting Timetable

- 4.2.1 A formal report will be prepared, normally within four weeks of the completion of site work. A draft copy of the report will be submitted in digital format to the Trust's Archaeological Consultant (Ms Rachael Hall, NT East Midlands) for approval prior to final submission.
- 4.2.2 Further to approval, wire-bound copies of the final report will be forwarded to the Trust's regional hubs at Hardwick and Alcester, together with digital copies in *.pdf format on CD, with a copy also to Canons Ashby House.

5 STAFFING

- 5.1 Documentary research, site recording and report preparation will be undertaken by Mr. Ric Tyler MIfA.

6 ARCHIVING

- 6.1 Upon completion of work, a full project archive will be prepared in accordance with current best practice.

7 PROFESSIONAL STANDARDS

- 7.1 The project will follow the requirements set down in the *Standard and Guidance for Archaeological Desk-Based Assessment* (IfA, 2008a) and *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (IfA 2008b). Recording work will conform to guidelines set down by English Heritage's *Understanding Historic Buildings: a guide to good recording practice* (EH, 2006), the National Trust's *Guidance Note on the Recording and Analysis of Historic Buildings* (NT, 1998) and the Association of Local Government Archaeological Officers' *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*, (ALGAO 1997).
- 7.2 The *Code of Conduct of the Institute for Archaeologists* (IfA, 2010) will be adhered to at all times.

8 HEALTH AND SAFETY

- 8.1 All current health and safety legislation, regulations and guidance will be complied with during the course of the project.

9 REFERENCES

Association of Local Government Archaeological Officers (ALGAO), 1997. *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*.

DCLG, 2012. *National Planning Policy Framework* (NPPF). London.

English Heritage, 2006. *Understanding Historic Buildings: A Guide to Good Recording Practice*.

IfA, 2008a. *Standard and Guidance for Archaeological Desk-Based Assessment*. University of Reading, IfA.

IfA, 2008b. *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*. University of Reading, IfA.

IfA 2010. *Code of Conduct*. University of Reading, IfA.

National Trust, 1998. *Guidance Note on the Recording and Analysis of Historic Buildings*.

National Trust, 2001. *Canons Ashby*. NT property guide book.

APPENDIX B: Register of Project Drawings

NB: All site drawings were prepared in pencil on archivally stable drafting film at a scale of 1:100 / 1:50 as appropriate.

Drg. No.	Subject	Format	Scale	Date	Recorder
2014_011/001	Ground floor plan	Annotated printout A4 (x3); pencil on paper	1:50	22.07.14	R Tyler
2014_011/002	West Elevation	Annotated printout A4 (x3); pencil on paper	1:50	22.07.14	R Tyler
2014_011/003	East Elevation	Annotated printout A4 (x3); pencil on paper	1:50	22.07.14	R Tyler
2014_011/004	North Elevation	Annotated printout A4; pencil on paper	1:50	22.07.14	R Tyler
2014_011/005	South Elevation	Annotated printout A4; pencil on paper	1:50	22.07.14	R Tyler
2014_011/006	Tranverse Ccross-section at T2	Pencil on film (A3)	1:50	22.07.14	R Tyler

APPENDIX C: Register of Project Photographs

NB: All photographs taken with Nikon D3000 digital SLR camera, 10 mega-pixels. Photo locations are illustrated on the plans below while files are included in .jpg format on the CD appended at the back of this report. Photos marked with an asterisk (*) are reproduced as plates within the current document.

Photo No.	Plate No.	Subject	Orientation	Date	Photographer
DSC_0168*	20	Room [G.01] looking north	→ N	22.07.14	R Tyler
DSC_0169		Room [G.01] looking south	→ S	22.07.14	R Tyler
DSC_0170*	21	Room [G.01] looking south	→ S	22.07.14	R Tyler
DSC_0171		Room [G.01], truss T3	↑	22.07.14	R Tyler
DSC_0172		Room [G.01], truss T1 detail of carpenters marks (east)	↑	22.07.14	R Tyler
DSC_0173*	27	Room [G.01], truss T1 detail of carpenters marks (west)	↑	22.07.14	R Tyler
DSC_0174		Room [G.01], truss T1 detail of carpenters marks (west)	↑	22.07.14	R Tyler
DSC_0175		Room [G.01], truss T3 scarfed tie/renewed principal to east	↑	22.07.14	R Tyler
DSC_0176		Room [G.01], truss T2/3	→ NW	22.07.14	R Tyler
DSC_0177		Pitching door [d5]	↑	22.07.14	R Tyler
DSC_0178*	23	NT phase window (1981) to east wall of [G.01]	→ E	22.07.14	R Tyler
DSC_0179*	22	Dryden phase window (1858) to west wall of [G.01]	→ W	22.07.14	R Tyler
DSC_0180		Stirrup support to QP/tie; [G.01]	↑	22.07.14	R Tyler
DSC_0181		Stirrup support to QP/tie; [G.01]	↑	22.07.14	R Tyler
DSC_0182		Three-light ovolo-mullioned window [w8] (interior); [G.01]	→ S	22.07.14	R Tyler
DSC_0183		Three-light ovolo-mullioned window [w8] (interior); [G.01]	→ SW	22.07.14	R Tyler
DSC_0184		Three-light ovolo-mullioned window [w8] (interior); [G.01]	→ SE	22.07.14	R Tyler
DSC_0185*	24	Three-light ovolo-mullioned window [w8] (interior); [G.01]	→ S	22.07.14	R Tyler
DSC_0186		Window and dado cladding to west wall of [G.01]	→ W	22.07.14	R Tyler
DSC_0187		T&G dado cladding (2000) to west wall of [G.01]	→ W	22.07.14	R Tyler
DSC_0188		Servery area to N end of [G.01]	→ N	22.07.14	R Tyler
DSC_0189		Servery area to N end of [G.01]	→ NE	22.07.14	R Tyler
DSC_0190*	25	Blocked window [w13] in south gable, [G.01]	↑	22.07.14	R Tyler
DSC_0191		Opening light of [w8]	→ SW	22.07.14	R Tyler
DSC_0192*	26	Quadrant stay of [w8]	↓	22.07.14	R Tyler
DSC_0193		Room [G.06] looking north-east	→ NE	22.07.14	R Tyler
DSC_0194*	36	Room [G.06] looking north-east	→ NE	22.07.14	R Tyler
DSC_0195*	37	Room [G.06] looking south-east	→ SE	22.07.14	R Tyler
DSC_0196		Room [G.06]; inserted door and Dryden phase brick pier	→ SE	22.07.14	R Tyler
DSC_0197		Room [G.06]; Dryden phase brick pier	↑	22.07.14	R Tyler
DSC_0198*	39	Room [G.06], truss T5	→ S	22.07.14	R Tyler
DSC_0199		Room [G.06], truss T6	↑	22.07.14	R Tyler
DSC_0200		Room [G.06], truss T6	↑	22.07.14	R Tyler
DSC_0201		Room [G.06], detail of truss T6	↑	22.07.14	R Tyler
DSC_0202*	38	Room [G.06], inserted door [d1] (1981)	→ W	22.07.14	R Tyler
DSC_0203		Room [G.06], inserted door [d1] (1981)	→ W	22.07.14	R Tyler
DSC_0204		Room [G.06], inserted door [d1] (1981)	→ W	22.07.14	R Tyler
DSC_0205*	40	Room [G.06a], stairs to raised platform	→ E	22.07.14	R Tyler
DSC_0206*	41	Room [G.06a], blocked door [d7]	→ SE	22.07.14	R Tyler
DSC_0207		Exterior, west elevation (1); NW angle	→ E	22.07.14	R Tyler
DSC_0208		Exterior, west elevation (2)	→ E	22.07.14	R Tyler
DSC_0209		Exterior, west elevation (3); door [d1]	→ E	22.07.14	R Tyler
DSC_0210		Exterior, west elevation (4)	→ E	22.07.14	R Tyler
DSC_0211		Exterior, west elevation (5); window [w1]	→ E	22.07.14	R Tyler
DSC_0212		Exterior, west elevation (6); window [w2], door [d2]	→ E	22.07.14	R Tyler
DSC_0213		Exterior, west elevation; detail of eaves band	↑	22.07.14	R Tyler
DSC_0214*	10	Exterior, west elevation; detail of Dryden window	→ E	22.07.14	R Tyler
DSC_0215		Door [d1]	→ E	22.07.14	R Tyler
DSC_0216*	4	Exterior, west elevation (7); windows [w2/3], door [d2]	→ E	22.07.14	R Tyler
DSC_0217		Exterior, west elevation (8); window [w3], door [d2]	→ E	22.07.14	R Tyler
DSC_0218*	5	Exterior, west elevation detail of door [d2]	→ E	22.07.14	R Tyler
DSC_0219		Exterior, west elevation (9); windows [w3/4]	→ E	22.07.14	R Tyler
DSC_0220		Exterior, west elevation detail of double-light window [w3]	→ E	22.07.14	R Tyler
DSC_0221		Exterior, west elevation (10); window [w5], door [d3]	→ E	22.07.14	R Tyler

DSC_0222*	6	Exterior, west elevation pitching door [d5]	↑	22.07.14	R Tyler
DSC_0223		Exterior, west elevation (11); window [w5], door [d3]	→ E	22.07.14	R Tyler
DSC_0224		Exterior, west elevation (12); windows [w6/7]	→ E	22.07.14	R Tyler
DSC_0225		Exterior, west elevation (13); SW angle	→ E	22.07.14	R Tyler
DSC_0226*	2	Exterior; west elevation, north end – oblique view looking SE	→ SE	22.07.14	R Tyler
DSC_0227		Exterior; west elevation, north end – oblique view looking SE	→ SE	22.07.14	R Tyler
DSC_0228		Exterior; north gable end – oblique view looking SE	→ SE	22.07.14	R Tyler
DSC_0229		Exterior; north gable end – oblique view looking SE	→ SE	22.07.14	R Tyler
DSC_0230*	15	Exterior; north gable end – looking S	→ S	22.07.14	R Tyler
DSC_0231		Exterior; north gable end – lower wall	→ S	22.07.14	R Tyler
DSC_0232		Exterior; north gable end – upper wall	→ S	22.07.14	R Tyler
DSC_0233		Exterior; north gable end – NW kneeler	↑	22.07.14	R Tyler
DSC_0234		Exterior; north gable end – NE kneeler	↑	22.07.14	R Tyler
DSC_0235*	10	Exterior; east elevation – oblique view looking SW	→ SW	22.07.14	R Tyler
DSC_0236		Exterior; contextual view looking SE with coach house	→ SE	22.07.14	R Tyler
DSC_0237*	1	Exterior; contextual view looking SE with coach house/St Mary's Church tower	→ SE	22.07.14	R Tyler
DSC_0238		Exterior, east elevation (1); NE angle, door [d7]	→ W	22.07.14	R Tyler
DSC_0239		Exterior, east elevation (2); door [d7]	→ W	22.07.14	R Tyler
DSC_0240		Exterior, east elevation (3); door [d6]	→ W	22.07.14	R Tyler
DSC_0241		Exterior, east elevation (4); door [d6], window [w11]	→ W	22.07.14	R Tyler
DSC_0242		Exterior, east elevation (5); windows [w11/12]	→ W	22.07.14	R Tyler
DSC_0243*	12	Exterior, east elevation (6); window [w9]	→ W	22.07.14	R Tyler
DSC_0244		Exterior, east elevation (7); window [w9]	→ W	22.07.14	R Tyler
DSC_0245*	14	Exterior, east elevation (8); SE angle	→ W	22.07.14	R Tyler
DSC_0246		Exterior, east elevation; SE angle	→ W	22.07.14	R Tyler
DSC_0247		Exterior; east elevation – oblique view looking NW	→ NW	22.07.14	R Tyler
DSC_0248		Exterior; east elevation – oblique view looking NW	→ NW	22.07.14	R Tyler
DSC_0249*	11	Exterior, east elevation; detail of door [d7]	→ W	22.07.14	R Tyler
DSC_0250		Exterior, east elevation; detail of door [d6]	→ W	22.07.14	R Tyler
DSC_0251*	13	Exterior, east elevation, south end; inserted windows [w9-11]; 1981	→ SW	22.07.14	R Tyler
DSC_0252*	9	Detail of brick ridge-stack	↑	22.07.14	R Tyler
DSC_0253*	8	Detail of banded plain/fish-scale tiling	↑	22.07.14	R Tyler
DSC_0254		Section of east elevation + roof	→ W	22.07.14	R Tyler
DSC_0255		Inscribed kneelers at SE angle; 1858 / 1981	↑	22.07.14	R Tyler
DSC_0256*	1	Inscribed kneelers at SE angle; 1858 / 1981	↑	22.07.14	R Tyler
DSC_0257*	16	Exterior; south gable end	→ NE	22.07.14	R Tyler
DSC_0258		Exterior; south gable end; triple-light ovolo-mullioned window [w8]	→ NE	22.07.14	R Tyler
DSC_0259*	17	Exterior; south gable end; triple-light ovolo-mullioned window [w8]	→ NE	22.07.14	R Tyler
DSC_0260		Exterior; south gable end; triple-light ovolo-mullioned window [w8]	→ NW	22.07.14	R Tyler
DSC_0261		Window [w8]; detail of central opening casement	→ NE	22.07.14	R Tyler
DSC_0262		Window [w8]; detail of central opening casement	→ NE	22.07.14	R Tyler
DSC_0263		Window [w8]; detail of quadrant stay	---	22.07.14	R Tyler
DSC_0264*	35	(comparandum; raised cruck within main house)	---	22.07.14	R Tyler
DSC_0265		(comparandum; raised cruck within main house)	---	22.07.14	R Tyler
DSC_0266		(comparandum; raised cruck within main house)	---	22.07.14	R Tyler
DSC_0293		Roofspace over store/WC [G.03-05]	→ SW	22.07.14	R Tyler
DSC_0294*	34	Roofspace over store/WC [G.03-05]	→ SW	22.07.14	R Tyler
DSC_0295		Roofspace over store/WC [G.03-05]	→ NW	22.07.14	R Tyler
DSC_0296		Inscribed kneeler at SW angle; 1758	↑	22.07.14	R Tyler
DSC_0297*	19	Inscribed kneeler at SW angle; 1758	↑	22.07.14	R Tyler
DSC_0298		Inscribed kneeler at SW angle; 1758	↑	22.07.14	R Tyler
DSC_0299		Interior; corridor [G.03] looking south	→ S	22.07.14	R Tyler
DSC_0300*	29	Interior; corridor [G.03] looking south	→ S	22.07.14	R Tyler
DSC_0301*	32	Interior; store [G.04] – blocked doorway [d6]	→ E	22.07.14	R Tyler
DSC_0302		Interior; store [G.04] looking south	→ S	22.07.14	R Tyler
DSC_0303		Interior; store [G.04] – Dryden phase brick pier	→ N	22.07.14	R Tyler
DSC_0304*	33	Interior; WC [G.05] – relic cruck blade within south wall	→ S	22.07.14	R Tyler
DSC_0305		Interior; WC [G.05] – relic cruck blade within south wall	→ S	22.07.14	R Tyler
DSC_0306		Interior; WC [G.05] – relic cruck blade within south wall	→ S	22.07.14	R Tyler
DSC_0307		Interior; WC [G.05] – relic cruck blade within south wall	→ S	22.07.14	R Tyler
DSC_0308		Interior; WC [G.05] – relic cruck blade within south wall	→ S	22.07.14	R Tyler
DSC_0309		Interior; WC [G.05] – relic cruck blade within south wall	→ S	22.07.14	R Tyler

DSC_0310		Interior; store [G.04] looking south-east	→ SE	22.07.14	R Tyler
DSC_0311		Interior; store [G.04] looking north-east	→ NE	22.07.14	R Tyler
DSC_0312*	28	Interior; kitchen [G.02] looking south	→ S	22.07.14	R Tyler
DSC_0313		Interior; kitchen [G.02] looking north-west	→ NW	22.07.14	R Tyler
DSC_0314		Interior; kitchen [G.02] looking west	→ W	22.07.14	R Tyler
DSC_0315*	3	Exterior; oblique view looking north-east	→ NE	22.07.14	R Tyler
DSC_0316*	18	[w8]; detail of slot in head to allow removal of opening casement	↑	22.07.14	R Tyler
DSC_0317*	30	Roofspace over kitchen [G.02]; truss T4 (E)	→ SE	22.07.14	R Tyler
DSC_0318		Roofspace over kitchen [G.02]; truss T4 (W)	→ SW	22.07.14	R Tyler
DSC_0319		Roofspace over kitchen [G.02]; truss T4 (W)	→ S	22.07.14	R Tyler
DSC_0320		Roofspace over kitchen [G.02]; brick stack	→ SW	22.07.14	R Tyler
DSC_0321*	31	Roofspace over kitchen [G.02]; truss T4 horiz. boarding	→ S	22.07.14	R Tyler
DSC_0322		Roofspace over kitchen [G.02]; truss T4 horiz. boarding	→ S	22.07.14	R Tyler
DSC_0323		Roofspace over kitchen [G.02]; truss T4 horiz. boarding	→ S	22.07.14	R Tyler
DSC_0324		Roofspace over kitchen [G.02]; truss T4 horiz. boarding	→ S	22.07.14	R Tyler
DSC_0325		Roofspace over kitchen [G.02]; truss T4 detail at head of QP	---	22.07.14	R Tyler
DSC_0326		Roofspace over kitchen [G.02]; framing in roof apex (?)	↑	22.07.14	R Tyler
DSC_0327		Pitching door [d4] from within roofspace	→ W	22.07.14	R Tyler
DSC_0328		Roofspace over kitchen [G.02]; truss T4 (W)	→ SW	22.07.14	R Tyler
DSC_0329		Roofspace over kitchen [G.02]; roof framing N of door [d4]	→ W	22.07.14	R Tyler
DSC_0330		Roofspace over kitchen [G.02]; C19th plaster render	---	22.07.14	R Tyler
DSC_0331		Detail of door [d4]	→ E	22.07.14	R Tyler