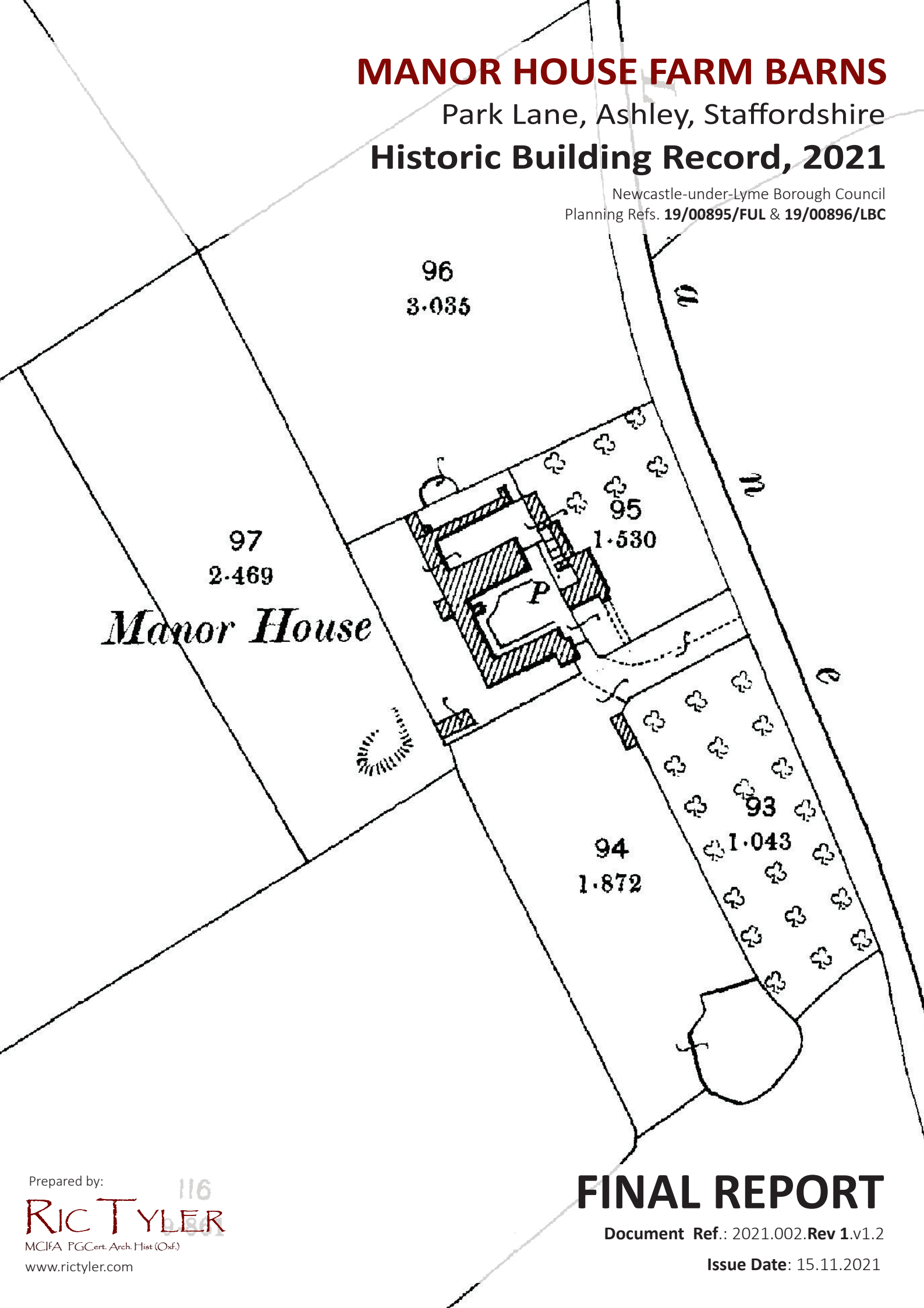


# MANOR HOUSE FARM BARN

Park Lane, Ashley, Staffordshire

## Historic Building Record, 2021

Newcastle-under-Lyme Borough Council  
Planning Refs. 19/00895/FUL & 19/00896/LBC



Prepared by:

**RIC TYLER**

MCIFA PG Cert. Arch. Hist (Oxf)

www.rictyler.com

## FINAL REPORT

Document Ref.: 2021.002.Rev 1.v1.2

Issue Date: 15.11.2021

### Project Data: Summary

**Project No.:** 2021-002

**Site Name:** Manor House Farm Barns, Park Lane, Ashley, Staffordshire TF9 4EH

**County:** Staffordshire  
**Parish:** Loggerheads CP

**NGR:** centred on SJ 75740 37690

**Local Authority:** Newcastle-under-Lyme Borough Council

**Planning Refs.** 19/00895/FUL and 19/00896/LBC

**Statutory Designation:** 'Curtilage listed' (of Grade II Listed Manor House Farmhouse)

**Staffordshire HER ref.:** Farmstead: 52869; Farmhouse: 11774

### Document Data

**Document Title:** Historic Building Record, 2021  
**Issue No.:** Rev.1: v.2 (FINAL)

**Document Location:** Digital (PDF) copies of the present report will be deposited with the Staffordshire Historic Environment Record (HER) and with OASIS, the online grey-literature library of the Archaeology Data Service (ADS), ref. **rictyler1-416818**.

**Prepared by:** Ric Tyler MCI(A)  
**Issue Date:** 15<sup>th</sup> November 2021

Revision	Date	By	Comment
v1.1.DRAFT	19.03.2021	R Tyler MCI(A)	Interim report pending historic research: draft for comment
v1.2.FINAL	15.11.2021	R Tyler MCI(A)	Final report incorporating SCRO data.

### **Disclaimer**

This document has been prepared for the commissioning body/individual and titled project or named part thereof and should not be relied upon or used for any other project without an independent check being carried out as to its suitability, and prior written authority of the author being obtained. Ric Tyler MCI(A) accepts no responsibility or liability for the consequences of this document being used for a purpose other than that for which it was commissioned. This document has been prepared with data available at the time of research, in accordance with the standards and guidance of the Chartered Institute for Archaeologists (CIfA).

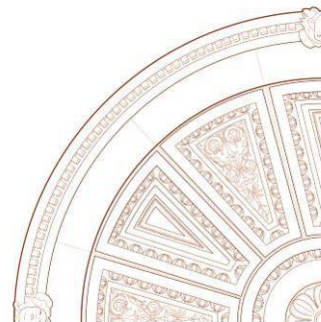
**Cover image:** Extract of Ordnance Survey 1:2500 edition of 1901.

**RIC TYLER**  
MCI(A) PGCert. Arch. Hist (Oxfr)

4 Friars Walk, Ludlow, Shropshire, SY8 1NT

t: 01584 879990 m: 07929 023963

e: rictyler@btinternet.com www.rictyler.com





# MANOR HOUSE FARM BARNs

Park Lane, Ashley, Staffordshire

## Historic Building Record, 2021

Planning Refs.: 19/00895/FUL and 19/00896/LBC

### TABLE OF CONTENTS

<b>1</b>	<b>INTRODUCTION .....</b>	<b>3</b>
1.1	Introduction to Project.....	3
1.2	The Site .....	3
1.3	Planning Background.....	4
1.4	Designations .....	6
1.5	Acknowledgments .....	7
<b>2</b>	<b>AIMS AND OBJECTIVES .....</b>	<b>7</b>
<b>3</b>	<b>METHODOLOGY .....</b>	<b>8</b>
3.1	Documentary Research .....	8
3.2	Structural Recording and Analysis .....	8
3.3	Statement of Limitations.....	9
<b>4</b>	<b>HISTORICAL BACKGROUND .....</b>	<b>9</b>
4.1	General Historical Context .....	9
4.2	Map Regression .....	11
4.3	Historical Ownership / Occupation .....	17
<b>5</b>	<b>RECENT PLANNING HISTORY .....</b>	<b>21</b>
<b>6</b>	<b>BUILDING DESCRIPTIONS .....</b>	<b>21</b>
6.1	General Arrangements.....	21
6.2	Range A1 (Figures 7-9) .....	23
6.3	Range A2 (Figures 10-13) .....	26
6.4	Range B (Figures 14-16) .....	29
6.5	Range C (Figures 14-16) .....	31
<b>7</b>	<b>DISCUSSION AND CONCLUSION .....</b>	<b>32</b>
7.1	Origins and Development .....	32
7.2	Interpretation .....	33
7.3	Ownership / Occupation .....	34
7.4	Discussion .....	35
7.5	Conclusion.....	35

## 8 SOURCES AND BIBLIOGRAPHY ..... 37

### *List of Illustrations within main text*

Block plan of Manor House Farm site .....	4
Domesday entry for Ashley .....	9
Extract of Speed (1611) and Morden (1753) .....	11
Extract of Ashley tithe map of 1838 .....	11
Lands historically assoc. Manor House Farm, overlaid onto modern OS .....	13
Manor House Farm as depicted on survey of Wm. Davenport's Estates at Maer and Ashley .....	14
Historical Ordnance Survey editions: 1880 and 1901 .....	14
Historical Ordnance Survey editions: 1924 and 1960/61 .....	16
'Bird's eye' aerial photograph of 1979 .....	16
Vertical aerial photographs of 2003 and 2018 .....	17
Key plan to recorded structures .....	22
1896 advertisement for Corbett grinding mill .....	25
Interpretation and outline development .....	34

### *List of Tables within main text*

Table 1: Relevant extratcts for tithe apportionment .....	12-13
---	-------

### *List of Figures*

Figure 1: Location plan.	
Figure 2: Site arrangements.	
Figure 3: Ashley Parish tithe map of 1838 (extract).	
Figure 4: Land use and fieldnames from Ashley tithe survey.	
Figure 5: 'Map of Maer and Ashley Estates, property of Wm. Davenport' (nd.; c.1855). SCRO D1213/2/2.	
Figure 6: Historical Ordnance Survey mapping; details of farmstead buildings.	
Figure 7: Range <b>A1</b> ; long elevations.	
Figure 8: Range <b>A1</b> ; ground floor plan.	
Figure 9 Range <b>A1</b> ; first floor plan.	
Figure 10: Range <b>A2</b> ; long elevations.	
Figure 11: Range <b>A2</b> ; gable elevation and transverse cross-section.	
Figure 12: Range <b>A2</b> ; ground floor plan.	
Figure 13: Range <b>A2</b> ; first floor plan.	
Figure 14: Range <b>B/C</b> ; long elevations.	
Figure 15: Range <b>B/C</b> ; gable elevation and transverse cross-section.	
Figure 16: Range <b>B/C</b> ; ground floor plan.	
Figure 17: Outline evolution of extant farm ranges (largely present by 1838).	

### *List of Plates*

- Plate 1: Manor House Farm; principal elevation to east.  
Plate 2: Manor House Farm; rear elevation to west.  
Plate 3: Remnants of former pig sties and associated boiler house to north of farmhouse.  
Plate 4: Agricultural ranges to west of farmhouse, general view looking north-east.  
Plate 5: Agricultural ranges **A1** (left) and **B** (right), general panoramic view looking north-west across southern foldyard.  
Plate 6: Agricultural ranges **B/C** (centre) and **A2** (right), general panoramic view looking south-west across former northern foldyard, with farmhouse to left.  
Plate 7: Farmstead buildings looking east showing drop off in topography to west.  
Plate 8: Drop off in topography to west at north end of range **A2**.  
Plate 9: Agricultural ranges to west of farmhouse, general view looking north-east.  
Plate 10: Southern arm of 'E'-plan looking south-west; much altered.  
Plate 11: South elevation of southern arm of 'E'-plan looking north-east; much altered.  
Plate 12: Detail of EGW bond brickwork.  
Plate 13: Oversail eaves band (west elevation).  
Plate 14: Discontinuity of coursing to south side of **A1** (east elevation).  
Plate 15: Discontinuity of coursing to south side of **A1** (west elevation).  
Plate 16: Varied patters plates for paired (top) and single (bottom) transverse tie bars.  
Plate 17: Range **A1**, east elevation to yard.  
Plate 18: Range **A1**, east elevation to yard; detail of doors [d1] (left) and [d2] (right), [w19] and [d15] over.  
Plate 19: Range **A1**, east elevation to yard, north end with complex pattern of GF brickwork north of door [d3].  
Plate 20: Range **A1**, 1F BW hard in angle with **B**.  
Plate 21: West elevation of **A1** (oblique).  
Plate 22: South end of main range (incorp. **A1**) looking north-east (**NB.** south gable end entirely rebuilt)  
Plate 23: Vertical SJ at Range **A1/A2**, west elevation.  
Plate 24: Variant roof lines at junction of Ranges **A1/A2**, **B** and **C**  
Plate 25: Patching beneath [w10] (former door).  
Plate 26: Geometric vent holes.  
Plate 27: Rebuilt walling around 1F [d16], presumed to relate to removal of former projecting winch-bay.  
Plate 28: 'Ghost' of roofslope of former projecting winch bay.  
Plate 29: Room [G1a] looking west.  
Plate 30: Room [G1b] looking west.  
Plate 31: Room [G2] looking west.  
Plate 32: Window [w10] (former door) to west wall [G2].  
Plate 33: East wall of [G2] with door [d3] to yard and adjacent, much reconstructed elevation.  
Plate 34: South wall of [G2] showing blocked openings and location of grinding mill with hopper chute.  
Plate 35: Detail of Corbett's 'Plymouth' grinding mill.  
Plate 36: Detail of vacuum pump and reserve motor.  
Plate 37: Room [G2] looking north; door to left opening onto feed walk [G3a].  
Plate 38: Modern breeze-block stalling within [G3], with relic timber posts of former stalling.  
Plate 39: Looking north along feed walk [G3a]  
Plate 40: Looking south along feed walk [G3a].  
Plate 41: Looking east along passage [G3b] towards door [d4] opening onto range **B**.  
Plate 42: [G3] window [w1]; SJs beneath cill suggest former door.

- Plate 43: Room **[F1]** looking south-east.  
Plate 44: Room **[F2]** looking south.  
Plate 45: Room **[F2]** looking north over stair rising from **[G2]**.  
Plate 46: Room **[F3]** looking north-west.  
Plate 47: Detail of iron tie bar.  
Plate 48: Room **[F3]**; detail of winch gear.  
Plate 49: Roof truss **T2** over **[F2]** looking south-west.  
Plate 50: Joggled base to bolted KP (**T2**).  
Plate 51: Head of KP (**T2**).  
Plate 52: Initials 'PSC' to soffit of tie beam truss **T2**, formed with race-knife.  
Plate 53: Chiselled numerals to KP/tie of truss **T3**.  
Plate 54: Carpenter's marks to roof over **[F1]**.  
Plate 55: Brick support to truss **T3** (**[F3]**, east).  
Plate 56: Corbelled brick pier supporting truss **T2**.  
Plate 57: Range **A2**, east elevation.  
Plate 58: Range **A2**, detail of dentil-course eaves band.  
Plate 59: Door **[d6]**.  
Plate 60: Window **[w4]**; formerly door.  
Plate 61: 'Ghost' of north range roof profile to **A2** above window **[w4]**.  
Plate 62: Geometric vent-holes.  
Plate 63: Uneven brickwork (colour/bond) around window **[w2]** suggestive of former, wide doorway.  
Plate 64: Range **A2**; west elevation (oblique).  
Plate 65: Variation in eaves height / detail at **A1/A2**.  
Plate 66: Blocked door to north end of west elevation.  
Plate 67: Door **[d7]**/window **[w6]**.  
Plate 68: Geometric vent-holes.  
Plate 69: Detail of **[w7]**/**[w23]**.  
Plate 70: Range **A2**; north gable end.  
Plate 71: Former door in north gable end  
Plate 72: Looking north along feed walk **[G4a]**.  
Plate 73: SJ between **A1/A2** (vis. in **[G4a]**).  
Plate 74: Trimmed opening for former ladder access **[G4a]**.  
Plate 75: **[G4]** looking south-west.  
Plate 76: Post with mortices for former stalling partitions.  
Plate 77: Concrete pig pens within **[G5]**.  
Plate 78: Concrete pig pens within **[G6]**.  
Plate 79: Variant roof truss over range **A2** (truss **T4** looking north).  
Plate 80: Bolted and pegged KP/tie (truss **T4**).  
Plate 81: Detail of square-cut apex (**T4**).  
Plate 82: Truss **T6** over **[G6]** with location of carpenter's marks highlighted.  
Plate 83: Detail of carpenter's marks; (?) '55' (circled) to tie beam of truss **T6**.  
Plate 84: Range **B**, south elevation to foldyard.  
Plate 85: Three variant ridge vent tiles.  
Plate 86: Detail of brickwork,  
Plate 87: Range **B**, detail of inserted door **[d9]**.  
Plate 88: Range **B**, detail of 1F circular pitching eye (edged in bull-nosed blue brick).

- Plate 89: Range **B**, detail of window [w12] flanked by vertical vent slots (blocked, marked with arrows).  
Plate 90: Paired doors [d10/11] serving stables [G8/9].  
Plate 91: Ventilation holes to heightened south elevation.  
Plate 92: Range **B/C**; east gable end; **NB**. consistent brick coursing to upper wall.  
Plate 93: Range **B** [G7] looking east.  
Plate 94: Range **B** [G7] looking west.  
Plate 95: Scar of former longitudinal feedwalk wall to east side of Bay 4.  
Plate 96: Inserted feed hatch in north wall of Range **B**.  
Plate 97: Feed hatch in north wall of Range **B**, as seen from building **C**.  
Plate 98: 'Ghost' of former, lower roof-line visible to west of Range **B** above inserted spray booth.  
Plate 99: Stable [G8] looking north.  
Plate 100: Stable [G9] looking north.  
Plate 101: King-post roof truss over Range **B** (T9 looking east).  
Plate 102: Brick pier supporting truss.  
Plate 103: Range **C**, north elevation (oblique), looking west.  
Plate 104: Range **C**, north elevation; largely rebuilt.  
Plate 105: Range **C**, east elevation.  
Plate 106: Range **C**, interior looking east.  
Plate 107: Interior of range **C**, room [G10]; detail of stalling.  
Plate 108: Former exterior window and vent holes of **A2**.  
Plate 109: Roof truss T12 over [G10] (Range **C**), looking east.

#### *List of Appendices*

- APPENDIX A:** Approved Written Scheme of Investigation (WSI)  
**APPENDIX B:** Register of Project Photographs  
**APPENDIX C:** Historical Census and Trade Directory data



## MANOR HOUSE FARM BARNs

Park Lane, Ashley, Staffordshire

### Historic Building Record, 2021

Planning Refs.: 19/00895/FUL and 19/00896/LBC

---

#### Summary

*The current document summarises the results of a programme of 'Level 3' Historic Building Recording (HBR) undertaken in February/March 2021 in respect of a series of largely redundant agricultural outbuildings at Manor House Farm, Park Lane, Ashley nr. Loggerheads, Staffordshire, centred on NGR SJ 75735 37675. Associated archival research, delayed due to the COVID-19 pandemic, was completed in November 2021. The project was commissioned by Mr. Nick Edge of Manor House Farm, and has been completed, under the terms of National Planning Policy Framework (NPPF), as a condition of planning consent (refs. 19/00895/FUL and 19/00896/LBC) for the refurbishment / conversion of the buildings for residential use. Though the buildings under consideration are not statutorily listed in their own right, nor lying within a Conservation Area, they represent 'curtilage' buildings of the adjacent late-18<sup>th</sup>-century, Grade II listed Manor House Farmhouse with which they are historically and currently associated, and are included on the Staffordshire Historic Environment Record (ref. 52869).*

*The traditional farm buildings are stylistically and characteristically of late-18<sup>th</sup>/early-19<sup>th</sup>-century date, historically occupying a distinctive 'E' plan to the west of the broadly contemporary farmhouse, defining and enclosing two foldyards, essentially in place by the time of the Ashley tithe map of 1838. The physical evidence of the buildings' fabric indicates the complex evolved via a process of accretive development, however, originating as a 'U'-shaped complex defining a single yard, subsequently extended to the north to form a second, contiguous yard flanked by further ranges to west and north, and open to the east. The southern arm of the developed 'E'-plan has been previously converted from agricultural use and lies beyond the scope of the current study, while the northern arm was sequentially removed during the mid- to late-20<sup>th</sup> century. The buildings currently under consideration thus form a 'T'-shaped plan at the centre of the historical complex, with a long, two-storey range aligned N/S, and a perpendicular range aligned E/W, extending towards the rear of the farmhouse, originally of a single storey though subsequently raised and extended.*

*The buildings are of traditional construction, brick-built of two storeys beneath pitched and gabled, plain-tile clad roofs supported on timber king-post trusses of standard design. The recorded buildings comprise a fairly typical combination of cattle accommodation, feed preparation/processing, and storage ranges, broadly reflective of a late-18<sup>th</sup>/early-19<sup>th</sup> century mixed/dairying tradition. Notably, the complex does not include a purpose-built, traditional 'threshing barn', the principal north-south aligned range by contrast comprising a multi-purpose 'combination' range, a characteristic of the period when mechanised threshing was becoming the norm. In the mid-late 20<sup>th</sup> century, the constituent ranges have been subject to sequential phases of modification and internal re-ordering to accommodate changing patterns of use, primarily the move away from dairying in the early-1970s when a number of the ground floor areas were modified for pig rearing, a process that has largely removed original/early fittings and fixtures, though a 19<sup>th</sup>-century grinding mill and relic winch gear related to a lost hoist bay represent interesting survivals.*

*The buildings at Manor House Farm represent good, solid, if unremarkable, examples of traditional vernacular farm ranges of their type and date, forming an attractive group and making a significant contribution to both the physical context and special historical interest of the Grade II listed farmhouse. Though not deemed of sufficient interest for inclusion on the statutory list, the ranges retain considerable historical significance at a local level, and this is reflected in their inclusion on the Staffordshire Historic Environment Record. The farmstead illustrates good survival of its historical farmstead plan form, with significantly less than 50% loss when compared to historical OS mapping of the late-19<sup>th</sup> century, and thus can be deemed to retain high 'heritage potential'.*

*Long redundant for their original purpose and already partly converted to non-agricultural use, further, sensitive conversion of the remaining ranges affords a timely opportunity to secure a long-term, viable and sustainable future use for the buildings, thereby securing their ongoing maintenance and preservation. Within the context of the consented conversion, the current project has allowed for a detailed record of the buildings to be made, so far as possible from a non-intrusive survey and given the current state of the buildings, in line with NPPF and with pertinent Historic England guidance. As such, the current report presents a 'point in time' document of the buildings prior to work. The associated programme of archival research has established a broad historical context within which to interpret the recorded buildings.*



# MANOR HOUSE FARM BARNs

Park Lane, Ashley, Staffordshire

## Historic Building Record, 2021

Planning Refs.: 19/00895/FUL and 19/00896/LBC

## 1 INTRODUCTION

### 1.1 Introduction to Project

- 1.1.1 The current report summarises the results of a programme of Historic Building Recording (HBR) undertaken in respect of a series of redundant traditional agricultural outbuildings at Manor House Farm, Park Lane, Ashley nr. Loggerheads, Staffordshire (see §.1.2). It has been prepared at the request from Mr. Nick Edge of Manor House Farm, in response to a condition of planning consent (see §.1.3) for conversion of the buildings to residential use.

### 1.2 The Site

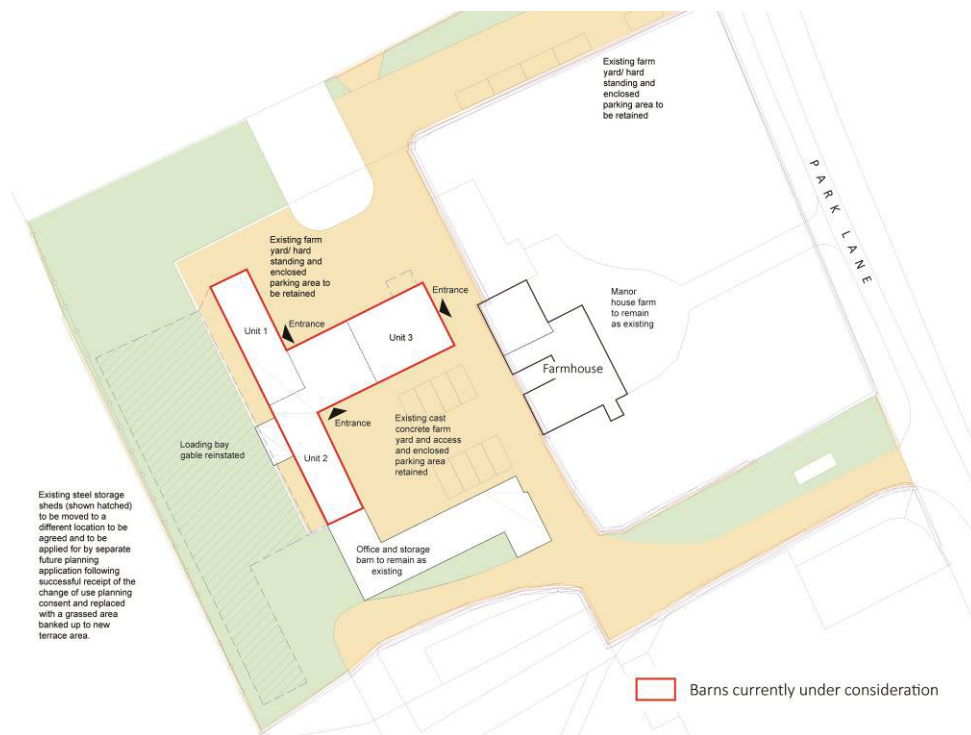
- 1.2.1 Manor House Farm, formerly known as 'Birch House' down to the mid-19<sup>th</sup> century,<sup>1</sup> occupies an isolated, open rural site, 1.35km north of Ashley and 2.5km north-east of the village of Loggerheads (see Figure 1), in the civil parish of Loggerheads<sup>2</sup> on the southern-most edge of Newcastle-under-Lyme Borough in north-western Staffordshire, close to the county border with Shropshire; it is centred on NGR SJ 75735 37675 and lies at an elevation of c.150m AOD. The farmstead is centred on Manor House Farmhouse (Plates 1/2), a Grade II Listed building of late-18<sup>th</sup>-century origins (see §.1.4.1), set back behind a small formal garden fronting onto the western side of Park Lane, a country road leading north from the A53 Newcastle Road in the direction of Willoughbridge Wells.<sup>3</sup>
- 1.2.2 The buildings currently under consideration lie immediately adjacent to the farmhouse, with which they are historically associated, to the south-west, comprising the remnants of a former 'E'-shaped plan arranged around two foldyards (Figure 2; inset below).<sup>4</sup> The ranges date, most probably, to the late-18<sup>th</sup> or early-19<sup>th</sup> century, and are broadly contemporary with the farmhouse, being largely in place by 1838 (§.4.2.2).

<sup>1</sup> Name changed c.1855 (see §.4.3.5); last recorded as Birch House in census returns of 1851 (**Appendix C(a)**).

<sup>2</sup> Formed in 1984 under local government boundary review, by the amalgamation of the former parishes of Tyrely, Mucklestone and Ashley (Loggerheads PC 2019, 9).

<sup>3</sup> White's History, Gazetteer and Directory of Staffordshire (1851) records that Willoughbridge Wells '...on the north side of the parish, nearly two miles N. of Ashley, and in the neighbourhood of the extensive woods belonging to the Bishop of Lichfield, and H.C. Meynell Ingram, Esq. These woods supply immense quantities of crate-wood for the Potteries, and timber for the manufacturer of oak baskets. The wells in the now enclosed park of Willowbridge were formerly in great celebrity for their medicinal virtues.'

<sup>4</sup> The north-west range, evident on Ordnance Survey mapping of the late-19<sup>th</sup> century, has been historically removed.



Block plan of site (based on Tarpey Woodfine Architects 'proposals' drawing no. 1062-09B of August 2018)

- 1.2.3 The buildings are of traditional construction, brick-built of two storeys beneath pitched and gabled, plain-tile clad roofs supported on timber king-post trusses of standard design. The buildings currently under consideration form a 'T'-shaped plan, with a long range aligned NW/SE and a perpendicular range aligned SW/NE, extending towards the rear of the farmhouse. The south-eastern range, previously to office and storage use, does not form part of the current proposals (see inset plan above) while the early north-west range, formerly completing an 'E'-shaped plan, has been historically removed.

### 1.3 Planning Background

- 1.3.1 Planning applications (ref. **19/00895/FUL**<sup>5</sup> and **19/00896/LBC**<sup>6</sup>) were made on 6<sup>th</sup> November 2019 to Newcastle-under-Lyme Borough Council (NULBC), under the terms of the Town and Country Planning Act, 1990<sup>7</sup> and the Planning (Listed Buildings and Conservation Areas) Act, 1990<sup>8</sup> in respect of the conversion of an existing 'barn' to three dwellings.
- 1.3.2 Works are summarised in the application documentation as follows:

<sup>5</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?previousCaseType=Property&keyVal=Q10P0VBMILJ00&previousCaseNumber=000240BMBU000&previousCaseUpnr=100031716157&activeTab=summary&previousKeyVal=0002JDBMLI000>

<sup>6</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?keyVal=Q10P0VBMILK00&activeTab=summary>

<sup>7</sup> <http://www.legislation.gov.uk/ukpga/1990/8/contents>

<sup>8</sup> <http://www.legislation.gov.uk/ukpga/1990/9/contents>

*'The change of use of the north-west side of the barn to three separate residences, one for re-use as a dwelling and two for reuse as holiday lets. It is intended that the existing office and storage on the south-east side of the barn will be retained as existing'*

- 1.3.3 Details of proposed works are covered by submitted planning drawings and by an accompanying 'Design and Access Statement' (Tarpey Woodfine Architects, 2019), and will not be repeated here.

Requirement for Work

- 1.3.4 The Historic Building Record has been required by NULBC on the advice of the County Archaeologist for Staffordshire County Council, under the terms of National Planning Policy Framework (NPPF, 2019; see §.1.3.7).

- 1.3.5 Specifically, archaeological advice from SCC, dated 12.12.2019,<sup>9</sup> recommended that:

*'...we would advise that there is the potential that the proposals would result in an adverse effect upon the archaeological interest of the proposed development site. Consequently, we would advise that archaeological mitigation be required as a condition of any planning permission granted... It is considered that in this instance, proportional mitigation would best take the form of an **Archaeological Building Recording, Level 3**' (see §.2.1 below).*

- 1.3.6 The full wording of the applied condition is as follows:

*'No development shall take place until a Level 3 archaeological building recording has been carried out. Such recording should be undertaken by a suitably experienced organisation or historic environment specialist(s) working to the relevant Chartered Institute for Archaeologists standard and guidance and their Code of Conduct, and in accordance with the guidance provided in Historic England's 'Understanding Historic Buildings' document (2016).*

***R6.** Given the potential for the proposals to result in an adverse effect upon the archaeological interest of the proposed development site and in accordance with the aims and objectives of the National Planning Policy Framework 2019.'*

National Planning Policy Framework<sup>10</sup>

- 1.3.7 Government planning policy and guidance at a national level is set out in the Ministry of Housing, Communities and Local Government's (MoHC&LG) *National Planning Policy Framework* (NPPF; Revised 2019), section §.16 (p.54-57) of which addresses 'Conserving and Enhancing the Historic Environment' with the following paragraphs being pertinent:

**Para 189:**

*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of*

<sup>9</sup> <http://publicdocs.newcastle-staffs.gov.uk/Anitelm.WebSearch/Download.aspx?Download=00278128.pdf>. See also advice from Urban Design and Conservation Officer of NULBC dated 11.12.2019



*the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.*

**Para. 199:**

*Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.*

## 1.4 Designations<sup>11</sup>

### Statutory Designations

- 1.4.1 The buildings currently under consideration are not statutorily listed in their own right, nor do they lie within a designated Conservation Area though, in planning terms, they represent ‘curtilage’ buildings<sup>12</sup> of the adjacent, Grade II listed Manor House Farmhouse (see Plates 1/2), which is described in the Statutory List of Buildings of Special Historical or Architectural Interest (Building ID **1280633**)<sup>13</sup> as follows:

SJ 73 NE  
9/5

LOGGERHEADS C.P

Ashley  
PARK LANE

#### **Manor House Farmhouse**

II

**Farmhouse.** Late C18 with later additions and alterations. Red brick (Flemish stretcher bond) with raised verges on stone kneelers, plain tile roof, 2 ridge stacks. 2 storeys and gable-lit attic; 4 windows, glazing bar sashes with gauged heads (now plastered); wide mid-C20 brick entrance porch with door in left-hand side in front of original round-headed central entrance (door and fanlight now removed). 2- storeyed projection at right angles to rear to left with another 2-storeyed extension (mid-C19), also at right angles, to right.

Listing NGR: SJ 75760 37687. Date first listed 14<sup>th</sup> May 1985.

### Non-Statutory Designations

- 1.4.2 The farmstead is included on the Staffordshire Historic Environment Record (HER), ref. **52869**,<sup>14</sup> and is thus acknowledged as a ‘non-designated heritage asset’ in its own right.<sup>15</sup> The HER entry describes the farmstead as follows:

<sup>10</sup> <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

<sup>11</sup> The Heritage Assets (both designated and non-designated) of the wider Loggerheads Civil Parish are summarised in a document prepared by the Parish Council and Neighbourhood Plan Working Group (2018).

<sup>12</sup> See Historic England (2018); *Historic Environment Good Practice Advice in Planning, Note 10: Listed Buildings and Curtilage.*

<sup>13</sup> <https://historicengland.org.uk/listing/the-list/list-entry/1280633>

<sup>14</sup> [https://www.heritagegateway.org.uk/Gateway/Results\\_Single.aspx?uid=MST14303&resourceID=1010](https://www.heritagegateway.org.uk/Gateway/Results_Single.aspx?uid=MST14303&resourceID=1010)

<sup>15</sup> NPPF defines a ‘non-designated heritage asset’ as a building, monument, site, place, areas or landscape identified by plan-making bodies as having a degree of heritage significance meriting consideration in planning decisions but not meeting the criteria for statutory designation.

*'An isolated farmstead of probable late 18th century origin, possibly originally known as Birch House, but referred to as Manor House by the late 19th century. The farmstead originally comprised a regular, E-plan range with detached farmhouse. It survives with only some minor losses to the original plan and remains in agricultural use.'*

NOTES:

- An isolated farmstead with regular E-plan yard, detached farmhouse and additional detached elements.
- The listed farmhouse is of late-18th century date providing a possible relative date for the origin of the farmstead.
- No buildings are indicated here on William Yates' map of 1775 however a cluster of buildings named as 'Birch House' are depicted at this location on the (circa) 1830s 1" Ordnance Survey mapping.
- By the later-19th century it appears to have been named 'Manor House', with a small orchard lying immediately to the south-east.
- The farmstead is still largely extant, although with some minor alterations and losses (including the north-west wing of the E-plan range).

1.4.3 The farmhouse is independently recorded on the HER ref. **11774**.<sup>16</sup>

## 1.5 Acknowledgments

1.5.1 The current study was commissioned by Mr. Nick Edge of Manor House Farm to whom thanks are extended for help and cooperation throughout, including allowing unhindered access to the farm buildings, and for supplying information on his family's period of occupation/ownership of the farmstead. Thanks also to Mr Shane Kelleher, County Archaeologist for Staffordshire County Council and to staff at the Staffordshire County Record Office (SCRO).

1.5.2 'As existing' survey drawing by Taylor Woodfine Architects of Newcastle-under-Lyme have been used for on-site recording and form the basis of the figures reproduced in the current report; their use is gratefully acknowledged. Online historical research and site recording have been undertaken by Ric Tyler MCI(A), who also wrote, collated and illustrated the current report.

## 2 AIMS AND OBJECTIVES

2.1 No formal project brief was issued in respect of the recording work, though advice from SCC (§1.3.5) stipulated a survey commensurate with a 'Level 3' record, defined by Historic England in *'Understanding Historic Buildings: A Guide to Good Recording Practice'* (HE 2016, 26), as follows:

*'Level 3 is an **analytical record**, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis.'*

<sup>16</sup> [https://www.heritagegateway.org.uk/Gateway/Results\\_Single.aspx?uid=MST6966&resourceID=1010](https://www.heritagegateway.org.uk/Gateway/Results_Single.aspx?uid=MST6966&resourceID=1010)

- 2.2 The project has been undertaken in accordance with a Written Scheme of Investigation (WSI), prepared by the current author, and reviewed and approved by SCC in advance of work;<sup>17</sup> a copy of the project WSI is included at **Appendix A** below.

### 3 METHODOLOGY

*NB. The study focussed on those areas of the complex immediately impacted by the consented development; the south-eastern parts of the complex, which are unaffected by current proposals were addressed in outline terms only, so as to allow the recorded elements to be considered within their wider physical and historical context.*

#### 3.1 Documentary Research

- 3.1.1 A search was made of all relevant and readily available published and unpublished documentary source material, including historical maps, early photographs, drawings, paintings and written descriptions, and primary and secondary sources related to the site and its wider environs held by the Staffordshire County Record Office (SCRO). Documentary research, postponed due to access restrictions imposed in response to the COVID-19 pandemic, was undertaken on 3<sup>rd</sup> November 2021. Standard on-line sources including The National Archives ([www.a2a.org](http://www.a2a.org)) were also be consulted, together with historical census and trade directory data via [www.ancestry.co.uk](http://www.ancestry.co.uk), and old newspapers via [www.britishnewspaperarchive.co.uk](http://www.britishnewspaperarchive.co.uk).
- 3.1.2 On the advice of the archaeological officer of Staffordshire County Council,<sup>18</sup> a full search of the county Historic Environment Record (HER) was not required, though HER records were reviewed via ‘heritage gateway’.

#### 3.2 Structural Recording and Analysis

- 3.2.1 The study comprised an examination of all safely accessible areas of the buildings and the compilation of drawn, photographic and written records thereof, as follows:

##### *Drawn Record*

- 3.2.2 The drawn record comprised the preparation of plans, cross-sections and elevations sufficient to illustrate the dimensions, features and construction, phasing and development of the buildings so far as practicable from a non-intrusive survey. Records were based upon pre-existing survey data where available,<sup>19</sup> otherwise site drawings were prepared at an appropriate scale in pencil on archivally stable drafting film, measurements being obtained by a combination of taped measurement and hand-held laser (disto).

##### *Photographic Record*

- 3.2.3 To complement the drawn survey, a photographic record was made comprising high resolution digital photography using a Nikon D3500 DSLR camera, commensurate with a ‘Level 3’ record. The survey extended to include general and detailed shots, contextual views of the building within its wider site context, accessible external elevations, general and detail views of principal interior spaces, together with visible structural and decorative details (both external and internal). Where practically feasible, photographs include graded photographic scales (see §.3.3.1). A register of site photographs was maintained recording subject,

<sup>17</sup> E-mail correspondence R. Tyler / S. Kelleher (SCC); 01.02.21.

<sup>18</sup> S Kelleher *pers. comm.* (e-mail correspondence, 20.02.20).

<sup>19</sup> Tarpey Woodfine Architects, drawing nos. 1062-02/03 of August 2018.

orientation, date and photographer, and is included as **Appendix B** below.

#### *Written Record*

- 3.2.4 A written record was maintained by way of annotations to site drawings and as free text to accompany the drawn and photographic records, and forms the basis for the building descriptions at section §.6 below. The record extended to cover a summary of the buildings' form and type, its function (historically and at present), materials of construction, date and sequence of development so far as practicable from a non-intrusive survey.
- 3.2.5 Fieldwork was undertaken over a period of two days on 22<sup>nd</sup> February and 1<sup>st</sup> March 2021.

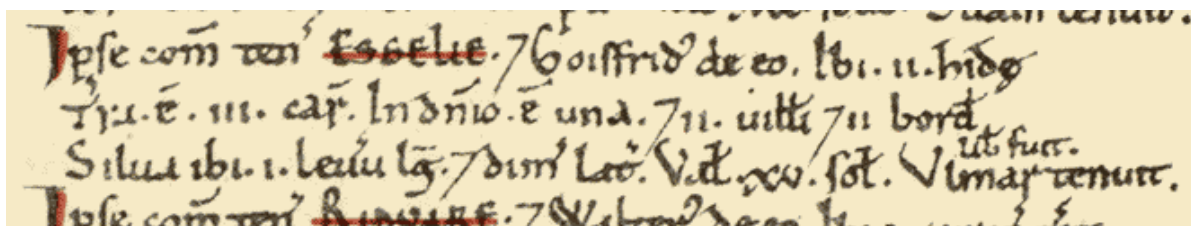
### **3.3 Statement of Limitations**

- 3.3.1 Access to a number of first floor areas was limited due to the poor condition of the associated floor structures, and though this meant it was not possible to include graded photographic scales in a number of the upper-level internal photographs, this is not deemed to have had a negative impact upon the general validity of the recording exercise. Photographic coverage of the west elevation of the main north-south aligned range (**A1/A2**) was limited due to restricted access as a result of the proximity of an adjacent, steel-framed building (introduced 2007-9).

## **4 HISTORICAL BACKGROUND**

### **4.1 General Historical Context**

- 4.1.1 Archaeological evidence, principally in the form of isolated finds, attests to human activity within and around the villages and hamlets that make up the modern parish of Loggerheads dating back to the prehistoric period (LPC 2019, 9), while areas of ridge and furrow,<sup>20</sup> identified from aerial photographs, reflect medieval exploitation of the surrounding landscape. The lack of nucleated villages and the preponderance of woodland-type names all suggest that the present landscape is the result of gradual colonisation of an area that was once wooded (*ibid.*, 13). Ashley itself is recorded (as 'Esselie') in Domesday Book, listed under the holdings, as tenant-in-chief, of Roger of Montgomery, Earl of Shrewsbury, in Pirehill Hundred,<sup>21</sup> under-tenanted to Geoffrey (the Sherriff) and described as follows:



Domesday Book entry for Ashley ('Esselie'); source: <https://opendomesday.org/place/SJ7636/ashley/>.

*'There are two hides,<sup>22</sup> there is land for three ploughs. In demesne<sup>23</sup> is one plough; and two villans<sup>24</sup> and two bordars.<sup>25</sup> There is woodland 1 league long and a half broad. It is worth 15s. Wilfmaer held it; he was free.'*

<sup>20</sup> HER 20321, 30232, 30323

<sup>21</sup> One of five hundreds in Staffordshire, viz. Pirehill, Totmonslow, Offlow, Cuttlestone and Seisdon.

<sup>22</sup> The standard unit of assessment used for tax purposes. It was meant to represent the amount of land that could support a household, roughly 120 acres (<https://www.nationalarchives.gov.uk/domesday/glossary/default.htm>).

<sup>23</sup> Part of the manor either kept by the lord in his own hands, or farmed for his own profit.

- 4.1.2 Etymologically, the name appears to be of Anglo-Saxon origin, reasonably meaning ‘ash lea’<sup>26</sup> or ‘ash tree clearing’ although a derivation from the personal name ‘Æsca’ cannot be entirely discounted (Horowitz 2003, Vol. 1, 142). It has been rendered historically as ‘Eslega’ or ‘Eslea’ (1203), ‘Esseleg’ (1231), ‘Essele’ (1243), ‘Assel’ (1253), ‘Astheleye’ (1259), ‘Asseleye’ (1273) ‘Assyngelegh’ (1293), ‘Asselegh’ (1302) and ‘Asshele’ in 1318 (*ibid.*).
- 4.1.3 A market was granted by Henry III to Philip de Burewardslegh in the early-13<sup>th</sup> century (1219-1220).<sup>27</sup> Ashley appears to have suffered badly as a result of the Black Death in 1349, when its value was substantially reduced by loss of population; by 1532-33, 23 families were listed. In the Hearth Tax returns of 1666, the population had increased to 43 households assessed for tax, with a further 12 listed as not being chargeable. The largest property, with seven hearths, belonged to Mr Lightfoot, the rector of Ashley.<sup>28</sup> The parish was enclosed under an act of 1812.<sup>29</sup>
- 4.1.4 William Pitt’s *Topographical History of Staffordshire* (1817) records a parish and village c.7 miles NW of Eccleshall with 141 houses and 141 families; total inhabitants 616 (321 males/295 females) adding that ‘*the soil of the old inclosed land in the parish is a lightish loam on a sand or gravel bottom... The principal land-proprietors are Thomas Kinnersley and Hugo Meynell Esq.*’
- 4.1.5 White’s *History, Gazetteer and Directory of Staffordshire* of 1851 adds detail, describing:
- ‘...a small village, on a declivity, 7 miles NW of Eccleshall and 9 miles SW of Newcastle-under-Lyme, comprising within its parish several hamlets, 853 inhabitants, and about 2,600 acres of land, mostly belonging to Thomas Kinnersley and Hugo Charles Meynell Ingram, Esqrs, who are joint lords of the manor. Ashley Heath, one of the highest levels in England, gives name to a small village, about one mile SW of Ashley, and was enclosed under an act passed in 1812. Willowbridge Wells are on the north side of the parish, nearly 2 miles N of Ashley, and in the neighbourhood of extensive woods which supply immense quantities of crate-wood for the Potteries, and timber for the manufacture of oak baskets. The wells in the now enclosed park of Willowbridge were formerly in great celebrity for their medicinal virtues.’*
- 4.1.6 By the time of *Kelly’s Directory* of 1880, Henry Davenport Esq.<sup>30</sup> and the Hon. Mrs. Meynell-Ingram are recorded as owners of the Manor and principal land owners. The description expounds that ‘*the soil is loamy; subsoil gravel and marl, the chief crops are wheat, oats, barley and turnips; the area is 2,860 acres, rateable values £5,115 and the population in 1871 was 903.*’
- 4.1.7 The 1880 directory lists 28 farmers operating within the parish, including Edward Kendrick at Manor House Farm (see §.4.3.7 and **Appendix C**), together with a range of trades including, *inter alia*, timber dealers, sawyers, coopers, basket makers, wheelwrights, brick & drain-pipe makers, grocers, beer retailers, a druggist and painter & glazier. A further four farmers are listed under Ashley Heath, together with a threshing machine owner and several crate makers (see §.4.1.5 above).

<sup>24</sup> An unfree peasant who owed his lord labour services, but who also farmed land for himself.

<sup>25</sup> Unfree peasants with less land than villans.

<sup>26</sup> AS ‘lĕah’; a wood, woodland, a rough open space or clearing in a wood.

<sup>27</sup> [https://www.heritagegateway.org.uk/Gateway/Results\\_Single.aspx?uid=MST2354&resourceID=1010](https://www.heritagegateway.org.uk/Gateway/Results_Single.aspx?uid=MST2354&resourceID=1010).

<sup>28</sup> <https://www.search.staffspasttrack.org.uk/Details.aspx?&ResourceID=15532&SearchType=2&ThemeID=750>.

<sup>29</sup> WSL: Local Acts 241/1/4. See ‘Ashley Inclosure’; *Staffordshire Advertiser* 22<sup>nd</sup> May 1813.

<sup>30</sup> Son of William Davenport who had purchased Kinnersley’s lands at Maer and Ashley in 1855; see §.4.2.5.



## 4.2 Map Regression

### *Early County Maps*

- 4.2.1 Early county maps such as John Speed's map of 1611 or Robert Morden's map of 1753 (insets below) are of too small a scale to illustrate individual farmsteads; both show Ashley with its church, however, while Morden's map illustrates 'Willowbridge' to the north-west. Yates's map of 1775 (not reproduced here) shows the area in a little more detail, including individual buildings and isolated farmsteads and, though Park Cottage and recognisable areas of plantation are evident, nothing is marked in the area of Manor House Farm, to the east side of the Willoughbridge road.



Extract from Speed's map of 1611.



Extract of Morden's map of 1753.

### *Tithe Map*

- 4.2.2 The tithe map for the Parish of Ashley in the County of Stafford, prepared in 1838 by George Adie of Rugeley (Figure 3; detail inset below),<sup>31</sup> clearly illustrates Manor House Farm, then known as 'Birch House', on the western side of the Ashley to Willoughbridge Wells road.



Extract of Ashley tithe map of 1838 showing Manor Farm, then known as 'Birch House'

<sup>31</sup> SCRO: B/A/15/15; reproduced with permission of Staffordshire Record Office (Order No. PI 6508, reproduction licence issued 21.04.2021).

- 4.2.3 To the south-west of the farmhouse lies its associated group of agricultural buildings arranged on a distinctive 'E'-shaped, regular courtyard plan, with a main range aligned approximately north/south, off which three perpendicular ranges project to the east towards the rear of the house, defining two discrete foldyards, with principal access from the south, and a third, fenced yard area (?rickyard) to the rear of the main range. A long narrow range extending northwards from the farmhouse, with small enclosures to the west, onto the foldyard, may reasonably be interpreted as a bank of pig-sties (partially extant; see Plate 3).
- 4.2.4 The apportionment accompanying the tithe<sup>32</sup> lists Birch House, together with associated lands totalling 320A 2R 25P, predominantly arable but including c.89A of pasture (largely focussed around the farmhouse: Figure 4) and c.18½A of meadow, to be in the ownership of one Thomas Kinnersley Esq.<sup>33</sup> and the occupation of John Dicken, also recorded in historical census returns of 1841 (see §.4.3.2 below; **Appendix C(a)**). Three of the plots, viz. Nos. 77, 228 and 530 represent outliers, the former two (both comprising meadow) lying to the west of the parish near 'The Wellings' and the latter lying within Ashley itself. The remaining lands form a coherent holding focussed around Birch House and lying predominantly to the west side of the Willoughbridge Wells road (see Figures 3/4; overlaid onto modern OS map, inset below). Three areas of plantation, viz. plots 439, 444 and 450, would appear to have been excluded from the farm lease, being listed as in the ownership and occupation of Thomas Kinnersley.<sup>34</sup>

Plot	Owner	Occupier	Description	State of Cultivation	Size		
					A	R	P
56	Thomas Kinnersley Esq.	John Dicken	Butty Croft	Arable	2	2	0
57	<i>ditto</i>	<i>ditto</i>	Butty Leasow	Arable	14	1	7
(77)	<i>ditto</i>	<i>ditto</i>	Part of Meadow (late Wilcox)	Meadow	6	1	38
(228)	<i>ditto</i>	<i>ditto</i>	The Close or Birch House Meadow	Meadow	9	0	16
414	<i>ditto</i>	<i>ditto</i>	Little Heady Leese	Arable	4	3	34
415	<i>ditto</i>	<i>ditto</i>	Big Heady Leese	Pasture	6	3	33
416	<i>ditto</i>	<i>ditto</i>	Birch Lane Croft	Pasture	9	0	19
417	<i>ditto</i>	<i>ditto</i>	Croft	Pasture	8	3	34
<b>418</b>	<i>ditto</i>	<i>ditto</i>	<b>Birch House, Bldgs. Yard &amp; Garden</b>	Arable	3	2	2
419	<i>ditto</i>	<i>ditto</i>	Croft	Meadow	3	0	22
420	<i>ditto</i>	<i>ditto</i>	Long Croft	Pasture	11	3	34
421	<i>ditto</i>	<i>ditto</i>	Dale Ridding	Pasture	9	1	37
422	<i>ditto</i>	<i>ditto</i>	Smiths Hill	Arable	9	1	11
423	<i>ditto</i>	<i>ditto</i>	Holly Croft	Arable	2	3	35
424	<i>ditto</i>	<i>ditto</i>	Near Ridding	Arable	9	2	13
425	<i>ditto</i>	<i>ditto</i>	The Far Ridding	Arable	7	0	28
437	<i>ditto</i>	<i>ditto</i>	Platts Intake	Arable	13	2	28
438	<i>ditto</i>	<i>ditto</i>	Lordsley	Arable	4	3	34
440	<i>ditto</i>	<i>ditto</i>	The Intake	Arable	15	0	10
441	<i>ditto</i>	<i>ditto</i>	Woodside	Arable	15	0	33
442	<i>ditto</i>	<i>ditto</i>	Near Barn Piece	Arable	10	0	8
443	<i>ditto</i>	<i>ditto</i>	Lower Barn Piece	Arable	10	0	9
445	<i>ditto</i>	<i>ditto</i>	Whittington Bank	Arable	14	1	31
446	<i>ditto</i>	<i>ditto</i>	Far Coppice Wood	Arable	10	0	36
447	<i>ditto</i>	<i>ditto</i>	Far Coppice Wood	Pasture	10	0	11

<sup>32</sup> SCRO: B/A/15/375; copy WSL: S.MS.430/4 (original not seen; data consulted via <https://www.staffsnameindexes.org.uk>).

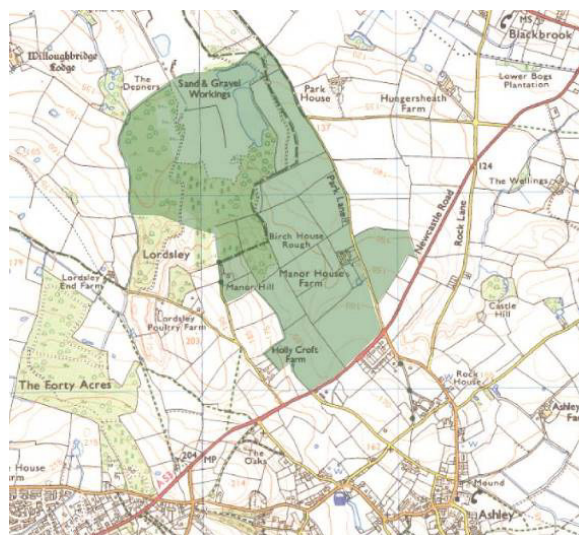
<sup>33</sup> See §.4.3.1. Thomas Kinnersley II of Clough Hall died in 1855 and is buried at the Kinnersley Chapel of St John's Church, Ashley (monument by renowned sculptor, Matthew Noble).

<sup>34</sup> 'Various thriving plantations' are listed separately from the farm, described as 'in hand', in sale particulars of 1855 (see §.4.3.5).

448	ditto	ditto	Middle Wood	Arable	11	3	5
449	ditto	ditto	Castle Hill	Arable	10	1	10
451	ditto	ditto	Broom Heath	Arable	12	3	17
451a	ditto	ditto	Road leading to Broom Heath	Road	0	0	30
452	ditto	ditto	Common Piece	Pasture	9	0	38
453	ditto	ditto	Long Field	Pasture	8	3	26
454	ditto	ditto	Little Wood Ground	Arable	12	2	14
455	ditto	ditto	Bishops Ridding	Arable	13	1	15
456	ditto	ditto	Bishops Ridding	Pasture	13	2	5
(530)	ditto	ditto	House & Garden (held by Samuel Platt)	Arable	0	0	22
TOTAL					320	2	25

**Table 1:**

Relevant extracts from schedule accompanying Ashley tithe map of 1838 (bracketed plot numbers are outliers); see Figures 3/4.



Lands historically associated with Manor House Farm (Birch House) overlaid onto modern OS map, sheet 243 (OS Licence No. 1000503910).

#### *Valuation, Particulars and Survey of Estates in the Parishes of Maer and Ashley, 1855*

- 4.2.5 A valuation of estates purchased by William Davenport in June 1855 from the executors of Thomas Kinnersley,<sup>35</sup> includes 'The Manor House Farm', as it was then known (see §.4.3.5), listed as 'Lot 15', detailing a total of 248a 1r 7p. Since the time of the tithe survey of 1838, plots 437/38, 452-456<sup>36</sup> and the western half of plot 447, together representing an area of c.88a, had been removed from lands associated with the farm, with 'Lordsley Farm' having been established within Long Field / Common Piece (plots 452-3).<sup>37</sup>
- 4.2.6 A 'Plan of Maer and Ashley Estates in the County of Stafford, the property of William Davenport' (Figure 5, detail inset below),<sup>38</sup> undated though assumed related to the 1855 valuation and sale, depicts 'Manor House' much as shown (as 'Birch House') on the tithe map of 1838, though it is of note that the northern range to the associated farm outbuildings is not indicated. The latter range is also absent from a plan accompanying the

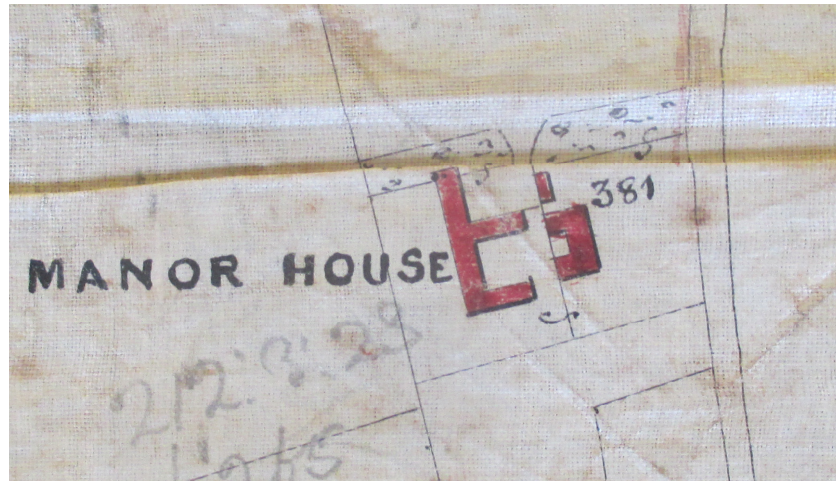
<sup>35</sup> SCRO: D1213/3/7.

<sup>36</sup> **NB.** Plot references to the 1855 map vary from those used on the tithe map.

<sup>37</sup> An announcement in the *Staffordshire Advertiser* of 19<sup>th</sup> May 1855 refers to 'a very compact Farm with newly-erected Farm Homestead, called the 'Lordsley Farm' in the occupation of Mr. Thomas Myatt...'

<sup>38</sup> SCRO: D1213/2/2; reproduced with permission; courtesy of Staffordshire Record Office.

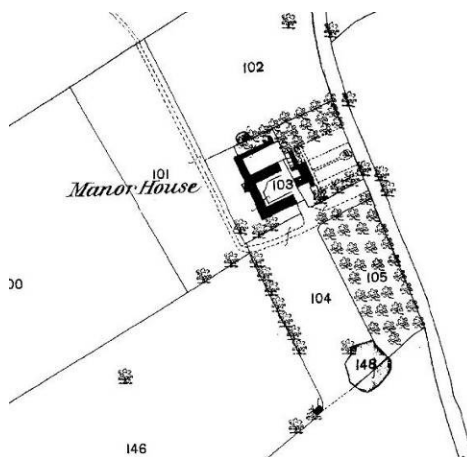
sale particulars,<sup>39</sup> the implication being either a survey omission (unlikely given that it is absent from two depictions), or that the precursor range had been removed since the time of the tithe survey, but was to be re-erected / replaced by the time of the first edition Ordnance Survey map of 1880 (see §.4.2.8 below; Figure 6a).



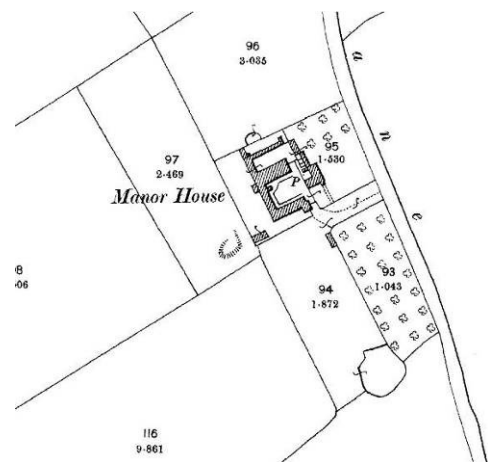
Manor House Farm as depicted on survey of Wm. Davenport's Estates at Maer and Ashley (detail)  
(SCRO: D1213/2/2; reproduced with permission, courtesy of Staffordshire Record Office)

#### *Ordnance Survey Maps*

- 4.2.7 The Staffordshire Historic Environment Record (HER) entry for Manor House Farm (see §.1.4.2) notes that buildings are shown on Ordnance Survey 1 inch mapping of c.1830, though this resource has not been reviewed as part of the current project.
- 4.2.8 The first edition Ordnance Survey 1:2500 (25in.) map of 1880 (inset, below left; detail at Figure 6a) affords a similar picture to the tithe survey of 40 years previously, but depicts the constituent buildings in greater detail. The farmhouse is clearly shown (plot 103, annotated as 'Manor House', a name in use since the mid-1850s; see §.4.3.3 below), together with its associated agricultural ranges occupying an 'E'-shaped plan to the south-west, as per the tithe survey, defining two discrete, though interconnected foldyards.



Ordnance Survey 1:2500 map of 1880 (extract).



Ordnance Survey 1:2500 map of 1901 (extract).

<sup>39</sup> SCRO: D952/5/1/39.

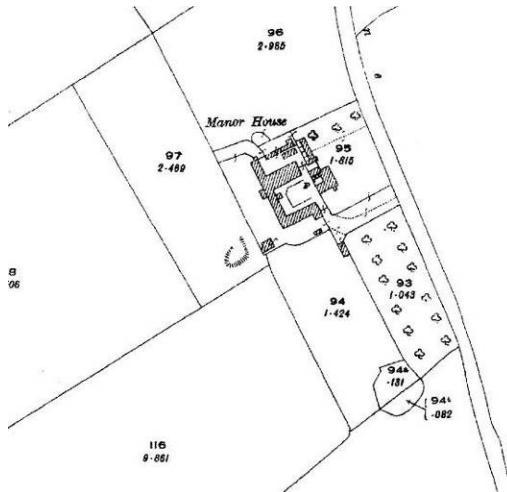


- 4.2.9 The northern transverse arm of the E-plan (absent from the 1855 plan) is more clearly depicted here, and can be seen to have occupied a long, narrow plan, less than half the depth of the central and southern arms with implications for interpretation. A small projection is shown to the centre of the west elevation of the main north-south aligned range, not included on the tithe survey,<sup>40</sup> presumably related to the winch gear surviving at first floor level of range **A1** (see §.6.2.9; Plates 46/8). The fenced yard to the rear of the main range was presumably the rickyard referred to in a description of 1855 (see §.4.3.6).<sup>41</sup>
- 4.2.10 To the south of the house, plot 105 (parcel 417; 'The Croft' on the tithe survey) appears to be planted as an orchard (see 1855 description at §.4.3.6) with a small, circular pond ('148') to the south-west angle; a further pond, semi-circular in plan, is depicted backing onto the northern boundary wall of the rear yard.
- 4.2.11 The Ordnance Survey second edition of 1901 (inset, above right; detail at Figure 6b) illustrates a broadly similar picture, though it is clear that the agricultural ranges had been developed, principally by the enlargement of the central perpendicular range of the E-plan which had been widened to the north, corresponding to the single-storey, pent-roofed section of the extant range (C; see §.6.5). Other modifications included:
- a small projection to the east elevation of the main, north-south range, just south of the central arm of the 'E'-plan, extending into the southern foldyard;
  - an extension is shown to the north gable end of the same range, running up to and abutting the boundary wall;
  - a short, transverse block at the western end of the southern arm of the 'E'-plan;
  - a further small, detached building had been introduced to the south-west corner of the rear yard.
- 4.2.12 The Ordnance Survey edition of 1924 (inset below, left; detail at Figure 6c) shows limited changes to the layout of the farm buildings, principally the breaking through of the northern arm of the 'E'-plan immediately adjacent to the east elevation of the main range, thereby forming a routeway through to a new trackway serving fields to the west. A new, free-standing building had been erected within the northern foldyard.
- 4.2.13 The 1960-61 edition map (inset below, right; detail at Figure 6d) indicates a broadly similar plan, though the small projection into the southern foldyard, introduced 1880-1901, had been removed, as had the free-standing structure within the northern yard depicted in 1924, while the extant, 8-bay 'Dutch' barn, aligned parallel to the rear of the main barn range, had been erected (shown in dashed line).

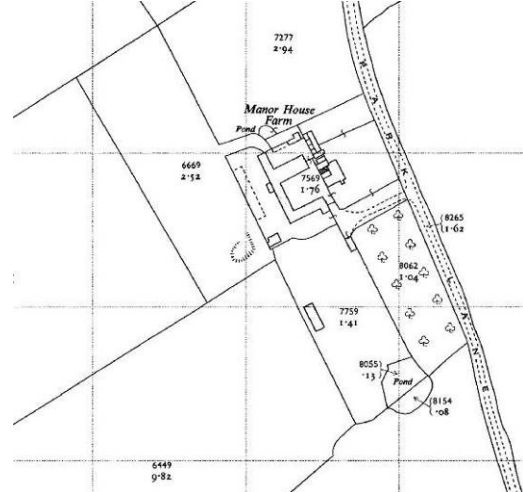
<sup>40</sup> The absence of this feature from the tithe map may indicate a secondary addition, or may result simply from a more detailed survey.

<sup>41</sup> As early as 1726, John Laurence wrote in '*A New System of Agriculture*', quoted in Peters (1969, 67), that 'without question, where choice may prevail, setting the Corn abroad in a well fenced Place is much better than housing it', with 19<sup>th</sup>-century writers advocating the use of ricks and mechanised threshing (*ibid.*). Pitt (1817, 22-3) noted that 'a rick yard should be in an airy situation, well fenced and secured from trespass'





Ordnance Survey 1:2500 map of 1924 (extract).



Ordnance Survey 1:2500 map of 1960-61 (extract).

### *Aerial Photographs*

- 4.2.14 A 'bird's eye' oblique aerial photograph of 1979 (inset below) illustrates the agricultural ranges as seen from the east, looking over the farmhouse in the foreground into the southern foldyard.



Bird's eye view of Manor Farm house and associated agricultural ranges, 1979.  
(reproduced from Tarpey Woodfine Architects 'Heritage Statement', 2019)

- 4.2.15 Beyond the main north-south aligned range, the open-sided Dutch barn, first depicted on the Ordnance Survey map of 1960/61 can be seen, extending to eight bays, though roofed in two sections, three to the north and five to the south, suggesting either a partial re-roofing or perhaps suggesting a two-phase development. A number of detail discrepancies are evident when comparison is made with the main ranges as survive today; these will be addressed in the building descriptions at §.6 below. The remnants of the northern arm of the original 'E'-plan survived at this time, though in a derelict or semi-ruinous state (visible to the right-hand side of

the image), as did the gabled 'winch-bay' projection to the western side of the north-south aligned range (A1), opposite range B.

- 4.2.16 Vertical aerial photographs from the early-21<sup>st</sup> century through to the present day are available via Google Earth, illustrating more recent modifications and additions to the farm complex. Little significant modification to the main agricultural ranges is evident, though the pitched roofed loading-bay projection to the west elevation, evident in historical mapping and still extant in the 1979 photograph, had been removed by 2003 and a long, pitched-roof shed (still extant) introduced flanking the east side of the (re-roofed) Dutch barn by 2009.<sup>42</sup> The Dutch barn itself had been extended 'in-line' to the south by 2003, with the addition of a four-bay, pitch-roofed shed.



Aerial photograph of 2003 (image © Google Earth).



Aerial photograph of 2018 (image © Google Earth).

### 4.3 Historical Ownership / Occupation

**NB.** A broad outline of property ownership / occupation, summarised below, has been gleaned from a review of readily available sources including historical census records and trade directory data,<sup>43</sup> presented in tabulated form at **Appendix C**, and from archived newspapers.<sup>44</sup>

- 4.3.1 A significant part of the manor of Ashley passed to Thomas Kinnersley I (d.1819) in 1802, when it was purchased for the sum of £22,500 from the Rt. Hon. Charles Chetwynd, Earl Talbot, recorded in a Deed of Covenant dated 6<sup>th</sup> April 1802 for 'two undivided third parts or shares... in the manor or township of Ashley in the County of Stafford and sundry messuages, farms, tenements, cottages, lands and hereditaments in the parish of Ashley aforesaid'.<sup>45</sup> The lands including Birch House/Manor Farm remained in the hands of Kinnersley at the time of the tithe survey of 1838 (§.4.2.4).
- 4.3.2 The farmstead is first recorded, as 'Birch House', in White's *History, Gazetteer and Directory of Staffordshire* of 1834, when it is listed in the occupation of John Dicken, as per the tithe survey of 1838 (see above). Dicken is also recorded the first census returns of 1841, then 40 years of age, together with his wife Jane (38), eight children (aged 7 months to 14 years) and six servants. Dicken was to leave Birch House in the mid-1840s,

<sup>42</sup> The Dutch barn and flanking steel shed are to be relocated as part of the current scheme and the loading bay reinstated (see plan inset at §.1.2.2).

<sup>43</sup> Accessed via [www.ancestry.co.uk](http://www.ancestry.co.uk).

<sup>44</sup> Accessed via <https://www.britishnewspaperarchive.co.uk>.

however, with an advertisement in the *Staffordshire Advertiser* of 11<sup>th</sup> January 1845 announcing the ‘Sale of valuable effects at The Birch House Farm, Ashley near Market Drayton’ as follows:

*‘All the valuable livestock, implements in husbandry, growing crops, potatoes, dairy and brewing utensils, corn, hay, gig, household furniture with other effects belonging to Mr. J. Dicken.*

*The livestock and implements in husbandry consist of six useful draught horses, nine excellent cows on good note, bull, two fat cows, twinters<sup>45</sup>, yearlings, flock of sixty sheep, in lots to suit purchasers; fat and store pigs; harvest wagons with gearing; broad and narrow wheel carts; tumbrels, ploughs, guttering ditto; sets of harrows, winnowing machine, straw cutter, sets of shaft and chain gearing, gig, set of harness, saddle and bridles, wheelbarrows, rakes and pikels,<sup>47</sup> together with all other useful and complete effects.’*

- 4.3.3 Following Dicken’s departure, it would appear that the farmstead was briefly leased by one Thomas Leech, though the *Staffordshire Advertiser* of 24<sup>th</sup> November 1849 again advertised the sale by auction, on Leech’s instruction, of stock and agricultural implements at Birch House, on the occasion of his ‘declining the farming business’. The *Post Office* Directory of 1850 records Mr John Astin [*sic.*], who is also listed (as John ‘Aston’, aged 56) at ‘The Birch House’ in the 1851 census, a farmer of 428a and employer of 20 labourers, together with his wife Ann (50), four children (aged 6 to 22) and six servants. Aston was a vice-president of the North Staffordshire Agricultural Society (*Staffordshire Advertiser* 8<sup>th</sup> April 1854).<sup>48</sup>
- 4.3.4 Thomas Kinnersley died in 1855 and ‘Manor House Farm’, by which name the property was then known, formed ‘Lot 15’ in a valuation and particulars<sup>49</sup> of his estates in Ashley and Maer, purchased from his executors in June 1855 by William Davenport Esq. (see §.4.2.5-6); other properties included ‘The Fields Farm’ and ‘Hunger Heath Farm’. The particulars of sale record John Aston as tenant ‘on a lease for a term of 14 years from Lady Day [25<sup>th</sup> March], 1850’, while the farm acreage is recorded as 248a 1r 17p, a significantly lower figure than that recorded in the 1851 census.
- 4.3.5 It would seem that the change of name accompanied the sale of the farmstead itself, announced in the *Staffordshire Advertiser* of 2<sup>nd</sup> June 1855, which advertised the sale by auction of ‘truly valuable estates, farms tenements lands and plantations on Tuesday 19<sup>th</sup> June next, at the Sheet Anchor Inn, Whitmore Stn. Staffs.’, of which Lot 15 comprised:

*‘two undivided third parts of the Manor of Ashley [compare 4.3.1], and a very superior turnip and barley FARM, in a high state of cultivation, heretofore known as the ‘Birch-House’, but now as the ‘Manor House Farm’ with excellent farmhouse and outbuildings in the occupation of Mr Aston, together with*

<sup>45</sup> SCRO D3272/1/4/2/55; compare description with 1855 sale at §.4.3.5. ‘Lease and release’ documents of September 1800 (SCRO: D2372/1/4/2/51-52 respectively) between Lord Talbot and the Honourable Frances Chetwynd include identical descriptions and are assumed related.

<sup>46</sup> NB. ‘Twinter’ = farm animal ‘two winters old’.

<sup>47</sup> NB. ‘Pikel’ = pitch fork.

<sup>48</sup> *White’s Directory* of 1851 (p.53) records that the NSAS was the largest of a number of county agricultural societies, with c.400 members, holding general and district meetings at Newcastle, Leek, Uttoxeter, Stafford, Cheadle, Stone, Eccleshall and Burton-on-Trent.

<sup>49</sup> SCRO: D1213/3/7 and D952/5/1/39 respectively.

*various thriving plantations lying within and adjoining the same (in hand) and containing in the whole 248a Or 1p.*<sup>50</sup>

- 4.3.6 Later in the same year, the *Staffordshire Advertiser* of 13<sup>th</sup> October included a report by the 'Staffordshire Agricultural Society for Improvement of Cultivation Land', wherein a 'second prize' was awarded to Mr. John Aston. The report includes a detailed and informative description of Manor House Farm, its operation and varied production regime at that date (inspected 26<sup>th</sup> September 1855), together with a summary of the improvements made by Aston in the preceding five years, as follows:

*'Mr Aston's Farm contains 218 acres.<sup>51</sup> He has occupied it five years nearly,<sup>52</sup> and has a lease for 14 years. The farm lies rather high, but not so near the Derbyshire Hills as the last farm [viz. Harracles, nr. Leek] and consequently in a hotter climate. The soil is a light sandy loam, on a subsoil of sand and gravel; one portion very much undulated, and on the tops and sides of the hills very little soil, lying on a pure flinty gravel. The remaining part of the farm is level, or gently undulated, well adapted for arable cultivation. Has mostly an eastern aspect. Has this year been cropped as follows: old meadow, 10a, 3a irrigated from farmyard; old pasture, about 37a, good herbage and productive; new pasture, about 37a, not very productive at present, but is improving; seeds first year 30a, half-mown for hay and soiling, and half-fed with sheep and cattle – good clean herbage; April wheat, part after brush turnips and part after swedes, 27a, all harvested but evidently a good crop, and where after swedes the land clean – that after brush turnips not so clean; winter wheat after seeds, 24½a, a thin, light crop, land foul; barley after turnips, 15a very heavy crop, land clean and well-seeded; Swedish turnips, 16½a, good clean, even crop; common turnips, 9a, healthy clean crop but not an even one (many blanks); mangold, 6a; potatoes, 4½a – 10½a land, clean and crops a fair average; homestead &c., 1½a garden and orchard in good keeping; total 218a. About 30a of the most uneven part of the farm, and which we were told has been much exhausted and neglected by the previous tenant [viz. Thomas Leech], has been fallowed, boned, and sown down with permanent grass seeds, without a corn crop, for pasture. A considerable extent of old fences have been eradicated, the field made larger, and of better shape within the last 5 years. £244 worth of bone manure has been applied to the land and £548 worth of oilcake purchased for cattle and sheep; also £30 spent on permanent grass seeds. The landlord has paid £110 towards the various improvements. The stock kept this year on the farm consist of 3 dairy cows, 12 feeding beasts, 8 stirks,<sup>53</sup> 150 breeding ewes, 100 feeding wethers,<sup>54</sup> 6 agricultural horses, 1 hackney, 1 brood mare and 3 colts, and 15 pigs – total 298. Roads good, fences trimmed, gates and posts in proper order; a little deficient in the tidiness of the farmyard, the ricks and rick yard; but as a whole, the farm exhibits considerable skill, industry and good management, and is evidently in an improving state. The outlay in eradicating and improving old fences has not been stated, but is must have been considerable.'*

- 4.3.7 Aston remained as tenant, being recorded again in the census of 1861, though by that time the farm acreage had reduced again to 150a. It is unclear when Aston left Manor House Farm, though from 1868 (*Post Office Directory*) through to 1881 (census return), it was in the occupation of one Edward Kendrick (formerly of Gayton, Staffs.), recorded as a farmer of 212a/210a in the 1871/1881 censuses respectively. Soon afterwards,

<sup>50</sup> SCRO ref. D2372/1/9/9 lists a 'Mortgage relating to the Kinnersley Estates' including the Ashley Estate comprising 'two-third parts of the manor of Ashley' which may be pertinent; the online listing notes, however, that the records are badly damaged and are 'unfit for production'.

<sup>51</sup> **NB.** reduction of 30A from the sale particulars and advertisement of 2<sup>nd</sup> June (§.4.3.5).

<sup>52</sup> First recorded in 1850 PO Directory.

<sup>53</sup> **NB.** 'Stirk' = a yearling bull or heifer.

<sup>54</sup> **NB.** 'Wether' = a castrated ram

in 1882, Moses Parton is recorded at Manor House Farm for the first time;<sup>55</sup> Parton was to remain until his retirement from farming in 1914 and was thus most probably responsible for major modifications to the central arm of the E-plan, depicted in historical OS maps (§.4.2.11), and described in further detail at section §.6 below. His retirement was announced in the *Staffordshire Advertiser* of 14<sup>th</sup> March with a sale of farm stock, including 65 dairy cattle, 7 cart horses and colts, 45 pigs, 47 tegs (fit for butcher),<sup>56</sup> together with farm implements including an oil engine (new in 1912), shafting and barn machinery.

- 4.3.8 The farm was occupied by an Edith Lee Blakeman in 1932 (*Kelly's Directory*),<sup>57</sup> and by one Edward Knobbs in 1940 (*Kelly's Directory*). A brief article in the *Staffordshire Advertiser* of 7<sup>th</sup> July 1945 reports a dispute over the use of a milk churn belonging to the Potteries Hygienic Dairies Company Ltd., recording one John Dutton Edge at Manor House Farm, Ashley, the earliest documentary record of the current family at the property. Edge, the present owner's father, had come to the farm as a tenant of a certain Mr. Mee in 1943,<sup>58</sup> aged just 19, though the farm was soon afterwards sold to a Mr. Brown as part of his acquisition of nearby Lordsley Farm (N. Edge, *pers. comm.*).<sup>59</sup> Edge kept a dairy herd of 70 milking cows and a small flock of sheep, combined with arable production of up to 100a of potatoes together with other cereal crops. The dairy herd was moved to new, purpose-built premises at High Lanes Farm in the early-1970s, however, and a short-term pig enterprise entered into,<sup>60</sup> the latter involving the conversion of many of the outbuildings for the accommodation of 70 breeding sows and their piglets. The freehold of Manor House Farm was purchased by the current owner in 1982, originally together with his brothers, though becoming sole owner in 2017.

- 4.3.9 The 'Design and Access Statement' submitted with the current application (Tarpey Woodfine Architects, 2019) records that

*'...the farm was originally a mixed farm producing whole milk, pigs for ham and bacon. Feed for the livestock was stored on the lofts and in the barn to the south-west side, there was an unloading bay on this side with a pulley system for winching the corn sacks onto the loft; the winching gear is still intact. The buildings had tying for 70 milking cows producing milk for the dairy. As herds expanded and the management and methods of milk production changed, however, the buildings became obsolete and were used for pig production during the 1970s.'*

- 4.3.10 Following the cessation of pig rearing in 1975, the agricultural ranges have been increasingly less used, being of an impractical scale and form for modern farming practices, and have been unused for agricultural use since c.1985 (D&A Statement, 2019 §.1.2). The south range of the 'E'-plan was adapted to a farm shop in the 1990s (see §.5.1 below), selling sheep milk and (prize-winning) yoghurt, and the south end of the main north/south

---

<sup>55</sup> The *Staffordshire Advertiser* of 22<sup>nd</sup> April 1882 reported Moses Parton of Manor House, Ashley bringing an 'action of ejectment' against one Arthur Hudson in respect of a cottage and premises at Ashley Heath. Parton had previously appeared in census returns for Ashley Parish in 1881, when he was listed at an un-named property as a farmer of 20A.

<sup>56</sup> NB. 'Teg' = sheep in its second year.

<sup>57</sup> A Miss Blakeman (relationship unclear) is understood to have married a Mr. Sillito who farmed at 'The Wellings' c.1km east of Manor House Farm (N. Edge, *pers. comm.*), while another married a Mr. Furnival of Park House Farm (William/Godfrey Sillito are listed at The Wellings in *Kelly's Directories* of 1932/1940 respectively). The Sillito and Furnival families continue to operate the respective farms (N. Edge, *pers. comm.*).

<sup>58</sup> Originally based at his family home of Shortwood Farm in Maer, Edge moved physically to Manor House Farm upon his marriage in 1949 (N. Edge, *pers. comm.*). He was later to purchase Oxleasowes Farm, Chebsey, Stafford (1956) and High Lanes Farm, Brockton, Eccleshall (1966).

<sup>59</sup> An article in the *Staffordshire Advertiser* 'Farm Sale Sequel: Ashley Farmer Charged' records a 'Thomas Brown' at Manor House Farm in October 1947.

<sup>60</sup> The pig herd was to be disbanded in 1975 due to disease problems (N. Edge *pers. comm.*).



aligned range converted to offices/administrative purposes, while a number of new crop storage buildings were erected in fields to the south.

- 4.3.11 Since the early-2000s, the current owners have operated a sectional timber buildings business from the site,<sup>61</sup> making poultry and animal housing for the hobby market, alongside farming activities, with a number of the traditional agricultural ranges having been converted for associated, light-industrial /administrative use (see §.5.1).

## 5 RECENT PLANNING HISTORY

- 5.1 The southern range of the 'E'-plan farm ranges, omitted from the current recording exercise, were converted to farm shop and toilets use in 1993, and subsequently to light industrial purposes in 2005/7, pertinent planning refs. as follows:<sup>62</sup>

**93/00121/COU;**<sup>63</sup> **93/00165/LBC.**<sup>64</sup> Change of use/conversion of farm buildings to form farm shop including new opening to external elevation and formation of new toilets

**05/00672/COU.**<sup>65</sup> Change of Use from agriculture to light industrial and office use; pertaining to southern arm of E-plan and southern extension of Dutch barn.

**07/00864/COU.**<sup>66</sup> Change of Use of premises formerly used as farm shop/tea room and for agricultural purposes to solely the manufacturing of timber buildings and ancillary office and staff room. (**NB.** This refers to the same areas as 05/00672/COU).

## 6 BUILDING DESCRIPTIONS

**NB.** *The farmhouse and associated agricultural outbuildings are set out to respect a broad north-west/south-east alignment; for the purposes of the current report, so as to avoid overly long orientational descriptions, this will be simplified to north/south-east/west, such that the agricultural ranges will be described as lying to the west of the farmhouse, with the main range of the farm buildings being aligned north to south. Both 'true' (grid) and 'site' north are indicated on relevant figures below. Imperial units of measurement (ft./in.) will be used in the following descriptions, reflecting the system in use when the buildings were constructed.*

### 6.1 General Arrangements

- 6.1.1 The traditional agricultural buildings at Manor House Farm (Plates 4-8) are sited to the west of the late-18<sup>th</sup> century, Grade II Listed farmhouse, the latter being oriented away from the farm buildings / working areas (Plates 1/2), and are accessed by a lane opening off Park Lane to the south of the house and a further entrance to the north, the former representing an historical access evident on mapping back at least to 1838 (see inset at §.4.2.2), the latter being a more recent introduction, absent from historical Ordnance Survey editions of 1880 through to 1960/61 (Figure 6). The topography of the site is generally level, though incorporating a

<sup>61</sup> <https://www.smithsectionalbuildings.co.uk/AboutUs>. Originally based at Beeston near Nottingham, the business moved to Manor House Farm in 2006.

<sup>62</sup> Historical planning records have not been reviewed as part of the current study.

<sup>63</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?keyVal=9300121COU&activeTab=summary>

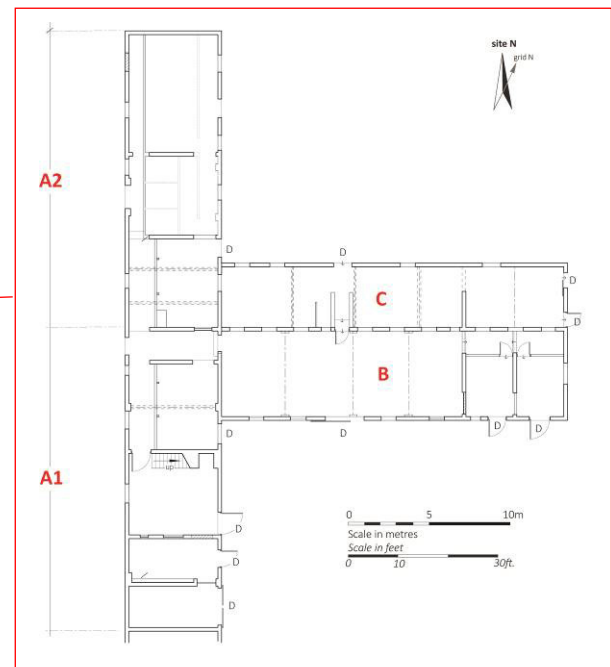
<sup>64</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?keyVal=9300165LBC&activeTab=summary>

<sup>65</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?keyVal=J9JDBBMW0000&activeTab=summary>

<sup>66</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?keyVal=JOD0AFBM03T00&activeTab=summary>

gentle slope away from the rear of the farmhouse towards the agricultural ranges before falling more steeply away to the rear (west) of the main range (Plate 7). There is an approximate 1.65m (5½ft.) differential between ground level to the east and west of the main range (Plate 8).

- 6.1.2 The extant outbuildings (Figure 2) represent the remnants a former 'E'-shaped plan, evident from historical mapping (Figures 3/5), formed by a principal north-south aligned range (**A**), extending to a total 160ft. in length, originally with three perpendicular ranges extending c.65-70ft. eastwards towards the rear of the farmhouse and defining two separate foldyards. The northern arm of the original 'E' plan, evidently somewhat narrower in plan than the surviving ranges, has been gradually removed over the course of the 20<sup>th</sup> century, however, while the southern 40ft. of range **A**, together with the southern arm of the original 'E'-plan (Plates 10/11),<sup>67</sup> have been historically converted from agricultural use (in 1993/2005-7) and lie outside of the scope of the current study. The ranges currently under consideration thus form a 'T'-shaped plan, representing the central section of the original 'E'-shaped complex, the central/northern section of range **A**, and the central perpendicular range, **B/C** (Plates 5/6; see inset below).



Manor House Farm Barns: Key plan to recorded structures

- 6.1.3 The recorded section of the main range (**A**) comprises two clearly distinct parts, all of two full storeys, section (**A1**) to the south standing slightly higher than section (**A2**) to the north, with the latter evidently representing a secondary elongation of the range. The perpendicular range (**B**) extends eastwards from the north end of (**A1**), towards the farmhouse; it is of two-storeys (raised from an original single storey) and is flanked to the north side by a single-storey, pent-roofed extension (**C**), the latter introduced at some point between the Ordnance Survey editions of 1880 and 1901.

<sup>67</sup> The southern arm is partly of two storey and partly of a single storey, though possibly formerly of a single-storey throughout, as per the original arrangements of range **B**.



## 6.2 Range A1 (Figures 7-9)

### *Overview*

- 6.2.1 Building **A1** comprises the central section of the main north-south aligned range, extending as far north as the north side of range **B** (*viz.* the central arm of the original 'E'-plan); the southern 40ft. of the range was converted to office use in the early-2000s and does not form part of the current study.

### *Exterior*

- 6.2.2 The recorded section measures 60ft. in length (N/S)<sup>68</sup> x 20ft. wide (E/W), standing 13ft. to eaves<sup>69</sup> and 20½ft. to ridge. The exterior walls are brick-built, 9in. thick, in hand-made orange/brown brick (9 x 2¾ x 4¼in.) laid to a regular English garden wall bond (Plate 12),<sup>70</sup> rising to a two-course, ¼-brick oversail eaves band (Plate 13) beneath a pitched, plain-tile clad roof finished with capped, half-round ridge tiles. Rainwater goods (plastic) have been renewed. A clear vertical discontinuity in the brick-coursing between range **A1** and the unrecorded, converted section to the south is evident to both the eastern and western long elevations (Plates 14/15 respectively),<sup>71</sup> though the otherwise general similarity of fabric and detailing suggests a building break within a single phase of construction rather than a 'phase break' *per se*. Transverse wall ties have been historically introduced, coincident with internal divisions, to alleviate problems of spreading and are evidenced externally as tie anchor / 'pattress' plates of varying form (Plate 16).
- 6.2.3 The **east elevation** to the yard (Figure 7a; Plate 17) includes a wide sliding-door [**d1**] and adjacent pedestrian door [**d2**] serving interior store rooms [**G1a/b**] respectively (formed by the subdivision of a single original space); the former represents an enlarged opening, while the latter has been converted from a window since the aerial photograph of 1979 (inset at §.4.2.14). A small window [**w19**] and pitching door [**d15**], pin-hung to the south, pierce the first-floor level serving loft [**F1**] over (Plate 18). To the north (Plate 19), a further ground floor door [**d3**] (again modified)<sup>72</sup> opens to [**G2**]; the walling to the north of [**d3**] presents a complex pattern at GF level, with numerous 'straight-joints' and various areas of multi-phased, patched brickwork (further obscured by climbing vegetation and a modern shed). The precise sequence and progression of change is not discernible, and interpretation thus problematical, though it is clearly evident that the elevation has been subject to significant historical remodelling presumably related, at least in part, to the small abutting structure (?engine house) shown on Ordnance Survey maps from 1901-1924 (removed pre-1960; see Figure 6). Evidence observed internally is suggestive of an original, wider doorway, though details remain obscure. In the angle with range **B**, a window [**w1**] (as seen internally; Plate 42) would appear to represent an adapted door, opening onto [**G3**]. A small window [**w20**] pierces the first-floor wall above [**d3**] while a further blocked window (open in 1979) is located hard in the angle with range **B** (Plate 20), the somewhat incongruous siting of the latter presumably resulting from its pre-dating the raising of the latter range to two full storeys (see §.6.4.2).
- 6.2.4 The **west elevation** (Figure 7b; Plates 21/22) is again of brick construction laid to a regular English garden wall bond, and meets **A2** to the north in a clear, full-height straight joint (Plate 23) indicating a two-phase development for the main range **A** (see also conjunction of roof lines; Plate 24). Range **A1** stands significantly

<sup>68</sup> The southern, unrecorded section measures 40ft. long, giving a total length of 100ft. for the primary section of the main north-south aligned range (excluding **A2**).

<sup>69</sup> The eaves level stands significantly higher to the west reflecting the drop away in natural ground level (Figure 6c).

<sup>70</sup> Five courses of stretchers between header courses.

<sup>71</sup> Both sections are laid to English garden wall bond, though header-courses are offset by two courses.

higher to this elevation than to the yard to the east, such that the interior ground floor level is set some c.5ft. above exterior ground level, which drops away naturally to this side of the building; it is unclear how this arrangement was accommodated with respect to a GF doorway [d8] to the north end of the range or with [w10], the latter formerly comprising a possible winnowing door opening onto [G2] (Plate 25). The elevation is pierced by a series of window openings, variously segmental and flat-headed, and incorporates a series of geometric vent-holes set out in lozenge pattern (Plate 26). At first floor level, an area of rebuilt wall to the north end of the range (Plate 27) and the 'ghost'/scar of a former roofline (Plate 28) are related to a former projecting hoist bay, shown on all historical OS maps (though not the tithe survey) and surviving as late as the 1979 AP reproduced above. Door [d16] clearly accessed the upper level of this bay, with its related winch-gear surviving within [F3] (see §.6.2.9; Plate 48), though the original form of the bay is unclear, in particular whether it comprised a full-height structure or projecting first-floor lucam structure (the depiction on historical OS maps would suggest the former); that the scar of the former roof line extends across a primary set of geometric vent-holes (Plate 28) suggests that the hoist bay was a secondary addition, which may account for its absence from the 1838 tithe map.

### *Interior*

#### Ground Floor (Figure 8)

- 6.2.5 Internally, range **A1** is subdivided on a basic tri-partite plan by a series of 9in. transverse brick walls, which rise through the full height of the building to roof level defining three component 'cells'. To the south end of the recorded section, cell [G1] has been further subdivided by the introduction of a secondary transverse wall (stretcher bond) at ground floor level to form two interlinked spaces [G1a/b] (Plates 29/30),<sup>73</sup> accessed via doors [d1/2] respectively in the east wall; [d2] represents a secondary insertion, with a window shown in this location in the 1979 aerial photograph (see inset at §.4.2.14), while [d1] would appear to have been historically widened. [G1a/b] are both unlit, floored in concrete screed, the ceiling over [G1b] being underdrawn in ply sheeting (Plate 30), that over [G1a] being exposed, comprising E/W aligned common joists, 9 x 3in. at 18in. centres (Plate 29). The north wall of [G1b] includes a central, 4ft. wide opening onto [G2] (cill height + 3½ft.), blocked in brick at this level, together with a small window to the west and a 4ft. wide doorway to the east, both also blocked in brick. Little survives to indicate historical patterns of usage, though it is evident that the room originally comprised a single, space served by a door and window in the east wall, and formerly communicating with [G2] via a wide doorway at the east end of the north wall (Plate 34).
- 6.2.6 To the north of [G1], and accessed via modified door [d3],<sup>74</sup> room [G2] (Plate 31) represents a former feed preparation room, accommodating a late-19<sup>th</sup>-century grinding mill (the 'Plymouth Royal First Prize' model) by Corbett and Sons of Wellington, Shropshire (see inset below),<sup>75</sup> fed by a hopper-chute from first floor level (Plate 35). To the east side of the room, a vacuum pump and reserve motor (Plate 36) relate to the ranges' later use as milking sheds. The room is paved in blue-brick pavours (6 x 12in.) and ceiled by a timber ceiling carried on widely spaced joists (28in. centres) aligned east-west incorporating a trimmed drop for the grinding mill; a brick stair, with blue-brick treads, is located against the north wall, rising west to east to first floor level

<sup>72</sup> A narrower door is visible in the 1979 AP, while a segmental header arch is discernible above the extant doorway opening.

<sup>73</sup> The doorway within the partition wall has been covered over.

<sup>74</sup> Precise form of original door unclear, though probably a wider opening.

<sup>75</sup> Samuel Corbett is listed as a 'beer seller and agricultural implement maker' in Wellington in 1861 ([https://www.gracesguide.co.uk/Samuel\\_Corbett\\_and\\_Son](https://www.gracesguide.co.uk/Samuel_Corbett_and_Son)). In 1890 the company won first prize at the Royal Agricultural Society of England (R.A.S.E.) Show at Plymouth for their grinding mill, as commemorated on the maker's plate and stand of the mill at Manor House Farm. 'These mills will grind wheat, barley, beans, peas, oats, linseed, maize and spices for feeding purposes, quite equal to mill stones and three times as fast' (<https://wellingtonhistorygroup.files.wordpress.com/2009/09/industries-of-wellington-c1893.pdf>).

(Plate 37). The room is lit by a single window [w10] to the west (Plate 32; straight joints beneath the jambs indicate an original, probable winnowing door), while doorways to the east end of the south wall (Plate 34) and west end of the north wall (Plate 37; the latter, blocked) serve/d adjacent rooms. Structural evidence indicates a significantly different original layout however, with tall, infilled openings to both the north and south transverse walls (the blocking material of the northern opening is abutted by the brick stair), extending across the line of the first-floor level, suggesting that the room was formerly fully open to the roof; the openings to the cross walls would have allowed for fodder to be dropped from the lofts to be processed and distributed to the adjacent shippens, prior to the introduction of the Corbett mill.



1896 trade advertisement for Corbett's grinding mill (www.gracesguide.co.uk)

- 6.2.7 To the north of [G2], and accessed from the latter via a doorway to the west side of the range (Plate 37), [G3] comprises a former shippen range with stalls for transverse tethering to the east (Plate 38), served by a 5ft. wide lateral feedwalk (aka. 'bing') [G3a] to the west (Plates 39/40), the latter returning eastwards to the north as passage [G3b] (Plate 41) communicating with a further (former) lateral feedwalk aligned along the north side of range B, approached via door [d4]. The room is floored in face-laid red brick, though largely obscured by a concrete screed, and is furnished with a series of low, breeze-block stalls, though three original timber stalls are evidenced by surviving timber posts with face-mortices for horizontal members (Plate 38). The room is lit by window [w9] in the west wall and by window [w1] to the east, the latter set hard in the angle with range B and evidently representing a former door affording direct access from the yard (Plate 42). The first floor over is carried by longitudinal common joists (5 x 3in. scantling at 18in. centres), supported by a single, transverse beam (11 x 7in.) resting on projecting brick piers to east and west.

#### First Floor (Figure 9)

- 6.2.8 The first floor of range A1 is approached via the secondary brick stair to the north side of [G2] (Plate 37). As at ground floor, the recorded section of the range is subdivided on a tri-partite plan comprising three intercommunicating storage-loft spaces (Plates 43-46), here numbered [F1-F3] from south to north, corresponding to [G1-G3]. Transverse walls incorporate original, 4ft. wide axial openings (Plate 44) affording through-access,<sup>76</sup> though that at [F2/3] has been modified to accommodate the secondary stair, with the primary opening being infilled (orig. straight joint clearly expressed), and a doorway formed to the east (Plate 45). A secondary, axial doorway has been formed to the north side of [F3] (Plate 46), opening onto [F4] within the upper level of range A2.

<sup>76</sup>

The axial openings within the transverse partitions accommodate link-plates for paired wall tie bars (Plate 47).

- 6.2.9 Loft spaces are simply detailed, with softwood floors, boards aligned north-south, and open to the underside of the pitched roof. [F1] to the south is lit by opposing windows to east and west, [w19/25] respectively, and furnished with a small pitching door [d15] to the north end of the east wall; [F2] is similarly furnished with opposing windows [w20/24] though does not feature a pitching door. Room [F3] (Plate 46) is of interest in the survival of an iron hand-winch (Plate 49) formerly serving to raise crops to the storage lofts via the projecting 'hoist bay' evident on historical mapping and surviving as late as 1979. Door [d16] is related, though much of the adjacent walling at this level has been rebuilt contemporary with the removal of the projecting bay, masking original arrangements.

### Roof

- 6.2.10 The roof over **A1** is of softwood construction, of king-post design (Figure 7c; Plate 49),<sup>77</sup> with a single truss to each of the three 'cells' of the range (here numbered **T1** to **T3** from north to south, reflecting original numbering). Trusses have bolted king-posts, joggled to the base (Plate 50) to support raking struts which rise to meet the principals just above the level of a single tier of shallowly-trenched side purlins (purlins are additionally supported at cell divisions by the transverse brick partitions; Plate 44). Trusses are numbered I to III from north to south,<sup>78</sup> marked with short, chisel-cut Roman numerals to base of KP (Plate 53) and to PRs above the tie. The soffit to **T2** retains the scored lettering 'PSC' (Plate 52),<sup>79</sup> though the significance of the lettering is not known, while principal and purlin over [F1] incorporate further marks including 'RT 50' (Plate 54a; letters scratched, numbers formed with race-knife), again of unknown meaning/significance; some of the latter marks, which appear to have been scratched, *ex-situ*, across multiple timbers (Plate 54b), may represent importers marks.
- 6.2.11 The outer ends of the truss tie-beams are supported on narrowly projecting piers of brick; it is significant to note that, in the case of **T1/3**, these piers extend fully to ground level (Plate 55), though in the case of **T2** (over the central cell [G2/F2]), the brick piers are corbelled out at first floor level only, supported on simple, bull-nosed timber brackets (Plate 56), reflecting the evident former, open arrangements of the central 'cell'.

## 6.3 Range A2 (Figures 10-13)

### *Overview*

- 6.3.1 Range **A2** (Plate 57) represents an in-line extension of range **A1**, clearly secondary in nature as evidenced by a vertical straight-joint visible to the west elevation (Plates 23/27) and by varying brick bonding / detailing; its eaves/ridge height stands slightly lower than that of **A1** (Plate 24). The now lost northern arm of the former 'E'-plan is assumed to have been broadly contemporary and would, together with **A2**, have defined a secondary foldyard c.50ft. (N/S) x 70ft. (E/W).<sup>80</sup>

### *Exterior*

- 6.3.2 Range **A2** (Plate 57) measures 60ft. long (N/S) x 20ft. wide (E/W), standing 12½ft. to eaves level and 19½ft. to ridge. It is brick-built, in mid orange/red brick (9½ x 4½ x 2½in.), laid to a regular Flemish stretcher bond rising

<sup>77</sup> The king-post roof truss seems to have been introduced to the county in the late-17<sup>th</sup> century (Peters 1988, 29), thereafter becoming established as the standard type for houses and farm buildings alike, notably for spans of less than 30ft., as here; bolted king-posts would appear to be a feature developed in the later-18<sup>th</sup>/early-19<sup>th</sup> century.

<sup>78</sup> Thereby affording further evidence for the sequence of erection and the secondary nature of range **A2**.

<sup>79</sup> Distinctive marks, formed with race-knife

<sup>80</sup> Reduced in size with the introduction of range **C**, 1880-1901.

through two storeys to a dentil course over ¼-brick oversail eaves band (Plate 58) beneath a pitched, plain-tile clad roof, gabled to the north and abutting range **A1** to the south. The south end of the east elevation has been historically obscured by the introduction of range **C**, though 'exterior' features remain visible within the latter range (see §.6.5.4; Plate 108).

- 6.3.3 The **east elevation** (Figure 10a; Plate 57) includes two, widely spaced doorways [**d5**] and [**d6**] (Plate 59), each flanked to north and south by segmental-headed windows (red-brick header arches). The southernmost of these windows has been subsumed into range **C**, introduced at some point between 1880-1901, blocked and adapted to form a connecting door [**d4**] between **A2/C** (Plate 108); the remaining windows [**w2-4**] remain intact, [**w4**] to the north having at some point constituted a doorway (Plate 60) presumably related to the former north arm of the E-plan (the 'ghost' of a former single-storey, asymmetrically pitch-roofed range is discernible on the exterior brickwork to the north of door [**d6**]; see Plate 61). Significantly, the colouration and bonding of brickwork around window [**w2**] is somewhat irregular in nature, when compared with the regular Flemish stretcher bond elsewhere (Plate 63), and although not clearly delineable externally, it appears that the window has been inserted within an area of secondary brickwork infilling a former, wider doorway (8½ft. wide) serving the central 'cell' of the tripartite range; such an arrangement is supported by evidence recorded within (see §.6.3.7). The upper elevation includes a single pitching door [**w21**] towards the north end of the range and three sets of geometrical vent-holes (Plate 62), the southern of which has been subsumed into range **C** (Plate 108).
- 6.3.4 The **west elevation** (Figure 10b; Plate 64) is again of brick construction, laid to Flemish stretcher bond and, as per **A1** to the south, stands significantly higher to this elevation than to the east; it meets **A1** in a clear, full-height straight joint, with varying eaves height and eaves-band detail (Plate 65) indicating a two-phase development (SJ also visible internally within [**G4a**]; Plate 73). To the north end of the range, a former ground-floor door has been infilled in brick (Plate 66), flanked to the south by window [**w5**], while to the middle of the elevation, a surviving (?winnowing) door [**d7**] serves the central 'cell' of the range, opposing the former wide doorway to the yard elevation and flanked to the north by window [**w6**] (Plate 67). The southern 'cell' of the range is lit by a further window [**w7**], while the upper elevation incorporates two window/hatches [**w22/23**] to north and south (Plate 69), the central 'cell' being blind. Geometric sets of ventilation holes (Plate 68) pierce the elevation at both ground and first floor levels.
- 6.3.5 The **north elevation** (Figure 11a; Plate 70) presents a blind gable end, brick-built to Flemish stretcher bond, rising to a plain verge, with a blocked, 3ft. wide doorway to the east side at ground floor level (Plate 71). A series of three sockets implying a former roof sloping down, east to west (highlighted on Plate 70), presumably relate to a former abutting structure indicated on the historical Ordnance Survey map of 1901, though absent by 1924 (Figure 6b/c).

#### *Interior*

#### Ground Floor (Figure 12)

- 6.3.6 As per **A1** to the south, range **A2** is internally subdivided on a basic tri-partite plan by a series of 9in. transverse brick walls, which rise through the full height of the building to roof level defining three component 'cells'. At ground floor level, rooms [**G4/G5/G6**] (from south to north) are each arranged with former stalling areas to the east, accessed off the northern yard via doors [**d5/6**] in the east elevation, with lateral feedwalks flanking the west side of the range, defined by a low brick wall (Plate 72); both stalling areas and associated feedwalks are

interconnected via doorways to the east and west of the transverse partition walls respectively (with lateral access also to range **A1** to the south). To the south end of the range, and best preserved, **[G4]** currently comprises a single, open space (Plate 75) with feedwalk **[G4a]** (5½ft. wide) to the west (Plate 72), though relic timber posts for former three transverse stalls survive (Plate 76),<sup>81</sup> similar in nature to those recorded within **[G3]** to the south. It is accessed via door **[d5]** within the east wall and is lit by a single window **[w7]** located centrally to the west; a further original window in the east wall has been historically blocked when range **C** was introduced, and a communicating door to the latter range formed.

- 6.3.7 Rooms **[G5/6]** have been heavily modified in the mid-20<sup>th</sup> century to accommodate a series of concrete pigsties (Plate 77) and retain little in terms of historical fixtures or fittings; much of the first floor over **[G6]** has been removed with the north end of the range open to the underside of the roof (Plate 78). Surviving evidence of the exterior shell indicate a significantly different original arrangement to **[G5]**, however, with the central section of the east wall, around window **[w2]**, incorporating two widely-set, projecting piers of brickwork; these do not relate to the support of the roof structure over<sup>82</sup> and, in combination with the evidence observed externally (§.6.3.3), it seems reasonable to conclude that the piers originally flanked a wider (8½ft.), central doorway onto the yard, aligned with (?winnowing) door **[d7]** to the west.

#### First Floor (Figure 13)

- 6.3.8 The first floor of range **A2** is likewise subdivided on a tri-partite plan, originally comprising three interconnecting storage-loft spaces, here numbered **[F4-F6]** from south to north, corresponding to **[G4-G6]** at ground floor level. (As noted above, the first floor over the northern end of the range has been removed, with **[F6]** being largely open to the underside of the roof). As per range **A1**, transverse walls incorporate original, 4ft. wide axial openings affording through-access, though that at **[F4/5]** has been historically blocked.<sup>83</sup> The upper level is approached via the brick stair within **A1**, to the north side of **[G2]** (Plate 37), though an original ladder stair access from **[G4a]** is evidenced by a trimmed opening in the first-floor structure (Plate 74). Loft spaces are again simply detailed, with softwood floors, boards here aligned east-west, and are fully open to the underside of the pitched roof. Space **[F4]** to the south is lit by a single window **[w23]** to the west, **[F6]** to the north by **[w21]** to the west and **[w21]** to the east; central loft **[F5]** is blind.

#### Roof

- 6.3.9 The roof over **A2** is again of softwood timber, to a king-post design (Figure 11b; Plate 79), though of a variant form to **A1**, and again with a single truss to each of the three 'cells' of the range (here numbered **T4-T6** from south to north). King-posts are here bolted and double-pegged at the tie, un-joggled to the base (Plate 80) and with housed principals to the apex, single-pegged (Plate 81). Two sets of raking struts rise, from the outer end of the tie and mid-way up the king-post respectively (the former, near-vertical),<sup>84</sup> to support principals at the level of two tiers of shallowly-trenched side purlins (Plate 82). Trusses display no obvious numbering system, though the tie beam of truss **T6** retains faint marks (**NB.** indistinct, visible from ground floor only), possibly incorporating the number '55' (Plates 82/3).

<sup>81</sup> Transverse stalls (Peters' 'type 4' arrangement) was first introduced in the mid-18<sup>th</sup> century, and had a number of practical advantages (feeding/ventilation/manure removal) over longitudinal stalling (Peters' 'Type 2'), an arrangement that it soon superseded.

<sup>82</sup> At first floor level, a single pier of brickwork supports the outer end of tie-beam of truss **T5**.

<sup>83</sup> Loft **[F4]** is thus the only space to be physically accessible (from **[F3]** via an opening inserted within the original gable end of **A1**); **[F5]** is visible from **[G6]** while **[F6]** has been largely lost, with only a small section of floor surviving over the southern section of **[G6]** (Plate 78).

<sup>84</sup> Peters (1988. 29) dates multiple-strut KP trusses to pre-1820, though the combination here with bolted KPs is of note.



## 6.4 Range B (Figures 14-16)

### *Overview*

- 6.4.1 Range **B** (Plate 84) projects from the centre of the main north-south aligned range **A**, specifically from the north end of **A1** with which it is interconnected and, in part, contemporary, extending eastwards towards the rear of the farmhouse, originally defining the north side of a single foldyard and latterly defining the boundary between two yards, an arrangement extant since at least 1838. The range is brick-built in orange/red brick, laid largely to a regular Flemish stretcher bond, measuring 70ft. long x 19ft. wide and rising through two storeys, standing 13½ft. to eaves and 20½ft. to ridge. Originally of a single-storey, the building has been historically raised to its current height with additional fodder storage lofts over, and extended northwards by the addition of flanking range **C** (1880-1901); recorded evidence suggests these two major modifications may have been contemporary.

### *Exterior*

- 6.4.2 The **south elevation** (Figure 14a; Plate 84) rises through two storeys to a two-course ¼-brick oversail eaves band beneath a plain-tile clad pitched roof, gabled to the east and oversailing the eastern roof slope of range **A1** to the west; the ridge is furnished with an array of varied vent tiles (Plate 85). Close inspection of the elevation reveals a clear variation in the character of the brickwork at a height of c.7ft. above yard level (Plate 86), with a marked change from 2½in. (lower) to 3in., more highly fired (upper) brick; this is suggestive that the range was originally of a single storey only, being subsequently raised to its current height, an interpretation that is confirmed by evidence recorded internally (see §.6.4.6; Plate 98). Evidence further suggests that the range may have been raised contemporary with the addition of outshut range **C** to the north, the latter dated by historical mapping to the later years of the 19<sup>th</sup> century, c.1880-1901 (Figure 6).
- 6.4.3 Off-centre to the west, a wide, sliding door [d9] (Plate 87; modified/enlarged) opens to the interior, flanked to east and west by matching, segmental-headed window openings [w11/12] (red brick header-arches) housing timber casements with two-light fixed panes beneath bottom-hinged, three-pane opening panels (Plate 89); two further windows on a similar design have been blocked in brick. The brick jambs of the extant window openings appear 'cut in', suggesting that the windows represent secondary insertions, perhaps contemporary with the raising of the range, while the survival of earlier, vertical ventilation slits (six courses tall, blocked in brick) is of note (highlighted on Plate 89). Towards the east end of the elevation, two doorways [d10/11] beneath segmental arches, notably of blue-brick headers,<sup>85</sup> afford access to stables/loose-boxes [G8/9] (Plate 90). Doorways accommodate two-leaf timber stable-doors, pin-hung on strap hinges to the west, opening outwards. To the west of [d10], a small window opening [w13], again beneath a blue-brick arch and furnished with a bull-nosed blue-brick cill, lights the interior of [G8], [G9] being lit by a window in the east wall. The upper, raised section of the elevation includes two circular (3½ft. diameter) pitching eyes, edged in bull-nosed blue brick (Plate 88), and a horizontal band of header vents comprising alternate single and superimposed, paired header voids (Plate 91). Observations elsewhere in the range suggest that the use of blue-bricks dates to a late-19<sup>th</sup>-century phase of modification, and it is thus possible that the stables doors and associated windows are secondary, at least in their current form.
- 6.4.4 The original **north elevation** of the range is enclosed within outshut (**C**); it is brick-built and retains a surface whitewash (see Plate 105), negating the clear identification of archaeological 'events', such as the raising of the

<sup>85</sup> The springing level of the arches are set within the secondary, 3in. brick.



range, evident within the yard elevation. At low level, a series of 11 segmental-headed openings, 3ft. wide by 28in. high and finished in moulded, bull-nosed blue-brick (Plate 97), have been inserted as feeding hatches to range **C**, introduced 1880-1901, which would have been serviced from the lateral feedwalk to the north side of range **B**.

- 6.4.5 The **east elevation** (Figure 15a; Plate 92) presents a brick-built gable end and includes three superimposed openings; a window [**w14**] to ground floor, pitching door [**d15**] to first floor and a small timber hatch [**w26**] to the apex. Lower brickwork is laid to English garden wall bond though, above cill level of [**w14**], the gable end rises in pale orange/red 3in. brick, laid to Flemish stretcher bond to a plain verge; the latter brickwork is continuous with that of outshut extension **C** to the north, suggesting that the raising of the main range may have been contemporary with the introduction of the outshut.

*Interior* (Figure 16)

- 6.4.6 Internally, the western four bays of the range (here numbered 1 to 4 from west to east) form a single, unencumbered space [**G7**] (Plates 93/4) accessed via [**d9**] to the south, open to the roof over with the first floor, at a level of 8ft. and formerly supported on transverse timber beams at 12½ft. centres (evidenced by redundant sockets in the long elevations), having been historically removed. Opposite [**d9**], a small, pedestrian door ([**d15**]; Plate 94) opens onto building **C** which flanks the north side of the range. The first floor was previously served by two circular pitching eyes at Bays 2 and 4 of the south elevation, and by a square hatch at Bay 2 to the north. Observations to the west (above the level of an inserted spray booth related to recent usage) reveal the 'ghost' of a former, lower pitched-roof line (Plate 98), supporting the evidence recorded within the south elevation that the range has been historically raised from an original single-storey to its current height.
- 6.4.7 The removal of interior fixtures and fittings, together with the former first floor structure, make interpretation of original arrangements problematic. A scar to the east wall of [**G7**] (Plate 95), is however suggestive of a former longitudinal wall, c.4ft tall, that would have reasonably defined the south side of lateral passage along the north side of the range, aligning with door [**d4**] onto range **A1** to the west. The implied feed walk would have measured 5ft. wide, and would have served an associated, 12ft. wide transverse stalling area (Peters' 'Type 4'; see fn.75), to the south,<sup>86</sup> together with the secondary cowhouse range **C**, the latter via a series of hatches inserted low in the north wall (Plates 96/7).
- 6.4.8 To the east end of the range, Bays 5 and 6 comprise two discreet stables [**G8/9**] (Plates 99/100), independently accessed via doors [**d10/11**] within the south elevation. Rooms are closed off to the north by (inserted) breeze-block partitions and thus formerly extended fully to the external wall, which was here originally furnished with vertical ventilation slots (similar to those flanking [**w12**]; Plate 89). It is evident that Bays 5/6 have been modified, with detailing of exterior openings (both doors and windows) matching late-19<sup>th</sup>-century work elsewhere, though the original form and layout remains unclear.

Roof

- 6.4.9 The roof over Range **B** is of six bays, the four western bays being defined by three timber trusses, here numbered **T7-T9**; to the east, bay divisions are defined by brickwork walls extending to roof level. Roof trusses

<sup>86</sup> Although all trace of stalling has been historically removed, the surviving elements of timber stalling within **A1** (Plate 38) are indicative of what may have been present.

are again of king-post form (Figure 15b; Plate 101), the un-joggled KPs bolted at the tie, with raking struts rising from the tie to principal rafters at the level of an original single tier of shallowly-trenched side purlins. The latter have been removed, however, and replaced by two tiers of 'plank' section purlins, cut in bay lengths and supported at trusses on timber cleats. As noted above, the roof of range **B** has been historically raised, though the character of the roof carpentry and the similarity of pitch evident at the west end of the range (Plate 98) reasonably suggests that the original trusses were simply re-used in the heightened building, supported to north and south on projecting piers of brick, corbelled out at first floor level (Plate 102).

## 6.5 Range C (Figures 14-16)

### *Overview*

- 6.5.1 **Range C** comprises a long rectangular building, 70ft. long x 13ft. wide, an outshot flanking the northern side of Range **B**, of a single storey beneath a pent, plain-tile clad cat-slide roof; it was introduced at some point between the Ordnance Survey maps of 1880 and 1901 (see Figure 6) to form additional cattle accommodation.

### *Exterior*

- 6.5.2 The **north elevation** (Figure 14; Plates 103/4) is brick built in orange/red brick (8¾ x 4¼ x 2¾in.) laid to a regular Flemish stretcher bond, though the central section has been substantially rebuilt in recent years in a simple stretcher bond; the north-east angle is finished in bull-nosed blue-bricks (Plate 105). The elevation stands 7½ft. tall to a ¼-brick oversail eaves band beneath a plain-tile clad roof, and is pierced by a single doorway [d14], affording access to the interior, and by four plain, rectangular window openings [w15-18], set beneath plain timber lintels and with moulded blue-brick cills surviving in part.
- 6.5.3 The **east elevation** (Figure 15a; Plate 105) presents an extension of the gable end of the heightened Range **B**; significantly, the Flemish stretcher bond of the pale orange/red brickwork appears consistent and continuous between the upper part of **B** and outshot **C**, suggesting either that the gable end was substantially rebuilt when **C** was added, or that the raising of **B** (see above) and the introduction of range **C** were contemporaneous. The north-east angle is finished in bull-nosed blue brick. In its current state, the elevation includes two doorways [d12/13]; both represent post-1979 insertions however (see AP at §.4.2.14), and original arrangements comprised a central door (blocked pre-1979) flanked to the south by a high window, both spanned by segmental arches formed of blue-brick headers.

### *Interior*

- 6.5.4 Range **C** is accessed via doors [d12/13] to the east elevation and via door [d14] to the south; internal communication with range **B** is afforded by an inserted door [d15], directly opposite [d14]. The range is of six bays, here numbered 1 to 6 from west to east, and is subdivided on a bi-partite plan by a transverse cross-wall at Bay 4/5 forming two interconnected spaces [G10/11] to west and east respectively. The range is fully open, standing a to a maximum 15½ft. to the underside of its mono-pitch roof. To the west end of the range, exterior details of range **A2** (viz. a blocked/adapted window, geometric vents and eaves band: Plate 108) clearly confirm that range **C** represents a secondary addition.

- 6.5.5 The range retains elements of concrete stalling (Plate 107) with face-laid brick flooring, and formerly accommodated 18 head of cattle.<sup>87</sup> The stalling is set out to respect a series of segmental-arched feeding hatches opening off range **B**, 3ft. wide and 28in. high, finished with moulded, bull-nosed blue-brick (Plate 97);<sup>88</sup> these were evidently inserted to be served by the pre-existing, lateral feed walk along the north side of **B**.

#### *Roof*

- 6.5.6 The roof over **C** is of mono-pitch, pent form, extending the northern roofslope of range **B**, and is supported on a series of four timber ½-trusses (Figure 15b; Plate 109) with bolted king-posts, carrying two tiers of longitudinal, 'plank'-section purlins supported on timber cleats (as per range **B**); raking struts rise from the tie to the principal rafters at the level of each of the side-purlins.

## 7 DISCUSSION AND CONCLUSION

### 7.1 Origins and Development

- 7.1.1 The traditional farm ranges at Manor House Farm are stylistically and characteristically of late-18<sup>th</sup> century/early 19<sup>th</sup>-century date, this being supported by cartographic evidence with the distinctive 'E' plan, defining and enclosing two foldyards,<sup>89</sup> essentially in place by the time of the Ashley tithe map of 1838 (Figure 3). Physical evidence of the buildings' fabric indicates, however, that the extant arrangement did not arise from a 'single-phase' planned development, but rather from a process of accretive development (see Figure 17), albeit that this development may well have taken place largely over a limited time period. Recorded evidence suggests that the outbuildings originated as a 'U'-shaped complex defining a single yard (Figure 17a),<sup>90</sup> viz. Ranges **A1** and **B** (originally of a single-storey only), together with the unrecorded southern arm, possibly also originally of a single storey (as per the east end of the extant range), enclosing a yard measuring c.60ft. (N/S) x 70ft. (E/W). Range **A2** represents a secondary addition to this 'U'-plan, clearly evidenced by straight-joints and varied brick bonding / structural details; the now lost north arm flanking the northern yard was reasonably broadly contemporary with **A2** (Figure 17b),<sup>91</sup> together defining a second foldyard, 50ft. (N/S) x 70ft. (E/W), and forming the developed 'E'-plan evident in the earliest historical depictions.
- 7.1.2 The third phase of relative development comprised the raising of Range **B** from one to two storeys (Figure 17c), clearly expressed in the building fabric though, naturally, not reflected in the cartographic record and thus not closely datable in its own right, while a further tertiary development was the appending of pent-roofed range **C** flanking the northern side of the Range **B** (Figure 17d). The addition of range **C** clearly occurred at some point between the Ordnance Survey editions of 1880 and 1901 (Figure 6a/b), while the similarity of detailing (eg. use of moulded blue-brick) and consistency of brickwork to the eastern gable elevation (Plate 92) may suggest that the introduction of **C** and the raising of **B** were contemporary, forming elements of a single phase of larger scale modification, and possibly including the reorganisation of stables [**G8/9**] to the east end of **B**. The developed plan had been achieved by the Ordnance Survey edition of 1901, the latter plan also illustrating a

<sup>87</sup> The numbers 31 to 48 are painted on the wall above the respective stalls.

<sup>88</sup> As per the circular pitching holes of the south elevation of **B**, again suggesting the raising of that range and the introduction of **C** may represent contemporary developments.

<sup>89</sup> Lake and Taylor; type 'h' (2015, 13), a plan type concentrated in southern part of the Staffordshire Plain (National Character Area 61; Lake 2020, 7).

<sup>90</sup> Lake and Taylor; type 'f' (2015,13).

<sup>91</sup> The narrow plan of the northern arm as indicated on historical mapping is suggestive of simple shelter sheds, open to the yard

series of features subsequently lost, viz. a northern extension to range **A2**, a small projection into the southern yard from the east elevation of **A1** and a projection to the west of the same representing a former hoist bay.

- 7.1.3 In the mid-late 20<sup>th</sup> century, the constituent ranges have been subject to sequential phases of modification and internal re-ordering to accommodate changing patterns of use, primarily the move away from dairying in the early-1970s, when a number of the ground floor areas were modified for pig rearing. The north arm of the complex was removed in stages throughout the course of the 20<sup>th</sup> century.

## 7.2 Interpretation

- 7.2.1 The recorded buildings present a fairly typical combination of cattle accommodation, feed processing/preparation and storage ranges, broadly indicative of a late-18<sup>th</sup>/early-19<sup>th</sup> century mixed/dairying tradition common to the region.<sup>92</sup> Notably, the complex does not include a purpose-built, traditional 'threshing barn', a feature noted as being uncommon within the wider area (Lake 2020, 8); rather, building **A** comprises a multi-purpose 'combination' range, built to house a range of processing (grinding/feed preparation/straw and fodder storage/machinery storage etc.) and livestock accommodation functions under one roof, a characteristic of the period when mechanised threshing, in combination with the use of rickyards for unthreshed corn, was becoming the norm (*ibid.*).<sup>93</sup> The rickyard at Manor House Farm, referred to in the 1855 description of John Ashton's farmstead (§.4.3.6), was presumably that fenced area to the rear (west) of the main range **A**, and it is within this context that the surviving winch gear in [**F3**] and the associated former projecting 'hoist-bay' to the west side of **A1** should be interpreted, allowing for the transfer of crops to the upper level storage lofts. Room [**G2**] reasonably formed the central processing room, designed/modified for mechanisation (the surviving Corbett's mill being a feature of particular interest), with rooms to the south thereof for storage.
- 7.2.2 The northern, recorded end of **A1** clearly served as a cow-house/shippens, with a lateral feed walk to the west side of the range, with additional, contemporary cattle accommodation accommodated within perpendicular Range **B**, originally of a single storey only and with a feedwalk along the north side of the range, defining the north side of the primary (southern) yard. The stables to the east end of **B** retain evidence for modification, and may have originally served an alternative function, possibly a feed room serving shippens in **B** and **A1**.
- 7.2.3 Beyond the recorded section to the south, a wide low-level door within the (rebuilt) south gable end of range **A** may suggest an end-entry waggon house / implement store with grain/hay store over. The original arrangements of the south range are unclear though the formerly open-fronted nature of the single-storey section to the east, oriented away from the yard, is suggestive of cart/machinery sheds;<sup>94</sup> a short stack rising above the east gable may indicate a former forge or brewhouse (the 1845 sales details included 'brewing utensils').<sup>95</sup>

---

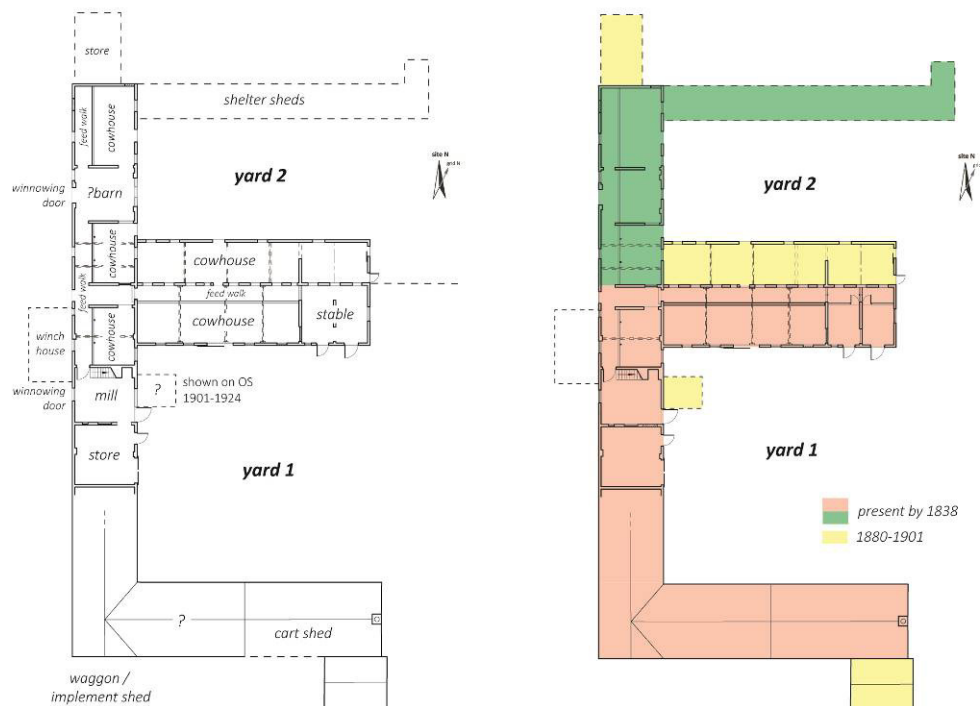
<sup>92</sup> 'Mixed farming has always formed the bedrock of Staffordshire's rural economy and, although the ratio of arable to grassland fluctuated, there was a general shift towards greater grassland so that, by the 19<sup>th</sup> century it was renowned for cattle rearing and dairying' (Lake and Taylor 2015, 5).

<sup>93</sup> As Pitt (1817, 23) noted in the early-19<sup>th</sup> century 'by the introduction of threshing-mills, less barn-room becomes necessary, as one threshing floor is enough for any farm'. The threshing machine was invented by Andrew Meikle of East Lothian in c.1795/6, greatly increasing the speed and efficiency of the threshing process; its introduction and widespread adoption, usually in combination with the use of ricks, influenced significantly the necessity for, the size and the form of barns (Peters 1969, 84-6).

<sup>94</sup> Cart sheds were traditionally oriented away from foldyards to prevent cattle gaining access and injuring themselves on machinery (Peters 1981, 32-49). Sale particulars of 1845 list 'harvest wagons with gearing; broad and narrow wheel carts; tumbrels, ploughs; sets of harrows, winnowing machine, straw cutter, sets of shaft and chain gearing, gig' etc.

<sup>95</sup> The interior of the south range was not inspected as part of the current study.

- 7.2.4 Range **A2** presents a similar pattern of ground floor shippons (here modified for pig pens) with storage lofts over, in combination with a possible secondary central barn/processing bay; though clearly representing a secondary addition, the range was extant by 1838 and thus represents an early modification. The now lost northern arm of the original 'E'-plan, narrower in plan than the surviving shippon ranges, is assumed to be broadly contemporary and to have comprised a range of single-storey shelter sheds, open to the northern yard.



Manor Farm Barns: Interpretation and outline development

- 7.2.5 Range **C** was introduced in the late-19<sup>th</sup> century, 1880-1901 and thus reasonably by Moses Parton, to accommodate an enlarged dairy herd (Parton is recorded in 1914 as keeping 65 head of stock), served by the extant feedwalk of range **B** via a series of inserted feeding hatches.

### 7.3 Ownership / Occupation

- 7.3.1 The first documentary reference traced as part of the current project records a significant part ('two undivided third parts') of the manor of Ashley passing to Thomas Kinnersley I in 1802, when it was purchased from the Rt. Hon. Charles Chetwynd, Earl Talbot, the same remaining in the hands of Kinnersley at the time of the tithe survey of 1838, when it included Birch House / Manor House Farm. The precise date of the buildings however, stylistically of late-18<sup>th</sup>/early-19<sup>th</sup>-century date, has not been firmly established.
- 7.3.2 A review of readily available census records and trade directories has allowed for a broad reconstruction of the pattern of historical ownership / occupation of the property, however, essentially unbroken from the 1830s

down to the present day. The first identified occupant is John Dicken, recorded in *White's Directory* of 1834 and the census returns of 1841, though it had passed to John Aston (alternatively 'Astin') by 1851. At some point between 1861 and 1871 the farm passed into the occupation of Edward Kendrick, and by 1881 to Moses Parton, who is recorded down to 1911/12. Parton retired from farming in 1914 and by 1932, one Edith Lee Blakeman is recorded followed by Edward Knobbs in 1940. John Dutton Edge, the current owner's father, came to the farm as a tenant in 1943, with the Edge family thus having been in occupation and/or ownership of the property for a period of c.75 years.

## 7.4 Discussion

- 7.4.1 Of a total of 5,526 farmsteads in Staffordshire identified from historical mapping by Edwards and Lake (2012, 3), 'courtyard' plans, both 'regular', where working buildings are all or mostly interlinked and formally arranged around foldyards, and 'loose', where buildings are detached, together made up 70% of recorded farmsteads, compared to 81% for the West Midlands as a whole (*ibid.*, 4), with regular courtyards accounting for 29% of the total. Within Newcastle-under-Lyme Borough, 35% of farmsteads have been identified as representing 'larger-scale courtyard plans' (SCC, 2015).
- 7.4.2 Manor House Farm lies in an area characterised (*ibid.*) by 'high numbers of small-scale farmsteads intermingled with large-scale courtyard farmsteads, reflecting a diversity of enclosure scale and type in the landscape. The smaller steadings mostly comprise dispersed plan types, loose courtyard plans with buildings to one or two sides of the yard and regular courtyard L-plans: the latter consist of cowhouse/fodder ranges of a type characteristic of the Cheshire Plain. The developed 'U' and 'E'-plan regular courtyard farmstead, as at Manor House Farm, is identified as the plan-form typical of larger farmsteads in the south and west of the county, in particular the North Staffordshire Plain (Lake and Taylor's 'Area 2'; 2015, 41), while the overview of Loggerheads' Heritage Assets (LPC, 2018) records a number of 'L'-plan farmsteads within the modern parish.

## 7.5 Conclusion

- 7.5.1 As Edwards and Lake (2012, 10) highlighted... *'farmsteads, and, in particular, traditional farm buildings of 19<sup>th</sup> century or earlier date, make a fundamental contribution to local distinctiveness and a sense of place, through their varied forms, use of materials and the way that they relate to the surrounding form and patterning of landscape and settlement'*.
- 7.5.2 The buildings at Manor House Farm represent good, solid, if unremarkable, examples of traditional vernacular farm ranges of their type and date, forming an attractive group and making a significant contribution to both the physical context and special historical interest of the Grade II listed farmhouse. Though not deemed of sufficient interest for inclusion on the statutory list, the ranges at Manor House Farm retain considerable historical significance at a local level, and this is reflected in their inclusion on the Staffordshire Historic Environment Record. The farmstead illustrates good survival of its historical farmstead plan form, with significantly less than 50% loss when compared to historical (pre-1900) OS mapping (as per 73% of farmsteads in Staffordshire and 66% in the West Midlands as a whole), and thus can be deemed to retain high 'heritage potential'.
- 7.5.3 Long redundant for their original purpose and already partly converted to alternative use, further, sensitive conversion of the remaining ranges affords a timely opportunity to secure a long-term, viable and sustainable future use for the buildings, thereby securing their ongoing maintenance and preservation. Within the context



of the consented conversion, the current project has allowed for a detailed record of the buildings to be made, so far as possible from a non-intrusive survey and given the current state of the buildings, in line with National Planning Policy Guidance (NPPF) and with pertinent Historic England guidance. As such, the current report presents a 'point in time' document of the buildings prior to work while the associated programme of archival research has established a broad historical context within which to interpret the recorded buildings.

Report prepared by:

**Ric Tyler** MCIfA  
15.11.2021

## 8 SOURCES AND BIBLIOGRAPHY

### a) Cartographic Sources (in chronological order)

- 1838 Ashley tithe map (SCRO: B/A/15/15).
- 1880 Ordnance Survey County Series 25in. (1:2500) map.
- 1901 Ordnance Survey County Series 25in. (1:2500) map.
- 1924 Ordnance Survey County Series 25in. (1:2500) map.
- 1960-61 Ordnance Survey National Grid Series 1:2500 map.

### b) Primary Sources

*Staffordshire County Record Office (SCRO)*

- B/A/15/15 (copy WSL: S.MS.417/9); tithe map, 1838 (digital copy supplied by SCRO).
- B/A/15/375 (copy WSL: S.MS.430/4); tithe apportionment, 1838 (consulted online).
- D3272/1/4/2/1-69; Title deeds relating to manors of Maer and Ashley and their respective estates, 1716-1907.
- D1213/2/2: Map of the estate of William Davenport in Maer and Ashley (nd. c.1855).
- D1213/3/7: Survey of the estate of William Davenport in Maer and Ashley, by William Fenna, 1855.
- D952/5/1/39: Plan and Particulars of land in or near Maer and Ashley, 1855.

### c) Secondary Sources

Association of Local Government Archaeological Officers (ALGAO), 1997. *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*.

CIfA, 2017. *Standard and Guidance for Archaeological Desk-Based Assessment*. University of Reading, CIfA.

CIfA, 2019. *Code of Conduct*. University of Reading, CIfA.

CIfA, 2020. *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*. University of Reading, CIfA.

Edwards B and Lake J, 2012. 'Historic Farmsteads and Landscape Character in Staffordshire'  
(<https://historicensland.org.uk/images-books/publications/wm-county-summaries/>).

Historic England, 2016. *Understanding Historic Buildings: A Guide to Good Recording Practice*.  
(<https://historicensland.org.uk/images-books/publications/understanding-historic-buildings/heag099-understanding-historic-buildings/>).

Historic England, 2018. *Historic Environment Good Practice Advice in Planning, Note 10: Listed Buildings and Curtilage*.  
(<https://historicensland.org.uk/images-books/publications/listed-buildings-and-curtilage-advice-note-10/heag125-listed-buildings-and-curtilage/>).

Horowitz D, 2003. 'A survey and Analysis of the Place-Names of Staffordshire' (2 Vols.). Unpublished PhD Thesis, University of Nottingham.  
(<http://eprints.nottingham.ac.uk/11557/>)

Lake J and Taylor D, 2015. 'Staffordshire Farmsteads Character Statement' / Staffordshire County Council / English Heritage.

Loggerheads Parish Council, 2018. 'Loggerhead Parish: Heritage Assets – Local History Brought to Life.' Summary document prepared as part of production of Neighbourhood Plan.

Loggerheads Parish Council, 2019. 'Loggerheads Neighbourhood Plan 2013-2033 Version 2.20 (15.2.2019).' ([https://www.newcastle-staffs.gov.uk/sites/default/files/IMCE/Planning/Planning\\_Policy/Neighbourhood/Neighbourhood\\_Plan\\_V2.20\\_Made\\_final.pdf](https://www.newcastle-staffs.gov.uk/sites/default/files/IMCE/Planning/Planning_Policy/Neighbourhood/Neighbourhood_Plan_V2.20_Made_final.pdf)).

Ministry of Housing, Communities and Local Government, 2019. *National Planning Policy Framework*. ([https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/810197/NPPF\\_Feb\\_2019\\_revised.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/810197/NPPF_Feb_2019_revised.pdf)).

Peters JEC, 1969. *The Development of Farm Buildings in Western Lowland Staffordshire up to 1880*. Manchester University Press.

Peters JEC, 1981. *Discovering Traditional Farm Buildings*. Oxford, Shire Publications.

Peters JEC, 1988. 'Post-Medieval Roof Trusses in some Staffordshire Farm Buildings' in *Vernacular Architecture* **19**, 24-31.

Staffordshire County Council, 2015. 'Staffordshire Farmsteads Guidance: Farmsteads in Newcastle-under-Lyme Borough' (<https://www.staffordshire.gov.uk/environment/Environment-and-countryside/HistoricEnvironment/Documents/Farmsteads-Guidance-Newcastle-Under-Lyme-Borough-LPA-Summary-Jan15.pdf>).

Tarpey Woodfine Architects, 2019. Conversion of former agricultural barn at Manor Farm, Park Lane, Market Drayton: Design and Access Statement. (<http://publicdocs.newcastle-staffs.gov.uk/Anitelm.WebSearch/Download.aspx?Download=00277057.pdf>).

Williams A and Martin GH, 2002. *Domesday: A Complete Translation*. London, Penguin Books.

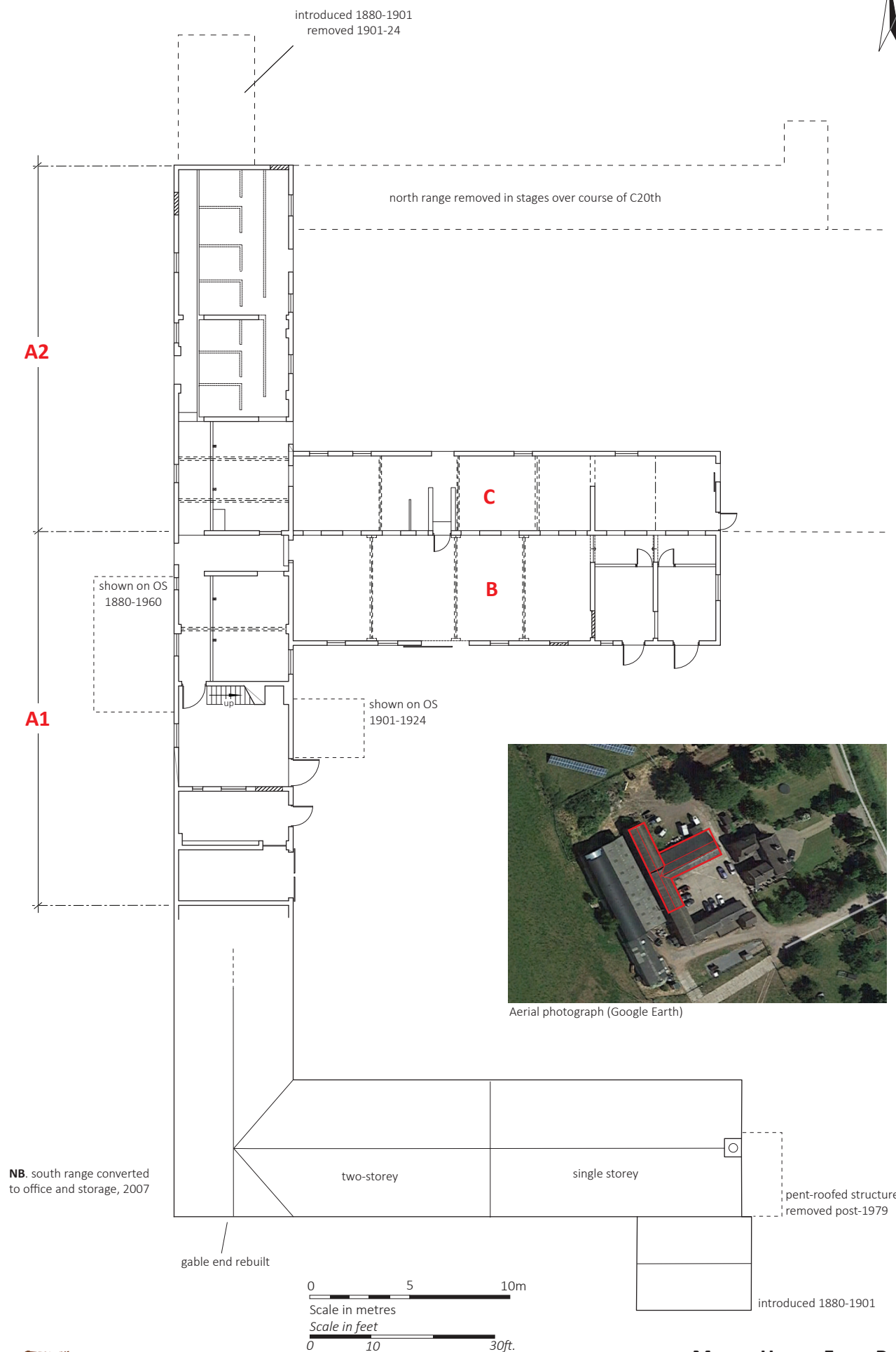
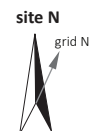
#### d) Online Sources

- [www.ancestry.co.uk](http://www.ancestry.co.uk)
- <http://www.archaeologists.net>
- <https://www.britishnewspaperarchive.co.uk/>
- <https://www.gov.uk>
- [www.heritagegateway.org.uk](http://www.heritagegateway.org.uk)
- <https://historicengland.org.uk>
- <https://www.legislation.gov.uk>
- <https://www.nationalarchives.gov.uk>
- <https://www.newcastle-staffs.gov.uk>
- [www.nottingham.ac.uk](http://www.nottingham.ac.uk)
- <https://opendomesday.org>
- <https://www.search.staffspasttrack.org.uk>



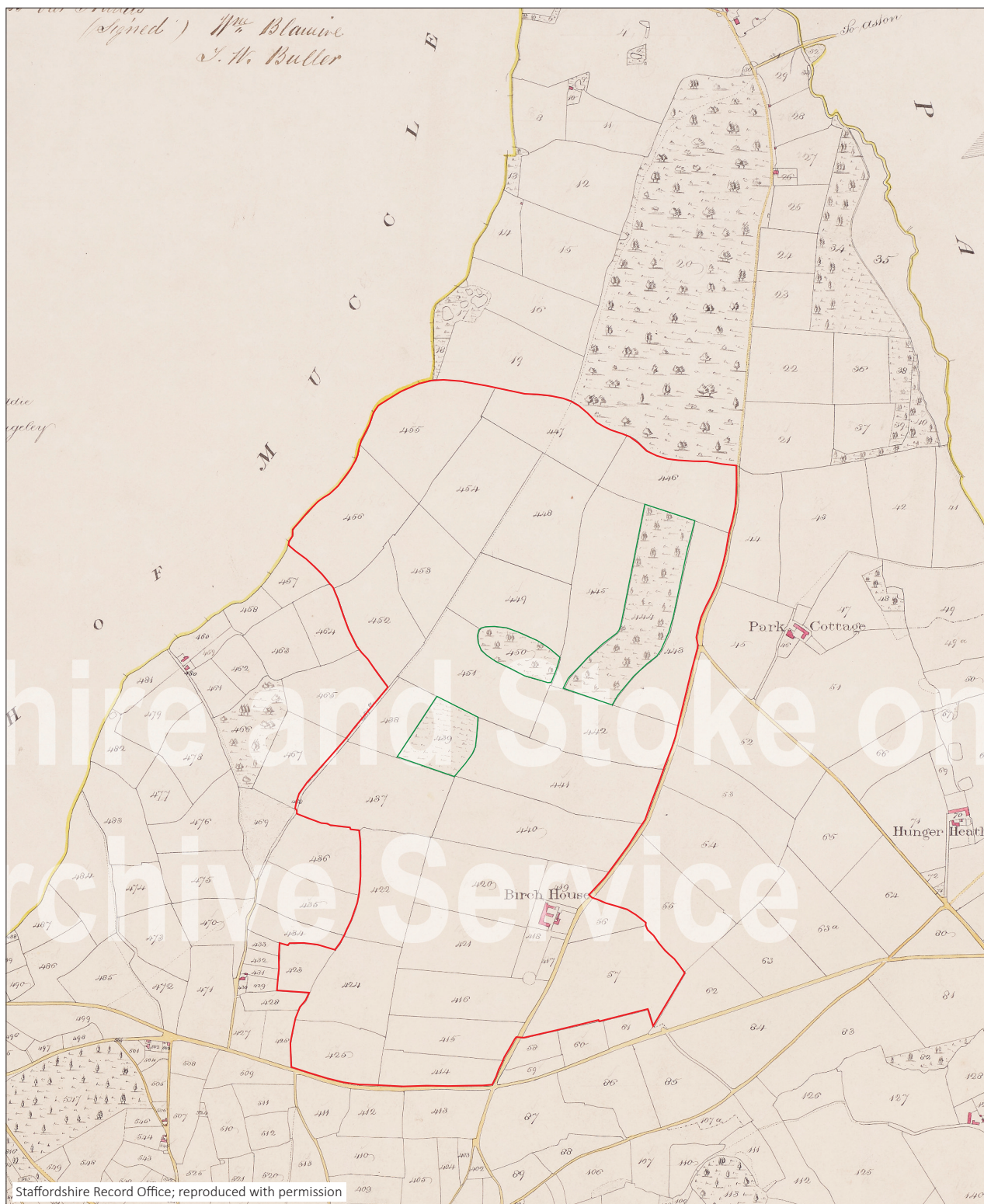


NB. for illustrative purposes only, **do not** scale from this drawing



Aerial photograph (Google Earth)





Area outlined in red indicates lands in ownership of Thomas Kinnersley Esq. and occupied by John Dicken (see Table 1 in main text).

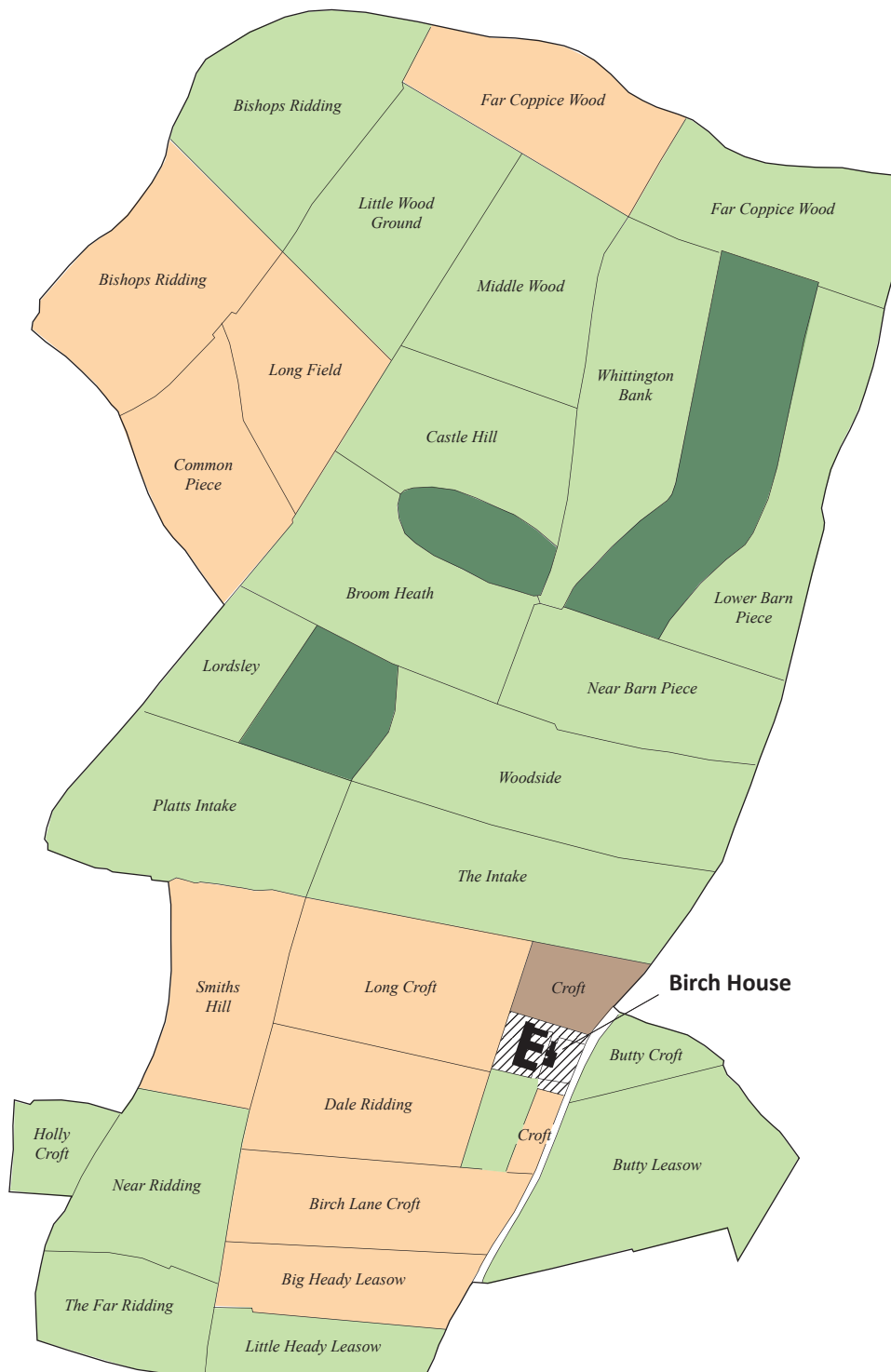
**NB.** Plantation plots 439, 444 and 450, outlined in green, were excluded from Dicken's lease and are listed as in occupation of Kinnersley himself.

**Manor House Farm Barns**  
Park Lane, Ashley, Staffordshire

Figure 3: Ashley Parish Tithe Map of 1838 (extract)

(SCRO ref. **B/A/15/15**; reproduced with permission of Staffordshire Record Office  
Order No. PI 6508, Licence dated 21.04.2021)





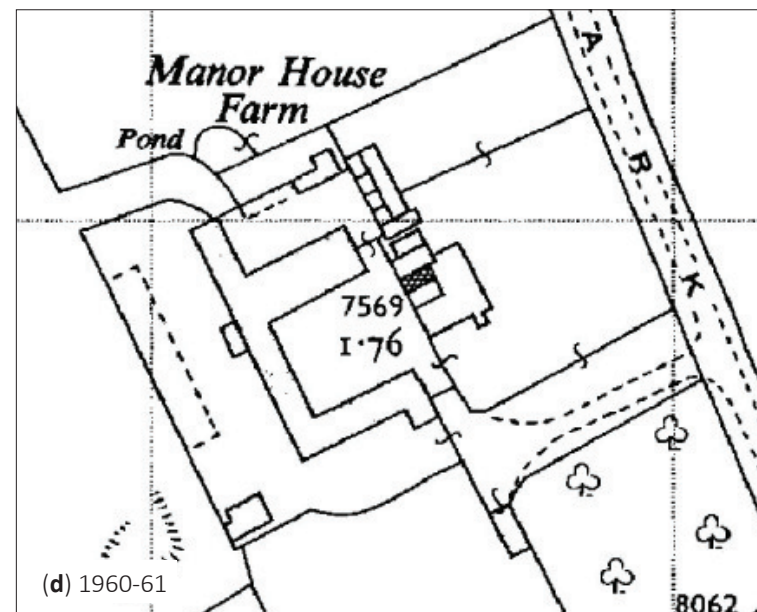
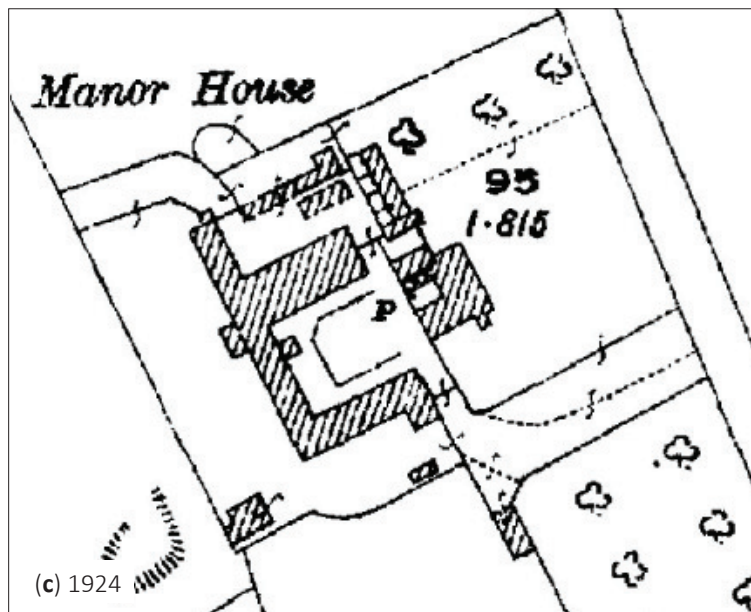
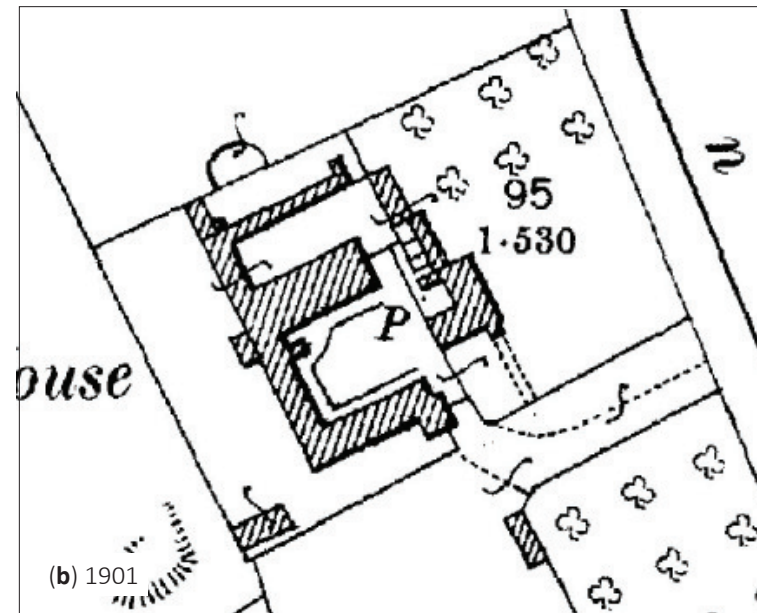
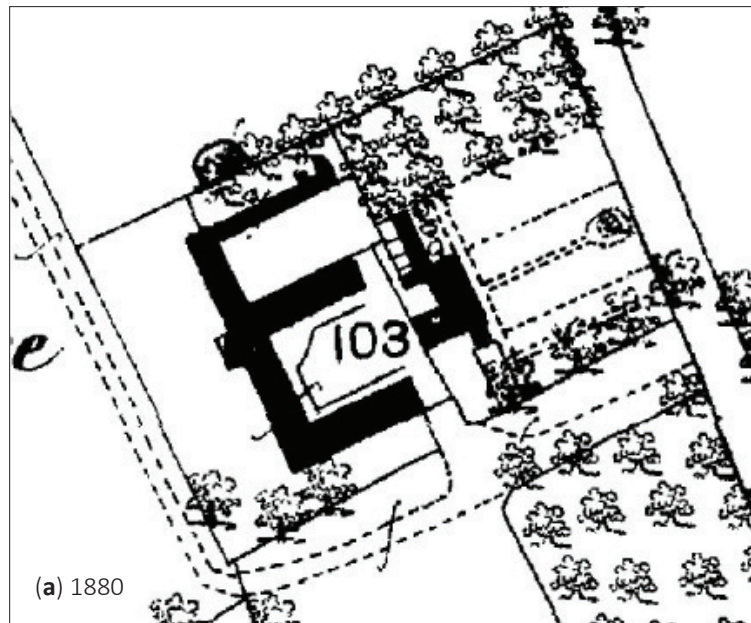
#### LAND USE KEY

	house, outbuildings garden, yards etc.		meadow
	arable		plantation (excluded from farm lease)
	pasture		

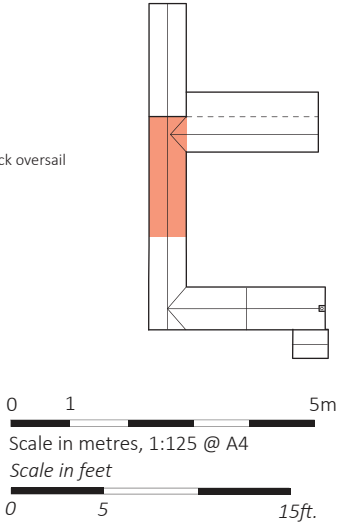
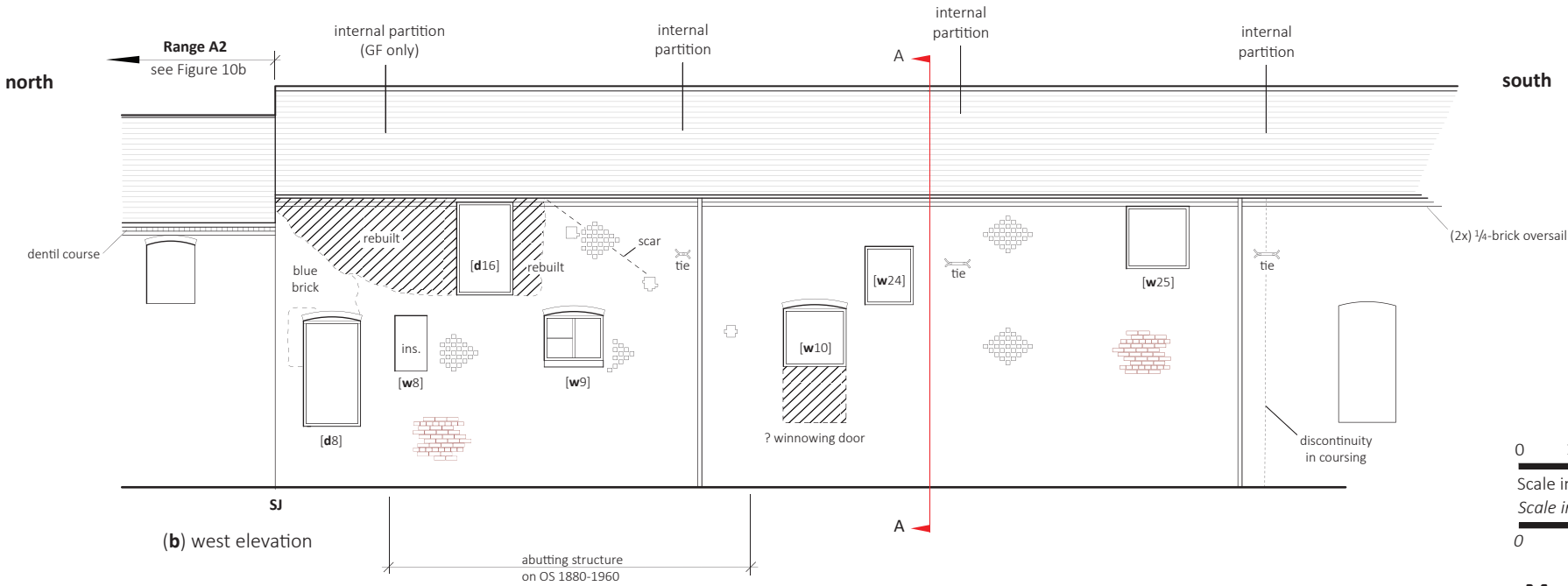
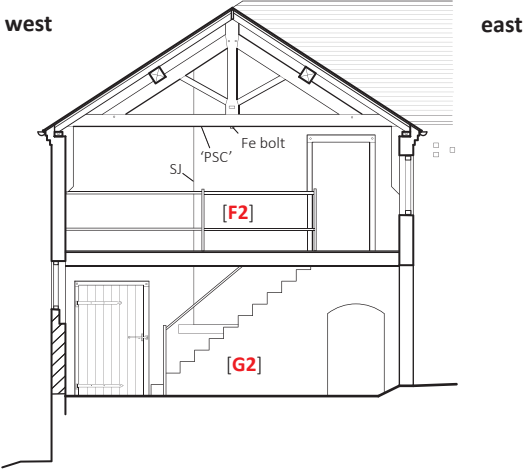
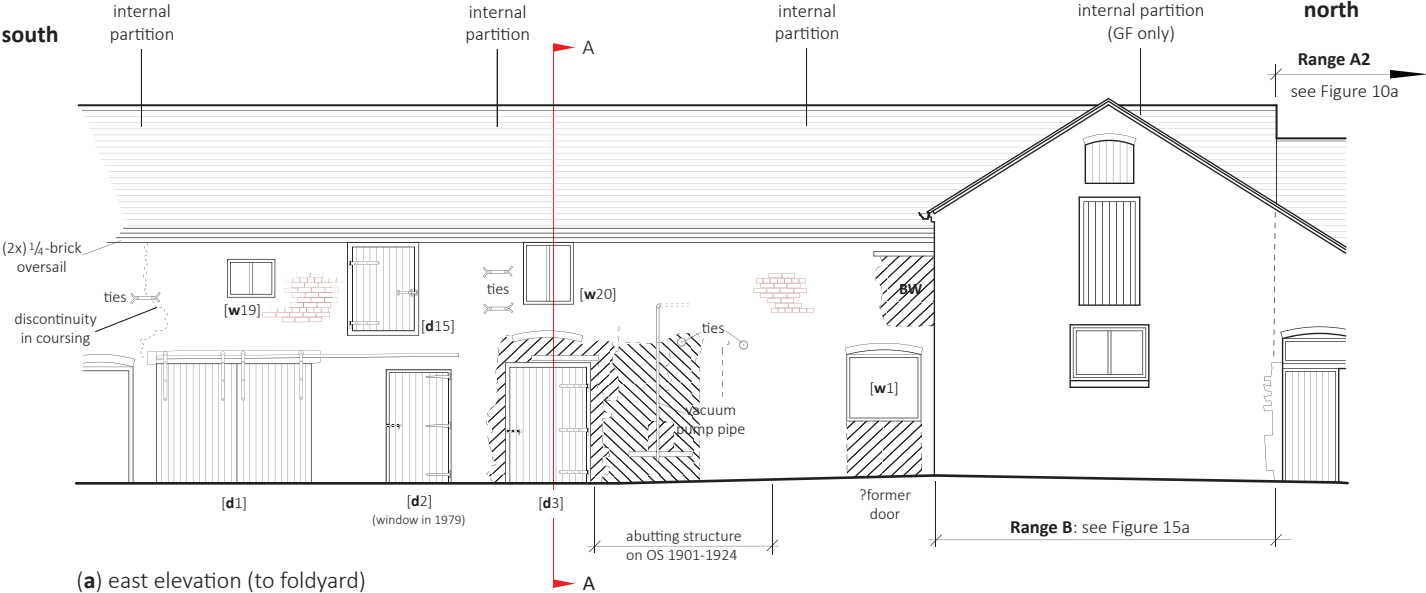


SCRO ref. D1213/2/2 reproduced with permission, courtesy of Staffordshire Record Office

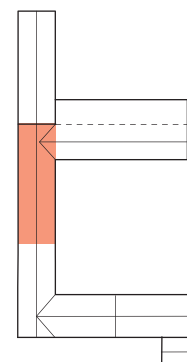
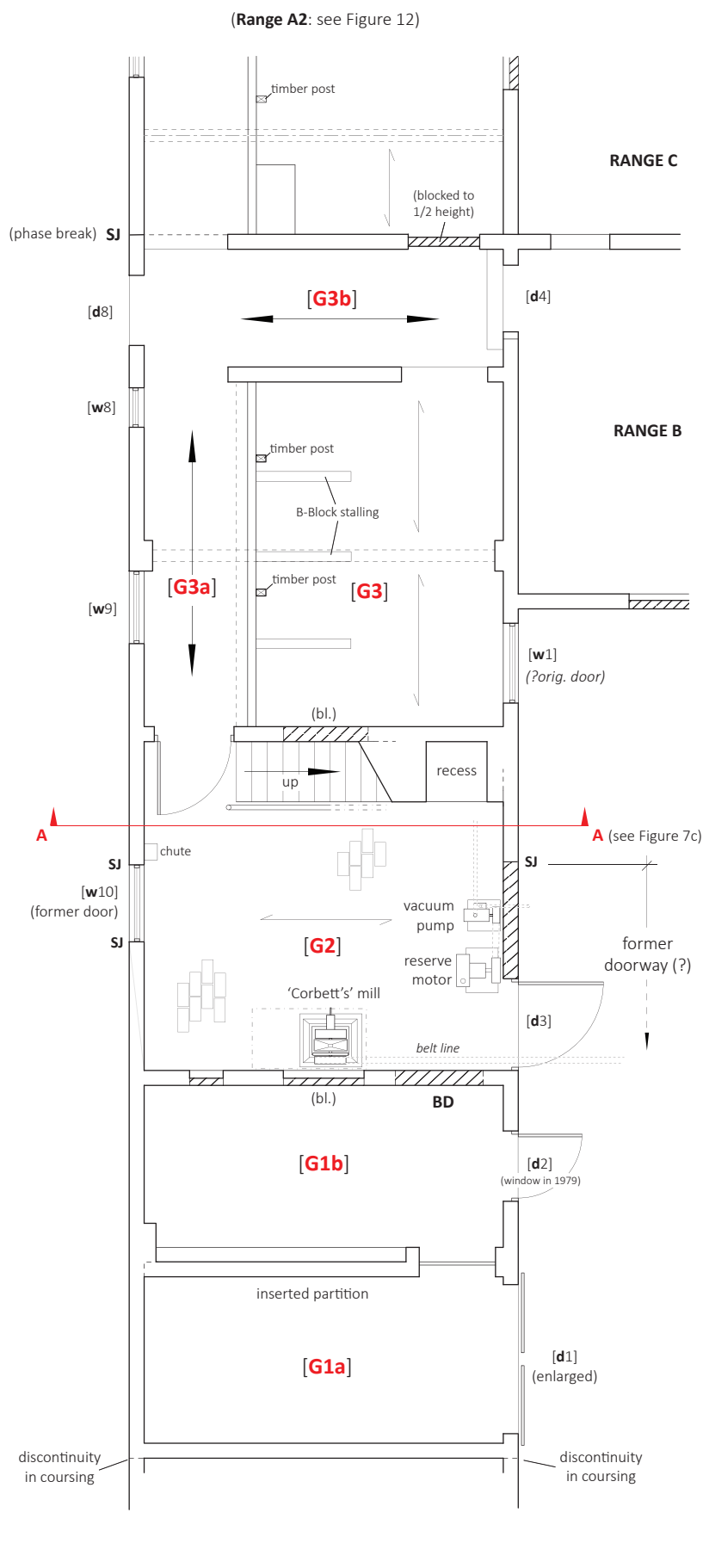
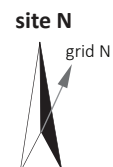




NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing

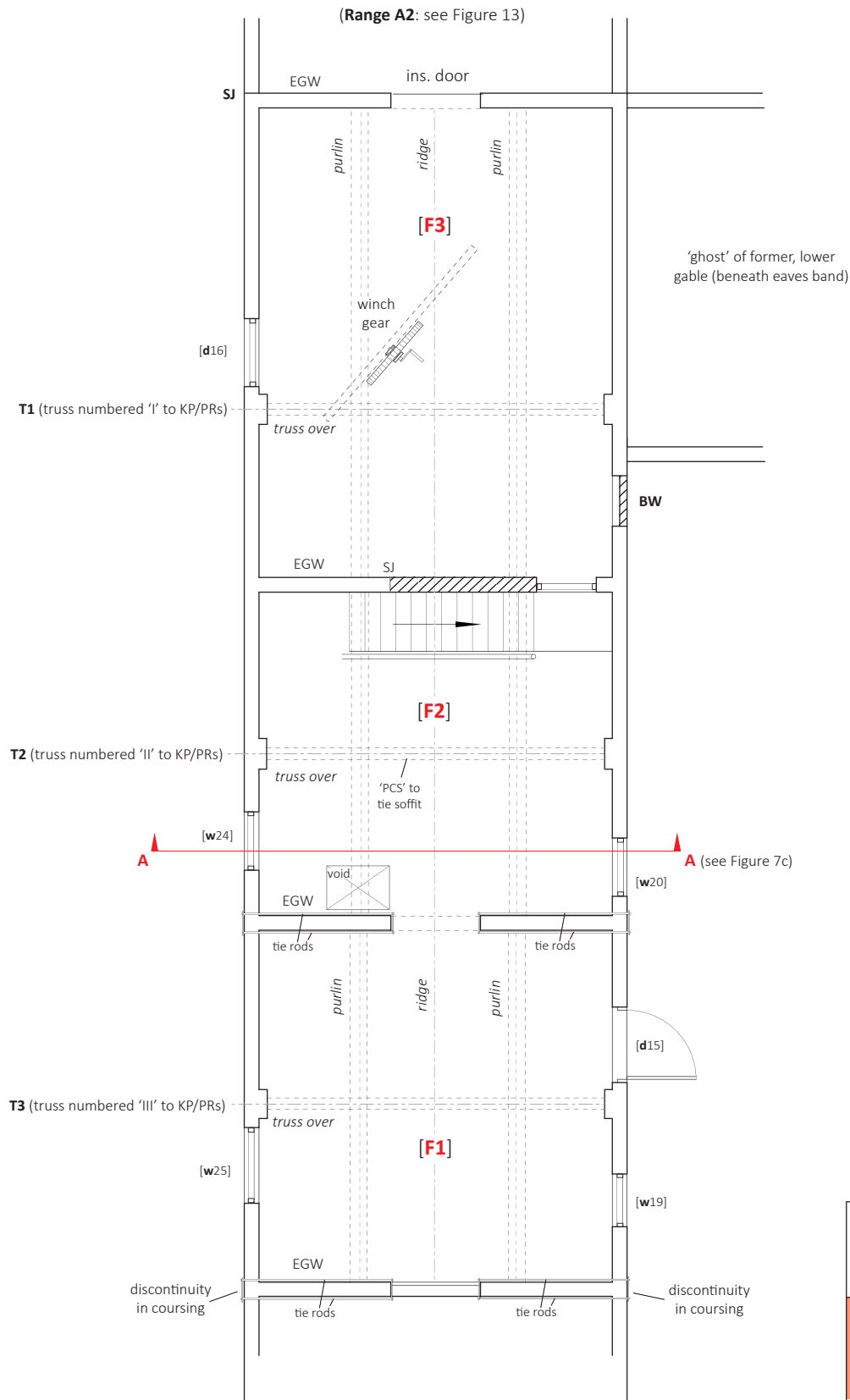
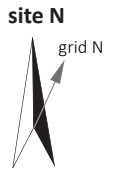


0 1 5m  
Scale in metres, 1:100 @ A4  
Scale in feet  
0 5 15ft.

**RIC TYLER**  
MCIFA FGCert. Arch. Hist (Oxf.)

**Manor House Farm Barns**  
Park Lane, Ashley, Staffordshire  
**Figure 8: Range A1: ground floor plan**  
(Based upon Tarpey Woodfine Architects survey drawing 1062-02 of August 2018)

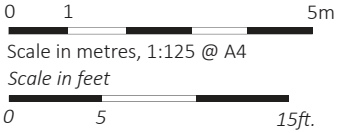
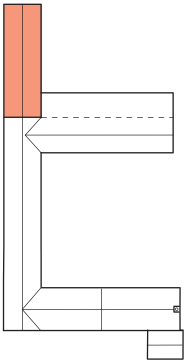
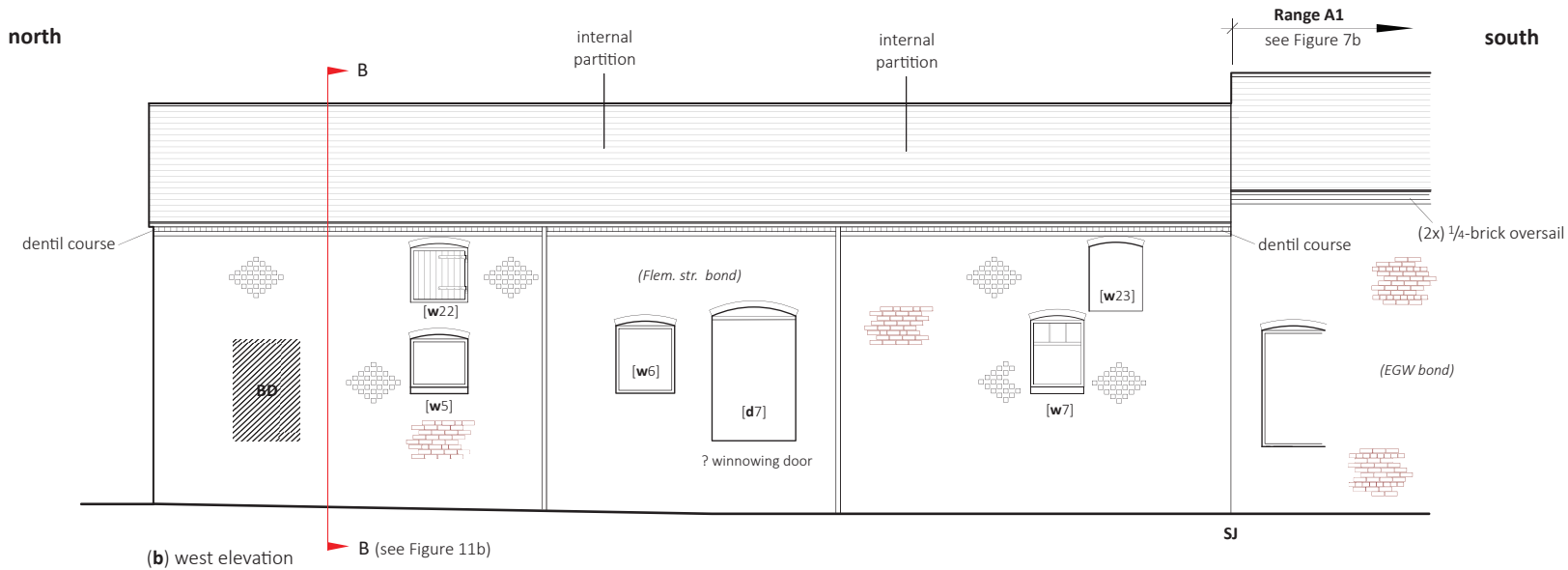
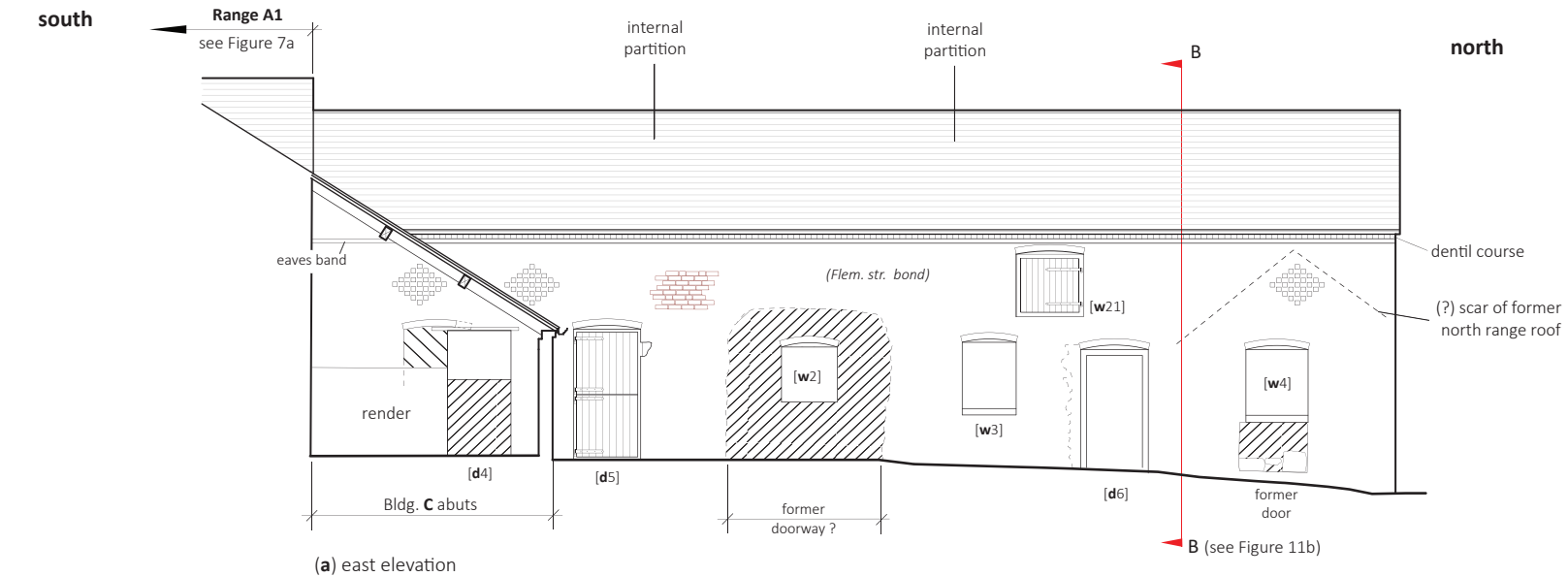
NB. for illustrative purposes only, **do not** scale from this drawing



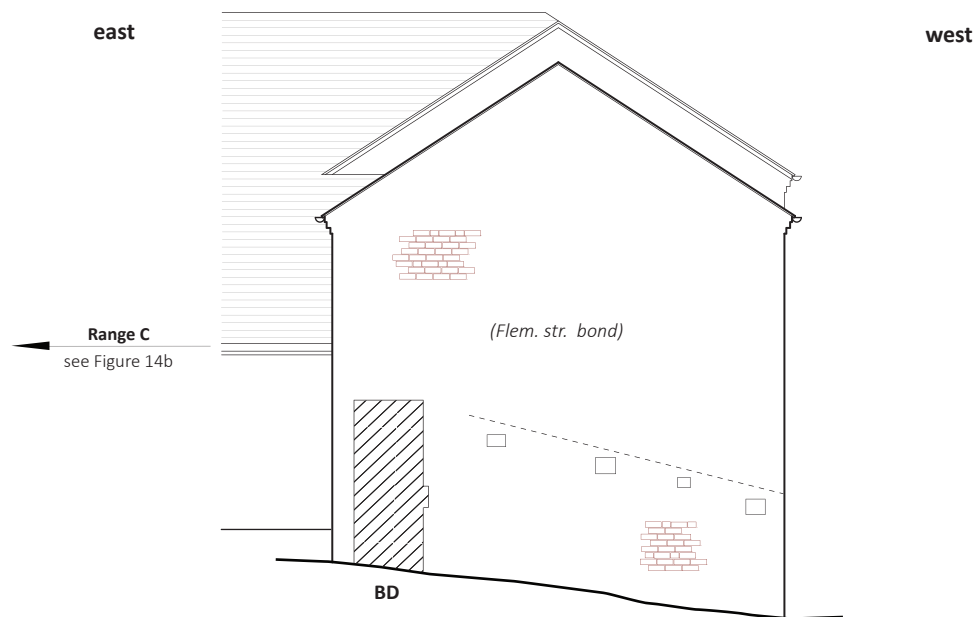
0 1 5m  
Scale in metres, 1:100 @ A4  
Scale in feet  
0 5 15ft.



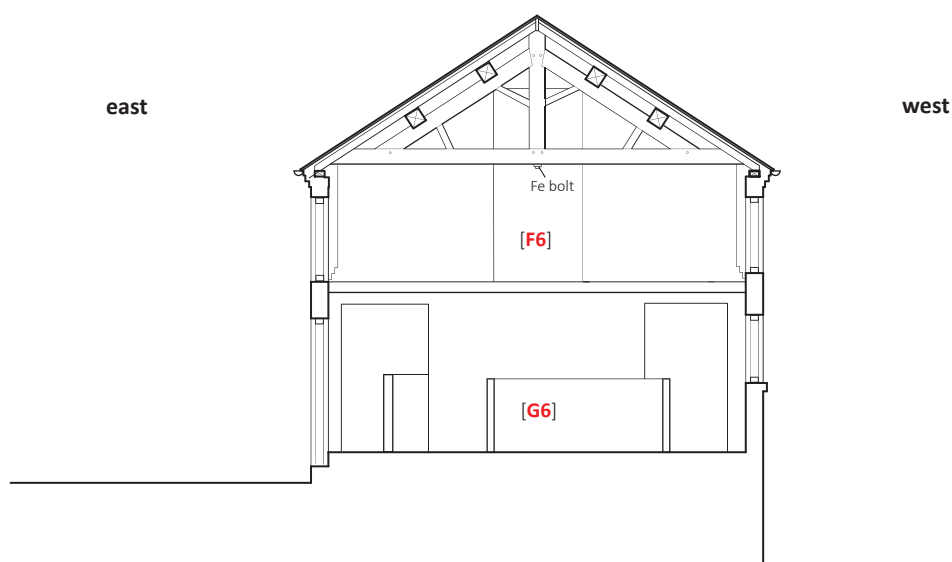
NB. for illustrative purposes only, **do not** scale from this drawing



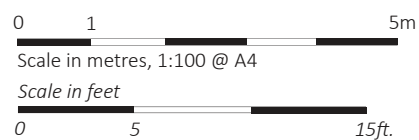
NB. for illustrative purposes only, do not scale from this drawing



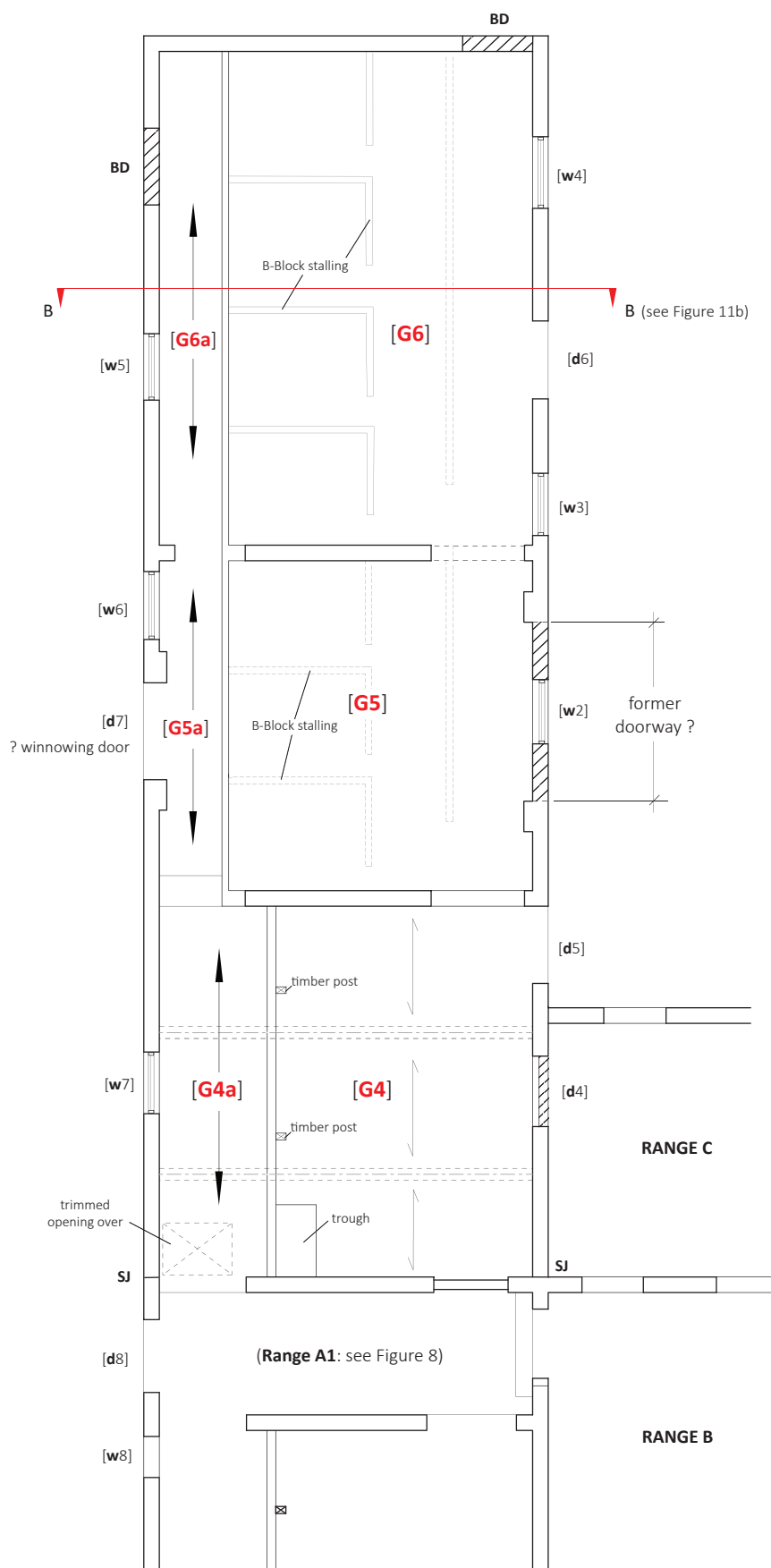
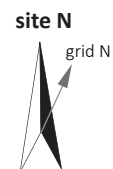
(a) eastern gable end



(b) transverse cross-section B-B looking south

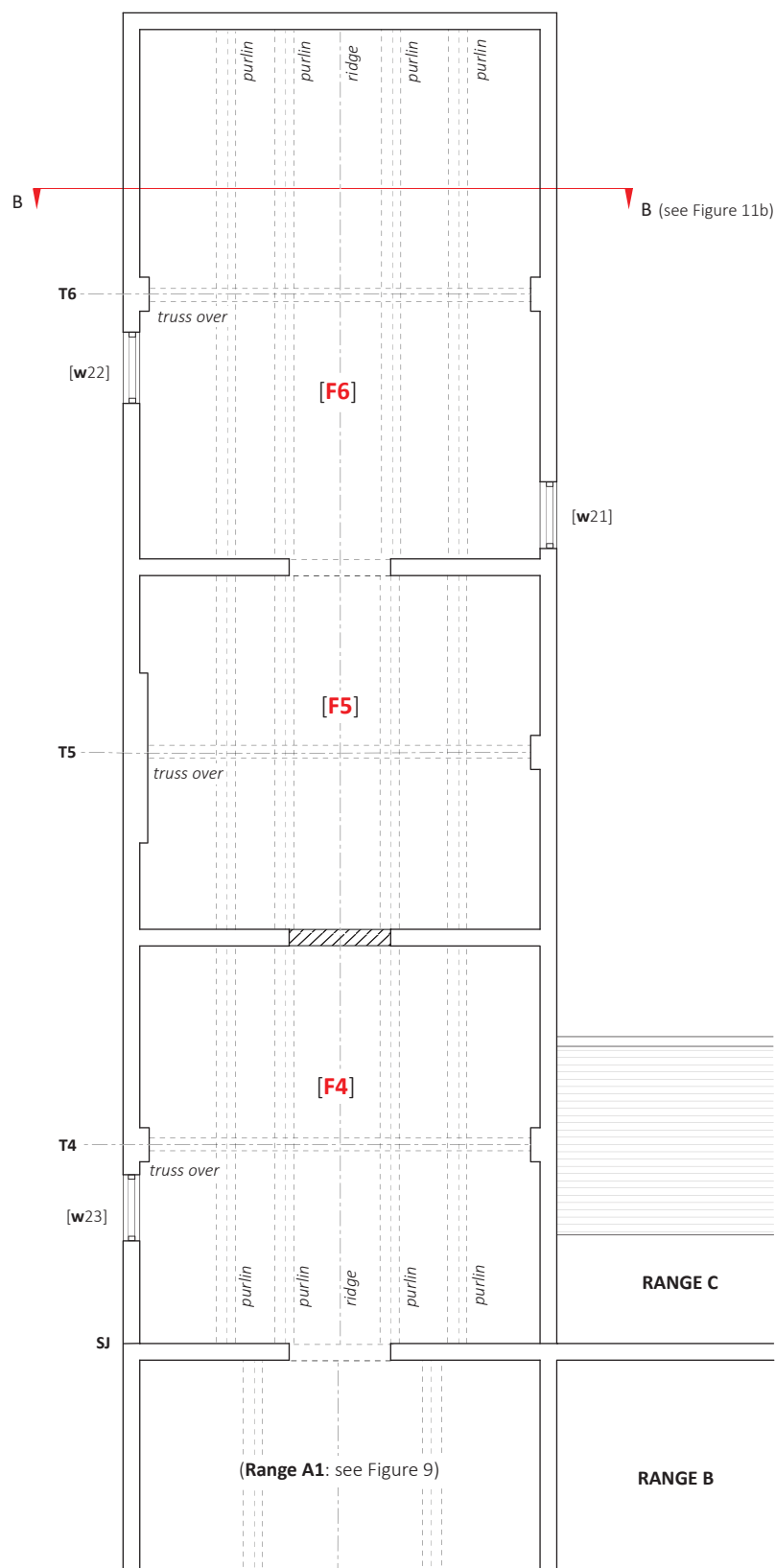
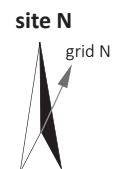


NB. for illustrative purposes only, **do not** scale from this drawing

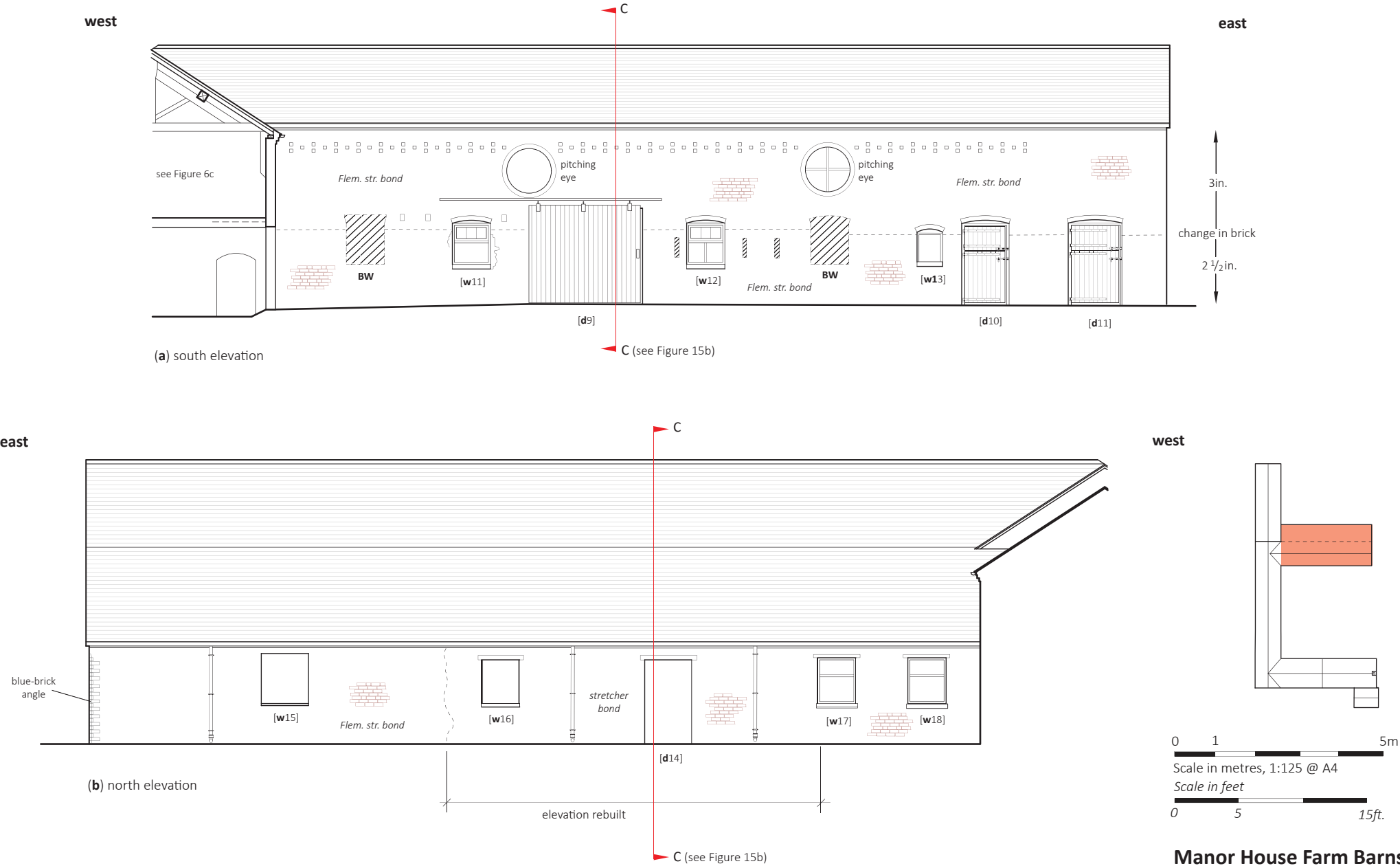


0 1 5m  
Scale in metres, 1:100 @ A4  
Scale in feet  
0 5 15ft.

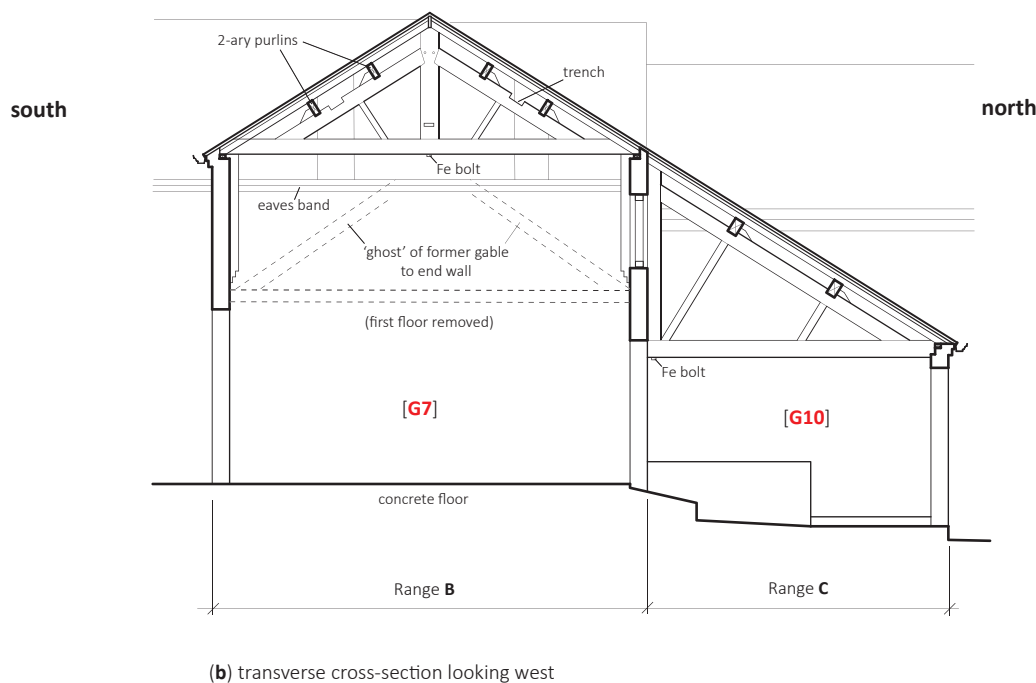
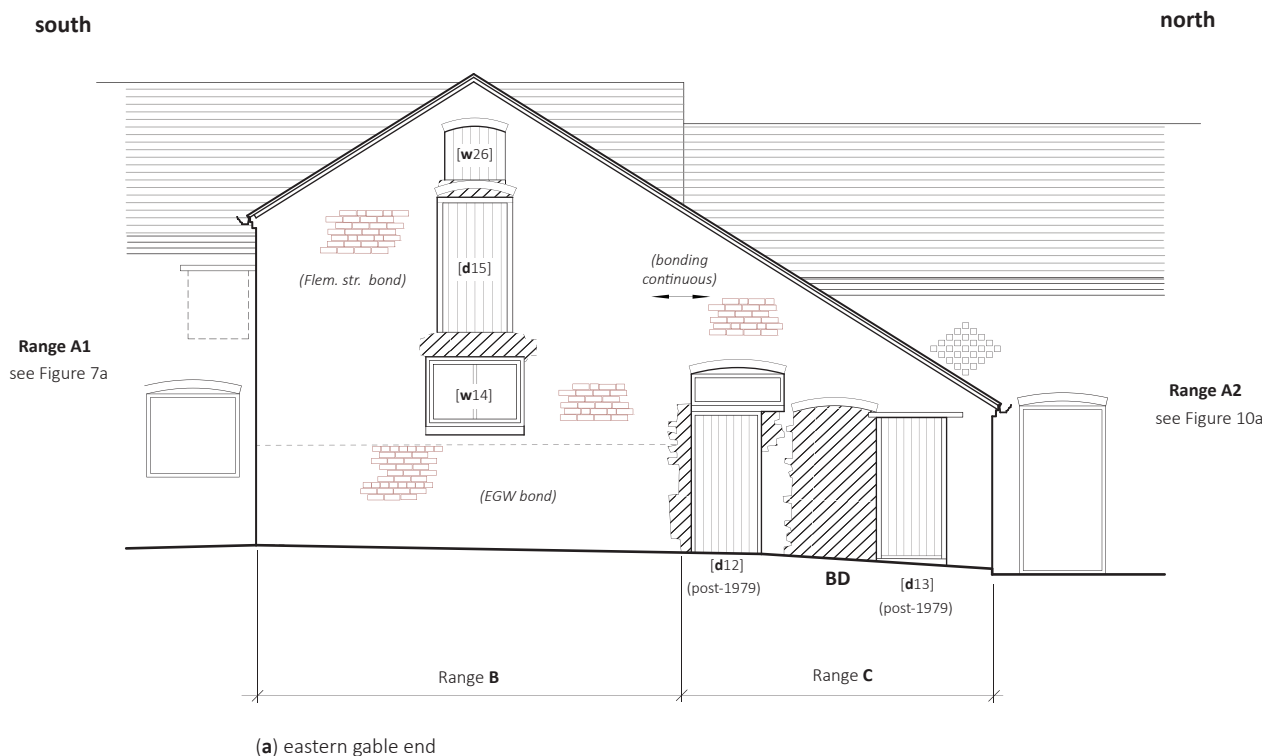
NB. for illustrative purposes only, **do not** scale from this drawing



NB. for illustrative purposes only, **do not** scale from this drawing



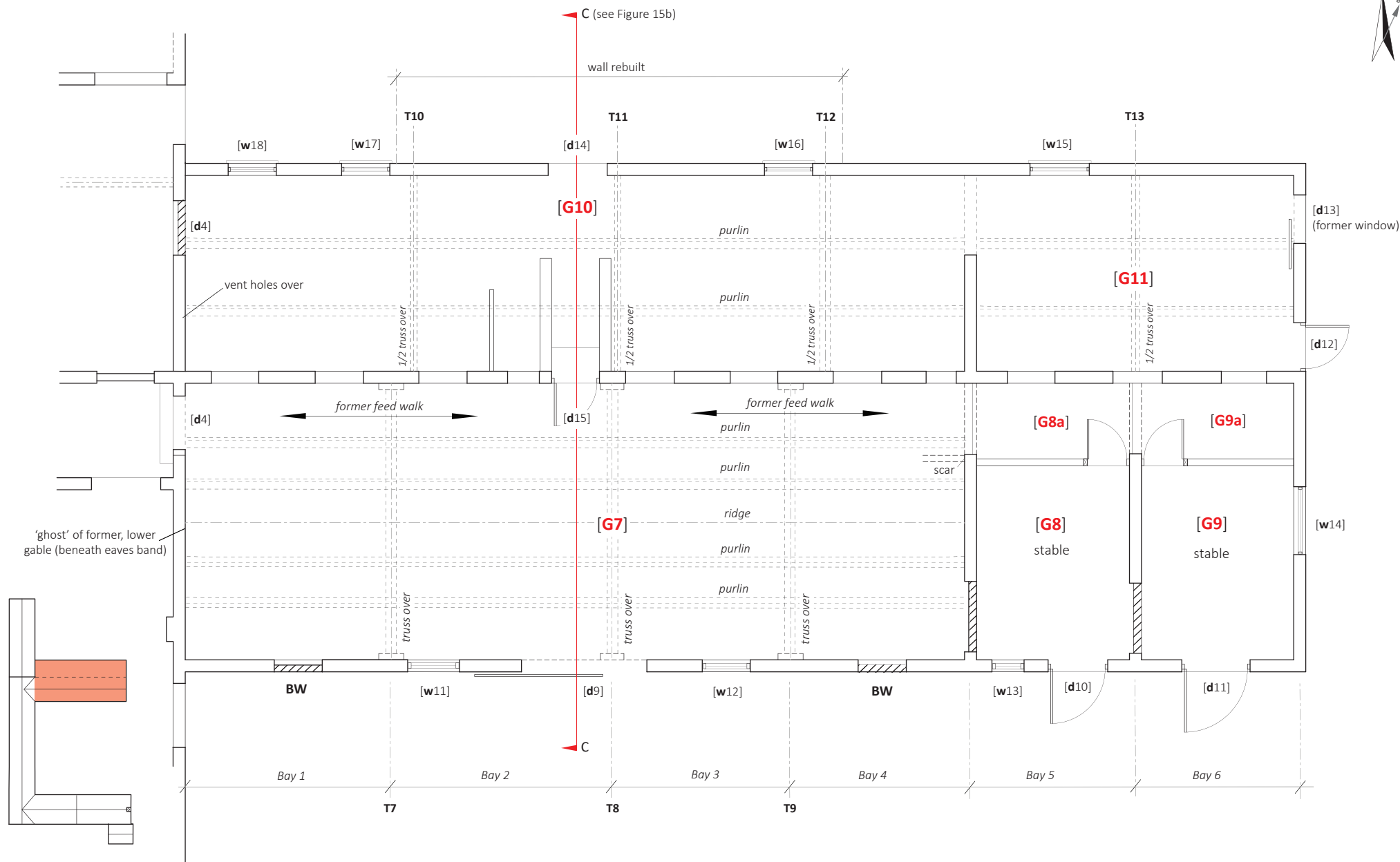
NB. for illustrative purposes only, **do not** scale from this drawing

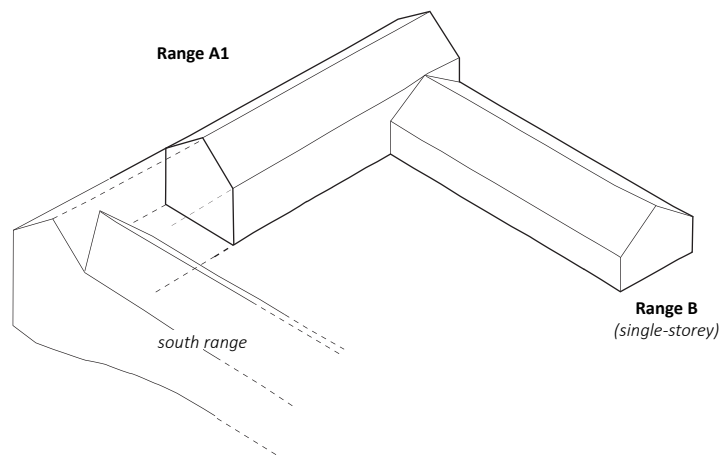


0 1 5m  
Scale in metres, 1:100 @ A4  
Scale in feet  
0 5 15ft.

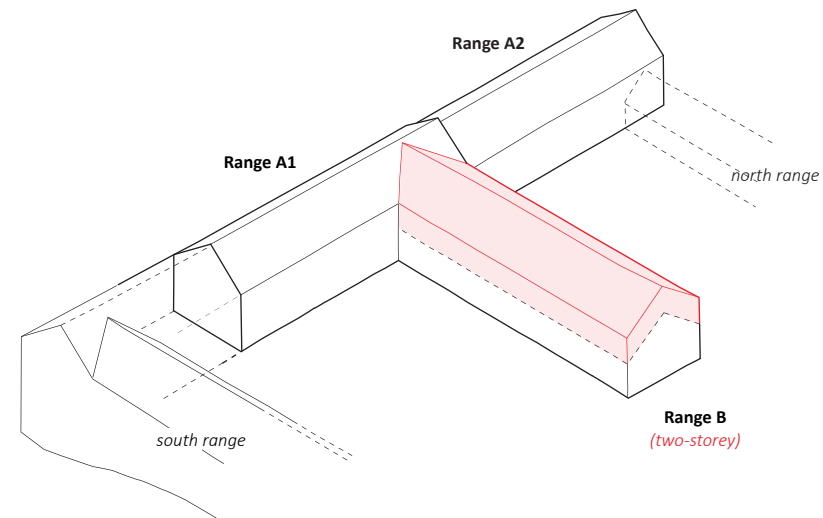


NB. for illustrative purposes only, do not scale from this drawing

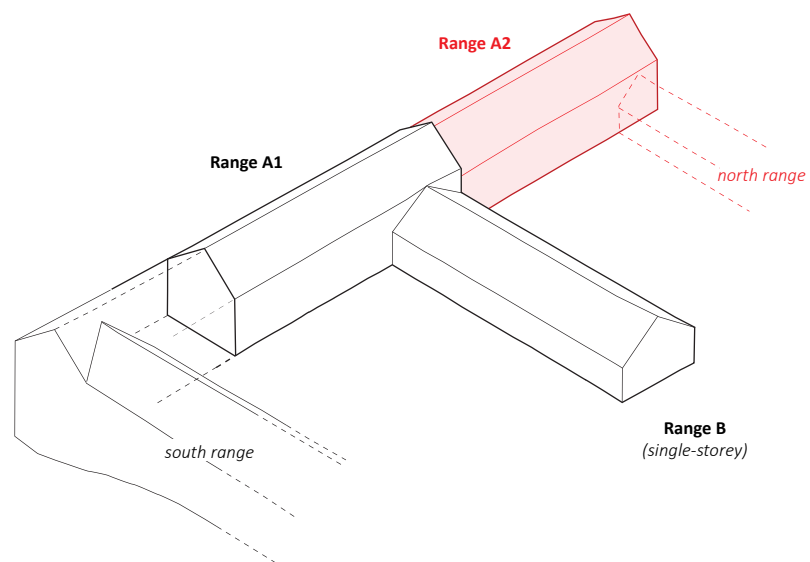




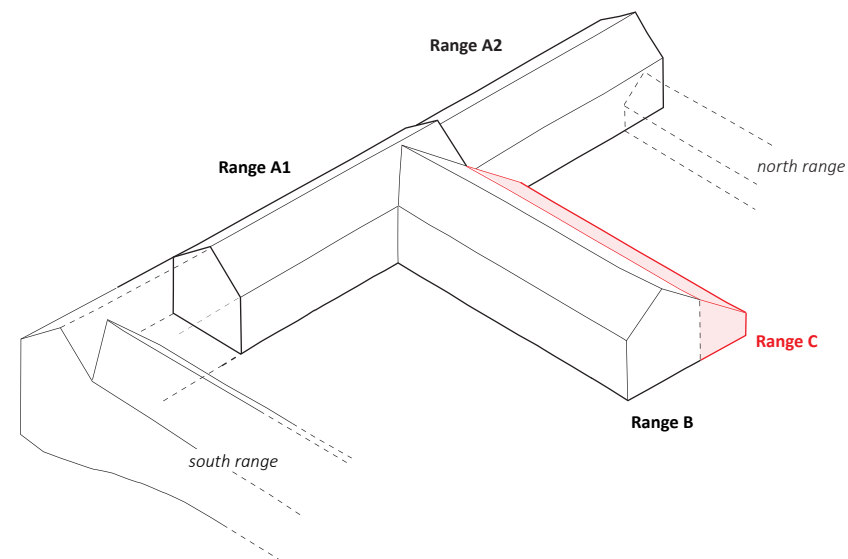
(a) Phase I; U-shaped complex around single yard



(c) Phase IIIa (raising of range B to 2 storeys, possibly contemporaneous with Phase IIIb)



(b) Phase II (addition of A2 and north range; extant in plan form by 1838)



(d) Phase IIIb (range C added 1880-1901)



**Plate 1:** Manor House Farm; principal elevation to east.



**Plate 2:** Manor House Farm; rear elevation to west (left-hand rear wing significantly modified and extended 1901-1924).





**Plate 3:** Remnants of former pig sties and associated boiler house to north of farmhouse.



**Plate 4:** Agricultural ranges to west of farmhouse, general view looking north-east (with farmhouse to right).





Plate 5: Agricultural ranges A1 (left) and B (right), general panoramic view looking north-west across southern foldyard.



Plate 6: Agricultural ranges B/C (centre) and A2 (right), general panoramic view looking south-west across former northern foldyard, with farmhouse to left.





**Plate 7:** Farmstead buildings looking east showing drop off in topography to west (C20<sup>th</sup> Dutch barn to foreground).



**Plate 8:** Drop off in topography to west, clearly evident at north end of range **A2**.





**Plate 9:** Agricultural ranges to west of farmhouse, general view looking north-east, with south arm of 'E' -plan to foreground and farmhouse to right.



**Plate 10:** Southern arm of 'E' -plan looking south-west; much altered.





**Plate 11:** South elevation of southern arm of 'E'-plan looking north-east; much altered (possibly all orig. single storey).



**Plate 12:** Detail of EGW bond brickwork.



**Plate 13:** Oversail eaves band (west elevation).





**Plate 14:** Discontinuity of coursing to south side of A1 (east elevation).



**Plate 15:** Discontinuity of coursing to south side of A1 (west elevation).



**Plate 16:** Varied pattress plates for paired (top) and single (bottom) transverse tie bars.





Plate 17: Range A1, east elevation to yard.



Plate 18: Range A1, east elevation to yard; detail of doors [d1] (left) and [d2] (right), [w19] and [d15] over.





Plate 19: Range A1, east elevation to yard, north end with complex pattern of GF brickwork north of door [d3].

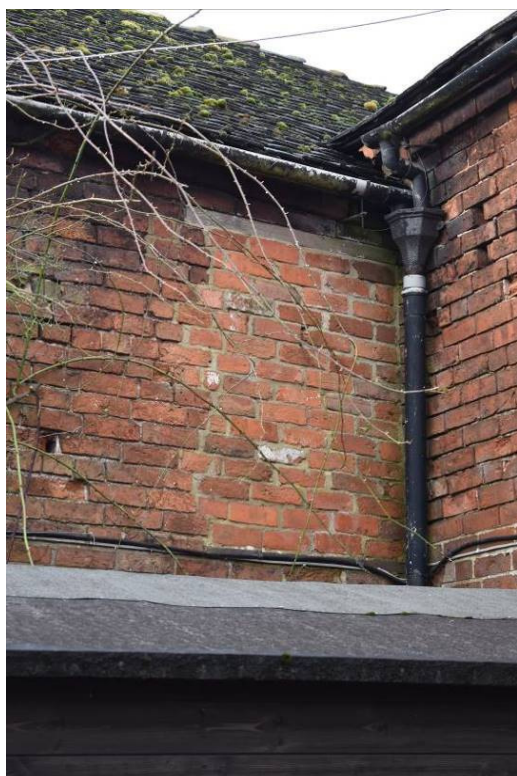


Plate 20: Range A1, 1F BW hard in angle with B.



Plate 21: West elevation of A1 (oblique).





**Plate 22:** South end of main range (incorp. **A1**) looking north-east (**NB.** south gable end entirely rebuilt)



**Plate 23:** Vertical SJ at Range **A1/A2**, west elevation.  
**NB.** variation in eaves height/details.

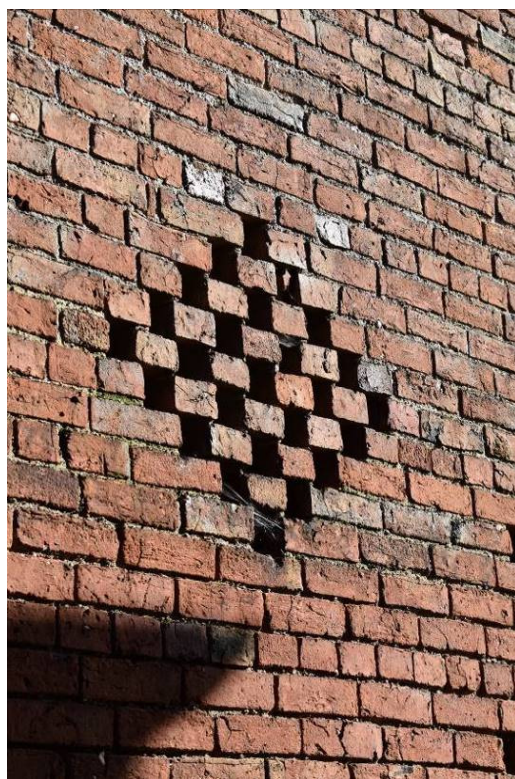


**Plate 24:** Variant roof lines at junction of Ranges **A1/A2**,  
**B** and **C**





**Plate 25:** Patching beneath [w10] (former door).



**Plate 26:** Geometric vent holes.



**Plate 27:** Rebuilt walling around 1F [d16], presumed to relate to removal of former projecting winch-bay.





Plate 28: 'Ghost' of roofslope of former projecting winch bay.



Plate 29: Room [G1a] looking west.



Plate 30: Room [G1b] looking west.





Plate 31: Room [G2] looking west.

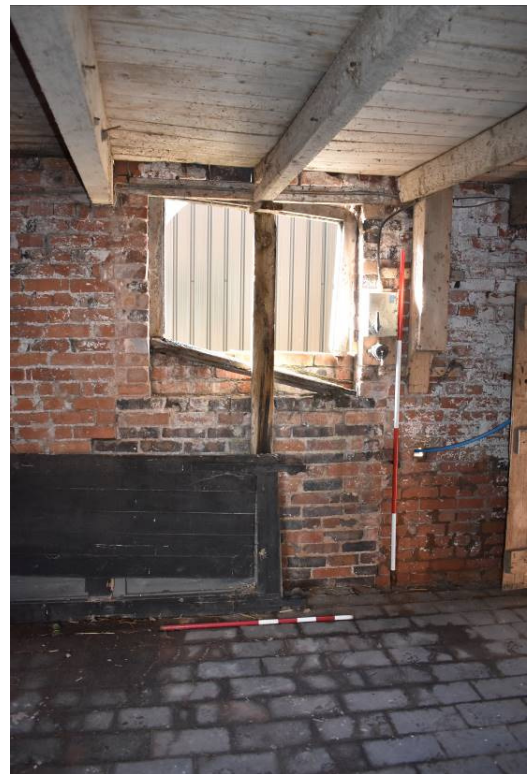


Plate 32: Window [w10] (former door) to west wall [G2].



Plate 33: East wall of [G2] with door [d3] to yard and adjacent, much reconstructed elevation.





**Plate 34:** South wall of [G2] showing blocked openings and location of grinding mill with hopper chute.



**Plate 35:** Detail of Corbett's 'Plymouth' grinding mill.



**Plate 36:** Detail of vacuum pump and reserve motor.





Plate 37: Room [G2] looking north; door to left opening onto feed walk [G3a].



Plate 38: Modern breeze-block stalling within [G3], with relic timber posts of former stalling.





**Plate 39:** Looking north along feed walk [G3a]



**Plate 40:** Looking south along feed walk [G3a].



**Plate 41:** Looking east along passage [G3b] towards door [d4] opening onto range B.



**Plate 42:** [G3] window [w1]; SJs beneath cill suggest former door.





Plate 43: Room [F1] looking south-east.



Plate 44: Room [F2] looking south.



Plate 45: Room [F2] looking north over stair rising from [G2]; note secondary brickwork to right of vertical SJ.





Plate 46: Room [F3] looking north-west.



Plate 47: Detail of iron tie bar.



Plate 48: Room [F3]; detail of winch gear.





Plate 49: Roof truss T2 over [F2] looking south-west.



Plate 50: Joggled base to bolted KP (T2).



Plate 51: Head of KP (T2).





**Plate 52:** Initials 'PSC' to soffit of tie beam truss **T2**, formed with race-knife.



**Plate 53:** Chiselled numerals to KP/tie of truss **T3**.



**Plate 54:** Carpenter's marks to roof over **[F1]**.





Plate 55: Brick support to truss T3 ([F3], east).



Plate 56: Corbelled brick pier supporting truss T2.  
NB. brick arch to [w10] below



Plate 57: Range A2, east elevation.





Plate 58: Range A2, detail of dentil-course eaves band.



Plate 59: Door [d6].

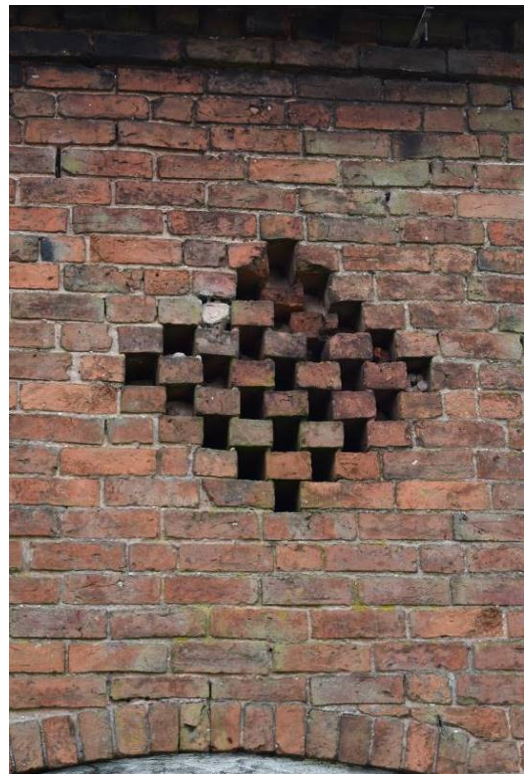


Plate 60: Window [w4]; formerly door.





**Plate 61:** 'Ghost' of north range roof profile to A2 above window [w4].



**Plate 62:** Geometric vent-holes.



**Plate 63:** Uneven brickwork (colour/bond) around window [w2] suggestive of former, wide doorway.





Plate 64: Range A2; west elevation (oblique).



Plate 65: Variation in eaves height / detail at A1/A2.



Plate 66: Door [d7]/window [w6].

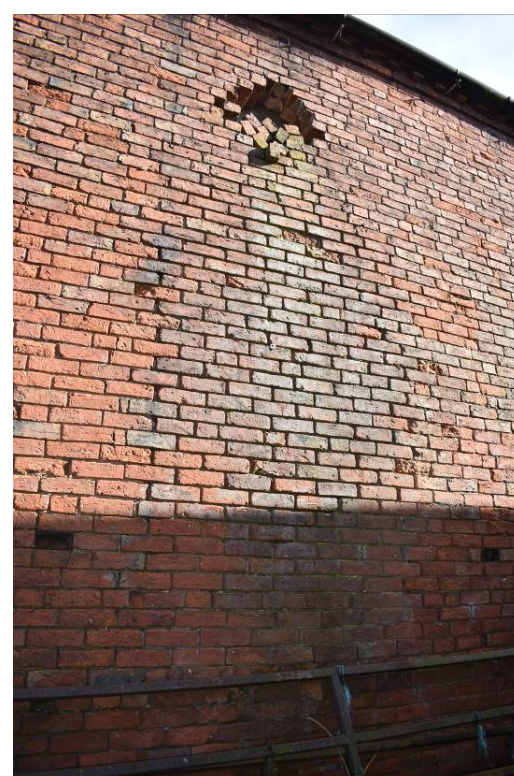


Plate 67: Blocked door to north end of west elevation.



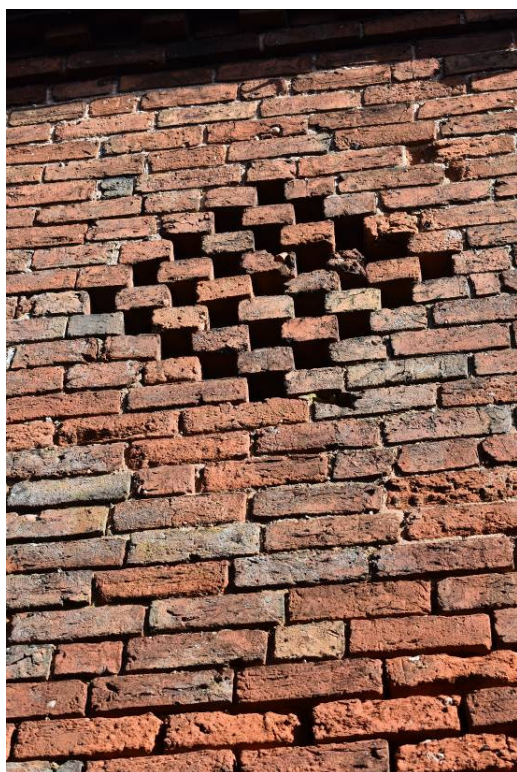


Plate 68: Geometric vent-holes.



Plate 69: Detail of [w7]/[w23].



Plate 70: Range A2; north gable end.



Plate 71: Former door in north gable end





**Plate 72:** Looking north along feed walk [G4a]; remnants of timber stalling to right.



**Plate 73:** SJ between A1/A2 (vis. in [G4a]).



**Plate 74:** Trimmed opening for former ladder access [G4a].





Plate 75: [G4] looking south-west.



Plate 76: Post with mortises for former stalling partitions.



Plate 77: Concrete pig pens within [G5].



Plate 78: Concrete pig pens within [G6].





Plate 79: Variant roof truss over range A2 (truss T4 looking north).



Plate 80: Bolted and pegged KP/tie (truss T4).



Plate 81: Detail of square-cut apex (T4).





**Plate 82:** Truss T6 over [G6] with location of carpenter's marks highlighted.



**Plate 83:** Detail of carpenter's marks; (?) '55' (circled) to tie beam of truss T6.

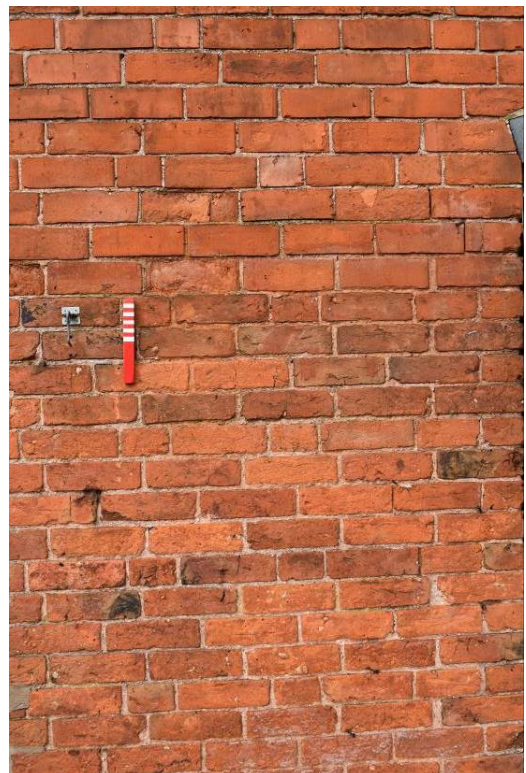




**Plate 84:** Range B, south elevation to foldyard.



**Plate 85:** Three variant ridge vent tiles.



**Plate 86:** Detail of brickwork, **NB.** change in character (interface immediately above 20cm photo scale)





Plate 87: Range B, detail of inserted door [d9].



Plate 88: Range B, detail of 1F circular pitching eye, (edged in bull-nosed blue brick).

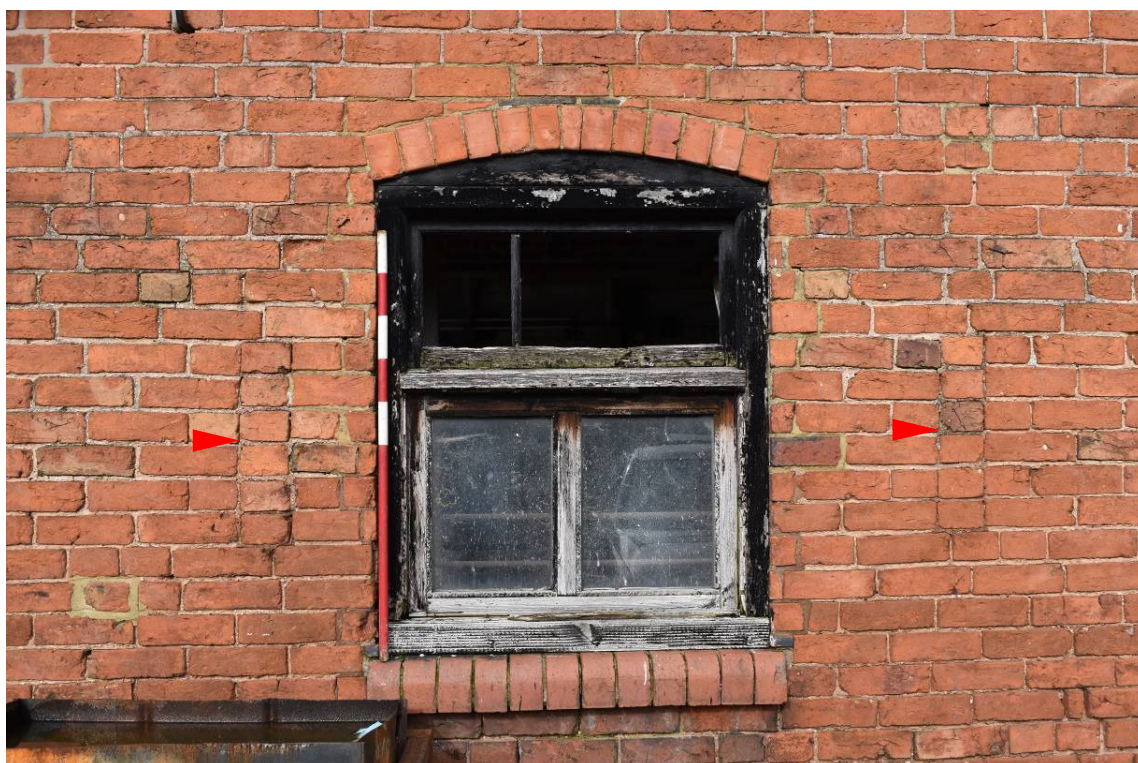


Plate 89: Range B, detail of window [w12] flanked by vertical vent slots (blocked, marked with arrows).





**Plate 90:** Paired doors [d10/11] serving stables [G8/9].

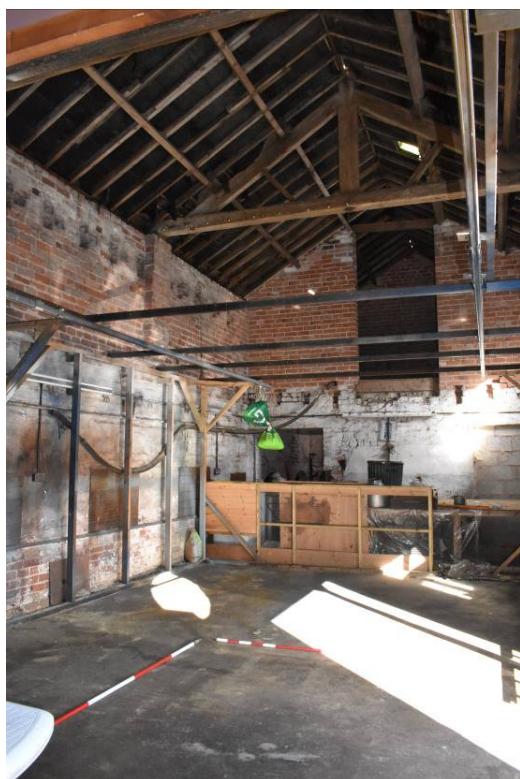


**Plate 91:** Ventilation holes to heightened south elevation.





**Plate 92:** Range B/C; east gable end; NB. consistent brick coursing to upper wall.



**Plate 93:** Range B [G7] looking east.

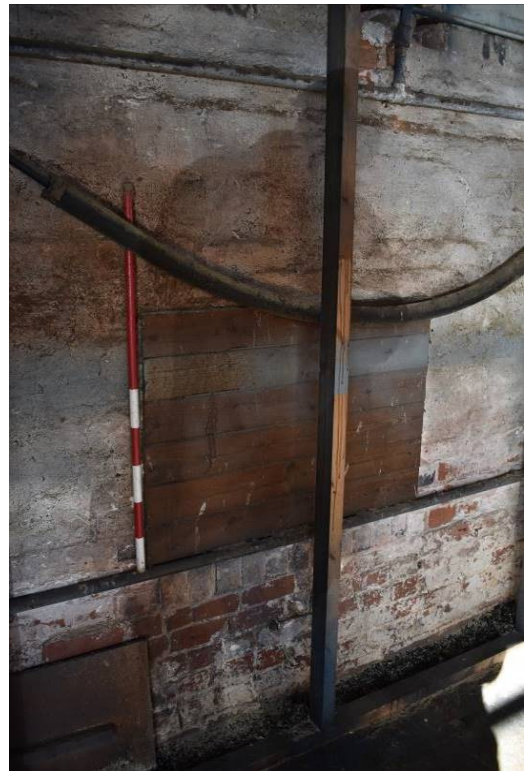


**Plate 94:** Range B [G7] looking west; [d15] to right.





**Plate 95:** Scar of former longitudinal feedwalk wall to east side of Bay 4.



**Plate 96:** Inserted feed hatch in north wall of Range B.



**Plate 97:** Feed hatch in north wall of Range B (see plate 88), as seen from building C.





**Plate 98:** 'Ghost' of former, lower roof-line visible to west of Range **B** above inserted spray booth. **NB.** secondary stretcher-bond brickwork above level of Range **A1** eaves band with brick piers formerly supporting single tier of side-purlins.



**Plate 99:** Stable [G8] looking north.



**Plate 100:** Stable [G9] looking north.





**Plate 101:** King-post roof truss over Range B (T9 looking east); NB. redundant trenches for former single side-purlins.



**Plate 102:** Brick pier supporting truss.



**Plate 103:** Range C, north elevation (oblique), looking west.





Plate 104: Range C, north elevation; largely rebuilt.



Plate 105: Range C, east elevation.



Plate 106: Range C, interior looking east.





Plate 107: Interior of range C, room [G10]; detail of stalling.



Plate 108: Former exterior window and vent holes of A2.





Plate 109: Roof truss T12 over [G10] (Range C), looking east.

**APPENDIX A:** Approved Written Scheme of Investigation (WSI)

## MANOR HOUSE FARM BARNs

Park Lane, Ashley, Staffordshire

### Written Scheme of Investigation for Historic Building Record

Planning Refs.: 19/00895/FUL and 19/00896/LBC

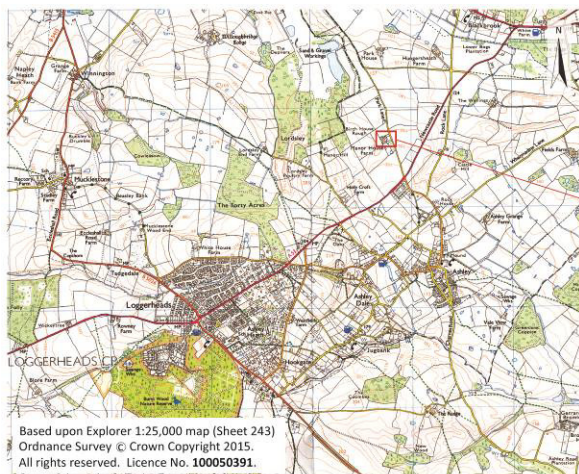
## 1 INTRODUCTION

### 1.1 Introduction to Project

- 1.1.1 The following document represents a **Written Scheme of Investigation** (WSI) for a programme of Historic Building Recording (HBR) to be undertaken in respect of a series of agricultural buildings at Manor House Farm, Park Lane, Ashley nr. Loggerheads, Staffordshire (see §.1.2). It has been prepared at the request from Mr. Nick Edge of Manor House Farm, in response to a condition of planning consent (see §.1.3) for residential conversion of the buildings.

### 1.2 The Site

- 1.2.1 Manor House Farm, formerly known as ‘Birch House’ down to the mid-19<sup>th</sup> century,<sup>1</sup> occupies an isolated, open rural site, 1.35km north of Ashley and 2.5km north-east of the village of Loggerheads (see inset below, left), in the civil parish of Loggerheads<sup>2</sup> on the southern-most edge of Newcastle-under-Lyme Borough in north-western Staffordshire; it is centred on NGR SJ 75735 37675 and lies at an elevation of c.150m AOD.



Location of Manor House Farm relative to Loggerheads.

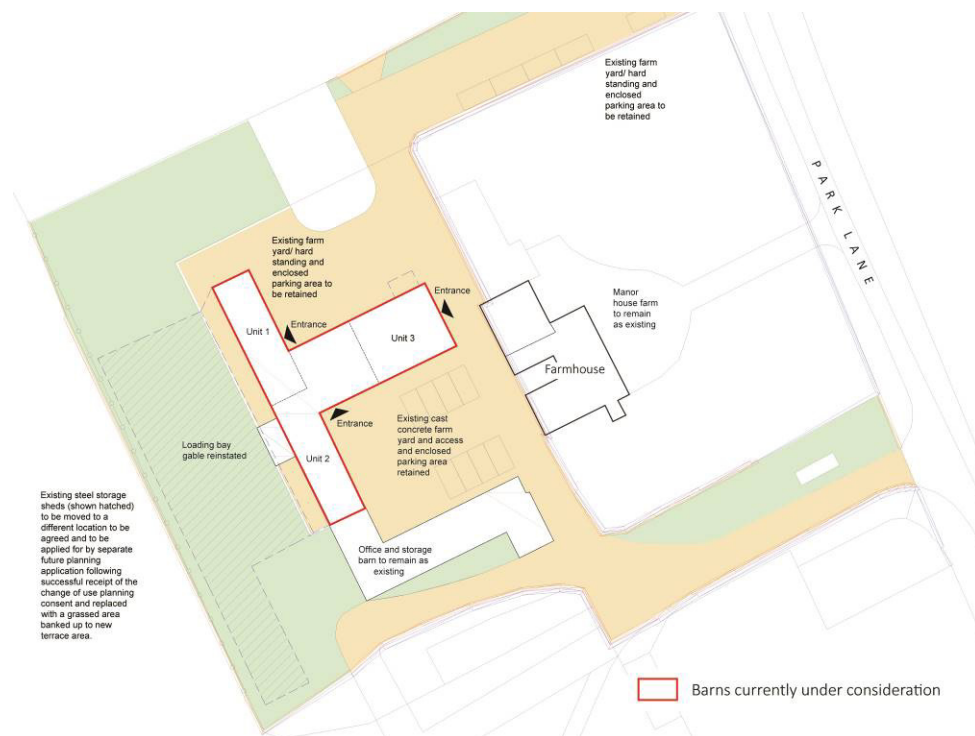


Arrangement of farmhouse and barns.

<sup>1</sup> Last recorded under this name in census returns of 1851.

<sup>2</sup> Formed in 1984 under local government boundary review, by the amalgamation of the former parishes of Tyrley, Muckleston and Ashley (Loggerheads PC 2019, 9).

- 1.2.2 The farmstead is centred on Manor House Farmhouse, a Grade II Listed building of late-18<sup>th</sup>-century origins (see §.1.4), set back behind a small formal garden fronting onto the western side of Park Lane, a country road leading north from the A53 Newcastle Road in the direction of Willoughbridge Wells.<sup>3</sup>
- 1.2.3 The buildings currently under consideration lie immediately adjacent to the farmhouse, with which they are historically associated, to the south-west, forming the remnants of an original E-shaped plan arranged around two foldyards (see inset, above right).<sup>4</sup> The barns date, most probably, to the late-18<sup>th</sup> or early-19<sup>th</sup> century, and are broadly contemporary with the farmhouse.
- 1.2.4 The barns are of traditional construction, brick-built, variously of one/two storeys beneath pitched and gabled, plain-tile clad roofs supported on timber king-post trusses of standard design. The buildings currently under consideration form a 'T'-shaped plan, with a long range aligned NW/SE and a perpendicular range aligned SW/NE, extending towards the rear of the farmhouse. The south-eastern range, previously converted in 2006/7 to office and storage use, does not form part of the current proposals (see inset plan below) while, as noted above, the early north-west range, formerly completing an 'E'-shaped plan, has been historically removed.



Block plan of site (based on Tarpey Woodfine Architects drawing no. 1062-09B of August 2018)

- 1.2.5 The submitted 'Design and Access Statement' (Tarpey Woodfine Architects, 2019) describes 'architectural features including plain brick gables with wet verges, brick corbelled eaves with black (replacement) UPVC

<sup>3</sup> Historically the seat of the Meynell-Ingrams, lords of the manor of Ashley in the late-19<sup>th</sup> century.

<sup>4</sup> The north-west range, evident on Ordnance Survey mapping of the late-19<sup>th</sup> century (see front cover), has been historically removed.



gutters on rise and fall brackets, timber windows with single glazing of varying quality, and periods and two bulls eye windows fronting onto the main farm yard, presumably for access to the hay loft. The barns also have a variety of different patterned brick perforated gaps originally providing ventilation to the hay loft.'

### 1.3 Planning Background

1.3.1 Planning applications (ref. **19/00895/FUL**<sup>5</sup> and **19/00896/LBC**<sup>6</sup>) were made on 6<sup>th</sup> November 2019 to Newcastle-under-Lyme Borough Council, under the terms of the Town and Country Planning Act, 1990<sup>7</sup> and the Planning (Listed Buildings and Conservation Areas) Act, 1990<sup>8</sup> in respect of the conversion of an existing 'barn' to three dwellings.

1.3.2 Works are summarised in the application documentation as follows:

*'The change of use of the north-west side of the barn to three separate residences, one for re-use as a dwelling and two for reuse as holiday lets. It is intended that the existing office and storage on the south-east side of the barn will be retained as existing'*

1.3.3 Details of proposed works are covered by planning drawings and by an accompanying 'Design and Access Statement' (Tarpey Woodfine Architects, 2019), previously submitted, and will not be repeated here.

1.3.4 The applications were approved by Newcastle-under-Lyme Borough Council, with conditions (19/00895/FUL Conditions 6/7; 19/00896/LBC Condition 5), on 13<sup>th</sup> February 2020.<sup>9</sup>

#### Requirement for Work

1.3.5 The Historic Building Record covered by the current WSI has been required by Newcastle-under-Lyme Borough Council on the advice of the archaeological officer of Staffordshire County Council under the terms of National Planning Policy Framework (NPPF, 2019; see §.1.3.7).

1.3.6 Specifically, archaeological advice from SCC, dated 12.12.2019,<sup>10</sup> recommended that:

*'...we would advise that there is the potential that the proposals would result in an adverse effect upon the archaeological interest of the proposed development site. Consequently, we would advise that archaeological mitigation be required as a condition of any planning permission granted... It is considered that in this instance, proportional mitigation would best take the form of an **Archaeological Building Recording, Level 3**' (see §.2.1 below).*

1.3.7 The full wording of the applied archaeological condition is as follows:

A. *'Prior to the commencement of the development hereby permitted, a written scheme of archaeological investigation (the scheme) shall be submitted for the written approval of the Local Planning Authority. The scheme shall provide details of*

<sup>5</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?previousCaseType=Property&keyVal=Q10POVBMILJ00&previousCaseNumber=000240BMBU000&previousCaseUpn=100031716157&activeTab=summary&previousKeyVal=0002JDBMLI000>

<sup>6</sup> <https://publicaccess.newcastle-staffs.gov.uk/online-applications/applicationDetails.do?keyVal=Q10POVBMILK00&activeTab=summary>

<sup>7</sup> <http://www.legislation.gov.uk/ukpga/1990/8/contents>

<sup>8</sup> <http://www.legislation.gov.uk/ukpga/1990/9/contents>

<sup>9</sup> <http://publicdocs.newcastle-staffs.gov.uk/AniteIM.WebSearch/Download.aspx?Download=00280839.pdf>

<sup>10</sup> <http://publicdocs.newcastle-staffs.gov.uk/AniteIM.WebSearch/Download.aspx?Download=00278128.pdf>

*the programme of archaeological works to be carried out within the site, including post-fieldwork reporting and appropriate publication.'*

- B. *'The archaeological site work shall thereafter be implemented in full accordance with the written scheme of archaeological investigation approved under condition (A).'*
- C. *'The development shall not be occupied until the site investigation and post-fieldwork assessment has been completed in accordance with the written scheme of archaeological investigation approved under condition (A) and the provision made for analysis, publication and dissemination of the results and archive deposition has been secured.'*

#### National Planning Policy Framework<sup>11</sup>

- 1.3.8 Government planning policy and guidance at a national level is set out in the Ministry of Housing, Communities and Local Government's (MoHC&LG) *National Planning Policy Framework* (NPPF; Revised 2019), section §.16 (p.54-57) of which addresses 'Conserving and Enhancing the Historic Environment' with the following paragraphs being pertinent:

**Para 189:**

*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.*

**Para. 199:**

*Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.*

## 1.4 Designations

### Statutory Designations

- 1.4.1 The barns currently under consideration are not statutorily listed in their own right though, in planning terms, they represent 'curtilage' buildings<sup>12</sup> of the adjacent, Grade II listed Manor House Farmhouse, which is described in the Statutory List of Buildings of Special Historical or Architectural Interest (Building ID **1280633**)<sup>13</sup> as follows:

SJ 73 NE  
9/5

LOGGERHEADS C.P

Ashley  
PARK LANE

**Manor House Farmhouse**

II

**Farmhouse.** Late C18 with later additions and alterations. Red brick (Flemish stretcher bond) with raised verges on stone

<sup>11</sup> <https://www.gov.uk/government/publications/national-planning-policy-framework--2>

<sup>12</sup> See Historic England (2018); *Historic Environment Good Practice Advice in Planning, Note 10: Listed Buildings and Curtilage.*

<sup>13</sup> <https://historicengland.org.uk/listing/the-list/list-entry/1280633>

kneelers, plain tile roof, 2 ridge stacks. 2 storeys and gable-lit attic; 4 windows, glazing bar sashes with gauged heads (now plastered); wide mid-C20 brick entrance porch with door in left-hand side in front of original round-headed central entrance (door and fanlight now removed). 2- storeyed projection at right angles to rear to left with another 2-storeyed extension (mid-C19), also at right angles, to right.

Listing NGR: SJ 75760 37687. Date first listed 14<sup>th</sup> May 1985.

### Non-Statutory Designations

- 1.4.2 The farmstead is included on the Staffordshire Historic Environment Record (HER), ref. **52869**,<sup>14</sup> and is thus acknowledged as a 'non-designated heritage asset' in its own right.<sup>15</sup> The HER entry describes the farmstead as follows:

'An isolated farmstead of probable late 18th century origin, possibly originally known as Birch House, but referred to as Manor House by the late 19th century. The farmstead originally comprised a regular, E-plan range with detached farmhouse. It survives with only some minor losses to the original plan and remains in agricultural use.'

#### NOTES:

- An isolated farmstead with regular E-plan yard, detached farmhouse and additional detached elements.
- The listed farmhouse is of late 18th century date providing a possible relative date for the origin of the farmstead.
- No buildings are indicated here on William Yates' map of 1775 however a cluster of buildings named as 'Birch House' are depicted at this location on the (circa) 1830s 1" Ordnance Survey mapping.
- By the later 19th century it appears to have been named 'Manor House', with a small orchard lying immediately to the south-east.
- The farmstead is still largely extant, although with some minor alterations and losses (including the north-west wing of the E-plan range).

- 1.4.3 The Grade II Listed farmhouse is independently recorded on the HER, ref. **11774**.<sup>16</sup>

## 2 AIMS AND OBJECTIVES

- 2.1 No formal project brief has been issued in respect of the recording work and the current WSI, prepared under the terms of condition 'A' above (§.1.3.6),<sup>17</sup> will thus form the basis for completion of the project. However, advice from SCC (§.1.3.5) stipulates a survey commensurate with a 'Level 3' record, defined by Historic England in 'Understanding Historic Buildings: A Guide to Good Recording Practice' (HE 2016, 26), as follows:

*'Level 3 is an **analytical record**, and will comprise an introductory description followed by a systematic account of the building's origins, development and use. The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail. It will also include all drawn and photographic records that may be required to illustrate the building's appearance and structure and to support an historical analysis'.*

<sup>14</sup> [https://www.heritagegateway.org.uk/Gateway/Results\\_Single.aspx?uid=MST14303&resourceID=1010](https://www.heritagegateway.org.uk/Gateway/Results_Single.aspx?uid=MST14303&resourceID=1010)

<sup>15</sup> NPPF defines a 'non-designated heritage asset' as a building, monument, site, place, areas or landscape identified by plan-making bodies as having a degree of heritage significance meriting consideration in planning decisions but not meeting the criteria for statutory designation.

<sup>16</sup> [https://www.heritagegateway.org.uk/Gateway/Results\\_Single.aspx?uid=MST6966&resourceID=1010](https://www.heritagegateway.org.uk/Gateway/Results_Single.aspx?uid=MST6966&resourceID=1010)

<sup>17</sup> See also Condition 7 of 19/00895/FUL.



### 3 METHODOLOGY

*NB. The study will be focussed on those areas of the complex immediately impacted by the consented development; the south-eastern parts of the complex, which are unaffected by current proposals will be addressed in outline terms only, so as to allow the recorded elements to be considered within their wider physical and historical context.*

#### 3.1 Documentary Research

- 3.1.1 At the time of preparation of the current WSI, Staffordshire County Record Office (SCRO) and William Salt Library (WSL), and their related archives services, remain closed to the public due to national 'lockdown' restrictions imposed in response to the COVID-19 pandemic. In the light of this, and further to consultation with the archaeological officer of Staffordshire County Council,<sup>18</sup> it has been agreed that, beyond a review of readily available, secondary on-line resources, documentary research will need to be deferred and undertaken at a later date, and will not be included within an 'interim' report on project results (see §.4.1 below).
- 3.1.2 Once accessible, a search will be made of all relevant and readily available published and unpublished documentary source material, including historic maps, early photographs, drawings, paintings and written descriptions, and primary and secondary sources related to the site and its wider environs held by the SCRO, the WSL and, if appropriate, by the National Monuments Record (NMR), Swindon. Results of this research will be incorporated into an expanded 'final' revision of the project report.
- 3.1.3 On the advice of the archaeological officer of Staffordshire County Council,<sup>19</sup> a full search of the county Historic Environment Record (HER) is not required, though HER records will be examined via 'heritage gateway'; copies of all available historical Ordnance Survey mapping will be obtained.

#### 3.2 Structural Recording and Analysis

- 3.2.1 The study will comprise an examination of all safely accessible areas of the buildings and the compilation of drawn, photographic and written records thereof, as follows:

##### *Drawn Record*

- 3.2.2 The drawn record will comprise the preparation of plans, cross-sections and elevations sufficient to illustrate the dimensions, features and construction, phasing and development of the buildings so far as practicable from a non-intrusive survey. Records will be based upon pre-existing survey data where available,<sup>20</sup> otherwise site drawings will be prepared at an appropriate scale in pencil on archivally stable drafting film, measurements being obtained by a combination of taped measurement and hand-held laser (disto). A register of site record drawings will be maintained recording subject, scale, date etc., and will be included as an appendix to the final report.

##### *Photographic Record*

- 3.2.3 To complement the drawn survey, a photographic record will be made comprising high resolution digital

<sup>18</sup> E-mail correspondence R. Tyler / S. Kelleher, 18.01.21.

<sup>19</sup> S Kelleher *pers. comm.* (e-mail correspondence, 20.02.20).

<sup>20</sup> Tarpey Woodfine Architects, drawing nos. 1062-02/03 of August 2018.

photography using a Nikon D3500 DSLR camera, commensurate with a 'Level 3' record. The survey will extend to include general and detailed shots, contextual views of the building within its wider site context, accessible external elevations, general and detail views of principal interior spaces, together with visible structural and decorative details (both external and internal). Where practically feasible, photographs will include graded photographic scales. A register of site photographs will be maintained recording subject, orientation, date and photographer, and will be included as an appendix to the final report.

#### *Written Record*

- 3.2.4 A written record will be maintained by way of annotations to site drawings and as free text to accompany the drawn and photographic records, and will form the basis for the building descriptions in the final report (see below). This will extend to cover a summary of the buildings form and type, its function (historically and at present), materials of construction, date and sequence of development so far as practicable from a non-intrusive survey.

### **3.3 Fieldwork Timetable**

- 3.3.1 Upon review and approval of the project WSI, documentary research and field survey will be undertaken at a time and to a timetable to be agreed, with the fieldwork element commencing, most probably, in early February 2021 (documentary research to be undertaken at a later date, tbc).
- 3.3.2 The archaeological officer of Staffordshire County Council will be invited to make a site visit during site work to review progress, should this be deemed appropriate (and should it be permissible under COVID-19 restrictions pertaining at the time of work).

## **4 REPORTING**

### **4.1 Report Format**

- 4.1.1 Upon completion of fieldwork, the results of the historic building record and assessment will be combined with provisional historical research and presented initially as an 'interim' report, conforming broadly to Annex 2 of the ClfA's *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*, though with interpretation based upon physical evidence alone in the first instance.<sup>21</sup>
- 4.1.2 Once associated historical research has been completed (at a date tbc, following the easing of COVID-19 restrictions and access to primary archival sources), the interim report will be revisited and expanded / enhanced as appropriate. The resultant report will be reissued as 'final' revision, contents as follows:

#### **Text**

- Non-technical summary;
- Introduction and site location;
- Aims and objectives;
- Methodology;

---

<sup>21</sup> The submission / approval of the interim report will allow for the provisional discharge of the recording condition, thereby allowing consented works to progress, with a caveat that the additional research and revised report are a necessary requirement for the full discharge of the condition (e-mail correspondence; R Tyler / S Kelleher, 18.01.21).

- Summary of documentary history;
- Systematic description of the buildings and their surviving/evidenced features;
- Discussion and conclusion;
- Detailed list of sources consulted.

### Illustrations

- Appropriate illustrations including location plan and a selection of historic maps/views as appropriate;
- Plans, elevations and cross-sections of the constituent buildings, sufficient to illustrate the appearance and development as apparent from historical sources and a non-intrusive examination;
- A selection of colour plates.

### Appendices

- Copy of this WSI;
- Register of project drawings;
- Register of project photographs.

## 4.2 Reporting Timetable

- 4.2.1 The 'interim' report will be prepared, normally within four weeks of the completion of site work. A draft copy of the report will be submitted to SCC archaeological officer in digital format (\*.PDF) for review/approval, so as to allow partial discharge of the condition and facilitate the progress of the consented scheme.
- 4.2.2 The 'final' revision will be issued once the SCRO etc. are publicly accessible and documentary research completed. Further to approval of the revised document, one spiral-bound hard copy and one digital PDF copy of the final report will be lodged with the County HER within three months of the completion of archival research.
- 4.2.3 A digital copy of the approved final revision of the report will be uploaded to OASIS, the on-line, grey-literature library of the Archaeology Data Service (ADS), while a short summary report of the results of the project will be prepared and submitted for inclusion within the relevant Council for British Archaeology (CBA) journal, viz. West Midlands Archaeology.

## 5 STAFFING

- 5.1 Documentary research, site recording and report preparation will be undertaken by Mr. Ric Tyler MCIfA (see profile at **Appendix A**).

## 6 PROFESSIONAL STANDARDS

- 6.1 The project will follow the requirements set down in the *Standard and Guidance for Archaeological Desk-Based Assessment* (CIfA, 2014a) and *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (CIfA 2014b). Recording work will conform to guidelines set down by Historic England's *Understanding Historic Buildings: a guide to good recording practice* (HE, 2016), and the Association of



Local Government Archaeological Officers' *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*, (ALGAO, 1997).

- 6.2 The *Code of Conduct of the Institute for Archaeologists* (ClfA, 2014c) will be adhered to at all times.

## 7 HEALTH AND SAFETY

- 7.1 All current health and safety legislation, regulations and guidance will be complied with during the course of the project.

## 8 REFERENCES

Association of Local Government Archaeological Officers (ALGAO), 1997. *Analysis and Recording for the Conservation and Control of Works to Historic Buildings*.

ClfA, 2014a. *Standard and Guidance for Archaeological Desk-Based Assessment*. University of Reading, IFA.

ClfA, 2014b. *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*. University of Reading, IFA.

ClfA, 2014c. *Code of Conduct*. University of Reading, IFA.

Historic England, 2016. *Understanding Historic Buildings: A Guide to Good Recording Practice*. (<https://historicengland.org.uk/images-books/publications/understanding-historic-buildings/heag099-understanding-historic-buildings/>).

Historic England, 2018. *Historic Environment Good Practice Advice in Planning, Note 10: Listed Buildings and Curtilage*. (<https://historicengland.org.uk/images-books/publications/listed-buildings-and-curtilage-advice-note-10/heag125-listed-buildings-and-curtilage/>).

Loggerheads Parish Council, 2019. 'Loggerheads Neighbourhood Plan 2013-2033 Version 2.20 (15.2.2019)'. ([https://www.newcastle-staffs.gov.uk/sites/default/files/IMCE/Planning/Planning\\_Policy/Neighbourhood/Neighbourhood\\_Plan\\_V2.20\\_Made\\_final.pdf](https://www.newcastle-staffs.gov.uk/sites/default/files/IMCE/Planning/Planning_Policy/Neighbourhood/Neighbourhood_Plan_V2.20_Made_final.pdf)).

Ministry of Housing, Communities and Local Government, 2019. *National Planning Policy Framework*. ([https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/810197/NP\\_PF\\_Feb\\_2019\\_revised.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/810197/NP_PF_Feb_2019_revised.pdf)).

Tarpey Woodfine Architects, 2019. Conversion of former agricultural barn at Manor Farm, Park Lane, Market Drayton: Design and Access Statement. (<http://publicdocs.newcastle-staffs.gov.uk/AniteIM.WebSearch/Download.aspx?Download=00277057.pdf>).

## APPENDIX B: Register of Project Photographs

**NB:** All photographs taken with Nikon D3500 digital SLR camera, 10 mega-pixels. Photos highlighted in **BOLD** are reproduced as plates within the current document, with plate references at Column 2.

Photo No.	Plate No.	Subject	Orientation	Date	Photographer
DSC_0001		Farmhouse looking west (portrait)	→ W	22.02.21	R Tyler
DSC_0002	<b>1</b>	Farmhouse looking west (landscape)	→ W	22.02.21	R Tyler
DSC_0003		Farmhouse looking west (landscape)	→ W	22.02.21	R Tyler
DSC_0004		Looking towards farm outbuildings from the south-east	→ NW	22.02.21	R Tyler
DSC_0005		Southern arm of E-plan looking north-west	→ NW	22.02.21	R Tyler
DSC_0006	<b>11 (crop)</b>	Southern arm of E-plan looking north	→ N	22.02.21	R Tyler
DSC_0007		Looking across southern foldyard	→ SW	22.02.21	R Tyler
DSC_0008	<b>10</b>	Southern arm of E-plan looking south-west	→ SW	22.02.21	R Tyler
DSC_0009	<b>3</b>	Former piggeries to north of farmhouse	→ NE	22.02.21	R Tyler
DSC_0010		Former piggeries to north of farmhouse	→ S	22.02.21	R Tyler
DSC_0011	<b>6</b>	Looking south towards farmhouse and outbuildings (panorama 1)	→ S	22.02.21	R Tyler
DSC_0012	<b>6</b>	Range <b>B/C</b> looking south-west (panorama 2)	→ SW	22.02.21	R Tyler
DSC_0013	<b>6</b>	Range <b>B/C</b> and <b>A2</b> looking south-west (panorama 3)	→ SW	22.02.21	R Tyler
DSC_0014	<b>6</b>	Range <b>A2</b> looking west (panorama 4)	→ W	22.02.21	R Tyler
DSC_0015	<b>17</b>	Range <b>A1</b> ; east elevation to foldyard	→ W	22.02.21	R Tyler
DSC_0016		South range of E plan; 2-storey section to west	→ SW	22.02.21	R Tyler
DSC_0017		South range of E plan; single-storey section to east	→ S	22.02.21	R Tyler
DSC_0018		South range of E plan; south-eastern extension	→ NW	22.02.21	R Tyler
DSC_0019		Range <b>A1</b> ; east elevation to foldyard	→ W	22.02.21	R Tyler
DSC_0020		Range <b>A1</b> ; east elevation to foldyard (south)	→ W	22.02.21	R Tyler
DSC_0021		Range <b>A1</b> ; east elevation to foldyard (south)	→ NW	22.02.21	R Tyler
DSC_0022	<b>14</b>	Discontinuity to coursing at south end of <b>A1</b>	→ W	22.02.21	R Tyler
DSC_0023		East elevation of main range, unrecorded section to south of <b>A1</b>	→ W	22.02.21	R Tyler
DSC_0024	<b>18</b>	Range <b>A1</b> ; east elevation to foldyard (south); doors <b>[d1/2]</b>	→ W	22.02.21	R Tyler
DSC_0025		Range <b>A1</b> ; east elevation to foldyard (south)	→ NW	22.02.21	R Tyler
DSC_0026		Range <b>A1</b> ; east elevation to foldyard (south)	→ SW	22.02.21	R Tyler
DSC_0027		Range <b>A1</b> ; east elevation to foldyard; door <b>[d3]</b>	→ W	22.02.21	R Tyler
DSC_0028		Range <b>A1</b> ; east elevation to foldyard (north)	→ NW	22.02.21	R Tyler
DSC_0029		Range <b>A1</b> ; east elevation to foldyard (north)	→ NW	22.02.21	R Tyler
DSC_0030	<b>20</b>	Range <b>A1</b> ; east elevation to foldyard (north); blocked window to 1F	→ NW	22.02.21	R Tyler
DSC_0031		Range <b>B</b> ; south elevation, west end	→ N	22.02.21	R Tyler
DSC_0032	<b>87</b>	Range <b>B</b> ; south elevation, door <b>[d9]</b> (portrait)	→ N	22.02.21	R Tyler
DSC_0033		Range <b>B</b> ; south elevation, door <b>[d9]</b> (landscape)	→ N	22.02.21	R Tyler
DSC_0034		Range <b>B</b> ; south elevation, detail of enlarged door <b>[d9]</b>	→ N	22.02.21	R Tyler
DSC_0035	<b>88</b>	Range <b>B</b> ; south elevation, detail of 1F pitching eye	↑	22.02.21	R Tyler
DSC_0036	<b>91 (crop)</b>	Range <b>B</b> ; south elevation, detail of 1F vent holes	↑	22.02.21	R Tyler
DSC_0037		Range <b>B</b> ; south elevation, detail of window <b>[w12]</b> (portrait)	→ N	22.02.21	R Tyler
DSC_0038	<b>89</b>	Range <b>B</b> ; south elevation, detail of window <b>[w12]</b> (landscape)	→ N	22.02.21	R Tyler
DSC_0039	<b>90</b>	Range <b>B</b> ; south elevation, east end	→ N	22.02.21	R Tyler
DSC_0041		Range <b>B</b> ; south elevation, east end; detail of stable door <b>[d10]/[w13]</b>	→ N	22.02.21	R Tyler
DSC_0042	<b>85a</b>	Range <b>B</b> ; detail of ridge vent (1)	↑	22.02.21	R Tyler
DSC_0043	<b>85b</b>	Range <b>B</b> ; detail of ridge vent (2)	↑	22.02.21	R Tyler
DSC_0044	<b>85c</b>	Range <b>B</b> ; detail of ridge vent (3)	↑	22.02.21	R Tyler
DSC_0045		Range <b>B</b> ; detail of ¼-brick oversail eaves band	↑	22.02.21	R Tyler
DSC_0046	<b>84</b>	Range <b>B</b> ; south elevation, oblique	→ NW	22.02.21	R Tyler
DSC_0047	<b>92</b>	Range <b>B/C</b> ; east elevation	→ W	22.02.21	R Tyler
DSC_0048		Range <b>B</b> ; east gable elevation	→ W	22.02.21	R Tyler
DSC_0049		Range <b>B/C</b> ; east elevation (oblique)	→ SW	22.02.21	R Tyler
DSC_0050	<b>105</b>	Range <b>C</b> ; east elevation	→ W	22.02.21	R Tyler
DSC_0051		Range <b>C</b> ; east elevation; <b>[d12/13]</b> and blocked door	→ E	22.02.21	R Tyler
DSC_0052		Range <b>C</b> ; east elevation; <b>[d13]</b> and bull-nosed NE angle	→ SW	22.02.21	R Tyler
DSC_0053	<b>57</b>	Range <b>A2</b> ; east elevation to foldyard	→ SW	22.02.21	R Tyler
DSC_0054	<b>61</b>	Range <b>A2</b> ; east elevation, north end <b>[w4]</b> (former door)	→ W	22.02.21	R Tyler
DSC_0055	<b>60</b>	Range <b>A2</b> ; east elevation to foldyard	detail	22.02.21	R Tyler

DSC_0056	62	Range A2; east elevation (1F); geometric pattern of vent holes	detail	22.02.21	R Tyler
DSC_0057	58 (crop)	Range A2; east elevation; detail of dentil-course eaves band	↑	22.02.21	R Tyler
DSC_0058		Range A2; east elevation; detail of dentil-course eaves band	↑	22.02.21	R Tyler
DSC_0059	59	Range A2; east elevation; door [d6]	→ W	22.02.21	R Tyler
DSC_0060		Range A2; east elevation; door [d6]/[w21]	→ W	22.02.21	R Tyler
DSC_0061	63 (crop)	Range A2; east elevation; south end - door [d5]/[w2]	→ W	22.02.21	R Tyler
DSC_0062		Range A2; east elevation; central section - [w2/3]	→ W	22.02.21	R Tyler
DSC_0063		Range A2; north end; door [d6]/[w4]	→ W	22.02.21	R Tyler
DSC_0064	104	Range C; north elevation oblique	→ SE	22.02.21	R Tyler
DSC_0065		Range C; north elevation, west end	→ S	22.02.21	R Tyler
DSC_0066		Range C; north elevation, west end; detail of [w18]	detail	22.02.21	R Tyler
DSC_0067		Range C; north elevation, west end; detail of [w17]	detail	22.02.21	R Tyler
DSC_0068	103	Range C; north elevation oblique	→ SW	22.02.21	R Tyler
DSC_0069	24	Junction of ranges A1, A2 and B/C	↑	22.02.21	R Tyler
DSC_0070		Range A2; north gable end	→ S	22.02.21	R Tyler
DSC_0071	71	Range A2; former narrow door in north gable end	→ S	22.02.21	R Tyler
DSC_0072		Range A2; north gable end showing sockets for former pent roof	→ SE	22.02.21	R Tyler
DSC_0073		Range A2; north gable end showing sockets for former pent roof	→ SE	22.02.21	R Tyler
DSC_0074	64	Range A2; west elevation (oblique)	→ S	22.02.21	R Tyler
DSC_0075	67	Range A2; west elevation, north end; discoloured brick reflecting blocked GF doorway	detail	22.02.21	R Tyler
DSC_0076		Range A2; west elevation [w5/22]	↑	22.02.21	R Tyler
DSC_0077	68	Range A2; west elevation (1F); geometric pattern of vent holes	↑	22.02.21	R Tyler
DSC_0078	66	Range A2; west elevation [w6/d7]	→ SE	22.02.21	R Tyler
DSC_0079		Range A2; west elevation [w7]	→ E	22.02.21	R Tyler
DSC_0080	69	Range A2; west elevation [w7/23]	↑	22.02.21	R Tyler
DSC_0081		Range A1/A2: vertical straight-joint in west elevation	→ SE	22.02.21	R Tyler
DSC_0082	65	Range A1/A2: vertical straight-joint in west elevation	↑	22.02.21	R Tyler
DSC_0083		Range A1/A2: vertical straight-joint in west elevation	→ SE	22.02.21	R Tyler
DSC_0084	23	Range A1/A2: vertical straight-joint in west elevation	↑	22.02.21	R Tyler
DSC_0085		Range A1/A2: vertical straight-joint in west elevation	→ SE	22.02.21	R Tyler
DSC_0086	27	Range A1; area of patching around 1F [d16]	↑	22.02.21	R Tyler
DSC_0087		Range A1; west elevation, oblique	→ NE	22.02.21	R Tyler
DSC_0088	21	Range A1; west elevation, oblique	→ NE	22.02.21	R Tyler
DSC_0089		Range A1; detail of ¼-brick oversail eaves band	↑	22.02.21	R Tyler
DSC_0090		Range A1; west elevation, south end oblique [w25] and vents	→ SE	22.02.21	R Tyler
DSC_0091	26	Range A1; west elevation; geometric pattern of vent holes (GF)	detail	22.02.21	R Tyler
DSC_0092		South gable of main range and south arm of E plan, south elevation	→ NE	22.02.21	R Tyler
DSC_0093	22 (crop)	Agricultural outbuildings; general view looking north-east	→ NE	22.02.21	R Tyler
DSC_0094	31	Range A1; room [G2] looking west	→ W	22.02.21	R Tyler
DSC_0095	32	Range A1; room [G2], [w10] (former door)	→ W	22.02.21	R Tyler
DSC_0096	34	Range A1; room [G2] looking south	→ S	22.02.21	R Tyler
DSC_0097		Range A1; room [G2]; detail of Corbett's grinding mill	→ SE	22.02.21	R Tyler
DSC_0098		Range A1; room [G2]; detail of Corbett's makers plate	detail	22.02.21	R Tyler
DSC_0099		Range A1; room [G2]; detail of Corbett's grinding mill	detail	22.02.21	R Tyler
DSC_0100	35	Range A1; room [G2]; detail of Corbett's grinding mill	→ SW	22.02.21	R Tyler
DSC_0101		Range A1; room [G2]; detail of Corbett's grinding mill	→ SW	22.02.21	R Tyler
DSC_0102		Range A1; room [G2]; detail of trimmed chute feeding mill	↑	22.02.21	R Tyler
DSC_0103		Range A1; room [G2]; reserve motor adj. [d3]	detail	22.02.21	R Tyler
DSC_0104		Range A1; room [G2]; reserve motor adj. [d3]	detail	22.02.21	R Tyler
DSC_0105		Range A1; room [G2]; reserve motor adj. [d3]	detail	22.02.21	R Tyler
DSC_0106		Range A1; room [G2]; vacuum pump	detail	22.02.21	R Tyler
DSC_0107	36	Range A1; room [G2]; vacuum pump and reserve motor adj. [d3]	detail	22.02.21	R Tyler
DSC_0108		Range A1; room [G2]; vacuum pump and reserve motor adj. [d3]	detail	22.02.21	R Tyler
DSC_0109		Range A1; room [G2]; inserted brick stair rising against north wall	→ NE	22.02.21	R Tyler
DSC_0110		Range A1; room [G2]; inserted brick stair rising against north wall	→ NE	22.02.21	R Tyler
DSC_0112	37	Range A1; room [G2]; inserted brick stair rising against north wall	→ NE	22.02.21	R Tyler
DSC_0113		Range A1; room [G2]; inserted brick stair rising against north wall	→ E	22.02.21	R Tyler
DSC_0114		Range A1; room [G2]; door to [G3a]	→ N	22.02.21	R Tyler
DSC_0116		Range A1; room [G3]; looking north along feedwalk [G3a]	→ N	22.02.21	R Tyler
DSC_0118a	39	Range A1; room [G3]; looking north along feedwalk [G3a]	→ N	22.02.21	R Tyler
DSC_0119		Range A1; room [G3]; looking south along feedwalk [G3a]	→ S	22.02.21	R Tyler



DSC_0120	40	Range A1; room [G3]; looking south along feedwalk [G3a]	→ S	22.02.21	R Tyler
DSC_0121		Range A1; room [G3]; looking south along feedwalk [G3a]	→ S	22.02.21	R Tyler
DSC_0122		Range A1; room [G3]; looking south-west over stalling (landscape)	→ SW	22.02.21	R Tyler
DSC_0123		Range A1; room [G3]; looking south-west over stalling (landscape)	→ SW	22.02.21	R Tyler
DSC_0124	38	Range A1; room [G3]; looking south-west over stalling (landscape)	→ SW	22.02.21	R Tyler
DSC_0125		Range A1; room [G3]; looking south-west over stalling (portrait)	→ SW	22.02.21	R Tyler
DSC_0126		Range A1; room [G3]; looking south-west over stalling	→ SW	22.02.21	R Tyler
DSC_0127		Range A1; room [G3]; looking south-west over stalling	→ SW	22.02.21	R Tyler
DSC_0128		Range A1; room [G3]; detail of water point (Burgess Ltd. Stafford)	detail	22.02.21	R Tyler
DSC_0130		Burgess Ltd, Stafford; maker's mark	detail	22.02.21	R Tyler
DSC_0131	42	Range A1; room [G3]; [w1] to east wall (former door)	→ SE	22.02.21	R Tyler
DSC_0132		Range A1; detail of ceiling structure over [G3]	↑	22.02.21	R Tyler
DSC_0135	41	Range A1; looking east along passage [G3b] (blocked door to range B)	→ E	22.02.21	R Tyler
DSC_0136	72	Range A2; looking north along feedwalk [G4a]	→ N	22.02.21	R Tyler
DSC_0137		Range A2; looking north along feedwalk [G4a]	→ N	22.02.21	R Tyler
DSC_0138		Range A2; detail of crushed brick floor to along feedwalk [G4a]	↓	22.02.21	R Tyler
DSC_0139	73	Range A1/A2; detail of straight joint between ranges (vis. in [G4a])	→ SW	22.02.21	R Tyler
DSC_0140		Range A2; looking north-east over stalling, [G5]	→ NE	22.02.21	R Tyler
DSC_0141	77	Range A2; looking south-east over stalling, [G5]	→ SE	22.02.21	R Tyler
DSC_0142	78	Range A2; looking south over stalling, [G6]	→ S	22.02.21	R Tyler
DSC_0143		Range A2; projecting pier of brickwork supporting truss T6 over [G6]	↑	22.02.21	R Tyler
DSC_0144	82/83	Range A2; truss T6 seen from floor level ([G6])	↑	22.02.21	R Tyler
DSC_0145		Range A2; truss T6 detail of bolted KP	↑	22.02.21	R Tyler
DSC_0146		Range A2; truss T6 seen from floor level ([G6])	↑	22.02.21	R Tyler
DSC_0147		Range A2; room [G6] – blocked door to northend west wall	→ NW	22.02.21	R Tyler
DSC_0148	75	Range A2; looking south-west across [G4]	→ SW	22.02.21	R Tyler
DSC_0150	76	Range A2; relic timber stall partition, [G4]	→ W	22.02.21	R Tyler
DSC_0151		Range A2; water trough to SW corner [G4]	→ SW	22.02.21	R Tyler
DSC_0152		Range A2; looking north over stalling, [G6]	→ N	22.02.21	R Tyler
DSC_0153		Range A2; looking north over stalling, [G6]	→ N	22.02.21	R Tyler
DSC_0154		Range A2; window [w4], [G6]	detail	22.02.21	R Tyler
DSC_0155		Range A2; truss T5 looking south (landscape)	→ S	22.02.21	R Tyler
DSC_0156		Range A2; truss T5 looking south (portrait)	→ S	22.02.21	R Tyler
DSC_0157		Range A2; truss T5 looking south (portrait)	→ S	22.02.21	R Tyler
DSC_0158		Range A2; projecting pier of brickwork supporting truss T6 (W)	→ NW	22.02.21	R Tyler
DSC_0159		Range C; [G10] looking west	→ W	22.02.21	R Tyler
DSC_0160	106	Range C; [G10] looking east	→ E	22.02.21	R Tyler
DSC_0161		½-truss T10 over Range C, [G10]	↑	22.02.21	R Tyler
DSC_0162	109	½-truss T11 over Range C, [G10]	→ E	22.02.21	R Tyler
DSC_0163		Range C: purlin/cleat detail	↑	22.02.21	R Tyler
DSC_0164		Segmental-headed feeding hatch between Range B/C	detail	22.02.21	R Tyler
DSC_0165	97	Segmental-headed feeding hatch between Range B/C	detail	22.02.21	R Tyler
DSC_0166		Vent holes high in south wall of Range C	↑	22.02.21	R Tyler
DSC_0167		Range C, [G10] stalling	→ SW	22.02.21	R Tyler
DSC_0168		Range C, west wall of [G10] displaying former external features of Range A2 (viz. blocked window, geometric vent holes, eaves band)	→ W	22.02.21	R Tyler
DSC_0169		Range C, west wall of [G10] displaying former external features of Range A2 (viz. blocked window, geometric vent holes, eaves band)	→ W	22.02.21	R Tyler
DSC_0170		Range C, door communicating with range B	→ S	22.02.21	R Tyler
DSC_0171	94	Range B [G7] looking west	→ W	22.02.21	R Tyler
DSC_0173		Range B [G7] looking west	→ W	22.02.21	R Tyler
DSC_0174		Range B [G7] looking west	→ W	22.02.21	R Tyler
DSC_0175		Range B [G7] looking east	→ E	22.02.21	R Tyler
DSC_0176		Range B [G7] looking east	→ E	22.02.21	R Tyler
DSC_0177	93	Range B [G7] looking east	→ E	22.02.21	R Tyler
DSC_0178	96	[G7] north wall, inserted feeding hatch onto Range C	→ N	22.02.21	R Tyler
DSC_0179	98	[G7], west wall; 'ghost' of roof of former single-storey range (landscape)	→ W	22.02.21	R Tyler
DSC_0180		[G7], west wall; 'ghost' of roof of former single-storey range (portrait)	→ W	22.02.21	R Tyler
DSC_0181		Range B [G7] looking east	→ E	22.02.21	R Tyler
DSC_0182		Range B; [G7] south wall window [w12]	→ SW	22.02.21	R Tyler
DSC_0183		Range B; detail of circular pitching eye in raised south wall, [G7]	↑	22.02.21	R Tyler

DSC_0184		Range C; high level pitching hatch to north wall	↑	22.02.21	R Tyler
DSC_0185		Range C: segmental-headed feeding hatch between Range B/C	→ SE	22.02.21	R Tyler
DSC_0186	44	Range A1; room [F2] looking south into [F1]	→ S	22.02.21	R Tyler
DSC_0187		Range A1; room [F2] looking south into [F1]	→ S	22.02.21	R Tyler
DSC_0188		Range A1; room [F2], truss T2 (portrait)	→ SW	22.02.21	R Tyler
DSC_0189	49	Range A1; room [F2], truss T2 (landscape)	→ SW	22.02.21	R Tyler
DSC_0190		Truss T2; initials 'PSC' scribed to soffit of tiebeam	detail	22.02.21	R Tyler
DSC_0191	50	Truss T2; detail of bolted KP	detail	22.02.21	R Tyler
DSC_0192		Truss T2; detail of pegged PR/tie	detail	22.02.21	R Tyler
DSC_0193	51	Truss T2; detail of head of KP	Detail	22.02.21	R Tyler
DSC_0194		Range A1, room [F3] detail of surviving winch gear	→ SW	22.02.21	R Tyler
DSC_0195	48	Range A1, room [F3] detail of surviving winch gear	→ S	22.02.21	R Tyler
DSC_0196		Range A1, room [F3] detail of surviving winch gear	→ NW	22.02.21	R Tyler
DSC_0197	46	Range A1, room [F3] looking north	→ N	22.02.21	R Tyler
DSC_0198		Range A1, room [F3], truss T1	→ N	22.02.21	R Tyler
DSC_0199	79	Range A2, room [F4], truss T4	→ N	22.02.21	R Tyler
DSC_0200		Range A2, room [F4], truss T4	→ N	22.02.21	R Tyler
DSC_0201		Range A2, room [F4], truss T4	→ N	22.02.21	R Tyler
DSC_0202	80/81	Truss T4, detail of pegged/bolted KP	detail	22.02.21	R Tyler
DSC_0203		Truss T4, detail of pegged PR/tie	detail	22.02.21	R Tyler
DSC_0204		Range A1, room [F3], secondary brickwork to east above orig. eaves, contemp. raising of Range B	→ SE	22.02.21	R Tyler
DSC_0205		Range A1, room [F3], secondary brickwork to east above orig. eaves, contemp. raising of Range B	→ SE	22.02.21	R Tyler
DSC_0207		Range A1, room [F3] looking south	→ S	22.02.21	R Tyler
DSC_0208	2	Farmhouse, rear (western) aspect	→ E	22.02.21	R Tyler
DSC_0209		Range B; detail of moulded ridge vent tiles	→ N	22.02.21	R Tyler
DSC_0210	30	Range A1, room [G1b] looking west	→ W	22.02.21	R Tyler
DSC_0211		Range A1, room [G1b] looking west	→ W	22.02.21	R Tyler
DSC_0212		Range A1, room [G1a] looking west	→ W	22.02.21	R Tyler
DSC_0213	29	Range A1, room [G1a] looking west	→ W	22.02.21	R Tyler
DSC_0214		Range A1, room [G2] feed chute to west wall	detail	22.02.21	R Tyler
DSC_0215		Range A1, room [G2] feed chute to west wall	detail	22.02.21	R Tyler
DSC_0216		Range A1, room [F2] floor void over feed chute (DSC_0214/5)	detail	22.02.21	R Tyler
DSC_0217		Range A1, room [F1] looking south-west	→ SW	22.02.21	R Tyler
DSC_0218	43	Range A1, room [F1] looking south-east	→ SE	22.02.21	R Tyler
DSC_0219		Range A1, room [F1]; truss T3	→ S	22.02.21	R Tyler
DSC_0220	47 (crop)	Range A1, 1F cross wall with Fe ties	detail	22.02.21	R Tyler
DSC_0221	52	Truss T2; initials 'PSC' scribed to soffit of tiebeam	detail	22.02.21	R Tyler
DSC_0222		Range A1, cross wall to north side of [F2], NB vertical SJ	→ N	22.02.21	R Tyler
DSC_0223		Range A1, cross wall to north side of [F2], NB vertical SJ	→ N	22.02.21	R Tyler
DSC_0224		Range A1, truss T1, detail of numbering to KP/tie	detail	22.02.21	R Tyler
DSC_0225		Range A1, truss T2, detail of numbering to KP/tie	detail	22.02.21	R Tyler
DSC_0227	53 (crop)	Range A1, truss T3, detail of numbering to KP/tie	detail	22.02.21	R Tyler
DSC_0228		Range A1, room [F1] looking south	→ S	22.02.21	R Tyler
DSC_0229	45	Range A1, room [F2] looking north	→ N	22.02.21	R Tyler
DSC_0230	99	Range B; stable [G8] looking north	→ N	22.02.21	R Tyler
DSC_0231		Range B; stable [G8], door [d10]	→ N	22.02.21	R Tyler
DSC_0232		Range B; stable [G9] looking north	→ N	22.02.21	R Tyler
DSC_0233	100	Range B; stable [G9] looking north-east	→ NE	22.02.21	R Tyler
DSC_0234		Range A1, room [G2] vacuum pump to east wall (much altered)	→ NE	22.02.21	R Tyler
DSC_0235		Range A1, room [G2] vacuum pump to east wall (much altered)	→ E	22.02.21	R Tyler
DSC_0236		Range A1, room [G2] vacuum pump and reserve motor	↓	22.02.21	R Tyler
DSC_0237	19	Range A1, east wall (to [G2]); much altered	→ W	22.02.21	R Tyler
DSC_0238		Range A1, east wall [d3] (modified) with seg. arch over	→ W	22.02.21	R Tyler
DSC_0239		Range A1, east wall north of [d3]; much altered	→ W	22.02.21	R Tyler
DSC_0240		Range A1, east wall (to [G2]); much altered	→ W	22.02.21	R Tyler
DSC_0241		Discontinuity to coursing at south end of A1	→ W	22.02.21	R Tyler
DSC_0242	9	General view of farm ranges looking north-east	→ NE	22.02.21	R Tyler
DSC_0243		General view of Dutch barn and southern extension, looking north-east	→ NE	22.02.21	R Tyler
DSC_0244		General view towards farmstead from north-west	→ SE	22.02.21	R Tyler
DSC_0245	7	General view towards farmstead from north-west	→ SE	22.02.21	R Tyler

DSC_0246		General view towards farmstead from north-west	→ SE	22.02.21	R Tyler
DSC_0247		General view towards farmstead from north-west	→ SE	22.02.21	R Tyler
DSC_0248		General view towards farmstead from north-west	→ SE	22.02.21	R Tyler
DSC_0249	5	General view across foldyard towards range A1/B (panorama 1)	→ NW	01.03.21	R Tyler
DSC_0250	5	General view across foldyard towards range A1/B (panorama 2)	→ N	01.03.21	R Tyler
DSC_0251	5	General view across foldyard towards range A1/B (panorama 3)	→ N	01.03.21	R Tyler
DSC_0252		General view across foldyard towards range A1/B	→ NW	01.03.21	R Tyler
DSC_0253		General view across foldyard towards range A1/B	→ NW	01.03.21	R Tyler
DSC_0254		Range A1, east wall north of [d3]; much altered	→ W	01.03.21	R Tyler
DSC_0255		Range A1, east wall north of [d3] (int.); much altered	→ E	01.03.21	R Tyler
DSC_0256	33	Range A1, east wall north of [d3] (int.); much altered	→ E	01.03.21	R Tyler
DSC_0257		Range A1, room [G2] recess beneath stair to north side of room	→ NE	01.03.21	R Tyler
DSC_0262	74	Range A2; trimmed 1F opening over [G4a]	↑	01.03.21	R Tyler
DSC_0263		Range A1; truss T3 carpenters' marks (?) RT 50'	detail	01.03.21	R Tyler
DSC_0264	54a	Range A1; truss T3 carpenters' marks (?) RT 50'	detail	01.03.21	R Tyler
DSC_0265		Range A1, [F1]; (?) import marks to western purlin	detail	01.03.21	R Tyler
DSC_0266	54b	Range A1, [F1]; (?) import marks to western purlin	detail	01.03.21	R Tyler
DSC_0267		Range A1, [F1]; (?) import marks to western purlin	detail	01.03.21	R Tyler
DSC_0268		Range A1, [F2]; evidence for shafting?	detail	01.03.21	R Tyler
DSC_0269		Range A1, [F2]; evidence for shafting?	detail	01.03.21	R Tyler
DSC_0270		Range A1, [F2]; corbelled brick support for truss T2	→ SW	01.03.21	R Tyler
DSC_0271	56	Range A1, [F2]; corbelled brick support for truss T2	detail	01.03.21	R Tyler
DSC_0272		Range A2, [F4] looking NW	→ NW	01.03.21	R Tyler
DSC_0273		Range A2, [F4]; projecting brick support for truss T4	→ NW	01.03.21	R Tyler
DSC_0274		Range A2, Truss T4; detail of pegged/bolted KP/tie	detail	01.03.21	R Tyler
DSC_0275		Range A2, Truss T4; detail of KP/struts to upper purlin	→ N	01.03.21	R Tyler
DSC_0276		Range A2, Truss T4; detail of outer strutting to lower purlin	→ NW	01.03.21	R Tyler
DSC_0277	55	Range A1, [F3] brick support to T1	→ SE	01.03.21	R Tyler
DSC_0278		Range A1, room [F3] detail of surviving winch gear	→ S	01.03.21	R Tyler
DSC_0279		Range A1, room [F3] south wall incl. vertical SJ	→ S	01.03.21	R Tyler
DSC_0280	12	Range A1, detail of exterior EGW brickwork	detail	01.03.21	R Tyler
DSC_0281		Range A1, detail of interior cross-wall EGW brickwork (landscape)	detail	01.03.21	R Tyler
DSC_0282		Range A1, detail of interior cross-wall EGW brickwork (portrait)	detail	01.03.21	R Tyler
DSC_0283		Range A2, vaguely discernible carp. marks to tie-beam T6	↑	01.03.21	R Tyler
DSC_0284		Range A2, brick with large inclusions	detail	01.03.21	R Tyler
DSC_0285	86	Range B, exterior brickwork, south elevation (2 phases)	detail	01.03.21	R Tyler
DSC_0286	95	Range B, scar of former feedwalk wall in cross wall at Bay 4/5	detail	01.03.21	R Tyler
DSC_0287		Range B, scar of former feedwalk wall in cross wall at Bay 4/5	detail	01.03.21	R Tyler
DSC_0288	101	Range B, truss T9 looking east	↑	01.03.21	R Tyler
DSC_0289	102	Range B, corbelled brick support for roof truss	↑	01.03.21	R Tyler
DSC_0290		Range B, truss T8 looking west	→ W	01.03.21	R Tyler
DSC_0292	107	Range C; detail of stalling at [G10]	→ SW	01.03.21	R Tyler
DSC_0293		Range C; detail of stalling at [G10]	→ SW	01.03.21	R Tyler
DSC_0294	108	Range C, west wall of [G10] displaying former external features of Range A2 (viz. blocked window, geometric vent holes, eaves band)	→ W	01.03.21	R Tyler
DSC_0295		Range C, west wall of [G10] displaying former external features of Range A2 (viz. blocked window, geometric vent holes, eaves band)	→ SW	01.03.21	R Tyler
DSC_0296		Segmental-headed feeding hatch between Range B/C	detail	01.03.21	R Tyler
DSC_0297		Range C; detail of stalling at [G10]	→ SW	01.03.21	R Tyler
DSC_0299	15	Discontinuity to coursing at south end of A1 (west elevation)	→ NE	01.03.21	R Tyler
DSC_0300	25	Range A1, west elevation, [w10] (former door)	→ NE	01.03.21	R Tyler
DSC_0301		Range A1, [w10] reduced jamb (south)	↑	01.03.21	R Tyler
DSC_0302		Range A1, [w10] reduced jamb (north)	↑	01.03.21	R Tyler
DSC_0303		Range A1, west elevation window [w9]	↑	01.03.21	R Tyler
DSC_0305		Range A1, west elevation; detail of geometric vent holes	detail	01.03.21	R Tyler
DSC_0306	28	Range A1, west elevation; roof scar of former abutting hoist structure	↑	01.03.21	R Tyler
DSC_0307	13	Range A1: eaves band detail (west elevation)	↑	01.03.21	R Tyler
DSC_0308	8	Range A2, north gable end showing drop in ground level E→W	→ SE	01.03.21	R Tyler
DSC_0309		General view Range A2 (oblique) looking south-east	→ SE	01.03.21	R Tyler
DSC_0310		Range A2, north gable end showing drop in ground level E→W	→ SE	01.03.21	R Tyler
DSC_0311		Range A2, north gable end showing drop in ground level E→W	→ SE	01.03.21	R Tyler
DSC_0312	70	Range A2, north gable end	→ S	01.03.21	R Tyler



DSC_0313		Range <b>A2</b> ; east elevation	→ SW	01.03.21	R Tyler
DSC_0314		Range <b>B/C</b> ; north elevation	→ S	01.03.21	R Tyler
DSC_0315		Range <b>A1/B</b> seen across foldyard (panorama 1)	→ NW	01.03.21	R Tyler
DSC_0316		Range <b>A1/B</b> seen across foldyard (panorama 2)	→ NW	01.03.21	R Tyler
DSC_0317		Range <b>B</b> seen across foldyard (panorama 3)	→ N	01.03.21	R Tyler
DSC_0318		General view of farmstead from S	→ N	01.03.21	R Tyler
DSC_0319	<b>4</b>	General view of farmstead from S	→ N	01.03.21	R Tyler
DSC_0320		General view of farmstead from S	→ N	01.03.21	R Tyler
DSC_0321		General view of farmstead from S	→ N	01.03.21	R Tyler

## APPENDIX C: Historical Data

### (a) Historical Census Data

A review of historical census records affords an overview of occupation of Birch House / Manor House Farm throughout the second half of the 19<sup>th</sup> into the early-20<sup>th</sup> century; these are presented in tabulated form below.

Year	Property	Surname	Forename	Rel.	Age	Occupation
1841	Birch House	Dicken	John	Head	40	Farmer
		Dicken	Jane		38	
		Dicken	Elizabeth		14	
		Dicken	Jane		13	
		Dicken	Harriet		11	
		Dicken	Mary		8	
		Dicken	William		7	
		Dicken	Francis		5	
		Dicken	John		3	
		Dicken	Colley		7 mths	
		Hodgkiss	George		25	Servant
		Picking	William		20	Servant
		Allman	Richard		15	Servant
		Chilier	Richard		10	Servant
		Cooper	Elizabeth		20	Servant
1851	The Birch House	Hesketh	Martha		17	Servant
		Aston	John	Head	56	Farmer of 428a (employing 20 labs.)
		Aston	Ann	Wife	50	
		Aston	Ann	Daughter	22	
		Aston	Richard	Son	17	Scholar
		Aston	Sophia	Daughter	12	Scholar
		Aston	William	Son	6	Scholar
		Parton	Thomas	Servant	18	
		Parton	Ephraim	Servant	12	
		Griffiths	George	Servant	26	
		Edwards	John	Servant	26	
		Talbot	Sarah	Servant	18	
1861	Manor House	Hatfield	Catherine	Servant	16	
		Aston	John	Head	66	Farmer 150a
		Aston	Richard	Son	27	
		Aston	Frances	Daughter	23	
		Aston	Sophia	Daughter	21	
		Callows	Katherine	Visitor	50	
		Callows	Susan	Visitor	28	
		Sales	Mary	Servant	23	Housemaid
		Sales	Jane	Servant	18	Cook
		Lowe	Thomas	Servant	20	Groom
1871	Manor House	Bennett	Samuel	Servant	18	Waggoner
		Heath	John	Servant	38	
		Kendrick	Edward	Head	53	Farmer of 212a (employing 3 labs.)
		Kendrick	Mary Ann	Wife	49	Farmer's Wife
		Kendrick	Mary	Grandmother	93	
		Kendrick	Edward	Son	19	Farmer's Son
		Kendrick	Mary	Daughter	15	Scholar
		Kendrick	Bertha	Daughter	13	Scholar
		Kendrick	Amy	Daughter	7	Scholar
		Trigger	John	Servant	52	Farm Servant: Indoor
		Jones	Henry	Servant	14	Farm Servant: Indoor

1881	(Not named)*	Kendrick	Edward	Head	62	Farmer of 210a (employing 4 labs. / 1 boy)
		Kendrick	Mary A	Wife	59	Farmer's Wife
		Kendrick	Amy A	Daughter	17	Dairy maid
		Critchley	William	Servant	15	Farm Servant: Indoor
1891	Manor House Farm	Parton	Moses	Head	50	Farmer
		Parton	Emma	Wife	49	Farmer's Wife
		Parton	Alice	Daughter	21	Farmer's Daughter
		Parton	Martha	Daughter	19	Farmer's Daughter
		Parton	Abraham	Son	26	Farmer's Son
		Parton	Ann Ashby	Daughter	14	Scholar
		Parton	Florence	Daughter	10	Scholar
		Martin	John	Father in law	92	Retired Farmer
1901	Manor House Farm	Parton	Moses	Head	60	Farmer (employer)
		Parton	Emma	Wife	59	
		Parton	Alice	Daughter	31	Farmer's Daughter
		Parton	Martha	Daughter	29	Farmer's Daughter
		Parton	Abraham	Son	26	Farmer's Son
		Parton	Ann A	Daughter	24	Farmer's Daughter
		Parton	Florence	Daughter	20	Farmer's Daughter
1911**	Manor House Farm	Parton	Moses	Head	70	Farmer (employer)
		Parton	Emma	Wife	69	
		Parton	Alice	Daughter	40	
		Parton	Martha	Daughter	39	

Table C.1: Relevant extracts from historical census returns 1841-1901 (accessed via [www.ancestry.co.uk](http://www.ancestry.co.uk)).

**CENSUS OF ENGLAND AND WALES, 1911.**

*Before writing on this Schedule please read the Examples and the Instructions given on the other side of the paper, as well as the headings of the Columns. The entries should be written in Ink.*

*The contents of the Schedule will be treated as confidential. Strict care will be taken that no information is disclosed with regard to individual persons. The returns are not to be used for proof of age, or in connection with Old Age Pensions, or for any other purpose than the preparation of Statistical Tables.*

NAME AND SURNAME	RELATIONSHIP to Head of Family	AGE last birthday	SEX	PARTICULARS as to MARRIAGE	PROFESSION or OCCUPATION of Person aged 15 years and upwards	EDUCATION	DATE PLACED IN THE HOUSE	NATURALITY of Person aged 15 years and upwards	INTERVIEW
Moses Parton	Head	70	M	Married 46 7 7	Farmer 1000			English	1000
Emma Parton	Wife	69	F	Married 46 7 7				English	1000
Alice Parton	Daughter	40	F	Single				English	1000
Martha Parton	Daughter	39	F	Single				English	1000

(To be filled up by the Enumerator)

(To be filled up by, or on behalf of, the Head of Family or other person in possession, or in charge, of this dwelling)

I declare that this Schedule is correctly filled up to the best of my knowledge and belief.

Signature: *Moses Parton*  
Printed Address: *Manor House Farm, Ashley, Staffs.*

Copy of 1911 census return for Manor House Farm ([www.ancestry.co.uk](http://www.ancestry.co.uk)).

- \* 'Manor House' is not listed by name/address in the 1881 returns. Edward Kendrick, aged 63 and previously recorded at 'Manor House' in 1871 is listed as a farmer of 210a (employing 4 labs and 1 boy), together with his wife Mary Anne (59), daughter Amy (17, a dairy maid) and William Critchley (15), a farm servant and it thus seems reasonable to conclude that he was still in occupation. Moses Parton, listed at Manor Farm in 1891, is recorded at a separate, unnamed property within the parish, though his description as a farmer of just 20A makes it unlikely that he was the occupant of Manor Farm at this stage.
- \*\* Listed under Shropshire, Ashley and Muckleston.



**(b) Historical Trade Directory Data**

A review of historical trade directories available on-line (via [www.specialcollections.le.ac.uk](http://www.specialcollections.le.ac.uk) and [www.ancestry.co.uk](http://www.ancestry.co.uk)) fills out the picture of occupation of the site during the 19<sup>th</sup> century and extends it into the middle years of the 20<sup>th</sup> century.

Year	Directory	Name	Occupation	Address	Source
1834	White's	John Dicken	Farmer	Birch House	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1850	Post Office	John Astin (Aston)	Farmer	---	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1851	White's	John Astin (Aston)	Farmer	Birch House	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1861	Harrod's	John Astin (Aston)	Farmer	Not stated	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1868	Post Office	Edward Kendrick	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1872	Post Office	Edward Kendrick	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1880	Kelly	Edward Kendrick	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1895	Kelly	Moses Parton	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1896	Kelly	Moses Parton	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1900	Kelly	Moses Parton	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1912	Kelly	Moses Parton	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1932	Kelly	Edith Lee Blakeman	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>
1940	Kelly	Edward Knobbs	Farmer	Manor House Farm	<a href="http://www.ancestry.co.uk">www.ancestry.co.uk</a>

**Table C.2:**

Relevant extracts from historical trade directories, 1879-1940.