



# Archaeological Monitoring Report.

Lartington Hall,  
Co. Durham.

For John and Shona Harper-Wilkes

January 2020

AE0106-2020

Oasis Number archaeoe1-381400



**Archaeo-Environment Ltd**

Archaeo-Environment Ltd  
Marian Cottage  
Lartington  
Barnard Castle  
County Durham  
DL12 9BP

Tel/Fax: (01833) 650573  
Email: [info@aenvironment.co.uk](mailto:info@aenvironment.co.uk)  
Web: [www.aenvironment.co.uk](http://www.aenvironment.co.uk)

## CONTENTS

	<i>Summary</i>	
	Acknowledgements	3
1.0	Introduction	4
2.0	A Short History of Lartington Hall	7
3.0	The works of 2012/13 and 14	10
3.1	Concordance of Room numbers:	10
3.2	Ground Floor:	11
3.2.1	G1 The Porte Cochère	11
3.2.2	G2 The Grand Corridor including the area of the former kitchen wing.	12
3.2.3	G3 The Museum/ Ballroom	18
3.2.4	G4 The Drawing/Dining Room	21
3.2.5	G5 Hall/Library	22
3.2.6	G6 Drawing Room	24
3.2.7	G8 The Chapel	25
3.2.8	G9 The Sacristy	30
3.3	First Floor:	32
3.3.1	F6a Bedroom 2	32
3.3.2	F7 Best Staircase	34
3.3.3	F9 Bedroom	35
	Conclusions	35
Annex A	Floor plan and spaces diagram and reference numbering	
Annex B	Written Scheme of Investigation (Nov 2012)	
Annex C	Photo Index with floor plans showing location of photos	

## **Summary**

*Lartington Hall lies at the east end of the small village of Lartington, Teesdale, now in County Durham, but until 1974 part of the historic County of the North Riding of Yorkshire. The Hall is a large multi-period country house, set within formal gardens, pleasure grounds and surrounding parkland. With origins in the late 17th century, the Hall incorporates major additions from the 18th and 19th centuries and is Listed at grade II\*, it lies within both the Lartington Village Conservation Area and its own designated Historic Park and Garden.*

*In 2011 Archaeo-Environment (AE) were commissioned to undertake a historic study and produce a Statement of Significance (SoS) for Lartington Hall. This was undertaken on behalf of the then new owners Shona Harper and John Wilkes and was used by Kevin Doonan Architects to produce a scheme of works for the Hall to take forward its conservation and restoration and allow for an informed discussion on subtle alterations for development into a wedding and conference venue. The SoS provided a researched history of the Hall and identified areas of heritage significance to be found in its internal spaces, external fabric, designed landscape and potential for archaeological deposits.*

*Following discussions with the planning authority (Durham County Council) and English Heritage, a planning and a listed building consent application were submitted and validated on the 17<sup>th</sup> April 2012. Planning permission and Listed building Consent was granted on the 12<sup>th</sup> of October 2012 with the reference 6/2012/0128/DM/LB. Conditions 14 and 15 of the approved planning consent required in turn the undertaking of archaeological monitoring of all works and in due course the preparation of a report and where appropriate an archive of observations and results. A Written Scheme of Investigation (WSI) for archaeological monitoring was agreed with Durham County Council in November 2012. This report now provides the results of several episodes of archaeological recording work during the conservation and building works at the Hall and together with a photo archive provides the necessary conclusion to the project fulfilling the requirements of the WSI and condition 15.*

*In summary the archaeological watching brief provided some limited evidence of exposed building fabric, former decorative schemes and buried archaeological deposits which all add to the existing historical understanding of the Hall without requiring the revision of the chronology and building development described in the SoS of 2012.*

*No further work is advised on the results of the archaeological watching brief. A copy of this report along with the earlier SoS should be retained by both the building's owners and managers as well as the planning authority to inform any future proposed interventions and building works.*

## Acknowledgements

*Our grateful thanks go to John and Shona Harper-Wilkes for commissioning this report and giving us free rein in their house, and to Kevin Doonan Architects for originally contacting us to carry out the work and for providing the modern ground plan of the house. We thank once again those who helped with the original report in 2011 including staff at Beamish Museum Durham Records Office and to John Pendlebury of Northumbria's School of Architecture for promptly searching for earlier plans of the hall. We are grateful to Claire Rackham for sharing her memories of the early days of restoration from 1979. We are indebted to David Sparkes of Durham County Council and David Farrington of English Heritage and Penelope Harrison for her previous information on Hansom. Latterly we wish to thank Peter Ryder for his comments on 17<sup>th</sup> century stonework and to Gill Saunders of the Victoria & Albert Museum for her observations on historic wall paper. However any mistakes are those of the authors and not the contributors or the clients.*

## Report Author

Niall Hammond, Archaeo-Environment Ltd with additional advice from Caroline Hardie, Archaeo-Environment Ltd

Modern floor plans are by Kevin Doonan Architects

## OASIS Record

The OASIS project brings together a number of strategic partners: the Archaeology Data Service (ADS), Historic England, Historic Environment Scotland, and the Royal Commission on the Ancient and Historical Monuments of Wales under the umbrella of the University of York. The overall aim of the OASIS project is to provide an on line index to the mass of archaeological grey literature that has been produced as a result of the advent of large-scale developer funded fieldwork and a similar increase in fieldwork undertaken by volunteers. The OASIS provides a means through which archaeological and heritage practitioners can provide information about their investigations to local Historic Environment Records (HERs) and respective National Heritage Bodies. The ADS, in addition to making the reports available online for access to the wider public, undertake the curation and archiving of the digital files ensuring long-term preservation. It is possible to opt out of the archiving and wider release of the reports, unless a requirement of the relevant HER.

The Statement of Significance for Lartington Hall written in 2011 has been allocated the Oasis Number **archaeoe1-136756**. This report has the Oasis Number **archaeoe1-381400**

<https://oasis.ac.uk>

## 1.0 INTRODUCTION

Lartington Hall (NZ0214217756) in County Durham (formerly the North Riding of Yorkshire) is in origin a 17<sup>th</sup> century country house with additions and alterations dating to the 18<sup>th</sup> and 19<sup>th</sup> centuries. It sits within parkland which appears to have been laid out in the mid to late 18<sup>th</sup> century and extended and enhanced in the 19<sup>th</sup> century. The formal gardens date to the 19<sup>th</sup> and 20<sup>th</sup> centuries with the earlier formal gardens having been swept away in the mid 18<sup>th</sup> century when the parkland and drives were laid out. The house is listed grade II\* and the parkland is a registered parkland (grade II).<sup>1</sup> It sits on the eastern side of Lartington village, a designated Conservation Area within the former district of Teesdale, County Durham.



Figure 1. Location Plan. © Crown copyright 2020. All rights reserved. Licence number 100042279. (Not to scale)

<sup>1</sup> UID 1722. List entry no. 1000731

The house was acquired in 2011 by new owners Shona Wilkes and John Harper with the intention of its conservation, refurbishment and conversion for hospitality use, specifically as a wedding venue. To inform these proposed works and ensure they were informed by an understanding of the heritage significance of the building Archaeo-Environment (AE) were commissioned in 2011 to undertake a historic study and produce a Statement of Significance (SoS) for Lartington Hall<sup>2</sup>. This was then used by Kevin Doonan Architects to produce a scheme of works for the Hall to take forward its conservation and restoration and allow for an informed discussion with the planning authority (Durham County Council) and English Heritage (now Historic England), on subtle alterations for development into a wedding and conference venue. The SoS provided a researched history of the Hall and identified areas of heritage significance to be found in its internal spaces, external fabric, designed landscape and potential for archaeological deposits.

Following discussions with the planning authority and English Heritage, planning and listed building consent applications were submitted and validated on the 17<sup>th</sup> April 2012. Planning permission and Listed building Consent was granted on the 12<sup>th</sup> of October 2012 with the reference 6/2012/0128/DM/LB. Conditions 14 and 15 of the approved planning consent required in turn the undertaking of archaeological monitoring of all works and in due course the preparation of a report and where appropriate an archive of observations and results. A Written Scheme of Investigation (WSI) for archaeological monitoring was agreed with Durham County Council in November 2012 (Appendix B). This report now provides the results of several episodes of archaeological recording work during the conservation and building works at the Hall and together with a photo archive provides the necessary conclusion to the project fulfilling the requirements of the WSI and condition 15.

14. *No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation covering building and archaeological recording. The document shall be submitted to, and approved in writing, by the local planning authority. The strategy shall include details of the following:*
- i) Measures to ensure the preservation in situ, or the preservation by record, of archaeological features of identified importance.*
  - ii) Methodologies for the recording and recovery of archaeological remains including artefacts and ecofacts.*
  - iii) Post-fieldwork methodologies for assessment and analyses.*
  - iv) Methodologies for a programme of building record, to be compliant with EH standards and guidance and to be carried out prior to any conversion, or cosmetic, works or any stripping out of fixtures and fittings.*
  - v) Report content and arrangements for dissemination, and publication proposals.*
  - vi) Archive preparation and deposition with recognised repositories.*
  - vii) A timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy.*

---

<sup>2</sup> OASIS ID - archaeoe1-136756

viii) *Monitoring arrangements, including the notification in writing to the County Durham Principal Archaeologist of the commencement of archaeological works and the opportunity to monitor such works.*

ix) *A list of all staff involved in the implementation of the strategy, including subcontractors and specialists, their responsibilities and qualifications.*

*The development shall then be carried out in full accordance with the approved details.*

*Reason: To comply with Policy BENV11 of the Teesdale District Local Plan and para. 135 and 141 of the NPPF.*

15. *Prior to the development being beneficially occupied, a copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the County Durham Historic Environment Record. This may include full analysis and final publication. Reporting and publication must be within one year of the date of completion of the development hereby approved by this permission to comply with Policy BENV11 of the Teesdale District Local Plan 2002 and para. 141 of NPPF to ensure that the developer records and advances understanding of the significance of the heritage asset to be lost (wholly or in part) in a manner proportionate to its importance and the impact, and to make this evidence (and any archive generated) publicly accessible.*

Some initial observations took place in late 2011 as agreed exploratory work was undertaken by the architects to inform the design of the conservation works, with an agreed watching brief took place on several occasions during the period November 2012 to mid-2013. A further visit was made during 2014 to record fabric revealed in the Chapel as the 1970's squash court was removed. During this period observations were made during external excavation works for services, and internally where removal of late 20<sup>th</sup> century decorative elements and additions revealed evidence of earlier structure and decoration. Finally, in early 2020 a final photographic survey was undertaken of all major rooms to document the completion of works.

While the agreed WSI identified a number of locations where it was considered archaeological observations might provide new or additional information regarding the history and historic fabric of the hall (Annex A of agreed WSI), in the event worthwhile observations were made only in the following areas and which are described in detail in the following sections;

G1 The Porte Cochère

G2 The Grand Corridor including the area of the former kitchen wing.

G3 The Museum/ Ballroom

G4 The Drawing/Dining Room

G5 Hall/Library

G6 Drawing Room

G8 The Chapel

G9 The Sacristy

F6a Bedroom 2

F7 Best Staircase

F9 Bedroom

## 2.0 A Short History of Lartington Hall:

A full and illustrated history of Lartington Hall is provided within the Statement of Significance of 2011, for ease of reference a short bullet pointed summary history of the hall is provided below.

There is evidence of the layout and orientation of the hall from the 17<sup>th</sup> century, although building fabric in some places has hints of Tudor times. The main phases of construction appear to be:

- Tudor possibly, but certainly a 17<sup>th</sup> century stone house expanded to include 12 hearths for the Appleby family. This would be a south facing building of three storeys with a three-storey entrance porch with a date stone, statues, sun dial and windows which were surrounded with moulded architraves.
- Two bays may have been added to the south range on its east side, and possibly on its west side, although there is less evidence for this. This would create a roughly symmetrical H-plan house. A priest was based at the house and would have used a room as a chapel, possibly a room in this west range which later became the chapel.
- To the north was an additional later range, on a slightly smaller footprint than the south range. Evidence of the steeply pitched roofline is still retained in the attics. The house probably had walled gardens to the south and east and would be approached along a topiary lined avenue from the road to Barnard Castle. The direct approach may have been through what is now Crow Wood with the drive fossilised in 18<sup>th</sup> century Pleasure Walks, although there is no direct evidence for this. By 1720 the building had a kitchen range to the north, aligned east west. Scarring marking where this range abutted a later servants' hall can still be discerned below the render.
- The pre-1720 kitchen range was replaced with a long kitchen range aligned north-south and additional rooms added on the north side to form a double pile house with a linear kitchen range extending from the rear (north side)
- Around the mid-18<sup>th</sup> century the house was remodelled with a new extended wing to the east and possibly another to the west (if that had not already been built). That to the east had a pair of two storey bay windows to face down the newly remodelled parkland which swept away the old formal garden layout. This was now the principal elevation with a pedimented doorway located on the new central axis of the house and a carriageway to bring visitors through the parkland, with ample opportunity to admire the new symmetrical facade. A ha-ha was an essential requirement of unimpeded views from the house towards the naturalistic landscape complete with tree circuits, pleasure walks and tree clumps. The new east wing had the main reception rooms designed to appreciate views of the parkland and a fine new staircase was built with a stair light. Some of the windows in the old part of the hall had new multi-pane sash windows installed with internal shutters. The south part of the house was now relegated to a servants' area. It may also be about this time that the chapel was altered to have a more outward appearance as a place of worship with simple arched windows along its external walls. The former principal room on the ground floor of the south side was



turned into a sacristy for the priest who was based at the hall. A northern range was added to provide a laundry, wash house and brew house. This range was aligned east-west and extended from the north end of the kitchen ranges.

- Later in the 18<sup>th</sup> century a servants' hall and shoe room were added alongside the kitchen range. These two buildings filled the gap between the chapel and the laundry. Above the servants' hall was a two roomed suite beautifully re-decorated, possibly for Monsignor Witham in the 1860s.
- Between 1832-60 the multi pane sash windows which had been installed in the 18<sup>th</sup> century and before, were replaced with new plate glass windows with only four panes. Some of the rooms had updated shutters added, but in the old part of the house, not all the shutters were replaced.
- In 1832 Henry Witham commissioned Ignatius Bonomi to build a museum to display his fine collection of geology, fossils and 3,000 books. Bonomi designed a building adjacent to the house which extended its principal east facing elevation, and based the design for the key external architectural feature, the entrance door or window, on the existing central pedimented doorway of the hall. With its pillars and swags this harked back to the classical world which was then closely associated with traditions of learning and antiquarianism.
- In the 1850s Monsignor Thomas Witham explored altering the chapel and commissioned plans to extend it with a chancel; however these plans were never implemented. He also seems to have added stained glass windows to the west side from Hardman's, one of which was dedicated to Henry Lawson. He also added two gothic windows to the south elevation.
- In 1861-3 Monsignor Witham commissioned Joseph Hansom to make a number of alterations to his house and to design a grand corridor and covered entrance porch, or porte cochère, which would create a new formal entrance based on a procession along a corridor with opportunities to admire the rich carvings by Bulletti and the numerous paintings, fine china and statues in their niches. Hansom took his inspiration from the mirrors in the museum and filled the corridor with light from sky lights and mirrors to compensate for the lack of any windows (the corridor was slotted between existing buildings, namely the museum and the 18<sup>th</sup> century kitchen range). He picked up the theme of columns from the museum with his use of pilasters and his rich painted plasterwork and arches reflected medieval England and rib vaulting. He added more coloured light into the best staircase by introducing a pre-Raphaelite stained-glass window into the stair light and stained-glass skylights, some with the Witham, Silvertop and Maire coats of arms. He pulled down the dividing wall between two main reception rooms on the ground floor to create a larger room suitable for entertaining and dancing and added ornamentation to the Georgian doors. He also altered existing servants' buildings to create Hansom House in an early Arts and Crafts Style and made alterations to a number of servants' rooms in the Old Hall.

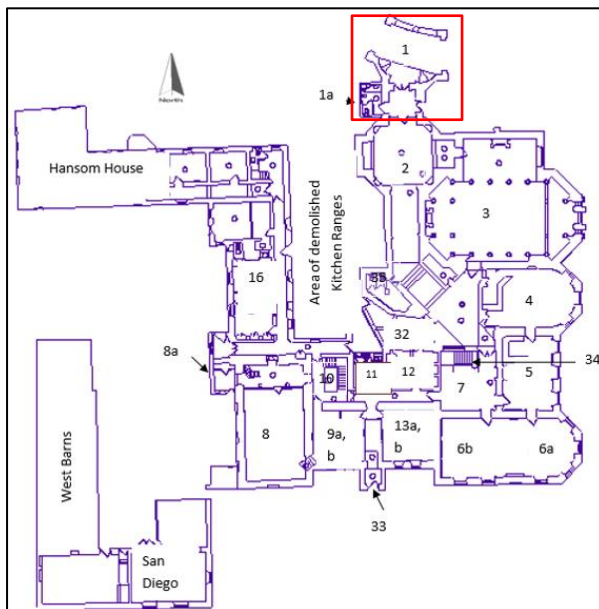
- At the same time, the garden on the east side was redesigned with a gravel terrace walkway and steps with circular bastions at the corners, probably by Hansom. Railings from Walker and Elmsley in Newcastle were ordered in 1870 and four large statues from Borrowdale in Darlington were purchased to create literary and mythical allusions in the garden. The main entrance was now on the north side and possibly as part of the switch to the north, the central pedimented doorway was removed from the east face and the garden was now a more private place; still overlooked by visitors, but only at a distance where the statues welcomed people through the gateways.
- After 1870, the lower south facing window to the chapel was blocked, presumably because it was blocked internally by the altar.
- The house was let complete with its furnishings and contents after Mgr Witham's death in 1897 to the Berkley-Matthews family.
- The house was put up for sale in 1910 and the new owner, David Magnus Spence, a staunch Methodist, had Hansom's brew house demolished, including the northern courtyard range. He put the contents of the house up for sale at auction in 1917.
- The house was bought by Mr and Mrs Field in 1918 by which time the house was in poor condition.
- During the Second World War the house was used by the Red Cross as a convalescent hospital for soldiers; after the war the compensation paid to Mr Field was used for his yacht, rather than repairing some of the damage that had taken place. After Mr Field died, the house slipped into disrepair again and by the time that Mrs Field was killed in a car crash in 1973, it was in dreadful condition.
- The estate passed to nephews and nieces of Mr and Mrs Field via a Trust and they were unable to find a use for the hall and so it slipped further into decline. Mr and Mrs Field's family started to sell off everything in the hall and demolition was discussed; the 18<sup>th</sup> century kitchen range was demolished.
- The hall was rescued by Robin and Claire Rackham who purchased it for a modest sum and started a lifetime's project of restoring the house while turning some of it into holiday let accommodation. As part of this process some of the outbuildings such as the boiler house were demolished.
- The house was not fully restored by the time Robin Rackham died in 2006 but he and his wife Claire had been able to replace the roof, restore some of the paintwork and plasterwork in the ballroom, chapel and grand corridor, replace rotten floors and windows and bring most of the hall into active use.
- The house was sold to John Wilkes and Shona Harper in 2011



### 3.2 Ground Floor:

The principal area of archaeological observations took place on the site of the former kitchen wing to the west of the Grand Corridor and externally to the building. Selective, agreed demolition also took place in this area to facilitate construction of new toilets which allowed some observations to be made on materials of the earlier buildings. Elsewhere on the ground floor archaeological observations took place during the removal of the late 20<sup>th</sup> century squash court from the inside of the Chapel which revealed earlier decorative schemes and the former external west wall of the 17<sup>th</sup> century hall where architectural details of the mid-17<sup>th</sup> century were revealed. In other areas observations were limited to recording repairs works to areas of significance such as the ceilings and plasterwork in the Museum/Ballroom.

#### 3.2.1 G1 The Porte Cochère



Works to the Porte Cochère were largely limited to alterations to the flanking garden wall on its east side and small associated side door to allow for improved disabled access. These had been constructed as part of Joseph Hansom's designs of 1861-3.

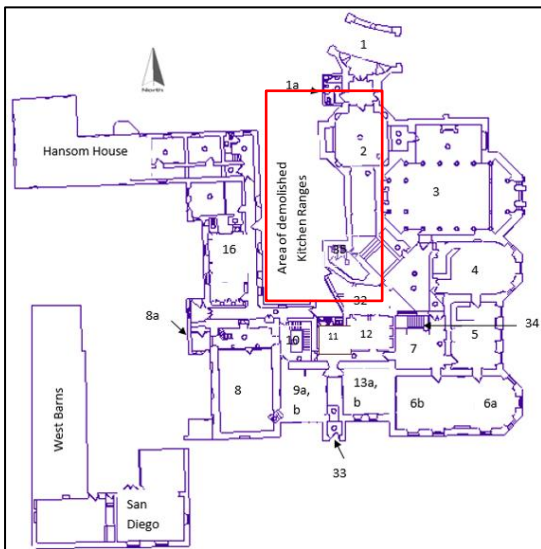


Plate 2. Flanking wall to the east of the Porte Cochère prior to works (above left and seen looking north) and in 2020 following works to facilitate improved access (above right and seen looking south). The new gate leads to a level access ramp (plate 3)



Plate 3. Personal door on east side of the Porte Cochere prior to works (above left) and following works to facilitate improved access (above right)

### 3.2.2 G2 The Grand Corridor and area of the former Kitchen Wing



Works to the Grand Corridor, constructed to the designs of Hansom in 1861-3, involved both interior restoration and alteration and also closely associated works immediately to the west in the courtyard formed by the demolition of the old Kitchen range of the early-mid 18<sup>th</sup> century. Here two north-south aligned trenches were excavated for services (to the west) and the foundations of a new enlarged toilet block (to the east). The west wall of the Grand Corridor was also punctured to provide access to the new facilities. At the south-east of the area a small single storey stone and grey slate building, the much-altered remnant of late 18<sup>th</sup> and 19<sup>th</sup> century service structures, was removed and replaced.

Internally the late 20<sup>th</sup> century suspended ceiling of the Grand Corridor was removed and new timberwork introduced to replace the lost arched form of the original design, which also included glazed roof lanterns to allow natural light to illuminate the corridor. With the suspended roof removed the construction of the structure could be better understood and was clearly in brick with iron bracing (plate 5b).



Plate 4 (4a above left), Looking north-east at the outside west wall of the Grand Corridor constructed in 1861-3 showing new opening to access the new toilet block. (4b above right), Opening up works for the new entrance seen from the inside and (5c far left), outside wall at the same point showing brick internal construction with outside facing in sandstone.

Plate 5. (5a Below left) Looking south with work in progress to the Grand Corridor following removal of late 20<sup>th</sup> C suspended ceiling revealing original brick, iron reinforced arch of 1861-3 in the foreground with new timberwork beyond. (5b Below right); Removal of the 20<sup>th</sup> C ceiling also revealed the SW corner of the Museum/Ballroom (room) G3, prior to 1861/3 an outside wall and clearly in part adapted by Hansom to accommodate the Grand Corridor.



Further alteration took place at the south east corner of the courtyard where demolition of presumed 19<sup>th</sup>/20<sup>th</sup> century single storey structures revealed that in part these pre-dated the Grand Corridor and were of sandstone/lime mortar construction beneath a modern render and mid-19<sup>th</sup> C slate roof. These are not evident on the 1800 plan of the building and therefore most likely form part of the early post-1800 service buildings and kitchen range. (plates 6 & 7)



*Plate 6 (left). Single storey structures in the south-east corner of the courtyard on the site of the 18<sup>th</sup> century kitchen block. These were a mixture of mid-19<sup>th</sup> century and later construction and alteration. These demolished as part of the consented works to allow for logistically better arrangements for access and utility.*



*Plate 7 a, b (above). Demolition of mid-19<sup>th</sup> century and later single storey buildings looking south east and south. While the rear of the structure used steel joists to support a concrete roof and appears 20<sup>th</sup> century (above right), the mostly northerly elements (see above left) were of stone rubble and lime mortar construction beneath a modern render. The Grand Corridor of 1861/3 had been built around the east end of the north wall of this building and so must post date it. It therefore seems likely this small part of the structure was a part of the early post-1800 service buildings and kitchen range.*

The service courtyard on the north side of the Grand Corridor was created in the mid-19<sup>th</sup> century during the major works to the Hall carried out by Joseph Hansom for Msgr Witham. Previously the site of the 18<sup>th</sup> century kitchens and possibly before this service buildings to the rear of the 16/17<sup>th</sup> century hall. Two trenches were excavated here, parallel to each other aligned north-south. The trench to the east (T1), was required for construction of the foundation of the new toilet building, while that to the west (T2), was for the installation of various services.

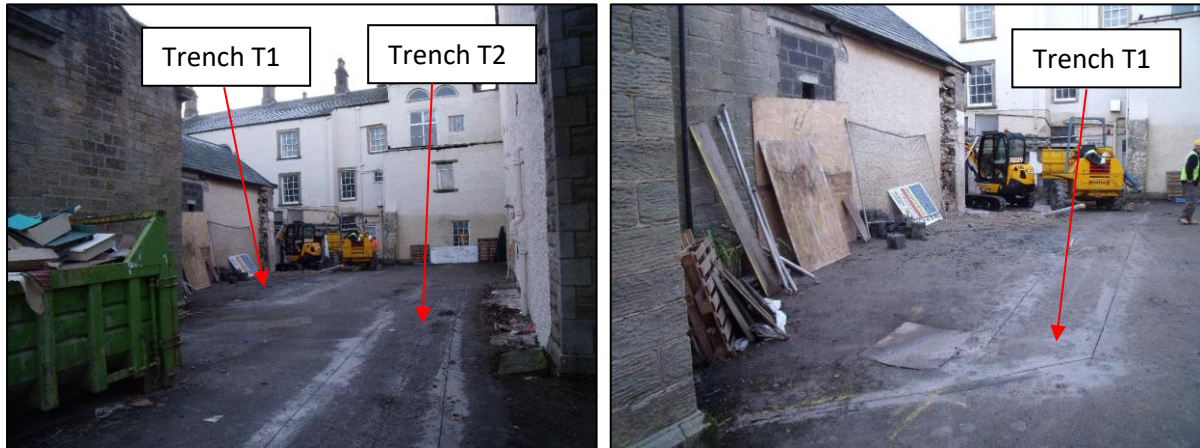


Plate 8 a, b (above). Both views looking south and with the west wall of the Grand Corridor to the left. Showing the location of the two trenches T1 and T2.

Trench T1; this provided no archaeological evidence, nor any artefacts with the modern tarmac and concrete surface overlying disturbed and possibly redeposited natural clays, sands and gravels but with no evident stratigraphy.

Trench T2; appeared to be a largely unconsolidated and loose backfill beneath the tarmac and concrete capping, the instability of which made it unsafe to enter and so all observations were



made from ground level at the side (plate 9). The unconsolidated nature of the ground can be attributed to this being the site of various phases of kitchen and service wings from at least the 18<sup>th</sup> century onwards demolished in c1979. Scarring on the surviving west wall of the servants' quarters which now serves as the east wall of the hall's north-west wing (G16), appears to tally with the northern range shown on Buck's drawing of 1720<sup>3</sup>. This was subsequently incorporated into a new kitchen range and revamped servants' quarters in 1861.

Plate 9. Trench 2, looking north with surface partially removed showing the loose and unstable material beneath the tarmac and concrete courtyard surface.

<sup>3</sup> AE, 2011, 23



At the southern end of Trench 2 and immediately beneath the modern tarmac/concrete, the trench cut through an east-west stone foundation of random rubble within a lime mortar matrix set within a cut measuring 300mm wide by 250mm in depth. The foundation could be seen in section on both sides of the trench (plate 10). Any surfaces or upstanding fabric associated with the foundation had been truncated previously. The foundation cannot be equated with any major structural elements visible on historic plans and so is either from a 16<sup>th</sup> or early 17<sup>th</sup> century phase of building previously unrecorded, or may represent an internal wall within the extensive 19<sup>th</sup> century kitchen and service buildings in this area. No artefactual material was identified to help date the structure.



*Plate 10. Trench 2, east facing section showing east-west stone foundation of random rubble within a lime mortar matrix set within a cut. The foundation cannot be equated with any major structural elements visible on historic plans and so is either from a 16th or early 17th century phase of building previously unrecorded, or may represent an internal wall within the extensive 19th century kitchen and service buildings in this area.*



At the southern end of Trench 2 it abutted the rear (north wall) of the Hall adjacent to the small passage next to the backstairs (G10). The foundation of this wall was exposed and seen to be no more than 200mm in depth and seemingly within a narrow E-W construction cut.

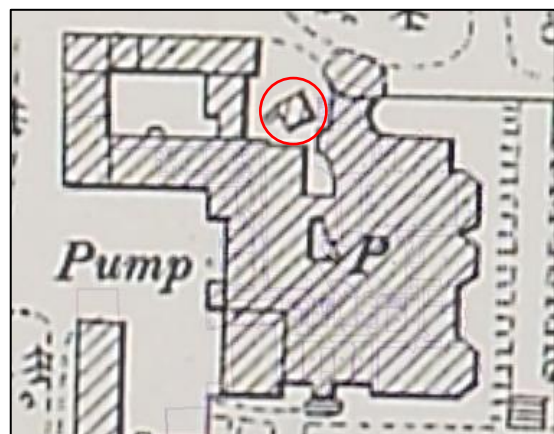


*Plate 11. Trench 2, (above), looking south towards north wall of the Hall; and (right) showing the insubstantial depth and size of the foundation of the Hall's north wall.*

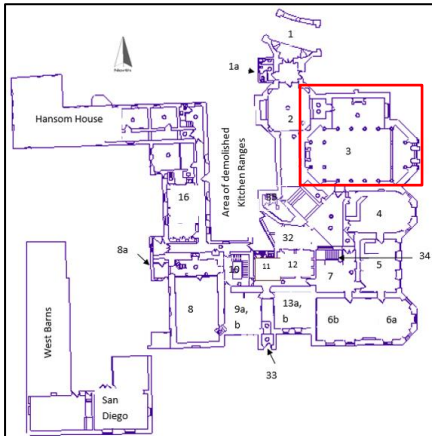
At the northern end of Trench 2 clearance of the unconsolidated demolition rubble revealed a narrow set of stone steps descending from south-east to north-west and against a stone wall of the same alignment (plate 12). Whilst there was no artefactual evidence to date the structure it does accurately equate with a small rectangular building set on a different alignment to the main Hall. The structure is not visible on the 1<sup>st</sup> edition OS surveyed in 1854, but does appear on the 2<sup>nd</sup> edition. It seems likely this was built as part of the improvements to the Hall designed by Hansom in 1861-3 and functioned as a boiler house to heat the new rooms.



Plate 12. Trench 2, northern end showing steps and wall leading to a cellared area thought to have been a boiler house built as part of the improvements to the Hall designed by Joseph Hansom in 1861-3. (top left) looking south, (top right) looking down, (bottom left) looking north, (below) 1897 OS 6" survey showing the conjectured boiler house (circled).



### 3.2.3 G3 The Museum/ Ballroom



Works to the former Museum of 1832 built for Henry Witham to the design of Ignatius Bonomi and then later used as a Ballroom, were largely concerned with repairing the roof and in particular the decorative plasterwork damaged when the room was converted into a recording studio in the 1990s. Scaffolding inserted for these works also allowed closer photography of the decorative schemes. In addition to images reproduced here a wider selection are contained in the photo archive.



*Plate 13. Room G3, (left above) Northern Atrium ceiling and clerestory under repair in 2012; (below left) West wall and fireplace under repair, not replacement column sections waiting for insertion 2012; (below right) looking north-east, room under repair, note the white plaster repair sections to the column capitals previously damaged by insertion of a 20<sup>th</sup> century recording studio.*





Plate 14 (following 9 images). Room G3, the former Museum and later Ballroom. Details of plaster ceiling decoration prior to restoration.



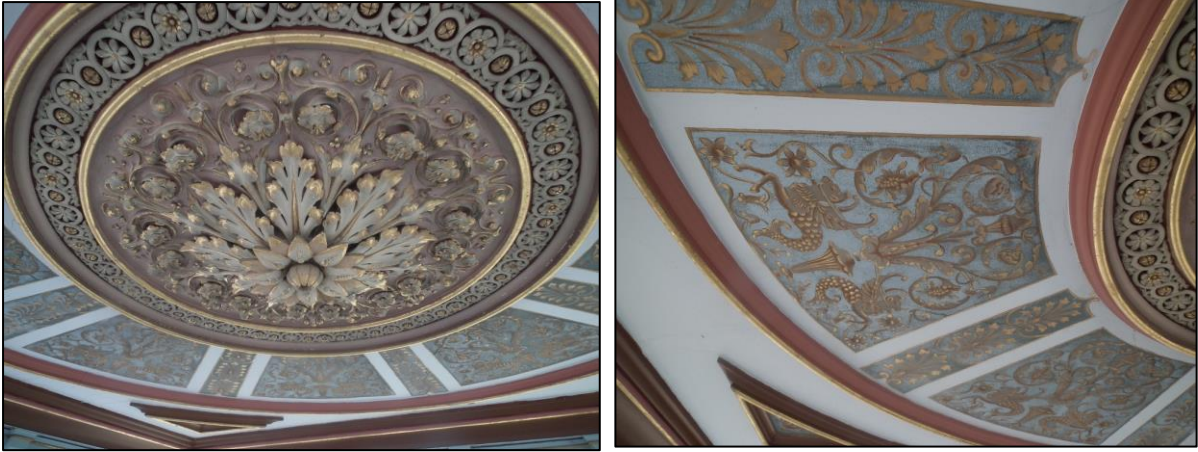
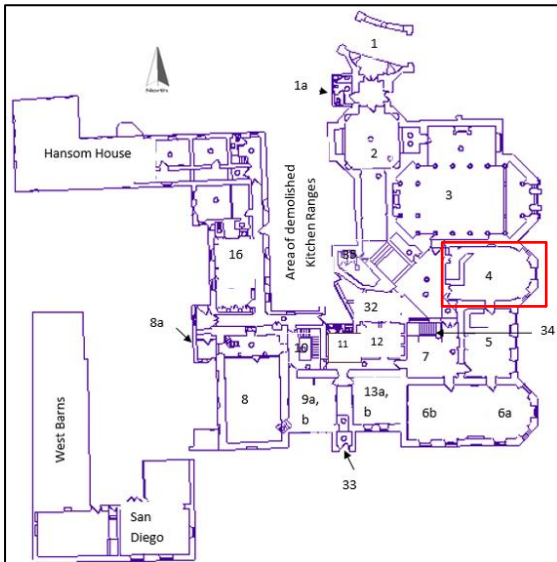


Plate 15 (following 5 images). Room G3, the former Museum and later Ballroom after restoration in 2020. (top right) west wall; (top & bottom right) North Atrium Ceiling; (bottom left main room ceiling; (following page) North Atrium arch and fireplace.





### 3.2.4 G4 The Drawing/Dining Room



The former Drawing Room was added to the building as part of the major mid-18<sup>th</sup> century remodelling of the Hall which changed its principal elevation from the south to the east. Works to this room were minimal and largely concerned with removing late 20<sup>th</sup> century décor.

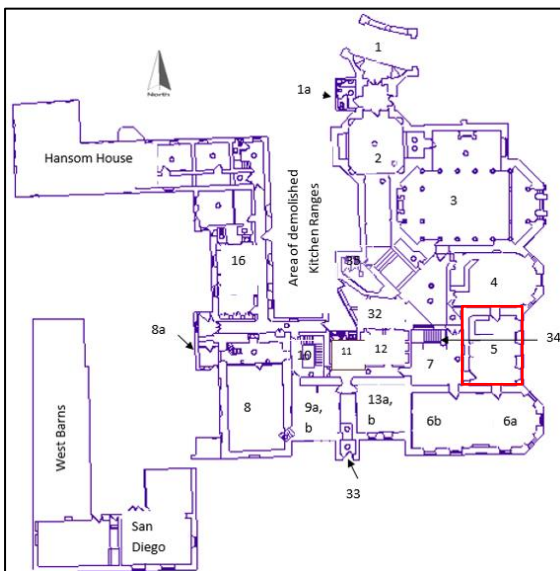


Plate 16 (right). Room G4 decorated cornice prior to restoration in 2012.



Plate 17 Room G4. (above left) prior to restoration in 2012; (above right) After works in 2020.

### 3.2.5 G5 Hall/Library



The Hall, later used as a library was added to the building as part of the major mid-18<sup>th</sup> century remodelling of the Hall which changed its principal elevation to the east. Works to this room involved removing a suspended ceiling and a stove installed into the west wall chimney opening as part of the use of the room as a late 20<sup>th</sup> century kitchen.



Plate 18 Room G5, the mid Georgian entrance Hall in use as a kitchen prior to restoration in 2012.



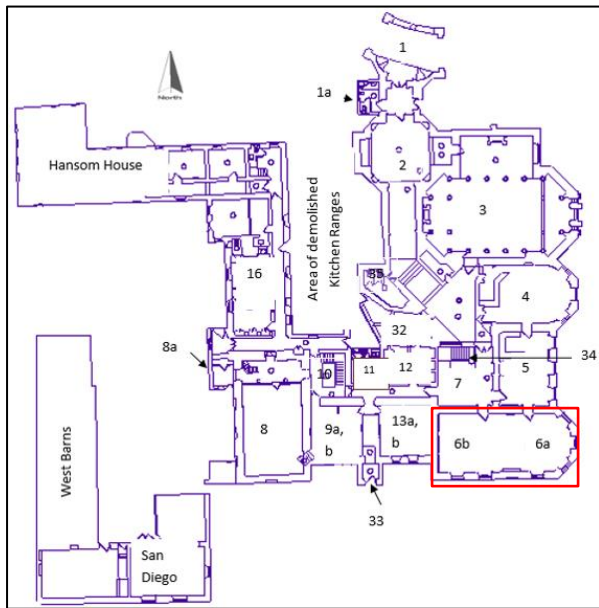
Removal of the suspended ceiling revealed 18<sup>th</sup> century decorative plasterwork, a cornice (left), which has in due course been restored as part of the recent works. The quarry tile floor was also removed and a new sandstone flagged floor laid. The range/cooker was also removed and the fireplace restored. The former Georgian half-window/lower split door arrangement was replaced by more conventional and usable twin doors to suit more regular use as a wedding venue accessing the gardens.



*Plate 19. Room G5, the mid Georgian entrance Hall. (top left) in 2012 with suspended ceiling removed showing Georgian cornice; (middle left) in 2020 after removal of range cooker and insertion of stone floor; (top right) The former Georgian half-window/lower split door arrangement in 2012, this was replaced by a more conventional and usable double door to suit more regular use as a wedding venue accessing the gardens (bottom right in 2020).*



### 3.2.6 G6 The Drawing Room

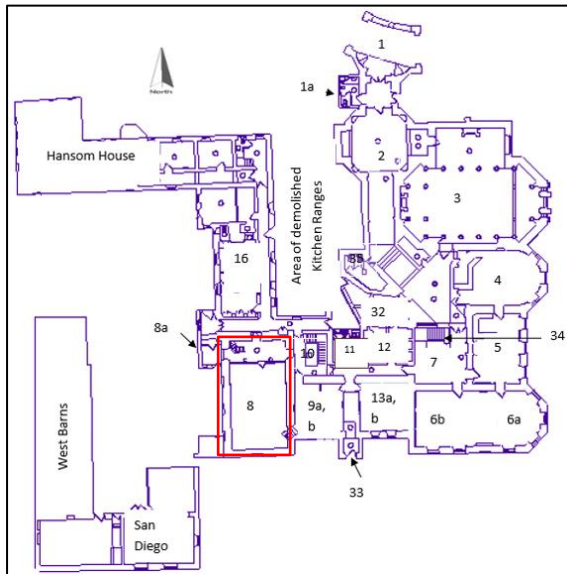


The Drawing Room (G5) is of two dates, the western half (G6b) is part of the east wing added to the 17<sup>th</sup> century hall before 1720 and seen in Buck's drawing. The eastern part of the room was added to the building as part of the major mid-18<sup>th</sup> century remodelling of the Hall which changed its principal elevation to the east. Originally therefore two rooms, they were made into a singular space during the ownership of Msgr Witham in the mid-19<sup>th</sup> century to be used as a dancing room and entertaining space. During the consented work of 2012, no structural alterations took place within this room and removal of 20<sup>th</sup> century décor provided no information on earlier schemes.



*Plate 20 Room G6, the Drawing Room, formed of mid*

### 3.2.7 G8 The Chapel



The owners of the Hall, the Applebys, Maires and ultimately Withams were Catholics and there is a record of a chantry chapel associated with the hall in the 16<sup>th</sup> century and by the 1690s a named priest was in residence<sup>4</sup>. Where any pre-18<sup>th</sup> century chapel was located is still unknown and the present chapel is not shown in the drawing of 1720 by Samuel Buck but is shown and marked as a chapel in a plan of c.1800 (figure 21). A major phase of redecoration took place in the 19<sup>th</sup> century but during the 1980's much of this was obscured by the insertion of a squash court. Removal of the squash court revealed both the decorative scheme of the 19<sup>th</sup> century, but also in areas of

damage underlying fabric relating to the east wall of the chapel, which also acted as the outside west wall of the hall prior to the construction of the chapel at some point between 1720 and 1800. The exposed former west wall appeared to be of a random rubble sandstone construction with lime mortar joints, along the base ran a chamfered string course and at the northern end of the chapel wall a two light mullioned window was revealed of a form which might be dated to c.1650 or perhaps a little earlier. A small section of internal plaster remained on the inside of the window with a yellow ochre plain decoration. This window had in turn been blocked and the central mullion broken out, before at some point the opening in the wall had been used for a simple rectangular opening with a simple wooden frame. This later opening may have related to an earlier phase of the chapel creating a link between sacristy to the east (room G9) and the chapel, as its form did not suggest an external window.

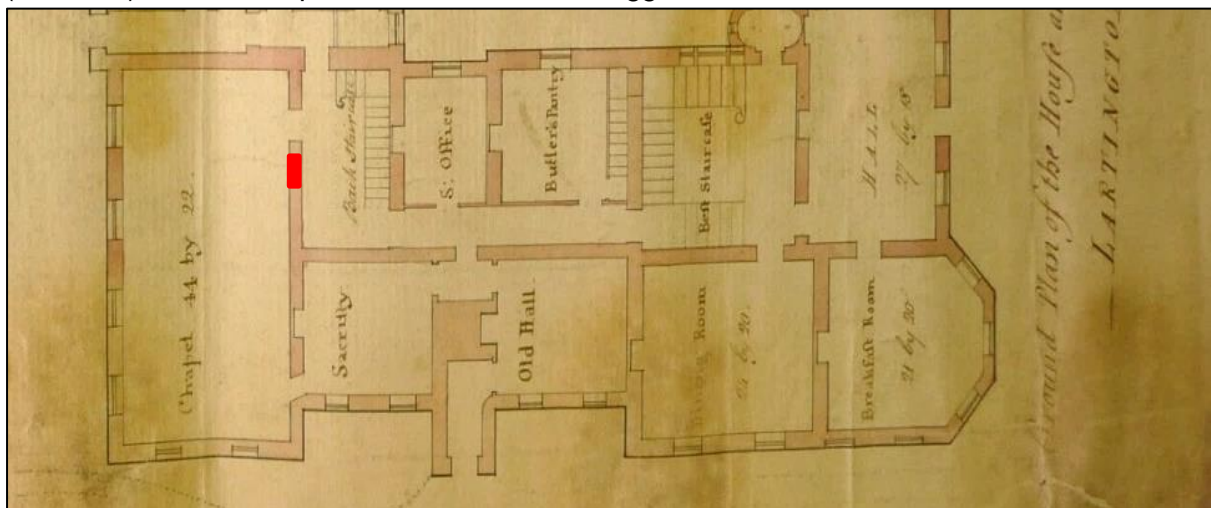


Figure 21. Extract from a plan of c1800 (DRO D/HH7/4/238), showing the location of the blocked two light mullion window identified in the opening up works on the pre-chapel west wall of the Hall. At this date not indicated and so presumably already blocked.

<sup>4</sup> AE 2011, p20

The design of the revealed plinth and the mullion and transom window bears close comparison with the plinth course seen around the south elevation of the Old Hall and the blocked window on the projecting entrance tower (formerly obscured by a sundial). The front elevation is dated by an inscription to 1623 and this would once again support the conjecture that the house was substantially rebuilt at this time as a two-pile structure with east-west gable roofs as still visible in the Buck drawing of 1720 by when a further east wing had been added.



Plate 22. (Clockwise from top left) exposed but damaged two light mullion and transom window in the former west outside wall of the Hall prior to the construction of the chapel in the late 18<sup>th</sup> century. The window and plinth course below it appear identical to those on the projecting entrance tower on the Hall's south front which is dated 1623. The outline of the window is shown in white. (top right) the same window showing the later rectangular, wood framed and plastered window opening driven through the wall. (bottom right) looking south behind the lathe and plaster 19<sup>th</sup> century wall of the chapel and showing the 17<sup>th</sup> century west wall of the hall and its distinctive plinth course. (bottom left) the central mullion of the blocked window with later white plaster work.



*Plate 23. (above left) South side of the blocked and damaged 17<sup>th</sup> century mullion window in the chapel's east wall showing a small fragment of early plaster with yellow ochre decoration. (above right), later rectangular insertion through the wall with wooden frame and plain white plasterwork and seemingly creating a link from the chapel to the sacristy. The creation of this opening resulted in the damage to the 17<sup>th</sup> century mullion window which had by that point been blocked.*

The Introduction of the squash court structure into the chapel in the late 20<sup>th</sup> century had caused significant damage to the existing decorative scheme with many projecting plaster work finishes hacked off or mutilated. Nevertheless the scheme was still very legible and consisted of late and plaster battened walls covering over the stone walls of the Chapel which showed no sign of earlier decoration or plasterwork save from some iron clamps along the east wall which may have had an earlier function of supporting and retaining panelling (plate 24). The lathe and plaster walls were covered with a painted and stencil decoration of repeated geometric shapes in red and green with white, gold and silver detailing and highlighting.



*Plate 24. (above left) 19<sup>th</sup> C lathe and plaster with decorative painted stencil work on battens attached to the former west outside wall of the 17<sup>th</sup> century Hall. (above right) iron brackets behind the 19<sup>th</sup> c decoration and possibly to retain some form of panelling for an earlier chapel decorative scheme.*

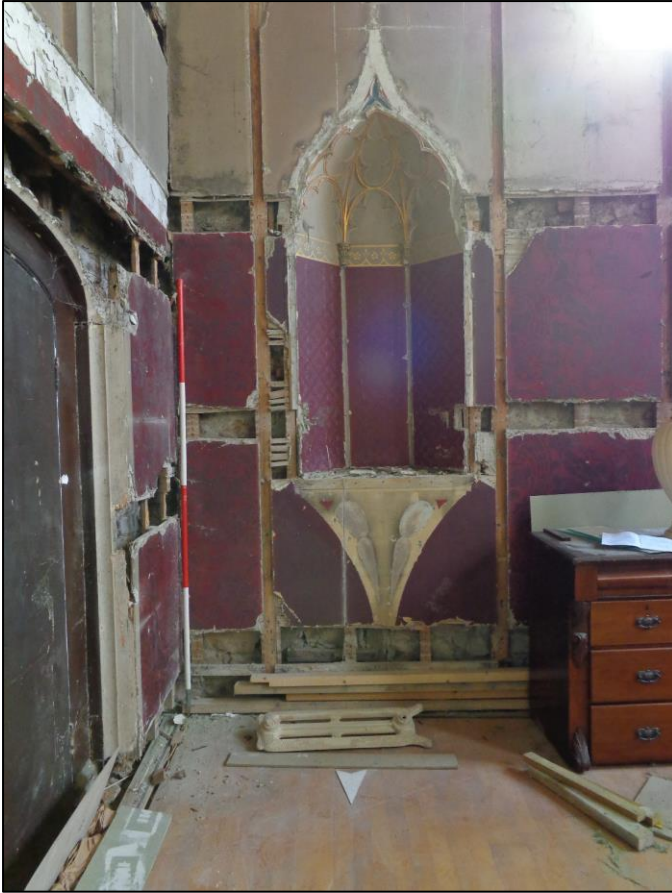


Plate 25. Various views of the chapel taken in 2014 after removal of the 20<sup>th</sup> C squash court showing the revealed mid-19<sup>th</sup> century decoration and the extent of the damage caused by the squash court. (bottom left), two views of a heater within a niche on the east wall and still in-situ. (below) a view in 2020 showing how the damaged decoration was conserved behind a new ventilated plasterboard wall.





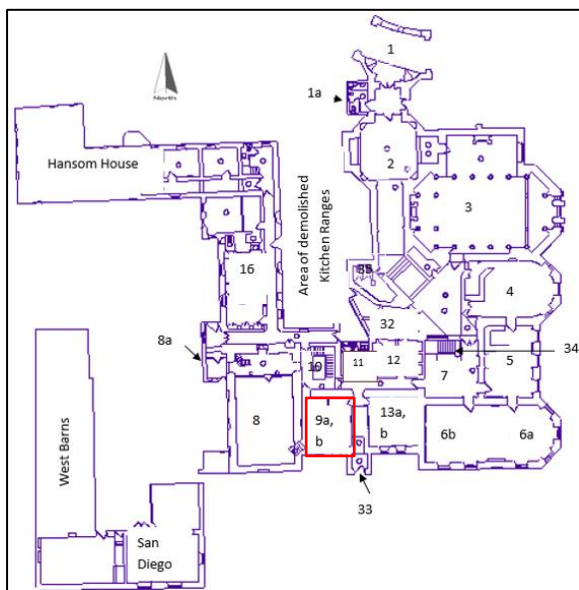
Plate 26. 19<sup>th</sup> century stained glass revealed by the removal of the squash court structure in the chapels west wall (above from south to north) and above the altar at the south end (left). The angled scar left by the squash court can be seen in the view looking SW from the balcony (below)





Plate 27. The Chapel room G8, looking south from the balcony at the north end. (above left) in 2014 following removal of the late 20<sup>th</sup> century squash court; (above right) after building and conservation work in 2020.

### 3.2.8 G9 The Sacristy



The area of the 19<sup>th</sup> century Sacristy forms the principal west room of the pre 18<sup>th</sup> century Hall, when the main face of the house was to the south. The use of this room as a Sacristy had been established by 1800 as seen in a plan of that year (plate 1), most likely associated with the significant mid Georgian changes which realigned the house with major extensions on its east side. Probable windows on the west side of the room would have become blocked at this point once the chapel had been constructed. The works which saw the high Victorian redecoration of the chapel is also likely to have been when the sacristy was divided into two with a partition N-S wall in the centre of the room, to the east the area then functioned as a hallway with encaustic tile floor. Removal of the non-structural partition during

the current scheme of works revealed the major N-S centrally placed beam holding up the first floor. On the underside of this beam were the markings of lathes (plate 28) indicating the presence of earlier plasterwork around the beam. No evidence was present as to the complexity, detail or date of this decoration.



*Plate 28 Room G9, formerly a principal room of the 17<sup>th</sup> C Hall. (Clockwise from top left) looking SE showing floor scar left by removal of the later N-S partition wall, with 19<sup>th</sup> C encaustic tile floor to the east. (Above right), detail of the encaustic tile floor. (Right) scars from earlier lathe and plaster to the central supporting beam. (below right) view of room in 2012 prior to building works looking SW showing 18<sup>th</sup> C fireplace and steps to the chapel (Below left) view of the room in 2020 after building works.*

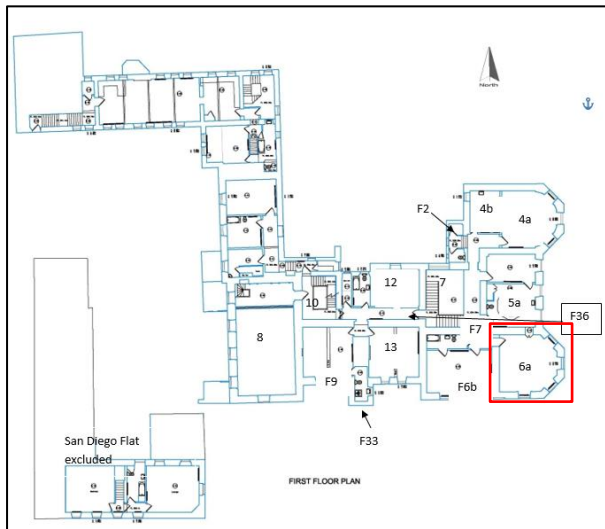




### 3.3 First Floor:

Works to the first floor largely involved decoration, but there was also the rearrangement of the doors inbetween room F6a and F6b and the hall/landing of the best staircase to allow the creation of en-suite facilities together with a false wall in F6a to create a shower room/WC. Removal of 20<sup>th</sup> century decoration in this room and also the top of the staircase F7 exposed some concealed structural elements and earlier, pre-20<sup>th</sup> century decorative schemes.

#### 3.3.1 F6a Bedroom 2



Bedroom F6a is within the mid-18<sup>th</sup> century Georgian extensions to the Hall which saw its principal façade realigned from the south to look to the east over the park. The location of this room marks it out as one of the principal, best bedrooms. Removal of late 20<sup>th</sup> century wallpaper on the west wall of the room allowed observations to be made of what was prior to the 18<sup>th</sup> century extensions, the outside east wall of the 16/17<sup>th</sup> century hall. At the south end of the room's west wall, a chimney flue for the Georgian wing had been cut into the stonework of the west wall of the earlier building and been constructed in brick and faced off with saw timber to allow plaster and wall decoration.

At the far south end of the exposed section what appeared to be basic undressed quoins, still with a hint of green lichen could be seen which may have represented the south-east corner of the pre-18<sup>th</sup> century building as seen in the Buck illustration of 1720 (below).

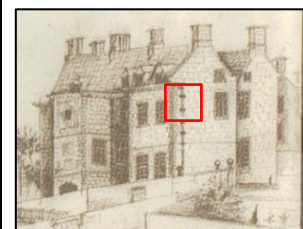


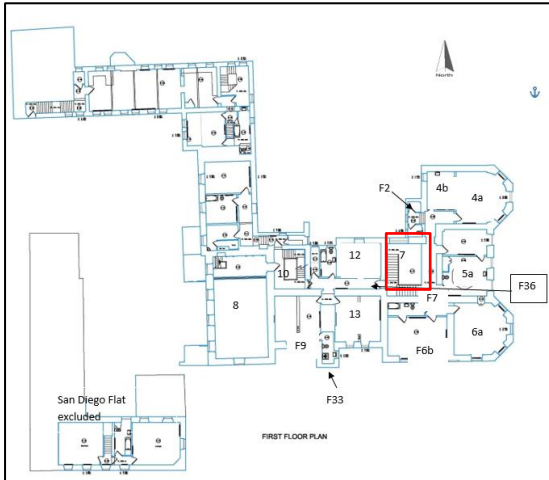
Plate 29. West wall of principal bedroom F6A showing revealed quoins of pre 18<sup>th</sup> century hall east wall (shown on insert of Buck drawing of 1720, and later inserted flue for ground floor room G6a)

Removal of woodchip lining paper from the ceiling of this room, probably applied in the early 20<sup>th</sup> century, revealed a decorative scheme consisting of a number of heraldic shields relating to the Appleby, Lawson, Maire, Silvertop and Witham families which are also evident in the stained glass work on the Best Staircase and in the Chapel. On this basis it seems likely this scheme is of a similar mid-19<sup>th</sup> century date, and part of the works carried out by Joseph Hansom on the instruction of Msgr Witham around 1859-63.



*Plate 30. Room F6a looking south east (above left), showing the mid-19<sup>th</sup> century painted ceiling revealed during restoration works. The scheme is likely to be of c.1859-63 during improvements by Msgr Witham and includes heraldic shields of related Catholic families who had previously owned the Hall. Prior to the building works this was covered by an early 20<sup>th</sup> century wood chip wall paper.*

### 3.3.2 F7 Best Staircase



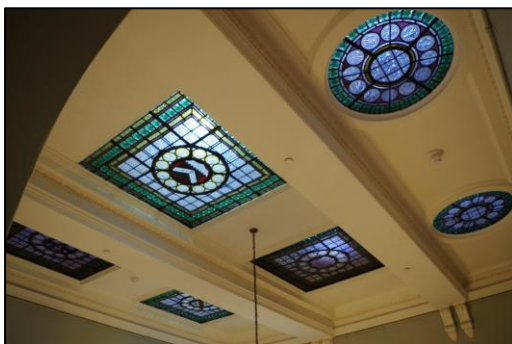
The Best Staircase in its current form is part of the major mid-18<sup>th</sup> century works which realigned the house to look east over the park and provide a fashionable Georgian aspect. The Buck drawing of 1720 shows that there was an existing part of the house in this location prior to this but not if it contained a staircase.

Removal of wallpaper from the second half of the 20<sup>th</sup> century revealed the fragmentary remains of a single earlier decorative scheme consisting of an earlier wallpaper with a repeated floral pattern in blues and reds. Opinion on the date of the

wallpaper was sought from the Victoria & Albert Museum. 'The wallpaper appears to date from the middle decades of the 19<sup>th</sup> century, so it would be a good fit with the redecoration of the property around 1860'<sup>5</sup>. The design while of quality was generic and no named designer or manufacturer could be attributed.



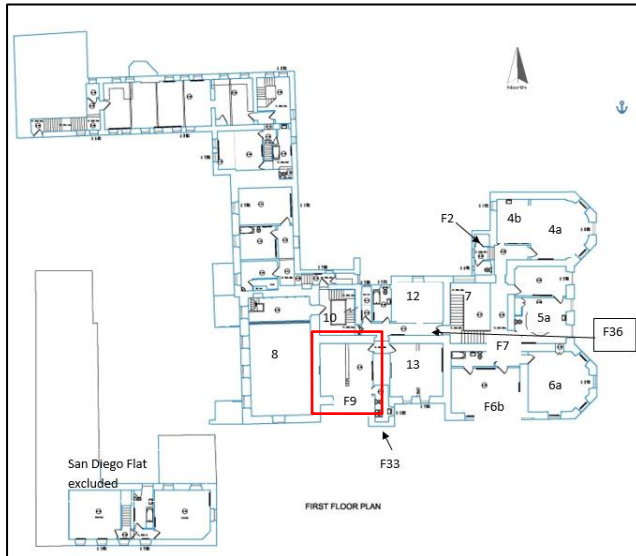
Plate 31. The Best Staircase F7 looking at the north wall of the first floor landing where removal of 20<sup>th</sup> century wallpaper exposed an earlier wallpaper of blue and red repeating floral print (detail above right) Plate 32. (below), The Best Staircase ceiling showing the cleaned and restored (January 2020), stained glass of the top lit family heraldic design introduced by Msgr Witham in 1859.



The stained glass, top lit ceiling was also cleaned and restored during the works. This has previously been attributed to the work of Msgr Witham, realised by Joseph Hansom in the period from 1859 to 1863 and it seems likely that the glass ceiling and wallpaper all date from the extensive works and decoration of the Hall at this time.

<sup>5</sup> Gill Saunders, Senior Curator (Prints), Word & Image Dept, Victoria & Albert Museum. 2020 January.

### 3.3.3 F9 Bedroom



Works to this room were largely cosmetic but it provided an example of how many areas of floor boards throughout the building had to be lifted to allow the introduction of modern wiring and services (plate 33).



Plate 33. (above right) room F9 during building works in 2012 looking SW and showing how modern wiring and services were accommodated. (above left) the same room and view following conservation works in 2020.

### Conclusions

The archaeological monitoring of the consented conservation and alteration works to Lartington Hall provided the first modern opportunity in the building's history to make archaeological observations as area of the building were opened up and revealed. Additional evidence was recorded for a variety of historical periods from the 17<sup>th</sup> century onwards and which has allowed some refinement of our understanding of how the building has evolved over time. Building works also revealed several areas of previously concealed but surviving elements of earlier decorative schemes, largely of the mid-19<sup>th</sup> century. Together with the Statement of Significance of 2011, the archaeological recording and in particular the photography also forms an important record of the Hall prior to, during and after the consented works. This has been deposited as a public record with the Durham Historic Environment Record and with the OASIS record of archaeological project supported by ADS at York University, and will in future be available for those interested and involved in the ongoing care of this very special Grade II\* listed building.

In particular the following findings from the archaeological recording are of note.

**17<sup>th</sup> c window and form of the early Hall.**



The discovery of the mullion and transom window and associated plinth course in the east wall of the Chapel (plate 34 bottom left), which is also the outside west wall of the pre-1800 hall, is exceptionally helpful in identifying the size and ground plan of the 17<sup>th</sup> century building and its subsequent evolution. The design and form of the blocked window is identical to the blocked window on the Hall's projecting entrance turret (plate 34) and which is dated to 1635. This had previously been obscured by a later sundial and vegetation. Similarly the plinth course is also identical to that found on the south elevation of the Hall either side of the stair turret, strongly suggesting this is all of one contemporaneous build.



*Plate 34. (above) 17<sup>th</sup> C mullion & transom window on the entrance tower previously concealed by the sundial dated 1641 (top left). The central transom is identical in form to that exposed in the east wall of the Chapel, the former west wall of the Hall (left)*



*Plate 35. (far left) plinth course revealed in former outside west wall of the Hall/East wall of Chapel and identical plinth course on the south elevation of the Hall dated to 1635 (near left).*



Plate 36. The South elevation of Lartington Hall in 2020 at the completion of works showing phases of construction and extension. Comparison with the Samuel Buck drawing of 1720 (below) also shows how as well as the extensions, the roofline of the Hall has also been altered to a shallower pitch without dormers the whole being unified by a moulded sandstone course running around the whole of south and east elevations. This seems likely to have been part of the significant Georgian work of c.1760 which altered the principal elevation of the Hall from the south to the east to look over the newly laid out landscape parkland.



As discussed in the 2011 Statement of Significance, it still remains likely that there are elements of the Hall which date from Tudor times (16<sup>th</sup> century), the presence of the blocked window on the entrance turret and the similar window exposed during work to the Chapel which are of mid 17<sup>th</sup> century style, match well with the date of 1635 to the principal south elevation (although the nowlost sundial dated to 1641 must have been added to the blocked window very quickly unless moved from elsewhere). The location of the window exposed in the Chapel wall (plates 34 & 35) together with the evidence of the Buck drawing also gives more confidence in identifying the 17<sup>th</sup> c house as a twin pile construction.

### **Earlier decorative schemes**

No evidence was located during the works for any decorative scheme pre-dating the 19<sup>th</sup> century. Nevertheless wall paper on the Best Stair (F7) and painted ceiling decoration in Room F6a provided further understanding of the major works introduced under Msgr Witham around 1860.

### **Major works of 1861-3**

While the major works and extensions of 1861-3 by Joseph Hansom for Msgr Witham are well understood, the excavation of service trenches on the north side of the Hall and opening up of several areas for new doors and repairs allowed some observations of construction techniques. In particular it is clear that the Grand Corridor is of brick construction with iron braced arches all faced off externally with dressed sandstone. The location of the boiler house installed to heat these new works and seen as a small rectangular structure on older mapping was also located. There was however little evidence of any sub surface survival of the demolished 18<sup>th</sup> and 19<sup>th</sup> century kitchen and service buildings on the north side of the hall, where only unconsolidated rubble was identified.

## Appendices

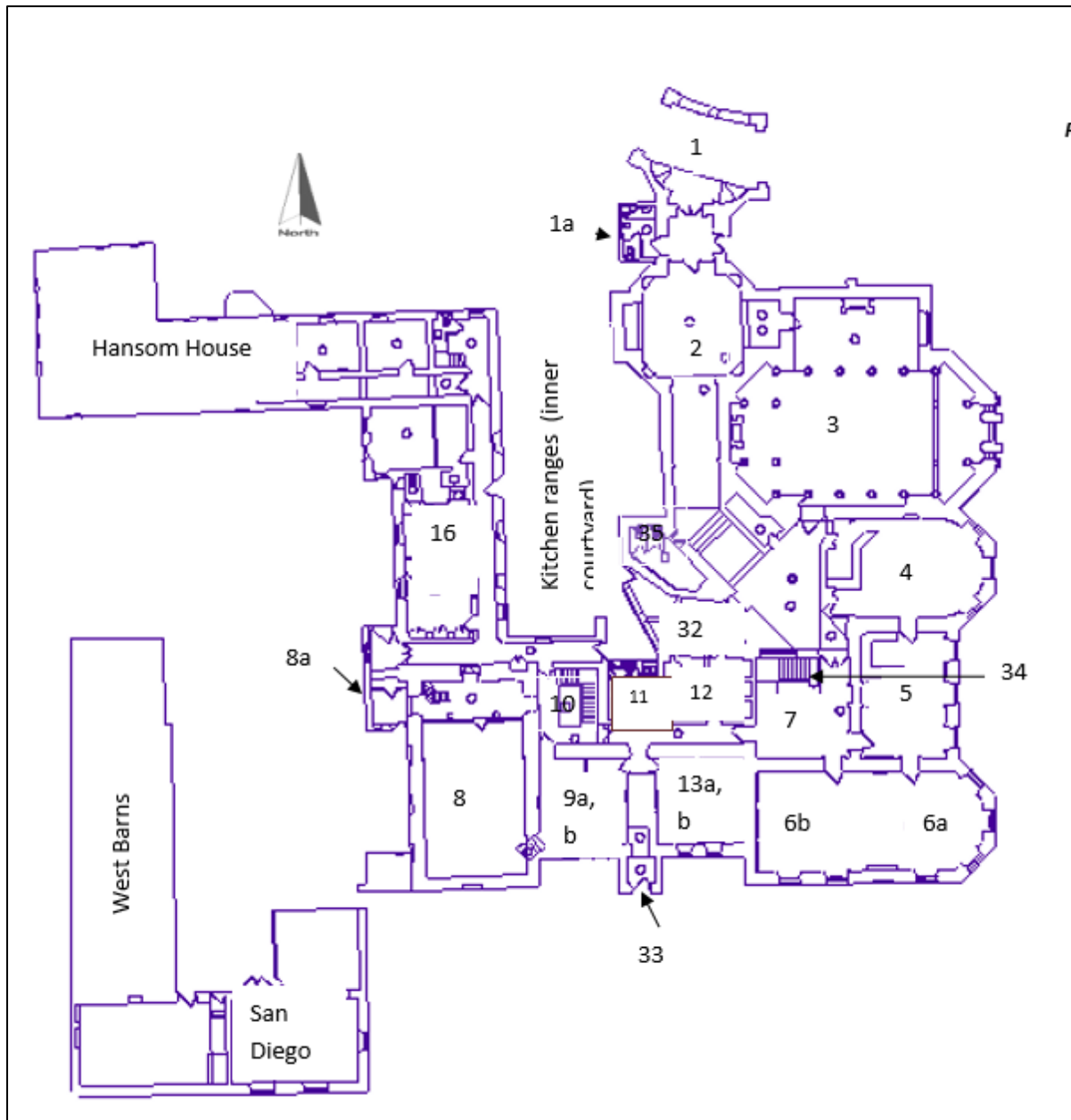
- Annex A Floor plan and spaces diagram and numbering
- Annex B Written Scheme of Investigation (Nov 2012)
- Annex C Photo Index with floor plans showing location of photos

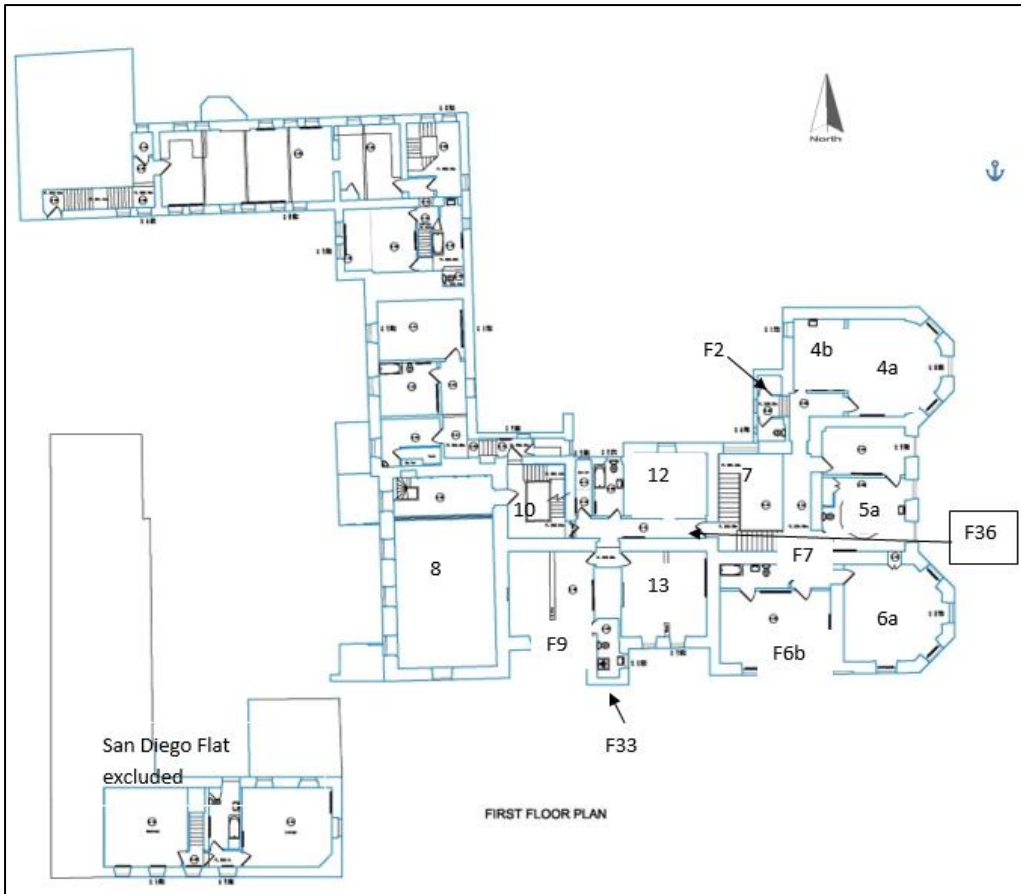


**Annex A      Floor plan and spaces diagram and numbering**

Room number	Historic names and dates if known	Current use and name
<b>Ground floor</b>		
G1	Porte Cochère 1863.	Porte Cochère/entrance porch
G1a	Cloakroom on west side of porte cochère, post 1863	Gentlemen's Toilet
G2	Grand Corridor	Entrance Hall
G3	Museum 1831, Ballroom 1861, military hospital 1940s, squash court 1980, theatre 1990s, recording studio 2007.	Ballroom
G4	Drawing room 1800; dining room 1897	Bar/lounge
G5	Hall 1800; ante room 1897; 1912-17 library	Kitchen
G6a	Breakfast room 1800; drawing room 1897	Drawing room
G6b	Dining room 1800; drawing room 1897	Drawing room
G7	Best staircase 1800	Main staircase
G8	Chapel 1800; squash court 1983	Squash court
G9	Sacristy 1800; store	Store
G10	Back staircase 1800	Back staircase; 'curly wurly' stair (Claire Rackham pers comm.)
G11	Office 1800;	W.C and shower
G12	Butler's Pantry 1800	Utility room
G13	Old Hall 1800, Mr Field's Office 1917-53, suite no.6 2000	
G14	Kitching 1800	Demolished
G15	Back Kitching 1800	Demolished
G32	-	Courtyard access to cellar and utility room
G33	17 <sup>th</sup> century porch	17 <sup>th</sup> century porch
G34	cellar	cellar
G35	-	Ladies' toilet
G36	Servants' corridor	Entrance hall to Field Suite (Hall between main stair and old hall)
<b>First Floor</b>		
F2	Maid's Room 1917, W.C	Linen Cupboard
F4a and b		NE Bedroom (no. 1) with en-suite
F5 a	Dressing room, Bedroom	En Suite bathroom
F5b	Dressing Room, Bedroom (part)	Dressing room or single bedroom
F6a	Bedroom	SE Bedroom no.2
F6b	Bedroom	Bedroom no. 3
F6c	Bedroom	Ensuite to bedroom 6b
F7	Best stair 1800	Main stair and hall
F8	Chapel 1800	Chapel Gallery
F9		Bedroom no.5
F10	Back staircase 1800	Back staircase; 'curly wurly' stair (Claire Rackham pers comm.)
F11 a and b		Boiler room, store and bathroom
F12		Kitchen
F13		Bedroom no. 4

F33	17 <sup>th</sup> century porch	W.C to F9
F36	Hallway to rear of 17 <sup>th</sup> c range	Hallway to rear of 17 <sup>th</sup> c range
<b>Cellars</b>		
<b>Second Floor</b>		
S9		Bedroom
S10	Back staircase 1800	Back staircase; 'curly wurly' stair (Claire Rackham pers comm.)
S11		Boiler room, store and bathroom
S12		Kitchen
S13		Bedroom
S33	17 <sup>th</sup> century porch	W.C to F9
S36	Hallway to rear of 17 <sup>th</sup> c range	Hallway to Upstairs Flat
<b>Servants' Hall and Hansom House/Witham Court Concordance of room numbers</b>		
G16a	Servant's Hall 1800	Davenport Flat Bedroom and Kitchen and WC
G16b	Shoe Room 1800; Housekeeper's bedroom 1861	Davenport Flat Living room
F 16a	Unknown, possibly priest's accommodation	Silvertop Flat bedroom and reception room
F16b	Unknown, possibly priest's bedroom	Silvertop Flat bathroom
G16b	Servants' corridor between kitchen and hall	Access hall to Davenport Flat, Witham Court and chapel
G16c	Porch to servants' corridor	Porch to Davenport Flat and Witham Court
G16d	Wash house and part laundry 1800; Laundry 1861	Bedrooms 1 and 2 and bathroom to Witham Court
G16e	Wash house and part laundry 1800; Ironing table 1861	Witham Court ground floor hall to bedrooms
G17	Laundry 1800; Landing, and sewing room 1861	Landing, part corridor of Witham Court
F17a	Room above shoe room 1800, Room above housekeeper's bedroom 1861	Witham Court bedroom and bathroom
F17b	1861 Landing and Room above sewing room	Witham Court landing and kitchen
F17c	Room above wash house 1800, room above laundry 1861	Witham Court reception room
F17d	Stair and landing to side door 1861	Stair and landing to side door from Witham Court
20	Brew house 1800	Hansom House (demolished)
21	Slaughter House 1800	Hansom House (demolished)
22	Stables 1800	Demolished
23	Stables 1800	San Diego Flat
24	Gateway 1800	Demolished
25	Stables	West Barns (Different Ownership)
29	Court Yard 1800	Court Yard





**Annex B      Written Scheme of Investigation (Nov 2012)**



**LARTINGTON HALL, COUNTY  
DURHAM.**

**ARCHAEOLOGICAL MONITORING  
IN ASSOCIATION WITH CHANGE  
OF USE TO WEDDING AND  
CONFERENCE VENUE  
INCLUDING DEMOLITION OF  
OUTBUILDINGS, ERECTION OF  
EXTENSION, INTERNAL  
ALTERATIONS, REPAIRS AND  
REFURBISHMENT.**

**WRITTEN SCHEME OF  
ARCHAEOLOGICAL  
INVESTIGATION**

**Archaeo-Environment for Shona  
Harper and John Wilkes.**

**November 2012**



Archaeo-Environment Ltd  
Marian Cottage  
Lartington  
Barnard Castle  
County Durham  
DL12 9BP

Tel/Fax: (01833) 650573  
Email: [info@aenvironment.co.uk](mailto:info@aenvironment.co.uk)  
Web: [www.aenvironment.co.uk](http://www.aenvironment.co.uk)

**Lartington Hall, County Durham; An Archaeological written scheme of investigation in association with a change of use to wedding and conference venue with guest accommodation and demolition of outbuildings, erection of extension, internal alterations, repairs and refurbishment. Lartington Hall, Lartington, Barnard Castle, County Durham, DL12 9BW.**

## **1.0 INTRODUCTION**

- 1.1 Planning permission and Listed Building Consent has been granted for an extensive programme of restoration and development work at Lartington Hall relating to its new consented use as a wedding and conference venue together with guest accommodation.
- 1.2 Lartington Hall is a listed building and sits within the Lartington Village conservation area and is adjacent to the registered designed landscape of Lartington Park. Due to these significant heritage considerations the planning authority Durham County Council (DCC), requested that a detailed heritage assessment and statement were undertaken as part of the planning application. These were prepared by Archaeo-Environment (AE) and submitted as part of the planning and listed building consent applications validated on 17<sup>th</sup> April 2012.
- 1.3 Planning permission (6/2012/0128/DM/LB), was granted on 2/10/2012 and included two conditions regarding archaeology;

**Condition 14:** *No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation covering building and archaeological recording. The document shall be submitted to, and approved in writing, by the local planning authority. The strategy shall include details of the following:*

- i) Measures to ensure the preservation in situ, or the preservation by record, of archaeological features of identified importance.*
- ii) Methodologies for the recording and recovery of archaeological remains including artefacts and ecofacts.*
- iii) Post-fieldwork methodologies for assessment and analyses.*
- iv) Methodologies for a programme of building record, to be compliant with EH standards and guidance and to be carried out prior to any conversion, or cosmetic, works or any stripping out of fixtures and fittings.*
- v) Report content and arrangements for dissemination, and publication proposals.*
- vi) Archive preparation and deposition with recognised repositories.*



vii) *A timetable of works in relation to the proposed development, including sufficient notification and allowance of time to ensure that the site work is undertaken and completed in accordance with the strategy.*

viii) *Monitoring arrangements, including the notification in writing to the County Durham Principal Archaeologist of the commencement of archaeological works and the opportunity to monitor such works.*

ix) *A list of all staff involved in the implementation of the strategy, including subcontractors and specialists, their responsibilities and qualifications.*

*The development shall then be carried out in full accordance with the approved details.*

*Reason: To comply with Policy BENV11 of the Teesdale District Local Plan and para. 135 and 141 of the NPPF.*

**Condition 15:** *Prior to the development being beneficially occupied, a copy of any analysis, reporting, publication or archiving required as part of the mitigation strategy shall be deposited at the County Durham Historic Environment Record. This may include full analysis and final publication. Reporting and publication must be within one year of the date of completion of the development hereby approved by this permission. To comply with Policy BENV11 of the Teesdale District Local Plan 2002 and para. 141 of NPPF to ensure that the developer records and advances understanding of the significance of the heritage asset to be lost (wholly or in part) in a manner proportionate to its importance and the impact, and to make this evidence (and any archive generated) publicly accessible.*

1.4 This document forms a Written Scheme of Investigation (WSI) for archaeological monitoring and recording works to accompany the consented development works at Lartington Hall. This WSI has been developed in discussion with DCC Archaeology Section who were consulted on an initial draft of the WSI.

1.5 The detail of the required work is described below in section 5.0, but in summary this will be focussed on the following, the sites of which are shown in Figures 2 & 3:

- Monitoring and recording of excavation of foundations for new toilet and stores building to west of Hansom's Grand Corridor of 1863.
- Monitoring and recording of new/upgraded service trenches running through the building and rear service yard including new/revised manholes.
- Monitoring and recording of reduction in level of car parking area.

- Recovery and analysis of any artefacts or ecofacts from excavations to include collection and safe storage of detached decorative plasterwork from the principal ground floor public rooms.
- Monitoring and recording of approved alterations to listed building to provide before and after photographic and if required drawn evidence.
- Production of a 'post-excavation' assessment report of results, finds and any samples recovered.
- Production of a final report, archive and as appropriate publication of results.

1.6 The scale and nature of the planned works means there is no identified opportunity or need for any major excavation or further building recording work in advance of the consented works being undertaken. Instead a detailed and focussed watching brief is required in certain specific areas.

1.7 All recording works will be undertaken with clear research aims in mind and to appropriate standards. Identified research aims and standards are described in sections 4 and 6 respectively below.

## **2.0 SITE LOCATION**

2.1 Lartington Hall is located at the east end of the village of Lartington in the south-west of County Durham in an area which was historically up until 1974 part of the North Riding of Yorkshire. Lartington Village has pre-Norman Conquest origins and in its current form represents an east-west aligned two row plan village either side of a village green most probably laid out in the 12<sup>th</sup> or 13<sup>th</sup> centuries. While house plots and tofts are still clear to the north of the village green (itself now somewhat overgrown), to the south they exist largely as archaeological earthworks. The Hall is centred on NGR NZ 02170 17744 (Figure 1).

## **3.0 HISTORIC BACKGROUND.**

3.1 A full description and historic account of the Hall can be found in the Statement of Significance produced by Archaeo-Environment in 2011<sup>6</sup>. In Summary however the development of the Hall is as follows.

---

<sup>6</sup> Lartington Hall, Statement of Significance parts I – III, Archaeo-Environment Ltd, August 2011.

- 3.2 Although there may have been a Hall on the site since medieval times, the earliest discernible fabric standing today is of a possible Tudor, but certainly a 17th century stone house expanded to include 12 hearths for the Appleby family around 1635. This was a south facing building of three storeys with a three storey entrance porch with a date stone, statues, sun dial and windows which were surrounded with moulded architraves. It appears to have been only one room deep initially with two bays on either side of the porch, possibly with a stair block to the rear.
- 3.3 Two bays may have been added to the south range on its east side, and possibly on its west side, although there is less evidence for this to create a roughly symmetrical H-plan house. A Catholic priest was based at the house and would have used a room as a chapel, possibly a room in this west range which later became the chapel.
- 3.4 To the north was an additional later range, on a slightly smaller footprint than the south range. Evidence of the steeply pitched roofline is still retained in the attics. The house probably had walled gardens to the south and east and would be approached along a topiary lined avenue from the road to Barnard Castle. The direct approach may have been through what is now Crow Wood with the drive fossilised in 18th century Pleasure Walks, although there is no documentary evidence for this. By 1720 the building had a kitchen range to the north, aligned east west. Scarring marking where this range abutted a later servants' hall can still be discerned below the render. This pre-1720 kitchen range was replaced with a long kitchen range aligned north-south and additional rooms added on the north side to form a double pile house with a linear kitchen range extending from the rear (north side).
- 3.5 Around the mid 18th century the house was remodelled with a new extended wing to the east and possibly another to the west (if that had not already been built). That to the east has a pair of two storey bay windows to face down the newly remodelled parkland which swept away the old formal garden layout. This now became the principal elevation with a pedimented doorway located on the new central axis of the house and a carriageway to bring visitors through the parkland, with ample opportunity to admire the new symmetrical facade. A ha-ha was constructed as an essential requirement of unimpeded views from the house towards the naturalistic landscape complete with tree circuits, pleasure walks and tree clumps. The new east wing had the main reception rooms designed to appreciate views of the parkland and a fine new staircase was built with a stair light. Some of the windows in the old part of the hall had new multi-pane sash windows installed with internal shutters. The south part of the

house was now relegated to a servants' area. It may also be about this time that the chapel was altered to have a more outward appearance as a place of worship with simple arched windows along its external walls. The former principal room on the ground floor of the south side was turned into a sacristy for the priest who was based at the hall. A northern range was added to provide a laundry, wash house and brew house. This range was aligned east-west and extended from the north end of the kitchen ranges.

- 3.6 Later in the 18th century a servants' hall and shoe room were added alongside the kitchen range. These two buildings filled the gap between the chapel and the laundry. Above the servants' hall was a two roomed suite beautifully decorated, possibly for the live in priest.
- 3.7 Between 1832-60 the multi pane sash windows which had been installed in the 18th century and before, were replaced with new plate glass windows with only four panes. Some of the rooms had updated shutters added, but in the old part of the house, not all the shutters were replaced.
- 3.8 In 1832 Henry Witham commissioned Ignatius Bonomi to build a museum to display his fine collection of geology, fossils and 3,000 books. Bonomi designed a building adjacent to the house which extended its principal east facing elevation, and based the design for the key external architectural feature, the entrance door or window, on the existing central pedimented doorway of the hall. With its pillars and swags this harked back to the classical world which was then closely associated with traditions of learning and antiquarianism.
- 3.9 In the 1850s Monsignor Thomas Witham explored altering the chapel and commissioned plans to extend it with a chancel; however these plans were never implemented. He also seems to have added stained glass windows to the west side from Hardman's, one of which was dedicated to Henry Lawson. He also added two gothic windows to the south elevation.
- 3.10 In 1861-3 Monsignor Witham commissioned Joseph Hansom to make a number of alterations to his house and to design a grand corridor and covered entrance porch, or porte cochère, which would create a new formal entrance based on a procession along a corridor with opportunities to admire the rich carvings by Bulletti and the numerous paintings, fine china and statues in their niches. Hansom took his inspiration from the

mirrors in the museum and filled the corridor with light from sky lights and mirrors to compensate for the lack of any windows (the corridor was slotted between existing buildings, namely the museum and the 18th century kitchen range). He picked up the theme of columns from the museum with his use of pilasters and his rich painted plasterwork and arches reflected medieval England and rib vaulting. He added more coloured light into the best staircase by introducing a pre-Raphaelite stained glass window into the stair light and stained glass skylights, some with the Witham, Silvertop and Maire coats of arms. He pulled down the dividing wall between two main reception rooms on the ground floor and relocated the chimney to the south wall to create a larger room suitable for entertaining and dancing and added ornamentation to the Georgian doors. He also altered existing servants' buildings to create Hansom House in an early Arts and Crafts Style and made alterations to a number of servants' rooms in the Old Hall.

- 3.11 At the same time, the garden on the east side was redesigned with a gravel terrace and steps with circular bastions at the corners, probably by Hansom. Railings from Walker and Elmsley in Newcastle were ordered in 1870 and four large statues from Borrowdale in Darlington were purchased to create literary and mythical allusions in the garden. The main entrance was now on the north side and possibly as part of the switch to the north, the central pedimented doorway was removed from the east face and the garden was now a more private place; still overlooked by visitors, but only at a distance where the statues welcomed people through the gateways.
- 3.12 After 1870, the lower south facing window to the chapel was blocked, presumably because it was blocked internally by the altar.
- 3.13 The house was let complete with its furnishings and contents after Mgr Witham's death in 1897 to the Berkley-Matthews family. The house was put up for sale in 1910 and the new owner, David Magnus Spence, a staunch Methodist, had Hansom's brew house demolished, including the northern courtyard range. He put the contents of the house up for sale at auction in 1917.
- 3.14 The house was bought by Mr and Mrs Field in 1918 by which time the house was in poor condition. During the Second World War the house was used by the Red Cross as a convalescent hospital for soldiers; after the war the compensation paid to Mr Field was used for his yacht, rather than repairing some of the damage that had taken place.

After Mr Field died, the house slipped into disrepair again and by the time that Mrs Field was killed in a car crash in 1973, it was in dreadful condition.

- 3.15 The estate passed to nephews and nieces of Mr and Mrs Field via a Trust and they were unable to find a use for the hall and so it slipped further into decline. Mr and Mrs Field's family started to sell off everything in the hall and demolition was discussed; the 18<sup>th</sup> century kitchen range was demolished.
- 3.16 The hall was rescued by Robin and Claire Rackham who purchased it for a modest sum and started a lifetime's project of restoring the house while turning some of it into holiday let accommodation. As part of this process some of the outbuildings such as the boiler house were demolished. The house was not fully restored by the time Robin Rackham died in 2006 but he and his wife Claire had been able to replace the roof, restore some of the paintwork and plasterwork in the ballroom, chapel and grand corridor, replace rotten floors and windows and bring most of the hall into active use.
- 3.17 The house was sold to John Wilkes and Shona Harper in 2011 who began the current scheme of restoration and works.

#### **4.0 RESEARCH AIMS AND OBJECTIVES**

- 4.1 The consented works at Lartington Hall provide potential opportunities to both further understand the history of the Hall itself and its former owners and occupiers, and also to contribute to questions and themes identified in the North East Regional Research Framework (NERRF 2006). In particular the following will be addressed in all archaeological works on the site.
- MD3 (Vernacular architecture) and MDxi (The medieval to post-medieval transition). Although there is no identifiable evidence for the pre Tudor House, any opportunities should be taken to identify and understand the medieval Hall site and any surviving fabric.
  - PM5. (Landscapes and Mansions of the 18<sup>th</sup> Century). Lartington is an excellent example of a country house and parkland remodelled in the 18<sup>th</sup> century. Further information, dating and understanding of this will be of value.
  - Although not specifically mentioned as a research topic in NERRF, the continued catholic influence at Lartington through the Maires, Silvertops and Witham's is of considerable interest in the design and use of the building. Any

archaeological observations should seek to identify evidence of Catholic influence in use through artefacts or in the design and construction of the Hall.

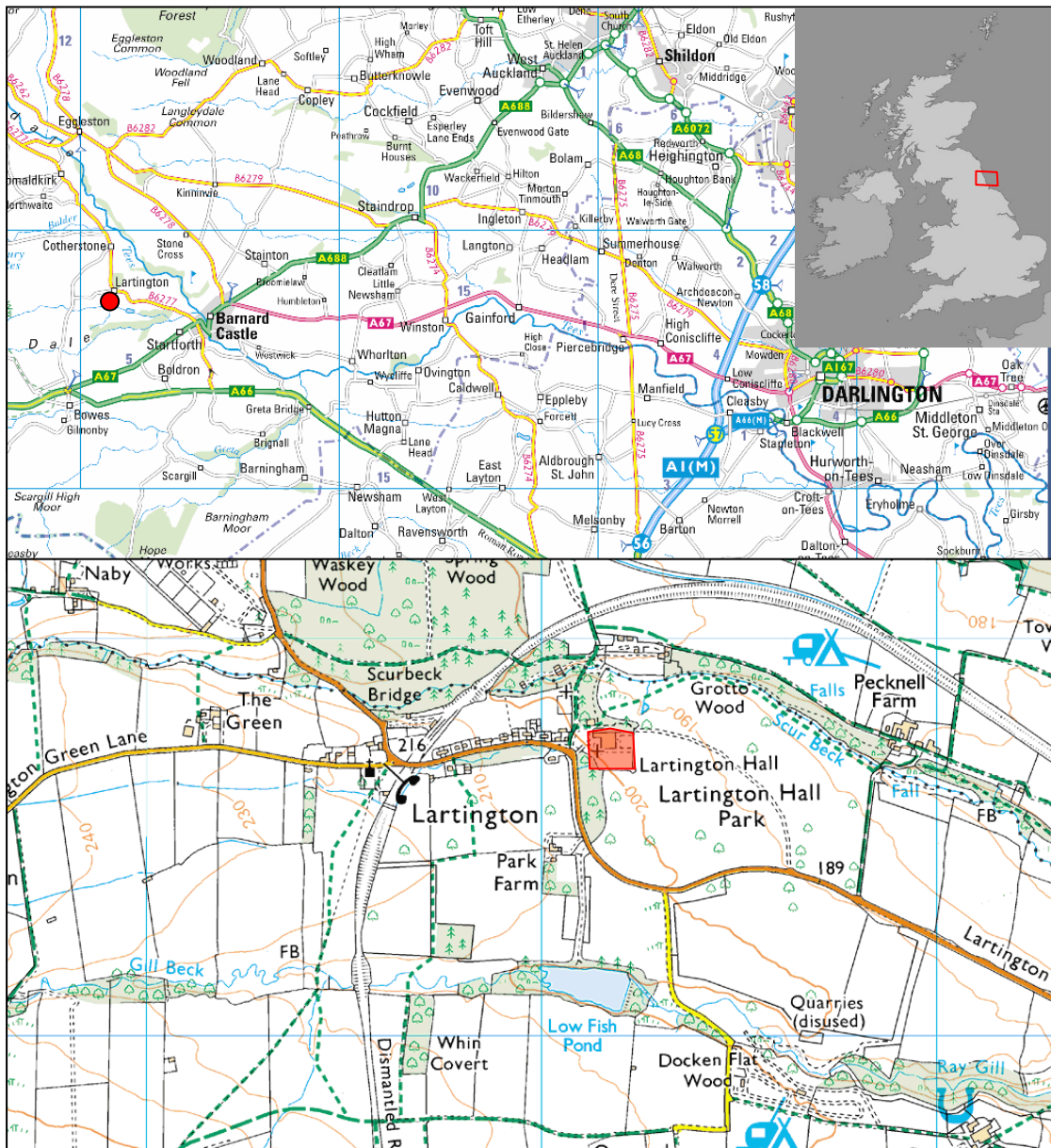


Figure 37. Location Plan. © Crown copyright 2011. All rights reserved. Licence number 100042279. (Not to scale)

## 5.0 ARCHAEOLOGICAL BRIEF.

### 5.1 Monitoring.

During the pre-application works for the planned restoration and associated works, a significant body of survey, documentary and photographic record material has been brought together for the hall. The consented works largely concern removal of

inappropriate alterations and repair materials used in the latter half of the 20<sup>th</sup> century, together with redecoration and some small amount of alterations and new build to facilitate the new use as a Wedding and conference venue. Consequently there is no identified need for any major excavation or further building recording work in advance of the consented works being undertaken. Instead a detailed and focussed watching brief is required in certain specific areas.

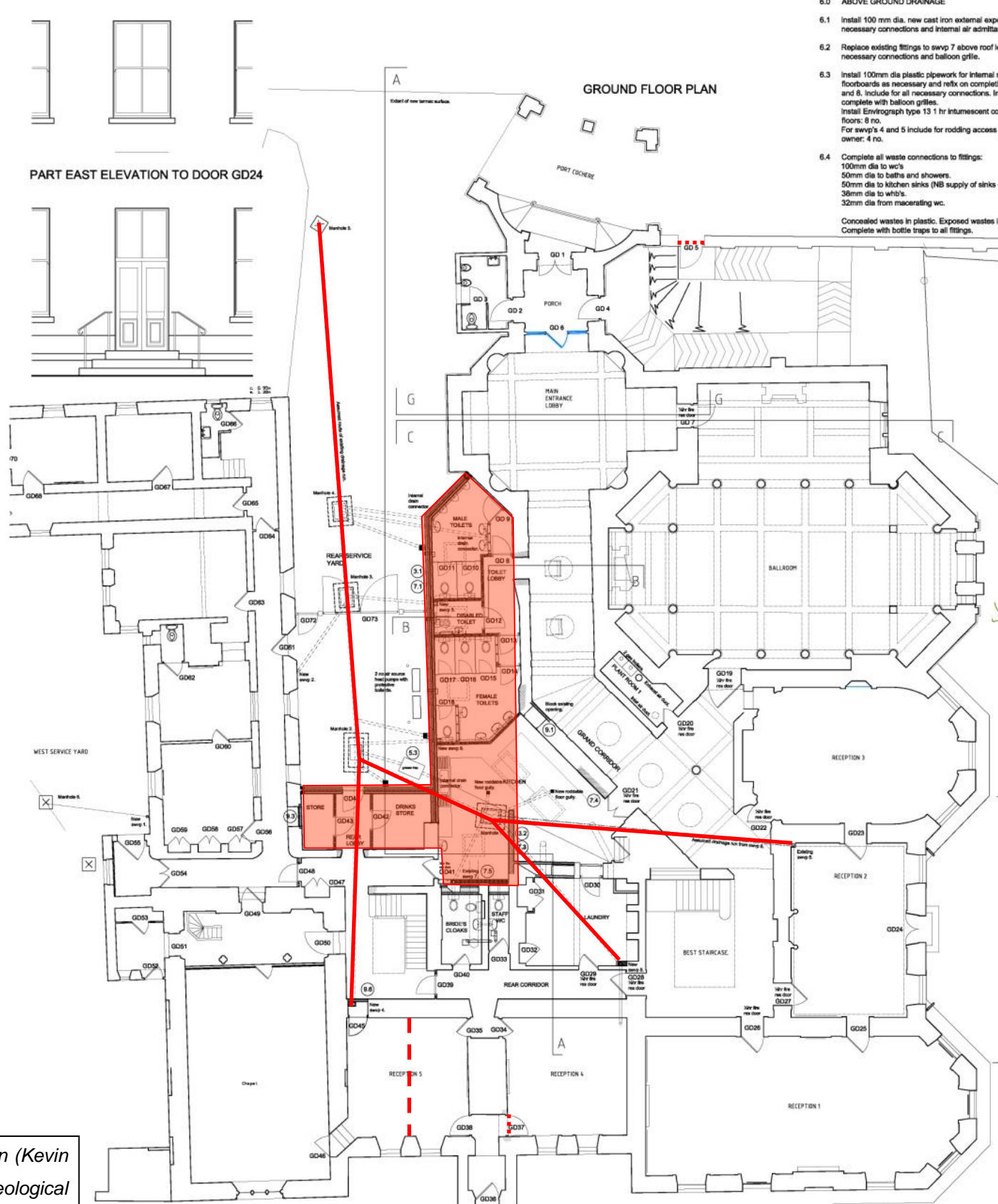
The specific areas of interest are identified where possible in Figures 2 and 3 and described below.

- 5.2 Regarding decorative schemes, substantial correspondence has been entered into with English Heritage and the DCC Conservation Officer to the effect that only in the principal formal reception rooms and the Ballroom/Museum has it been necessary to agree detail. This agreement has not required any specialist paint analysis and so no further detailed work is required in this area as part of this WSI.
- 5.3 A project timetable has been provided for the consented works identifying discrete tasks. Where archaeological monitoring is required, the timetable has been annotated and a copy supplied to the main contractor. Liaison meetings will be undertaken at the start of each working week to review progress and any alterations to the timetable. A copy of the schedule is attached at Annex A.
- 5.4 The required monitoring and recording works fall into Four areas as follows and where required are shown on Figs 2 and 3;
- 5.5 **(1) Archaeological monitoring of excavations.** (a) The main new construction will be the toilet/service block on the west side of Hansoms Grand corridor of 1863. The Rear service yard occupies the site of the 18<sup>th</sup> century kitchen wing which was demolished in the second half of the 20<sup>th</sup> century, anecdotal evidence suggests this was a cellared building and it maybe that excavation for new foundations will uncover demolition rubble within the cellar void. (b) Further monitoring of additional/rebuilt drainage runs from interior of Hall to the rear service yard. The two drainage runs from the rear service yard into the hall are also shown on Fig 2. Installation/upgrading of these and associated man-holes should also be monitored in particular for any evidence of the pre-17<sup>th</sup> century house. (c) An area of the car park on the north side of the hall is to be regarded and while there is no evidence of any previous structures in this area, a watching brief should be maintained here also .



Schedule of works for the refurbishment of Lartington Hall.

- 1.0 PRELIMINARIES
  - 1.1 Allow for all necessary preliminaries associated with the contract: scaffolding, plant, transport, insurances, staff welfare facilities, skips hire/removal, etc. for the duration of the contract.
  - 1.2 Arrange for a pre-refurbishment asbestos survey of the building. Include a provisional sum of £1000 for the survey.
- 2.0 DEMOLITIONS
  - 2.1 Include for all necessary demolitions, stripping out and removal of debris in readiness for the refurbishment works. Arrange for a pre-tender visit to the site to fully assess the scale of the work involved. All demolitions and stripping out to be carried out carefully. Before carrying out these works agree with the building owner, the scale and methodology.
- 3.0 FOUNDATIONS
  - 3.1 Excavate and install new foundations for the new kitchen/toilets extension external walls: 900 x 300 mm RC strip footings. The contractor should assume there will be 'fill' in this area.
  - 3.2 Excavate and install new foundations for the new kitchen extension internal wall (to support roof structure): 600 x 300mm RC strip footing.
- 4.0 FLOORS
  - 4.1 Excavate and install new ground floor construction to the new kitchen/toilets extension (Store, Rear lobby, Drinks store, Kitchen, male, female, disabled toilets and toilet lobby): 75mm screed on DPM on 60 mm Kingspan insulation on self adhesive DPM on 150mm concrete slab on 150mm consolidated hardcore. Include for 25mm perimeter insulation, dressing DPM's and bonding to wall DPC's, primers for DPM's, co-ordinating the construction for the installation of underfloor heating pipework embedded in the screed. Include for breaking out 3 no redundant manholes. Trace existing drainage runs, make good to the runs to maintain flow. Allow for additional consolidated backfill as necessary.
  - 4.2 Install underfloor heating in Main Entrance, Grand Corridor, Ballroom and Reception 3. These areas are suspended floor structures on sleeper walls and ventilated subfloor voids. Carefully lift existing floorboards, fix 150 mm wide x 18mm ext equal WBP ply fixed nailed to underside of existing joists to form bearers for insulation. Install 70mm Kingspan insulation between joists complete with taped joints. Arrange for specialist mechanical installer to fit underfloor heating pipework. Ensure minimum notches in joists, where necessary these are to be over sleeper walls to maintain structural strength of joist. Specialist to complete with metal spreader plates clipped to pipework. Main contractor to refit salvaged floorboards. Include for carefully removing existing skirtings and refitting on completion. Allow for replacing 20% of the skirtings to account for damage to match existing profiles.
  - 4.3 Install underfloor heating in Reception 2 and Best Staircase. These are solid floor construction. Break out existing modern ceramic floor tiles and excavate to new formation level. Install new marble tiles on 75 mm screed, on 70 mm Kingspan insulation on 125 mm conc slab on DPM on 60 mm sand bedding on 150mm min consolidated hardcore. Include for carefully removing existing skirtings and refitting on completion. Allow for replacing 20% of the skirtings to account for damage to match existing profiles. Include for 25mm perimeter insulation, dressing DPM's and bonding to wall DPC's, primers for DPM's and for co-ordinating the installation of underfloor heating pipework (by specialist mechanical installer) embedded in the screed.
  - 4.4 Upgrade the floor construction to first floor to Bedrooms 1, 2, 3, 4, Linen 1, WC and landing to Bedroom 1, to achieve 1hr fire resistance. Install Envirograph Under floor fire barrier and acoustic barrier. Carefully lift sections of flooring comprising of 3 no boards approx. 1.5mets apart. Cut through tongues, do not split. Slide the Envirograph product into place over the ceiling below. Turn up at the edges and fix with cleats nailed to the joists. Refix the salvaged floorboards.
- 5.0 BELOW GROUND DRAINAGE
  - 5.1 Trace existing drainage runs. (NB breaking out 3 no redundant manholes included above) Trace existing drainage run from existing swp 6. Excavate for and install manhole 1: 215mm thick 'Class B' engineering brickwork with 1:3mix mortar joints, off 225mm thick grade C35 concrete base slab. Slab to be 300mm below outgoing drainage pipe and also there is to be 25mm difference in level from all the incoming pipes to outgoing pipe. Fill over the chamber a 150mm thick concrete reinforced slab with a 600x450mm clear opening in the slab. Fit around opening on top of concrete slab, 2-4 courses of 'Class B' engineering brickwork with 'Class 1' mortar. Install screw down recessed manhole cover. At tender stage allow for nominal 1000mm invert below floor level to drain include for swept bends, benching, etc.
  - 5.2 Install manholes 2, 3 and 4: all as above for manhole 1. Except allow for cover and frame to be a C250 solid top to BS EN 124.
  - 5.3 Install an intercepting grease trap for kitchen: Auline UG3 grease trap on 225mm.th. concrete base slab. Backfill with 100mm.th. concrete surround all in accordance with manufacturers instructions. Include for all necessary connections and heavy duty cover. Manufacturers Details: Auline Sales Department 1 Aldborough Street, Byth, Northumberland NE24 2EU Tel: 01670 544322 www.auline.co.uk
  - 5.4 Install 2 no Wade roddable floor gullies in kitchen: Gully trap ref. G304C, Stainless steel grating ref. K2307, height adjuster ref. U104 and cast iron to plastic coupling ref. T1501.
  - 5.5 Install 3 no Hepworth internal drain connectors ref S462P all in accordance with the manufacturers instructions.
  - 5.6 Install 3 no. Hepworth external surface water yard gullies: gully ref. 4A22A, complete with metal grid ref. 4A22D.
  - 5.7 Adapt existing manhole 6 including for all necessary swept bends, benching and haunching.
  - 5.8 Adapt existing manhole 5 including for all necessary swept bends, benching and haunching.
  - 5.9 Complete drainage runs using 100 mm dia plastic drainware including for all necessary excavations, 150mm min bedding surround of pea gravel and consolidated backfill: Drainage in rear service yard area: including for slow bends to swp's 2, 3, 4, 5 and 8. Include for excavating for drain run from swp 5. Include for carefully taking up existing stone flags, setting to one side and rebedding on 100mmdry mix conc following backfill. Include for relieving lintols to passage through existing wall. Drainage to west yard: including for slow bend to swp to 1. Make good on completion. Drainage run from swp4 within the house is in solid floor construction. Make good on completion including for resetting the existing stone flags on 125mm dry mix conc bed.



- 6.0 ABOVE GROUND DRAINAGE
  - 6.1 Install 100 mm dia. new cast iron external exposed vent pipes at swp's 1 and 2. Include for all necessary connections and internal air admittance valves.
  - 6.2 Replace existing fittings to swp 7 above roof level with 100mm dia cast iron including for all necessary connections and balloon grille.
  - 6.3 Install 100mm dia plastic pipework for internal swp's 3, 4, 5 and 8. Carefully lift existing floorboards as necessary and refix on completion. Include for air admittance valves to swp's 3 and 8. Include for all necessary connections. Install lead slate flashings to swp's 4 and 5, complete with balloon grilles. Install Envirograph type 13 1 hr intumescent collars to internal plastic swp's passing through floors: 8 no. For swp's 4 and 5 include for rodding access points. Locations to be agreed on site with the owner: 4 no.
  - 6.4 Complete all waste connections to fittings: 100mm dia to w/c's 50mm dia to baths and showers. 50mm dia to kitchen sinks (NB supply of sinks excluded from these works) 38mm dia to w/h's. 32mm dia from macerating wc. Consolidated wastes in plastic. Exposed wastes in chrome finished copper. Complete with bottle traps to all fittings.

- 7.0 WALLING
  - 7.1 Construct cavity external walling to new kitchen/toilet extension: Construct outer leaf of 100mm.th., 3.6N/mm<sup>2</sup> Thermite Shield blockwork by Hanson Building Products, with 10mm.th., 1:1.8 mix mortar joints. Apply to the outer face of blockwork walling 20mm.th., 2coat 1:1.8 mix sand/lime/cement render with waterproof additive in the mix. Include for 'Expamet' stainless steel external render stop beads ref:570 and angle beads ref:545 where necessary. Construct inner leaf of 100mm.th., 3.6N/mm<sup>2</sup> Thermite Shield blockwork by Hanson Building Products, with 10mm.th., 1:1.8 mix mortar joints. Mortar joints to be flush finished. Install full cavity fill 100mm.th. Kooltherm K3 cavity board insulation by Kingspan Insulation Ltd. Include for horizontal and stepped DPC's, forming openings for rainwater hoppers and relieving openings for drainage runs with 100 x 100 mm RC lintols. Complete abutments to existing walling with Plug and screw to existing wall 'Ancort' 150mm long sis frame cramps ref:SPB at 225mm approx. vertical cts, plugged and screwed to walling using non ferrous fixings. Form door opening GD44: Include for cavity closers, Vertical DPC's and SS Birtley lintol. Fill cavity with mortar up to ground level. Install plastic weep holes in vertical joints. Provide separate sum for finishing walls in 2no coat plaster and skim.
  - 7.2 Complete external walling to new kitchen/toilet extension with natural stone coping 400 x 75 mm complete with drip mouldings. Copings to be dovetailed to one another with redned SS dowels. Copings bedded on DPC. Provide separate sum for finishing walls in 2no coat plaster and skim.
  - 7.3 Construct new structural internal wall in kitchen/toilet extension to support roof structure: 200 mm thick conc blockwork. Include for DPC's. Provide separate sum for finishing walls in 2no coat plaster and skim.
  - 7.4 Make good walling to Kitchen/Garage Corridor wall at demolitions. Provide separate sum for making good in 2no coat plaster and skim.
  - 7.5 Face original external wall in Kitchen including forming duct void for SWVP7: 100 x 50 mm aw studs @ 400mm centres. Fill stud voids with 100mm mineral wool insulation quilt. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.6 Install partitions to form the toilets and kitchen: 100 x 50 mm aw studs @ 400mm centres. Fill voids with 100mm mineral wool insulation. Include for forming door openings, noggin for mounting fittings, etc. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.7 Install proprietary partitions to form WC's including for doors at: GD10, 11, 15, 16, 17 and 18. Include a provisional sum of £4800 for the supply only of the cubicle panels, to be specified by the owner. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.8 Form partition at GD39: 100 x 50 mm aw studs. Fill voids with mineral wool insulation quilt. Make good skirtings to match. (See DOORS for door and frame.) Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.9 Form ducts for SWVP's 3, 4, 5 and 6 to ground floor with 50 x 50mm framing. Fill voids with mineral wool insulation quilt. Include here for making good skirtings. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.10 Form ducts for SWVP's 4, 5 and 6 to first floor with 50 x 50mm framing. Fill voids with mineral wool insulation quilt. Include here for making good skirtings. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.11 Form ducts for SWVP's 4 and 5 second floor with 50 x 50mm framing. Fill voids with mineral wool insulation quilt. Include here for making good skirtings. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.12 Form En suite 7: Install new partition 100 x 50mm @ 400mm centres. Fill voids with mineral wool insulation quilt. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.13 Remove existing partition to Bedroom 9. Install new partition to Bedroom 9: 100 x 50mm @ 400mm centres. Fill voids with mineral wool insulation quilt. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.14 Form en suite bathroom 'pods' walls and roofs to ensuite 5, 6, 8, 9, 10 and 11: 100 x 50mm studs @ 400mm centres. Finish external face with 15mm ply panels. Pack voids with 100mm mineral wool insulation quilt. Provide separate sum for finishing in 12.5mm plasterboard and skim on as acoustic isolating bars.
  - 7.15 Finish external faces to 'pod' walls of ensuite 5, 6, 8, 9, 10 and 11: 25mm thick panels of 100 mm top, side and mid rebated rails and 150mm bottom rebated rails. 10mm ply panels. Complete cornice with 100 x 75mm moulded sw cornice. Complete the skirting with 15mm sw skirting. All exposed sw to be finished in readiness for stained varnish (to be approved by the owner). See DOORS for door spec. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.16 Form En suite 12/PLANT ROOM: Install new partition 100 x 50mm @ 400mm centres. Fill voids with mineral wool insulation quilt. Provide separate sum for finishing in 12.5mm plasterboard and skim.
  - 7.17 Adapt existing glazed screen at GD6. Remove part screen above the doorhead string course cornice level. Install a new glazed timber screen to fit existing opening. Include for all matching joinery sections. Complete with glazing with timber glazing beads.

**KEVIN DOONAN ARCHITECT**  
 18 Malton Bank, Hexham Northumberland NE45 3PD  
 Tel: 01434 681020 Fax: 01434 600888  
 E-Mail: info@kevindoonanarchitect.co.uk

Project name  
Lartington Hall

Date	Drawn by	Scale
June 2012	KLD/AS	1:100 @ A1

Job no	Drawing no	Rev
B94	W1	

For  
Shona Harper and John Wilkes

Drawing title  
Proposed ground floor

Discrepancies, ambiguities and/or omissions between this drawing and information given elsewhere must be reported to the architect before proceeding. Dimensions must be checked on site. This drawing is copyright. Do not scale off dimensions from this drawing.

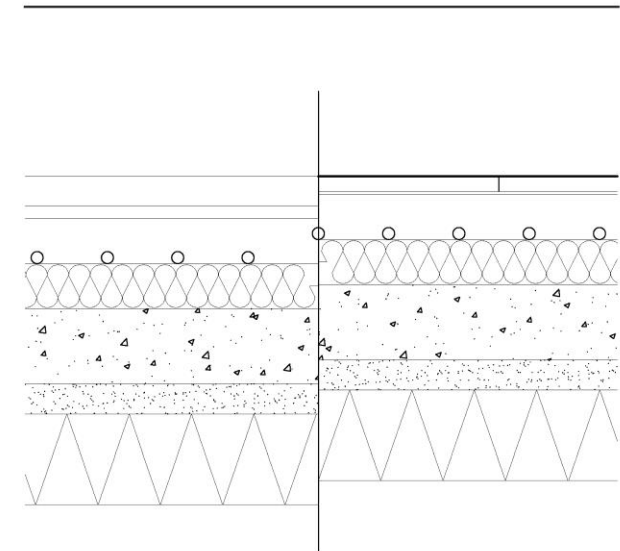
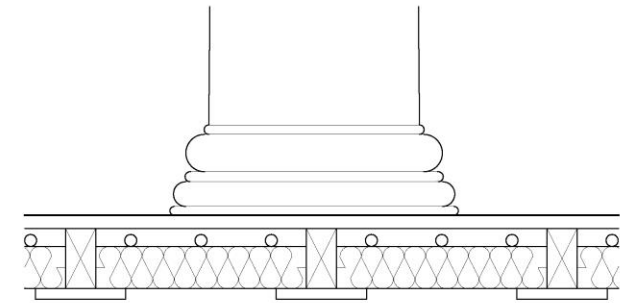
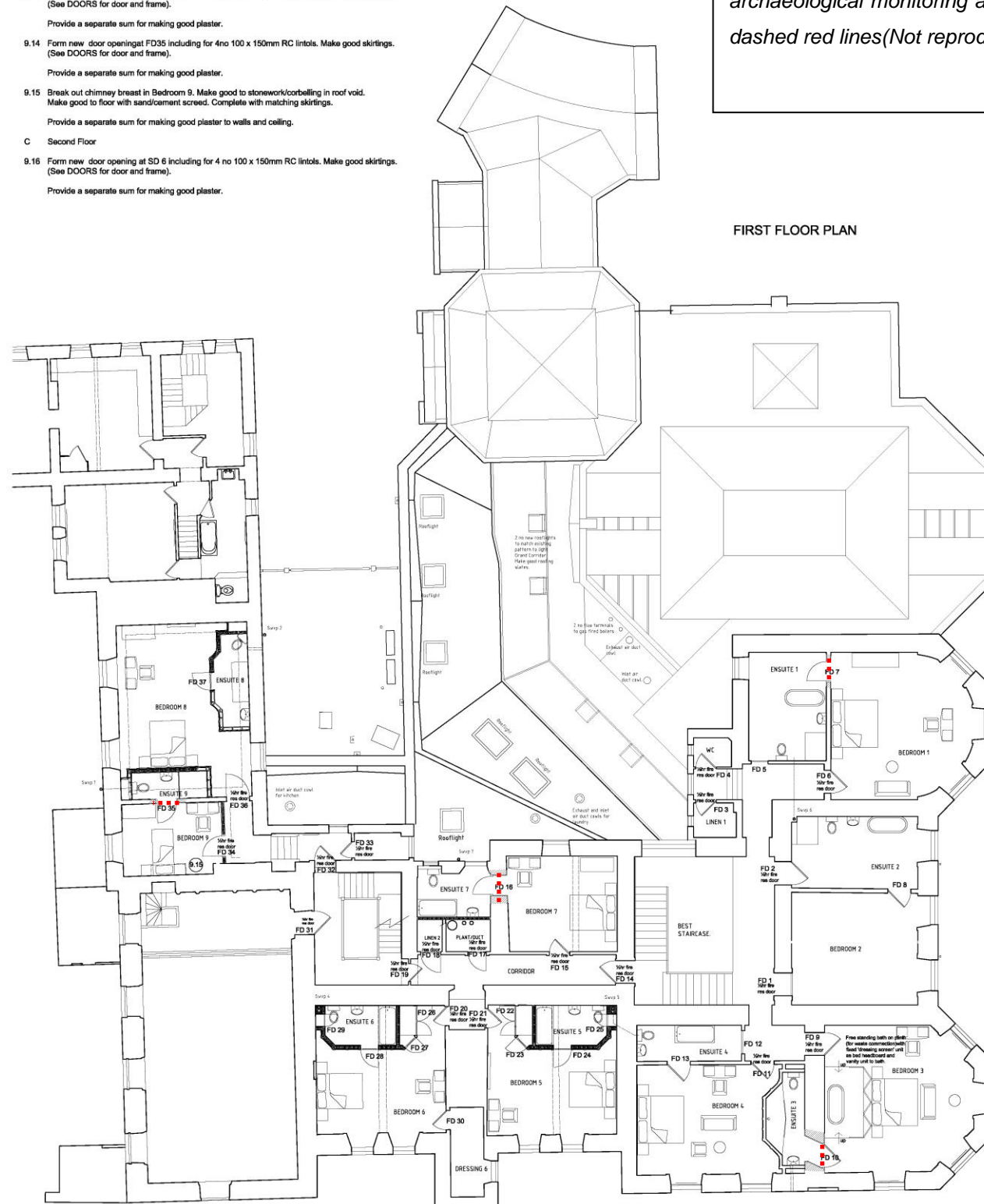
Figure 2. Location Plan. Consented Ground Floor Plan (Kevin Doonan Architects) Showing areas requiring archaeological monitoring and described in WSI text in red (Not reproduced to scale)

- 8.0 ROOF WORKS**
- 8.1 Construct roof to new kitchen/toilet extension:**  
Sarna single ply roofing membrane installed in accordance with manufacturer's instructions including for all necessary forming to valleys, upstands, joints, etc. on 18mm ex qual WBP ply sheathing, including for all necessary valleys laid to falls, etc. on 100mm Kingspan insulation on Vapour barrier on 18mm ply sheathing on 200 x 50 mm treated sw joists @ 400mm centres, including for all necessary trimming to rooflights, notching the bearing ends over the wall pieces, etc. on 100 x 75 mm wall pieces bolted to perimeter walls with 10mm SS resin anchors @ 400mm centres. Include for 200 x 75 mm sw hip beam. Include for valley beam nominal 254 x 102mm x 25 UB in min 2 no sections. Include for insitu conc pad stones at bearing ends. (NB structural engineer to confirm the sizes of the beam and the pad stones).  
Include for forming surface water chutes passing through the parapet walling formed in Sama all to their recommended detail.  
Include for code 5 lead flashings at wall abutments let into 50mm min depth chases.  
Include for forming upstands with flashings at service duct roof penetrations, in readiness for ductwork installation by M&E Installer.
- 8.2 Install 4 no 800 x 800mm rooflights. Allow a provisional sum of £2250 for the supply only of the rooflights. Install 2 no 800 x 1300mm rooflights. Allow a provisional sum of £2000 for the supply only of the rooflights.**  
Include for installing electric operation to the rooflights. Allow a provisional sum of £1800 for the supply only of the equipment.
- 8.3 Install 3 no cast iron rainwater hoppers along with 65mm dia r/w's. Fitted to bitg's.**
- 8.4 Install 2 no rooflights to illuminate the new round ceiling lights in the refurbished Grand Corridor, all to match the existing adjacent rooflights. Carefully remove existing slates. Trim rafters to form openings. Form rooflight with 75 x 50 mm frame complete with rebate for glass. Install single glazing complete with puttyed joints. Install code 5 lead flashings complete with soakers and aprons. Make good slating.**

- 9.0 STRUCTURAL ALTERATIONS**
- A Ground floor**
- 9.1 Block up redundant door opening from Grand Corridor. Remove door and frame. Block with 100 mm blockwork, make good skirtings to match. Line Kitchen side of opening with sw framing. Finish with 18mm removable ply facing (lipped edges with hw strips), to form services cupboard for underfloor heating manifold system. (See M&E drawings for services installation.)  
Provide a separate sum for making good plaster.**
- 9.2 Form opening at existing window to form access to rear door opening (GD44). Make good to masonry and skirtings.  
Provide a separate sum for making good plaster.**
- 9.3 Block up redundant window (to new STORE). Remove window. Block up with single leaf of 100mm conc blockwork.  
Provide a separate sum for finishing with 2 no coat plaster and skim.**
- 9.4 Carefully remove existing stud dividing walls in reception 4 and 5, and make good skirtings.  
Provide a separate sum for making good plaster.**
- 9.5 Form new door opening to entrance porch off Reception 4. Install 3 no rc lintol and make good masonry to jambs. (See DOORS for new door and frame GD37).  
Provide a separate sum for making good plaster.**
- 9.6 Remove existing door and frame to stairway opening off Reception 5. Block up opening using 100 mm conc blockwork.  
Provide a separate sum for making good plaster.**
- 9.7 Install new lowered ceiling in Brides WC to accommodate services extract ducts: 125 x 50 mm bearers bolted to the walling. Install 125 x 50mm joists @ 400 mm centres with joist hangers. Include for forming a ceiling hatch 450 x 600 mm trimming joists as necessary, with 18mm ply access cover within a lined opening with 18 mm sw. Install 100mm mineral wool insulation quilt throughout.  
Provide a separate sum for finishing with 12.5mm plasterboard and skim.**
- 9.8 Block up window openings to original external wall in Brides WC. Retain existing windows insitu. Block up internally with 100 mm blockwork.  
Provide a separate sum for finishing with 2 no coat plaster and skim.**
- 9.9 Block up window opening to original external wall in Staff WC. Retain existing window insitu. Block up internally with 100 mm blockwork.  
Provide a separate sum for finishing with 2 no coat plaster and skim.**
- 9.10 Block up high level window opening to original external wall in Laundry. Retain existing window insitu. Block up internally with 100 mm blockwork.  
Provide a separate sum for finishing with 2 no coat plaster and skim.**

- B First Floor**
- 9.11 Form new door opening at FD7 including for a 100 x 150mm RC lintol. Make good skirtings. (See DOORS for door and frame).  
Provide a separate sum for making good plaster.**
- 9.12 Form new door opening at FD10 including for 4 no 100 x 150mm RC lintols. Make good skirtings. (See DOORS for door and frame).  
Provide a separate sum for making good plaster.**
- 9.13 Form new door opening at FD16 including for 4 no 100 x 150mm RC lintols. Make good skirtings. (See DOORS for door and frame).  
Provide a separate sum for making good plaster.**
- 9.14 Form new door opening at FD35 including for 4 no 100 x 150mm RC lintols. Make good skirtings. (See DOORS for door and frame).  
Provide a separate sum for making good plaster.**
- 9.15 Break out chimney breast in Bedroom 9. Make good to stonework/corballing in roof void. Make good to floor with sand/cement screed. Complete with matching skirtings.  
Provide a separate sum for making good plaster to walls and ceiling.**
- C Second Floor**
- 9.16 Form new door opening at SD 6 including for 4 no 100 x 150mm RC lintols. Make good skirtings. (See DOORS for door and frame).  
Provide a separate sum for making good plaster.**

Figure 3. Location Plan. Consented First Floor Plan (Kevin Doonan Architects) Showing areas requiring archaeological monitoring and described in WSI text as dashed red lines (Not reproduced to scale)



**KEVIN DOONAN ARCHITECT**  
16 Hallsie Bank, Halesworth, Northumberland NE46 3PD.  
Tel: 01434 650220 Fax: 01434 600688  
E-Mail: info@kevindoonanarchitect.co.uk

Project name: Lartington Hall

Date	Drawn by	Scale
May 2012	KLD/AS	1:100 @ A1
Job no	Drawing no	Rev
894	WZ	

For: Shona Harper and John Wilkes

Drawing title: Proposed first floor and second plans

Discrepancies, ambiguities and/or omissions between this drawing and information given elsewhere must be reported to the architect before proceeding. Dimensions must be checked on site. This drawing is copyright. Do not scale off dimensions from this drawing.

- 5.6 **(2) Alterations to the Listed Building.** Throughout the building there are a number of alterations being made to allow for en-suite bathrooms and reconfiguring of internal spaces through the introduction of new doorways and pipework. Where new openings are being made or existing work of pre-20<sup>th</sup> century date removed, these should be monitored and constructional detail of the original fabric recorded. In particular this should include recording of partition removal and doorway alterations to Reception Rooms 4 and 5 on the ground floor, and new door openings in Bedrooms 1,3,7 and 9 on the first floor. Areas are indicated on Fig 2 and Fig 3
- 5.7 **(3) Photo Diary.** A photo diary will be kept to add to the extensive record compiled of the building during the pre-application planning stage. This is intended to provide material for a comprehensive catalogued record of before, during and after the consented works.
- 5.8 **(4) Decorative Plasterwork.** Although no specialist paint analysis is required there are a number of detached fragments from the main public rooms on the ground floor. The plasterwork in these rooms has been repaired by specialists and the original detached fragments should be treated as important artefacts and catalogued and conserved appropriately to allow for future analysis. This should include a simple catalogue of fragments illustrated with photographs and an annotated copy of architect's plans showing the original location of each as near as possible.

## **6.0 STANDARDS AND METHOD**

- 6.1 Archaeological works will be carried out according to archaeological best practice as set out in the following publications: *Yorkshire, the Humber and the North-East: A Regional Statement of Good Practice for Archaeology in the Development Process* (West Yorkshire Archaeological Advisory Service 2011) and *Standard and Guidance: for archaeological excavation* (IFA 2008). The required works fall into the categories of both (a) archaeological recording and (b) historic building recording.

### **6.2 Recording Standards; (a) Archaeology.**

All areas to be excavated will have hard standing/turf removed by hand if obvious archaeological features are identified, or by machine using where possible a non-toothed ditching bucket under archaeological direction. Once archaeological deposits have been identified all excavation will proceed by hand until natural or the maximum safety depth or depth required by proposed construction/foundation design is reached.

All archaeological deposits and features will be subjected to appropriate levels of investigation in order to meet the aims of the evaluation.

- 6.3 A minimum 20% sample of all linear features will be excavated at appropriate intervals and all intersections, overlaps and terminals will be investigated. A minimum 50% sample of all non-linear features will be excavated and 100% of post-holes. All features must be proven to natural/sterile deposits or to a maximum health and safety or proposed foundation depth whichever is reached first.
- 6.4 Sections of all pits will be recorded by measured drawing and photography.
- 6.5 The location of all excavations will be accurately recorded in the first instance against architect plans/standing buildings and depicted against the OS national grid in reporting. Vertical survey control must be tied to the Ordnance Survey datum. Details of the method employed will be recorded, including the height of the reference point and levels of any deposits/features encountered below ground level.
- 6.6 Sections will be recorded by means of a measured drawing at an appropriate scale. The height of a datum on the drawing will be calculated and recorded. Representative drawn sections of all trenches/test-pits will be recorded and presented in the report even if blank/negative. The locations of sections will be recorded on the site plans, relative to the site grid. Cut features will be recorded in profile, planned at an appropriate scale and their location accurately identified on the appropriate trench plan.
- 6.7 All drawn records will be clearly marked with a unique site number, and individually identified. The scale and orientation of the plan will be recorded. All drawings will be drawn on dimensionally stable media. All plans will be drawn relative to the site grid and at least two grid references marked on each plan.
- 6.8 Each archaeological context will be recorded separately by means of a written description. The stratigraphic relationships of each context will be recorded. Pro-forma record sheets will be used throughout and an index kept of all record types.
- 6.9 A Harris Matrix showing the stratigraphic relationships in each trench will be produced and included in the site report.

- 6.10 All archaeological features will be photographed and recorded at an appropriate scale. Sections will be drawn at 1:10, and plans at 1:20 or 1:50 using pencil (and later water proof inks) on polyester drawing film. Photography should be undertaken using conventional film (B & W film) and digital imagery. Digital, photographic recording should use as a minimum medium resolution images (between 5 & 10 megapixels). Unedited digital images will be archived, preferably as tiff files, as well as processed images. A full photographic and drawing catalogue will be provided as part of the archive. All photographs will include a suitably sized metric photographic scale.
- 6.11 **Human Remains.**  
It is not expected that human remains will be an issue on this site. Should any human remains be encountered a Section 25 licence will be applied for from the Ministry of Justice. Remains uncovered will be examined in situ by a palaeopathologist to be named in advance by the appointed contractor, and the remains excavated, recorded and recovered along with any associated artefacts. Both the client and the DCC Senior Archaeology Officer will be informed if human remains are found at the earliest opportunity.
- 6.12 **Samples and Finds**  
Pottery and animal bone will be collected as bulk samples by context. Significant small finds will be three dimensionally located prior to collection. All finds will be processed to standards identified in English Heritage MoRPHE documentation (PPN 3 2008) and be subject to preliminary specialist assessment in order to help date archaeological features and contexts. No artefacts will be discarded without the permission of the Durham County Council Archaeology Service. Provision will be made within the tender for appropriate levels of artefact and ecofact conservation.
- 6.13 Palaeo-environmental sampling will be undertaken in accordance with the Centre for Archaeology Guidelines *Environmental Archaeology: a guide to the theory and practice of methods from sampling and recording to post-excavation* (English Heritage 2011). The English Heritage Regional Scientific Advisor will be informed and given the opportunity to visit the site.
- 6.14 Secure contexts will be sampled for dating purposes as appropriate (whether on site or as sub-samples of processed bulk samples). This will include scientific dating techniques such as the use of high-resolution radiocarbon dating, archaeomagnetic dating thermo-luminescence dating. Any concentrations of charcoal or other

carbonised material recovered on site will usually be retained. Samples for dendrochronological dates would be taken from recovered timbers by the relevant specialist in accordance with published guidelines (English Heritage, 2011).

6.15 All finds recovered will be appropriately packaged and stored under optimum conditions. Finds recovery and storage strategies would be in accordance with published guidelines (English Heritage 1995; Watkinson and Neal 1998). Provision will be made for site visits from specialists and the conservator as necessary.

6.16 Bulk palaeoenvironmental samples will be taken if appropriate deposits are identified (e.g. primary ditch fills) and submitted for assessment. Recovery and sampling of environmental remains would be in accordance with guidelines prepared by English Heritage (2011). This would suggest minimum 40 litre samples and ideally 60 litres where possible.

6.17 Full analysis of ceramic assemblages (i.e. petrological analysis), will be applied if appropriate as will X-ray photography of metal objects.

6.18 **Treasure.**

Any artefacts of gold or silver recovered during the site works identified in this WSI and which are considered to be treasure will be dealt with in accordance with the *Treasure Act* (1996) code of practice including reporting to the Portable Antiquities Scheme through their officer Emma Morris in the DCC archaeology section. All finds remain the property of the landowner, but should ultimately be deposited in an appropriate museum.

6.19 **Recording Standards; (b) historic building recording.**

The approach, standards and conventions for the element of the watching brief relating to monitoring interventions into the fabric of Lartington Hall will be guided by English Heritage, (2006), *Understanding Historic Buildings. A guide to good recording practice*. A full survey of the hall in plan and elevation has been undertaken by Kevin Doonan Architects and this will be used as a basis for archaeological monitoring by a process of annotation and location of any photographs or drawings made. It is not expected that any significant areas of the upstanding elements of the hall will be exposed during the course of the works, but the breaking through of several walls to create new doorways and the removal and replacement of render in several areas will provide an opportunity to enhance our knowledge of the materials and phasing of the building. As

with the archaeological watching brief above, the works schedule (Annex A), has been annotated to indicate when the archaeologist should be present.

6.20 Drawn recording standards will be applied as with archaeological recording with any exposed features depicted at an appropriate scale. All photography will similarly use a mixture of B&W negative and digital with each image having a metric scale and where necessary a north or location arrow.

**6.21 The Appointed Contractor and Specialists.**

The contractor appointed for this work is currently Archaeo-Environment Ltd, for whom the project officer will be Niall Hammond. While it is not anticipated that the work will recover any significant quantity of artefactual material the following specialist have been identified should the need arise.

Worked flint	Peter Makey
Neolithic pottery	T G Manby
Bronze Age pottery	T G Manby
Iron Age pottery	Peter Didsbury
Romano-British pottery	Peter Didsbury
Anglo-Saxon pottery	Jane Young
Medieval pottery	Peter Didsbury
Post-medieval pottery	Peter Didsbury
Metalwork	Jane Cowgill
Leather	Jane Cowgill
Worked bone	Jane Cowgill
Human bone	Malin Holst and Anwen Caffell
Animal bone	Deborah Jaques (Palaeoecology Research Services)
Palaeobotanical remains	Alexandra Schmidl (Palaeoecology Research Services)
Molluscs	John Carrott (Palaeoecology Research Services)
Insect remains	Harry Kenward (Environmental Archaeology Unit)
Conservation	Jennifer Jones (University of Durham)
Worked timbers	Carol Morris
Dendrochronology	Ian Tyres
Archaeomagnetic dating	Cathy Batt
Archaeometallurgy	Jane Cowgill
Geoarchaeology	Wetland Archaeology and Environments Research Centre

- 6.22 Contingency sums will be set aside for all of the identified specialist areas including finds assessment, conservation and archiving. Specialists involved will be told of start dates and the need for their input at an early stage.

## **7.0 POST EXCAVATION ASSESSMENT**

- 7.1 On completion of the field work elements of the project, an assessment of the site records and finds will be undertaken in accordance with national guidance as specified in MoRPHE (English Heritage 2006) and MoRPHE PPN3 (English Heritage 2008) .
- 7.2 This assessment will be undertaken within six weeks of completion of field work and will be presented in a report which will identify an appropriate programme of analysis and publication to be undertaken in order to provide dissemination of the results as described in further detail in section 8.0.

## **8.0 POST EXCAVATION REPORT**

- 8.1 Following agreement between the developer, their advisors and the planning authority on the post excavation and publication programme identified at 7.2, a report will be produced to include the following elements as required and appropriate:
- Executive summary
  - A site location plan showing the site against a regional map and at a minimum of 1:10,000 scale with 10 figure central grid reference
  - Planning reference number
  - OASIS reference number
  - Site code
  - Contractor's details including date work undertaken
  - Description of the nature and extent of the proposed development, including developer/client details
  - Description of the site location and geology
  - A general site plan showing location of areas of survey and excavation to a suitable scale and tied into the national grid
  - A specific plan of excavations correctly showing the location and number of all trenches, sections and features within each trench



- Specific discussion of the results including context & feature descriptions
- Specialist reports, including assessments of each artefact type as well as environmental data
- General overall discussion of the results pulling together all data including the previous evaluation and desk based assessment, features, number and class of artefacts, spot dating & scientific dating of significant finds presented in tabular format
- Harris matrices for all trenches, plans and section drawings of features drawn at a suitable scale with height recorded in metres AOD
- Representative sections of trenches, even if negative results, with height recorded in metres AOD
- Additional plans/map extracts to display noted and recorded archaeological features as appropriate
- Digital images to clarify information, not to be used in lieu of recorded sections/plans
- Bibliography and references
- Full listing of archive contents including a catalogue of all digital photographs.

8.2 The hard copy of the report will be presented in an ordered state and contained within a protective cover/sleeve or bound in some fashion (loose-leaf presentation is unacceptable). The report will contain a title page listing site/development name, Local Authority/County together with a general NGR, the name of the archaeological contractor and the developer or commissioning agent. The report will be page numbered and supplemented with sections and paragraph numbering for ease of reference.

8.3 Photographs of trenches and sections may be included, but will not be used as the sole graphic representation, except for where photography is the only safe or practical means of making a record.

8.4 Durham County Council Archaeology Section will be given copyright permission / authorisation to use the report and its contents to fulfil their function as an HER this includes giving copies to third parties as part of this function or using the information for educational / outreach purposes.

8.5 The report on the site work will also include proposals for further archaeological investigation, if required, and the necessity of publishing the results of the evaluation

within a local, regional or national journal as appropriate. A contingency sum should be identified for such publication.

## **9.0 OASIS**

- 9.1 The appointed archaeological contractor will agree to complete the online OASIS form at <http://ads.ahds.ac.uk/project/oasis/> within 3 months of completion of post excavation and reporting process. Budgetary provision should be made for this. The first phase of this project (Statement of Significance, 2011), has already been allocated an Oasis number by Archaeo-Environment OASIS ID - archaeoe1-136756.
- 9.2 Once a report has become a public document by submission to or incorporation into the HER, Durham County Council Archaeology Section will validate the OASIS form thus placing the information into the public domain on the OASIS website.

## **10.0 MONITORING**

- 10.1 The County Archaeologist normally requires two week's notice in writing of the commencement of the excavation and watching brief. During such works the County Archaeologist or his nominated representative shall be allowed access to the site and excavations at all reasonable times. It is noted that DCC make a charge for monitoring visits and this should be included in any quoted fees.

## **11.0 HEALTH AND SAFETY**

- 11.1 Contractors should ensure they take due accord of the *1974 Health and Safety Act* and the *Construction and Design Management Regulations 2007* and any subsequent amendments. In this case the Federation of Archaeological Managers and Employers (FAME) manual on archaeological health and safety (FAME 2010) is followed for site works and, as normal practice, First Aid boxes, an Accident Book and a telephone must be provided for the project. Appropriate PPE will be worn at all times.
- 11.2 The archaeological contractor should establish clear lines of responsibility with the client and main site contractor and ensure that all open trenches will be enclosed within barrier fencing for the duration of works and be clearly marked with 'Danger deep

excavation' signs affixed to the fencing. This is the responsibility of the main contractor not the archaeologist.

- 11.3 No services are recorded on the site that are likely to hinder excavation or pose a risk to health, however as a precaution, the archaeologists will liaise with Pinkney's the main contractor and seek clearance on any excavation areas. The undertaking of a risk assessment prior to the commencement of works is required. Contractors will ensure that all staff working on the site are fully briefed on all health and safety issues relating to the site prior to working there.

## **12.0 PUBLICATION**

- 12.1 A contingency budget should be identified to publish the results of the excavation, most probably in the Durham Archaeological Journal. This will be to a minimum standard to include a summary of the work, findings, dates, illustrations and photographs and references to where the archive is lodged.
- 12.2 Durham CC Archaeology Section produces an annual publication every March which highlights the archaeological work conducted in the county over the previous 12 months. To this end, it is now a requirement of every specification that a précis of archaeological works conducted in the county as a result of the NPPF must be submitted to the DCC Archaeology Section.
- 12.3 The précis is not normally more than 500 words in length, but the quality of the site may suggest a rather longer article. It would be appreciated if TIFF images of a minimum of 300dpi are also included. The summary must be sent to the County Archaeologist by the beginning of December of the same year in which the work was conducted. It is also possible that a talk may be required at the Durham Archaeology Day usually in March each year. Budgetary provision should be made for this in the contingency sums.

## **13.0 THE ARCHIVE**

- 13.1 The site archive comprising the fully catalogued and original paper records and plans, photographs, negatives etc, must be deposited at the completion of the work in accordance with both the County Archaeological Archive policy and the Durham

County Council Historic Environment Record Revised Charging Scheme (2011-12). Both of these are available from DCC Archaeology if required.

- 13.2 On conclusion of the project the records generated must be assembled into an indexed and cross referenced archive in accordance with the guidance of Appendix 6 of *Management of Archaeological Projects* (English Heritage, 1991) and the *Standards and Guidance* of the Institute for Archaeology (IFA, 1999).
- 13.3 Archiving must meet the relevant standards set out in *Guidelines for the Preparation of Excavation Archives for long-term storage* (UKIC 1990) and *Archaeological Archives: A guide to best practice in creation, compilation, transfer and curation* (AAF 2007). The archive must be deposited with the appropriate museum in accordance with their deposition conditions.
- 13.4 A budget should be clearly identified to cover the costs of archiving which should be established with the Bowes Museum in advance.

#### **14.0 REFERENCES**

Archaeo-Environment (2011), *Lartington Hall, A Statement of Significance Parts I - III*.

Archaeological Archives Forum (2007) *Archaeological Archives: A guide to best practice in creation, compilation, transfer and curation*.

English Heritage (2006) *Management of Research Projects in the Historic Environment The MoRPHE Project Managers' Guide*. Version 1.1 with minor corrections issued April 2009.

English Heritage, (2006), *Understanding Historic Buildings. A guide to good recording practice*.

English Heritage (2008) *MoRPHE PPN3: Archaeological Excavation*. Version 1.0

English Heritage (2011) *Guidelines for Environmental Archaeology: a guide to the theory and practice of methods from sampling and recording to post-excavation (second edition)*.

Institute of Field Archaeologists (2008) *Standard and Guidance: for archaeological Excavation and watching briefs*

Petts, D and C Gerrard (2006) *Shared Visions: The North East Regional Research Framework for the Historic Environment.*

United Kingdom Institute of Conservation (1990) *Guidelines for the Preparation of Excavation Archives for long-term storage*



**Archaeo-Environment Ltd**

***Specification prepared for Shona Harper and John Wilkes by Niall Hammond, Archaeo-Environment Ltd.***

**2012-11-06**

Archaeo-Environment Ltd  
Marian Cottage  
Lartington  
Barnard Castle  
County Durham  
DL12 9BP

Tel/Fax: (01833) 650573  
Email: [info@aenvironment.co.uk](mailto:info@aenvironment.co.uk)  
Web: [www.aenvironment.co.uk](http://www.aenvironment.co.uk)

**ANNEX A.**

**Schedule of Works, indicating where Archaeological Monitoring is required.**

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
1		Development Plan at Lartington Hall.	147 days?	08/10/12	30/04/13	
2		Health & Safety, CDM	0 days	08/10/12	08/10/12	
3		WORKS SCHEDULE	147 days?	08/10/12	30/04/13	
4	Service yard	Demolition of old kitchen (including arch)	10 days	19/11/12	30/11/12	yes
5	Service yard	New foundations to new extension external walls.	5 days	08/01/13	14/01/13	yes
6	Service yard	New foundations to extension internal wall.	2 days	15/01/13	16/01/13	yes
7		FLOORS	75 days?	17/10/12	29/01/13	
8	Kitchen	New extension floor	3 days	17/01/13	21/01/13	
9	Bathrooms	New extension floor	3 days	22/01/13	24/01/13	
10	Stores	New extension floor	3 days	25/01/13	29/01/13	
11	?	New ground floor construction suspended floors - underfloor heating	1 day?	17/10/12	17/10/12	
12	?	New ground floor construction solid floors - underfloor heating.	1 day?	17/10/12	17/10/12	
13	?	Upgrade first floor for fire resistance.	1 day?	17/10/12	17/10/12	
14		BELOW GROUND DRAINAGE	26 days	03/12/12	07/01/13	
15	New kitchen	Construct manhole 1	2 days	03/12/12	04/12/12	yes
16	Service yard	Construct manholes 2, 3 and 4	6 days	05/12/12	12/12/12	yes
17	Service yard	Intercepting grease trap	2 days	13/12/12	14/12/12	yes
18	Service yard	Install 2 no floor gullies	2 days	17/12/12	18/12/12	yes
19	Service yard	Install 3 no drain connectors	2 days	19/12/12	20/12/12	yes
20	Service yard	Install 3 no external gullies	6 days	21/12/12	28/12/12	yes
21	Service yard	Adapt existing manhole 6	2 days	31/12/12	01/01/13	yes
22	Service yard	Adapt existing manhole 5	2 days	02/01/13	03/01/13	yes
23	Service yard	Main drainage runs	2 days	04/01/13	07/01/13	yes
24		ABOVE GROUND DRAINAGE	4 days	17/10/12	22/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
25	Service yard	Cast iron pipes and fittings to swvp's 1 and 2.	1 day	17/10/12	17/10/12	
26	Service yard	Cast iron pipes and fittings to swvp 7	1 day	18/10/12	18/10/12	
27	Service yard	Plastic pipes and fittings to swvp's 3, 4, 5, and 8 and fire collars.	1 day	19/10/12	19/10/12	
28	Service yard	Waste connections	1 day	22/10/12	22/10/12	
29						
30		WALLING	49 days	30/01/13	08/04/13	
31	Service yard	External wall construction to new extension	10 days	30/01/13	12/02/13	
32	Service yard	Plastering above	10 days	13/02/13	26/02/13	
33	Service yard	Stone coping to extension external wall.	5 days	13/02/13	19/02/13	
34	Service yard	Internal structural wall to extension	3 days	13/02/13	15/02/13	
35	Service yard	Plastering above	1 day	18/02/13	18/02/13	
36	Kitchen	Make good kitchen walls following demolitions	2 days	18/02/13	19/02/13	yes
37	Kitchen	Plastering above	1 day	20/02/13	20/02/13	
38	Kitchen	Making good wall at swvp 7 in kitchen	1 day	18/02/13	18/02/13	
39	Kitchen	Plastering above	1 day	19/02/13	19/02/13	
40	Kitchen/Toilet	Internal stud walls to kitchen/toilets	2 days	13/03/13	14/03/13	
41	Kitchen/Toilet	Plastering above	1 day	15/03/13	15/03/13	
42	Toilet	Install proprietary wc cubicles	5 days	30/01/13	05/02/13	
43	Tudor corr	Form partition at door opening GD39	2 days	18/02/13	19/02/13	
44	Tudor corr	Plastering above	1 day	20/02/13	20/02/13	
45	Tudor	Form ducts for swvp's 3, 4, 5 and 8 to ground floor	5 days	25/02/13	01/03/13	yes
46	Tudor	Plastering above	1 day	04/03/13	04/03/13	
47	Tudor	Form ducts for swvp's 3, 4, 5 and 8 to first floor	5 days	18/02/13	22/02/13	yes
48	Tudor	Plastering above	1 day	25/02/13	25/02/13	
49	Tudor	Form partitions to ensuite 7	1 day	15/03/13	15/03/13	
50	Tudor	Plastering above	1 day	18/03/13	18/03/13	



*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
51	Tudor	New partition to bedroom 9	1 day	18/03/13	18/03/13	
52	Tudor	Plastering above	1 day	19/03/13	19/03/13	
53	Tudor	Form ensuite partitions to 5, 6, 8, 9, 10 and 11	10 days	19/03/13	01/04/13	
54	Tudor	Plastering above	1 day	20/03/13	20/03/13	
55	Tudor	Finish ensuite partitions with panelled joinery	5 days	02/04/13	08/04/13	
56	Tudor	Form partitions to ensuite 12/plant room	1 day	19/03/13	19/03/13	
57	Tudor	Plastering above	1 day	20/03/13	20/03/13	
58	PortCochEntr	Glazed screen	1 day	30/01/13	30/01/13	
59	Bed4	Form ensuite 3	2 days	30/01/13	31/01/13	
60		ROOF WORKS	114 days	08/10/12	14/03/13	
61	Service yard	New roof to kitchen extension	15 days	20/02/13	12/03/13	
62	Service yard	Install new rooflights to extension roof.	4 days	20/02/13	25/02/13	
63	Service yard	Cast iron rw hoppers to new extension.	2 days	13/03/13	14/03/13	
64	Service yard	New 2 no rooflights to Grand Corridor	4 days	08/10/12	11/10/12	
65						
66		STRUCTURAL ALTERATIONS	147 days?	08/10/12	30/04/13	
67		Ground floor	69 days	08/10/12	10/01/13	
68	GrandCorr	Block up redundant opening in Grand Corridor	1 day	08/10/12	08/10/12	
69	GrandCorr	Plastering above	1 day	17/10/12	17/10/12	
70	Store Service Yard	Form door opening at GD44	1 day	08/01/13	08/01/13	yes
71	Store Service Yard	Plastering above	1 day	09/01/13	09/01/13	
72	Store Service Yard	Block up redundant window opening in ground floor store	1 day	09/01/13	09/01/13	
73		Plastering above	1 day	10/01/13	10/01/13	
74	Recep4,5	Remove partitions to Reception 4 and 5	3 days	17/10/12	19/10/12	
75	Recep4,5	Plastering above	1 day	17/10/12	17/10/12	
76	Recep4,5	Form door opening at GD37	1 day	22/10/12	22/10/12	yes

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
77	Recep4,5	Plastering above	1 day	23/10/12	23/10/12	
78	Recep4,5	Block up redundant door opening to Reception 5.	1 day	17/10/12	17/10/12	
79	Recep4,5	Plastering above	1 day	18/10/12	18/10/12	
80	WC Tudor	New lowered ceiling in Brides WC	2 days	17/10/12	18/10/12	
81	WC Tudor	Plastering above	1 day	19/10/12	19/10/12	
82	WC Tudor	Block up redundant window opening to Brides WC	1 day	17/10/12	17/10/12	
83	WC Tudor	Plastering above	1 day	18/10/12	18/10/12	
84	WC Tudor	Block up redundant window opening to Staff WC	1 day	17/10/12	17/10/12	
85	WC Tudor	Plastering above	1 day	18/10/12	18/10/12	
86	Kitchen	Block up redundant window opening to Kitchen (laundry)	1 day	17/10/12	17/10/12	
87	Kitchen	Plastering above	1 day	17/10/12	17/10/12	
88	GrandCorr	Block up where GD07 is	1 day	08/10/12	08/10/12	
89		Plastering above	0.5 days	09/10/12	09/10/12	
90		First floor	11 days	17/10/12	31/10/12	
91		Form new door opening at FD7	1 day	17/10/12	17/10/12	yes
92		Plastering above	1 day	18/10/12	18/10/12	
93	Bed3	Form new door opening at FD10 - does it need to be FD?	2 days	18/10/12	19/10/12	yes
94	Bed3	Plastering above	1 day	22/10/12	22/10/12	
95	Bed7	Form new door opening at FD16	2 days	22/10/12	23/10/12	yes
96	Bed7	Plastering above	1 day	24/10/12	24/10/12	
97	Bed9	Form new door opening at FD35	2 days	24/10/12	25/10/12	yes
98	Bed9	Plastering above	1 day	26/10/12	26/10/12	
99	Bed9	Break out chimney breast in Bedroom 9	3 days	26/10/12	30/10/12	yes
100	Bed9	Plastering above	1 day	31/10/12	31/10/12	
101		Second Floor	3 days?	31/10/12	02/11/12	
102	Bed12	Form new door opening at SD6	2 days	31/10/12	01/11/12	yes
103	Bed12	Plastering above	1 day?	02/11/12	02/11/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
104		DECORATIVE PLASTER REPAIRS	1 day?	17/10/12	17/10/12	
105		N/A	1 day?	17/10/12	17/10/12	
106		Plaster repairs to the Ballroom (carried out by others)	1 day?	17/10/12	17/10/12	Yes (Photo)
107		Plaster repairs to Entrance and Grand Corridor (carried out by others)	1 day?	17/10/12	17/10/12	Yes (Photo)
108		Ceiling works to ground floor	1 day?	17/10/12	17/10/12	
109		Ceiling works to first floor	1 day?	17/10/12	17/10/12	
110		Ceiling works to second floor	1 day?	17/10/12	17/10/12	
111		Provisional area of 75sqms replastering ceilings	1 day?	17/10/12	17/10/12	
112		Provisional area of 75sqms replastering walls	1 day?	17/10/12	17/10/12	
113		MECHANICAL SERVICES	5 days?	17/10/12	23/10/12	
114		Allow for all necessary attendance to the mechanical installer (directly employed by the owner)	1 day?	17/10/12	17/10/12	
115		Include for provisional builder's work	5 days	17/10/12	23/10/12	
116	Bed4	Install extraction system to ensembles 4	1 day	17/10/12	17/10/12	
117	Bed5,6,10,11	Install extraction system to ensembles 5, 6, 10 and 11	4 days	17/10/12	22/10/12	
118		Install through the wall extraction fans to toilets in new extension	1 day	17/10/12	17/10/12	
119		Install through the wall extraction fans to ensembles 1, 3	2 days	17/10/12	18/10/12	
120		Install through the wall extraction	3 days	17/10/12	19/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
		fans to ensuites 8, 9 and 12				
121		ELECTRICAL SERVICES	1 day?	17/10/12	17/10/12	
122		Allow for all necessary attendance to the electrical installer (directly employed by the owner)	1 day?	17/10/12	17/10/12	
123		Include for provisional builder's work	1 day?	17/10/12	17/10/12	
124		FINISHES	140 days?	17/10/12	30/04/13	
125		Dado timber lining to ensuites 5, 6, 7, 8, 9, 10, 11, 12	3 days	02/04/13	04/04/13	
126		Ceramic wall tiling to ensuites	20 days	02/04/13	29/04/13	
127		Ceramic wall tiling in Brides WC	1 day	30/04/13	30/04/13	
128	Toilet	Ceramic floor tiling	1 day	17/10/12	17/10/12	
129	Toilet	Disabled 'Doc M' pack	3 days	17/10/12	19/10/12	
130	Toilet	Ceramic wall tiling to public male/female and disabled toilets	10 days	17/10/12	30/10/12	
131	Toilet	Mirrors in toilets	0.5 days	17/10/12	17/10/12	
132	Toilet	Miscellaneous fittings	1 day?	17/10/12	17/10/12	
133	Bed3	Plinth to Bedroom 3 bath	1 day?	17/10/12	17/10/12	
134		Ceramic floor tiling to ensuites 5, 6, 7, 8, 9, 10, 11 and 12	1 day?	17/10/12	17/10/12	
135		Ceramic wall tiling to ensuite 3	1 day?	17/10/12	17/10/12	
136	Bed3	Modesty screen to bath in Bedroom 3	2 days	17/10/12	18/10/12	
137			1 day?	17/10/12	17/10/12	
138		EXTERNAL WORKS	17 days	08/10/12	30/10/12	
139	PortCoch	New handrail to stairs in Port Cochere	2 days	08/10/12	09/10/12	
140	PortCoch	Disabled access adjacent to Port Cochere	5 days	08/10/12	12/10/12	yes
141	Rec2	Steps at GD24, Reception 2	5 days	17/10/12	23/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
142	Service Yard	New fence/gates to rear yard, GD72 and GD73	3 days	17/10/12	19/10/12	
143	Service Yard	New surface finish to rear service yard	5 days	17/10/12	23/10/12	
144		Install bollards in rear service yard	5 days	17/10/12	23/10/12	yes
145	Car park	Rake back gravel to car park	1 day	08/10/12	08/10/12	
146	Car park	Excavate spoil heap to car park bankside	3 days	08/10/12	10/10/12	
147	Car park	Excavate and form sub-base to car parking bays	5 days	11/10/12	17/10/12	Yes
148	Car park	Form planting bed at car parking bays 28-35	2 days	18/10/12	19/10/12	
149	Car park	Extend car parking area with hardcore	1 day	22/10/12	22/10/12	
150	Car park	Complete bankside with topsoil	1 day	23/10/12	23/10/12	
151	Car park	Form car parking bays with half round timbers	5 days	24/10/12	30/10/12	
152	Car park	Form highway crossover at east end of parkland	1 day	17/10/12	17/10/12	
153		Works to doors to ground floor	1 day?	17/10/12	17/10/12	
154		Garden gate described elsewhere	1 day	17/10/12	17/10/12	
155		New 1/2 hour fire resisting door	0 days	17/10/12	17/10/12	
156	Toilet	New panelled door	0.5 days	17/10/12	17/10/12	
157	Toilet	New panelled door	0.5 days	17/10/12	17/10/12	
158	Toilet	Cubicle door described elsewhere	0.5 days	17/10/12	17/10/12	
159	Toilet	Cubicle door described elsewhere	0.5 days	17/10/12	17/10/12	
160	Toilet	New panelled door	0.5 days	17/10/12	17/10/12	
161	Toilet	New panelled door	0.5 days	17/10/12	17/10/12	
162	Toilet	New panelled door	0.5 days	17/10/12	17/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
163	Toilet	Cubicle door described elsewhere	0.5 days	17/10/12	17/10/12	
164	Toilet	Cubicle door described elsewhere	0.5 days	17/10/12	17/10/12	
165	Toilet	Cubicle door described elsewhere	0.5 days	17/10/12	17/10/12	
166	Toilet	Cubicle door described elsewhere	0.5 days	17/10/12	17/10/12	
167	Ballroom	Upgrade existing door to 1/2 fire resisting	1 day?	17/10/12	17/10/12	
168	Plantroom	New 1/2 hour fire resisting door	0.5 days	17/10/12	17/10/12	
169	Kitchen	New 1/2 hour fire resisting doors (pair)	0.5 days	17/10/12	17/10/12	
170	Rec3	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
171	Rec2/3	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
172		New panelled doors (pair)	0.5 days	17/10/12	17/10/12	
173	Rec2/1	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
174	Stair/Rec1	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
175	Stair/Rec2	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
176	Tutor/MainHall	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
177	Kitchen/Tutor Hall	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
178	Rec4	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
179	Rec5	Upgrade existing door to 1/2 fire resisting	0.5 days	17/10/12	17/10/12	
180	Rec4	New panelled door	0.5 days	17/10/12	17/10/12	
181		New panelled door	0.5 days	17/10/12	17/10/12	
182	Tutor Corr	New 1/2 hour fire resisting door	0.5 days	17/10/12	17/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
183	Kitchen/Back Corr	New 1/2 hour fire resisting door	0.5 days	17/10/12	17/10/12	
184	Store Service Yard	New panelled door	0.5 days	17/10/12	17/10/12	
185	Store Service Yard	New panelled door	0.5 days	17/10/12	17/10/12	
186	Store Service Yard	New ledged braced batten external door	0.5 days	17/10/12	17/10/12	
187		New panelled door	0.5 days	17/10/12	17/10/12	
188	Rec5/Chapel	New panelled door	0.5 days	17/10/12	17/10/12	
189	Corr/Back Chapel	New 1/2 hour fire resisting door	0.5 days	17/10/12	17/10/12	
190		Yard gate described elsewhere	0.5 days	17/10/12	17/10/12	
191		Yard gate described elsewhere	0.5 days	17/10/12	17/10/12	
192		Works to doors to first floor	0.5 days	18/10/12	18/10/12	
193	Bed2	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
194	Ensuite2	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
195		Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
196		Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
197	Ensuite1	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
198	Bed1	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
199		New panelled door	0.5 days	18/10/12	18/10/12	
200	Bed3	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
201	Ensuite3	New panelled door	0.5 days	18/10/12	18/10/12	
202	Bed4	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
203	Ensuite4	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
204	Tutor/mid landing	New 1/2 hour fire resisting door	0.5 days	18/10/12	18/10/12	
205	Bed7	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
206	Ensuite7	New panelled door	0.5 days	18/10/12	18/10/12	
207	Plant	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
208		Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
209	Mid land/staircase	New 1/2 hour fire resisting door	0.5 days	18/10/12	18/10/12	
210	Bed6	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
211	Bed5	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
212	Bed5	New panelled doors (pair)	0.5 days	18/10/12	18/10/12	
213	Bed5	New panelled door	0.5 days	18/10/12	18/10/12	
214	Ensuite5	New panelled door	0.5 days	18/10/12	18/10/12	
215	Ensuite5	New panelled door	0.5 days	18/10/12	18/10/12	
216	Ensuite6	New panelled doors (pair)	0.5 days	18/10/12	18/10/12	
217	Ensuite6	New panelled door	0.5 days	18/10/12	18/10/12	
218	Ensuite6	New panelled door	0.5 days	18/10/12	18/10/12	
219	Ensuite6	New panelled door	0.5 days	18/10/12	18/10/12	
220	Chapel/mid landing	Chapel door mid landing - fire resist	0.5 days	18/10/12	18/10/12	
221	Wing	New 1/2 hour fire resisting door	0.5 days	18/10/12	18/10/12	
222	Wing	New 1/2 hour fire resisting door	0.5 days	18/10/12	18/10/12	
223	Bed9	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
224	Ensuite9	New panelled door	0.5 days	18/10/12	18/10/12	
225	Bed8	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
226	Ensuite8	New panelled door	0.5 days	18/10/12	18/10/12	
227		Works to doors to second floor	0.5 days	18/10/12	18/10/12	



*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
228	Top landing	New 1/2 hour fire resisting door	0.5 days	18/10/12	18/10/12	
229	Linen cup	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
230	Bed12	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
231	Attic Stairs	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
232	Ensuite12	New panelled door	0.5 days	18/10/12	18/10/12	
233	Bed11	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
234	Ensuite11	New panelled doors (pair)	0.5 days	18/10/12	18/10/12	
235	Ensuite11	New panelled door	0.5 days	18/10/12	18/10/12	
236	Ensuite11	New panelled door	0.5 days	18/10/12	18/10/12	
237	Ensuite11	New panelled door	0.5 days	18/10/12	18/10/12	
238	Bed10	Upgrade existing door to 1/2 fire resisting	0.5 days	18/10/12	18/10/12	
239	Ensuite10	New panelled doors (pair)	0.5 days	18/10/12	18/10/12	
240	Ensuite10	New panelled door	0.5 days	18/10/12	18/10/12	
241	Ensuite10	New panelled door	0.5 days	18/10/12	18/10/12	
242	Ensuite10	New panelled door	0.5 days	18/10/12	18/10/12	
243		Form arched opening into new wc area	2 days	17/10/12	18/10/12	
244		Plaster work to the above	1 day	17/10/12	17/10/12	
245		Extra's	1 day?	17/10/12	17/10/12	
246						
247		Electrical	1 day?	17/10/12	17/10/12	
248		Phase 1 - reception1,2,3, Ballroom, Grand Corridor and central hallway	1 day?	17/10/12	17/10/12	
249		Phase 1 - Beds/ensuite 1,2,3,4	1 day?	17/10/12	17/10/12	
250		Phase 2 - Tudor GF,1st Floor and 2nd floor (and back stairway)	1 day?	17/10/12	17/10/12	

*Lartington Hall; Written Scheme of Investigation.*

ID	Area of work	Task Name	Duration	Start Date	Finish Date	Archaeologist presence required
251		Kitchen and toilet - new build	1 day?	17/10/12	17/10/12	
252		Outside lighting at Port Cochere & car park	1 day?	17/10/12	17/10/12	
253			1 day?	17/10/12	17/10/12	
254		Mechanic & Engineering	1 day?	17/10/12	17/10/12	
255		Phase 1 - heating - reception 1,2,3, Ballroom, Grand corridor & central hallway	1 day?	17/10/12	17/10/12	
256		Phase 1 - Beds/ensuite 1,2,3,4	1 day?	17/10/12	17/10/12	
257		Phase 2 - Tudor GF,1st Floor and 2nd floor (and back stairway)	1 day?	17/10/12	17/10/12	
258		Kitchen and toilet - new build	1 day?	17/10/12	17/10/12	
259		Hot water supplies	1 day?	17/10/12	17/10/12	
260		Phase 1 - Port Cochere side lobby	1 day?	17/10/12	17/10/12	
261		Phase 1 - Ensuite 1,2,3,4	1 day?	17/10/12	17/10/12	
262		Phase 2 - Tudor GF,1st Floor and 2nd floor	1 day?	17/10/12	17/10/12	
263		Kitchen and toilet - new build	1 day?	17/10/12	17/10/12	

**Annex C      Photo Index and location plan.**

**The following photos are included in the submitted digital archive. The location of each photo and direction of view is shown on ground and first floor plans after the index.**

Photographic Register					
Site Name			Site Code	Film Type	Film Number
Lartington Hall, County Durham.			LHD 12	Digital	N/A
Plan ref	Digital File Ref	Date	Direction of View	Description/Comments	
1	F6a DSCF7861 2012-12-7	2012-12-07	W	South end of West wall of bedroom 6a showing outer face of 16 <sup>th</sup> century hall east wall and later Georgian inserted chimney flue.	
2	F6a DSCF7877 2012-12-07	2012-12-07	W	South end of West wall of bedroom 6a showing outer face of 16 <sup>th</sup> century hall east wall and later Georgian inserted chimney flue.	
3	F7 DSCF7811 2012-12-03	2012-12-03	N	North wall of landing at top of the best staircase showing earlier wall paper	
4	F9 DSCF7808 2012-12-03	2012-12-03	SSW	Showing raised floorboards and services	
5	F13 DSCF7832 2011-09-25	2011-09-25	N	Showing room with central N-S partition removed prior to main works	
6	F13 DSCF7833 2011-09-25	2011-09-25	-	With central partition removed and showing earlier lathe and plaster marks on underside of central beam indicating form of room prior to its division.	
7	F13 DSCF7834 2011-09-25	2011-09-25	N	North wall; detail of earlier decorative scheme prior to partition of the room.	
8	F13 DSCF7836 2011-09-25	2011-09-25	S	South wall; detail of earlier decorative scheme prior to partition of the room.	
9	G2 Corridor Wall internal 2012-12-03 JHW	2012-12-03	W	Grand corridor west wall showing brick construction and work in progress to create new opening for toilets	
10	G2 DSCF7778 2012-12-03	2012-12-03	NE	Grand corridor west wall showing inner brick construction and outer stone facing and work in progress to create new opening for toilets	
11	G2 DSCF7782 2012-12-03	2012-12-03	E	Site of former Kitchen range assorted late linking structures prior to demolition.	
12	G2 DSCF7783 2012-12-03	2012-12-03	NW	Site of former Kitchen range assorted late linking structures prior to demolition and new opening in Grand Corridor wall	
13	G2 DSCF7787 2012-12-03	2012-12-03	N	Port Cochere flanking wall prior to access alterations	
14	G2 DSCF7789 2012-12-03	2012-12-03	W	Side door to Port Cochere entrance.	
15	G2 DSCF7849 2012-12-03	2012-12-03	S	Grand Corridor with late 20 <sup>th</sup> century suspended ceiling removed showing brick construction with iron bracing	
16	G2 DSCF7853 2012-12-03	2012-12-07	SE	Site of former Kitchen range assorted late linking structures during demolition and new opening in Grand Corridor wall	
17	G2 DSCF7858 2012-12-03	2012-12-07	N	Grand Corridor with late 20 <sup>th</sup> century suspended ceiling removed showing new arch work being constructed.	
18	G2 DSCF7878 2012-12-03	2012-12-09	S	North wall of room G12 exposed following demolition of assorted late linking structures on north side of Grand Corridor	
19	G2 DSCF7880 2012-12-03	2012-12-09	SE	Site of former Kitchen range assorted late linking structures at completion of demolition.	
20	G2 DSCF7881 2012-12-03	2012-12-09	SSE	Site of former Kitchen range at completion of demolition of assorted late linking structures and showing marking out of west service trench to be excavated.	
21	G2 DSCF7882 2012-12-03	2012-12-09	S	Site of former Kitchen range at completion of demolition of assorted late linking structures and showing marking out of east service trench to be excavated.	
22	G2 DSCF7884 2012-12-03	2012-12-09	N	South end of west service trench showing N-S foundation of part of the earlier demolished kitchen range and the loose backfill beneath modern concrete and tarmac.	
23	G2 DSCF7885 2012-12-03	2012-12-09	N	South end of west service trench showing N-S foundation of part of the earlier demolished kitchen range in R/H section.	

Photographic Register					
Site Name			Site Code	Film Type	Film Number
Lartington Hall, County Durham.			LHD 12	Digital	N/A
Plan ref	Digital File Ref	Date	Direction of View	Description/Comments	
24	G2 DSCF7886 2012-12-03	2012-12-09	S	South end of west service trench	
25	G2 DSCF7907 2012-12-03	2012-12-16	W	West section of west service trench showing N-S foundation of former kitchen range	
26	G2 DSCF7908 2012-12-03	2012-12-16	SSW	West section of west service trench showing N-S foundation of former kitchen range	
27	G2 DSCF7910 2012-12-03	2012-12-16	S	Southern end of west service trench showing north wall of Hall adjacent to ground floor passage next to the Backstairs.in	
28	G2 DSCF7913 2012-12-03	2012-12-16	NE	SW corner of 1831 Museum revealed on removal of suspended ceiling of Grand Corridor.	
29	G2 DSCF7920 2012-12-03	2012-12-16	S	West service trench with demolition rubble removed revealing wall and steps of Hansom's boiler house	
30	G2 DSCF7921 2012-12-03	2012-12-16	Down	West service trench with demolition rubble removed revealing wall and steps of Hansom's boiler house	
31	G2 DSCF7922 2012-12-03	2012-12-16	N	West service trench with demolition rubble removed revealing wall and steps of Hansom's boiler house	
32	G3 Ballroom - Atrium - Ceiling JHW 2012-09-12	2012-09-12	S	Atrium of Museum/Ballroom showing damaged plasterwork and clerestory under repair	
33	G3 Ballroom - Atrium - Ceiling#2 JHW 2012-09-12	2012-09-12	W	Atrium of Museum/Ballroom showing damaged plasterwork under repair	
34	G3 Ballroom - Atrium - Ceiling#3 JHW 2012-09-12	2012-09-12	S	Atrium of Museum/Ballroom showing damaged plasterwork and clerestory under repair (detail)	
35	G3 Ballroom - Atrium - Ceiling#4 JHW 2012-09-12	2012-09-12	NW	Atrium of Museum/Ballroom showing damaged plasterwork and clerestory under repair	
36	G3 Ballroom - Capitals JHW 2012-09-12	2012-09-12	-	Detail of damaged Corinthian capital	
37	G3 DSCF7842 2012-12-03	2012-12-03	W	Museum/Ballroom showing damaged plasterwork under repair	
38	G3 DSCF7844 2012-12-03	2012-12-03	NE	Museum/Ballroom showing damaged plasterwork under repair	
39	G3 Easal 010 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
40	G3 Easal 018 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
41	G3 Easal 024 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
42	G3 Easal 025 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
43	G3 Easal 026 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
44	G3 Easal 029 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
45	G3 Easal 030 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	

Photographic Register					
Site Name			Site Code	Film Type	Film Number
Lartington Hall, County Durham.			LHD 12	Digital	N/A
Plan ref	Digital File Ref	Date	Direction of View	Description/Comments	
46	G3 Easal 031 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
47	G3 Easal 032 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
48	G3 Easal 036 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
49	G3 Easal 038 2012-06-15	2012-06-15	--	Detail of plasterwork roof prior to conservation	
50	G3 Easal 043 2012-06-15	2012-06-15	-	Detail of plasterwork roof prior to conservation	
51	G3 Easal 044 2012-06-15	2012-06-15	-	Detail of ceiling plasterwork prior to conservation	
52	G3 Easal 046 2012-06-15	2012-06-15	-	Detail of ceiling plasterwork prior to conservation	
53	G3 Easal 047 2012-06-15	2012-06-15	-	Detail of ceiling plasterwork prior to conservation	
54	G3 Easal 048 2012-06-15	2012-06-15	-	Detail of ceiling plasterwork prior to conservation	
55	G3 Easal 052 2012-06-15	2012-06-15	-	Detail of ceiling plasterwork prior to conservation	
56	G4 006 JHW 2012-02-12	2012-02-12	NE	Internal view immediately prior to works	
57	G4 007 JHW 2012-02-12	2012-02-12	-	Detail of ceiling plasterwork prior to conservation	
58	G4 008 JHW 2012-02-12	2012-02-12	SW	Internal view immediately prior to works	
59	G5 005 JHW 2012-02-06	2012-02-06	NW	Internal view immediately prior to works	
60	G5 DSCF7840 2012-12-03	2012-12-03	W	West wall fireplace after removal of Aga stove	
61	G5 IMG_0579 JHW 2011-03-06	2011-03-06	E	Detail of Georgian external doorway	
62	G5 IMG_0580 JHW 2011-03-06	2011-03-06	S	Detail of architrave of south doorway prior to works	
63	G5 JHW showing pipework Images 010 2012-04-19	2012-04-19	W	View of ceiling and west wall after removal of 20 <sup>th</sup> century suspended ceiling	
64	G6 001 2012-02-06	2012-02-06	SW	View of room prior to works furniture removed	
65	G6 003 2012-02-06	2012-02-06	-	Detail of plaster cornice prior to works	
66	G6 004 2012-02-06	2012-02-06	NE	View of room prior to works furniture removed	
67	G6 DSCF7839 2011-09-25	2011-09-25	W	View of room during works	
68	G6 IMG_0573 2011-03-06	2011-03-06	W	View of room with previous decorative scheme and furniture	
69	G6 IMG_0574 2011-03-06	2011-03-06	E	View of room with previous decorative scheme and furniture	

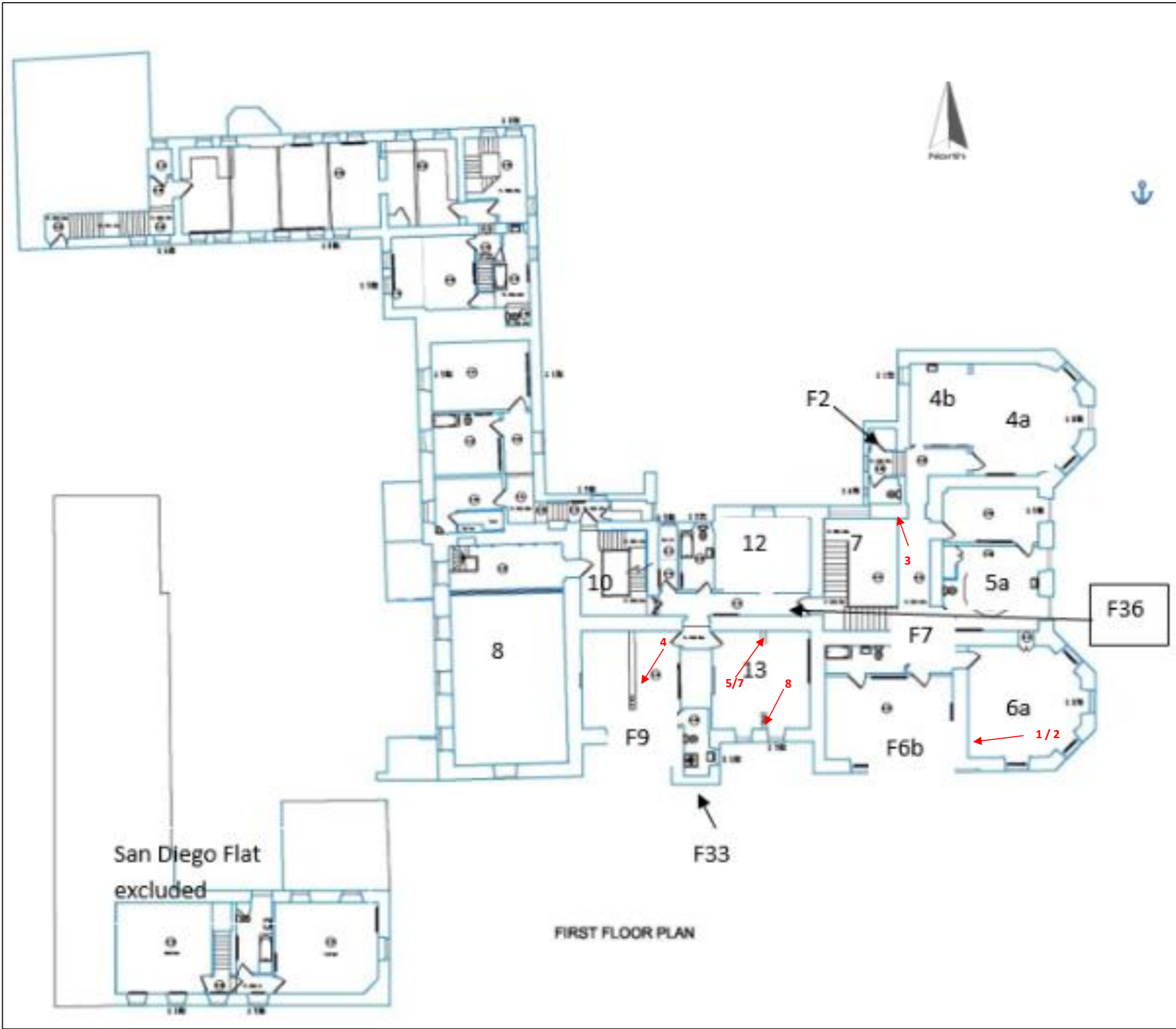
Photographic Register					
Site Name			Site Code	Film Type	Film Number
Lartington Hall, County Durham.			LHD 12	Digital	N/A
Plan ref	Digital File Ref	Date	Direction of View	Description/Comments	
70	G6 IMG_0578 2011-03-06	2011-03-06	W	West wall fireplace before start of works	
71	G8 015 JHW 2012-02-19	2012-02-19	NE	Detail showing Chapel east wall lathe and plasterwork with painted decoration	
72	G8 014 JHW 2012-02-19	2012-02-19	E	Detail showing Chapel east wall lathe and plasterwork with painted decoration and recess for heated stove	
73	G8 DSC00698 2014-03-24	2014-03-24	S	South wall of Chapel showing alcove, damaged plasterwork and decorative scheme.	
74	G8 DSC00700 2014-03-24	2014-03-24	S	Detail of painted decorative scheme in alcove on south wall	
75	G8 DSC00701 2014-03-24	2014-03-24	S	South wall of Chapel, alcove showing extent of plasterwork damage caused by insertion of late 20th century squash court.	
76	G8 DSC00703 2014-03-24	2014-03-24	S	East wall of Chapel showing decorative painted/stencil decoration	
77	G8 DSC00707 2014-03-24	2014-03-24	E	East wall of Chapel showing doorway and decorative painted/stencil decoration following removal of 20 <sup>th</sup> century squash court	
78	G8 DSC00710 2014-03-24	2014-03-24	E	Chapel, detail of lathe and plasterwork and painted/stencil decor	
79	G8 DSC00711 2014-03-24	2014-03-24	-	Chapel, west wall stained glass panel	
80	G8 DSC00712 2014-03-24	2014-03-24	W	Chapel, west wall stained glass panel	
81	G8 DSC00713 2014-03-24	2014-03-24	W	Chapel, west wall stained glass panel	
82	G8 DSC00714 2014-03-24	2014-03-24	W	View from mezzanine over chapel during works	
83	G8 DSC00715 2014-03-24	2014-03-24	S	Chapel, south wall stained glass panel	
84	G8 DSC00717 2014-03-24	2014-03-24	SW	View from mezzanine showing stained glass windows, and damage caused by 20 <sup>th</sup> century squash court.	
85	G8 DSC00720 2014-03-24	2014-03-24	S	View from mezzanine of painted ceiling prior to conservation works	
86	G8 DSC00722 2014-03-24	2014-03-24	SE	East wall of chapel showing alcove and heated stove	
87	G8 DSC00723 2014-03-24	2014-03-24	-	Detail of heated stove in east wall	
88	G8 DSC00725 2014-03-24	2014-03-24	SSE	View behind lathe and plasterwork on east wall of chapel showing stonework and plinth course of the former outside west wall of the Hall prior to construction of the chapel.	
89	G8 DSC00728 2014-03-24	2014-03-24	-	Decorative detached wood and plaster painted plinth	
90	G8 DSC00732 2014-03-24	2014-03-24	E	Stone mullioned window and plinth course of Hall former external west wall prior to construction of chapel, revealed by removal of chapel damaged lathe and plasterwork.	
91	G8 DSC00733 2014-03-24	2014-03-24	NE	Stone mullioned window and plinth course of Hall former external west wall prior to construction of chapel, revealed by removal of chapel damaged lathe and plasterwork. Two light mullion window showing partial blocking and plasterwork possibly to light the chapel	
92	G8 DSC00734 2014-03-24	2014-03-24	E	Stone mullioned window and plinth course of Hall former external west wall prior to construction of chapel, revealed by removal of	

Photographic Register					
Site Name			Site Code	Film Type	Film Number
Lartington Hall, County Durham.			LHD 12	Digital	N/A
Plan ref	Digital File Ref	Date	Direction of View	Description/Comments	
				chapel damaged lathe and plasterwork. Detail of central mullion of blocked window also showing plaster and wood work for partial reuse to light chapel	
93	G8 DSC00735 2014-03-24	2014-03-24	-	Section across r/h (south) side of blocked window showing form of broken mullion.	
94	G8 DSC00740 2014-03-24	2014-03-24	SE	Detail of r/h (south) side of blocked window showing form of broken mullion and fragment of pale yellow/ochre lime decoration.	
95	G8 DSC00743 2014-03-24	2014-03-24	E	Detail of blocked mullion window, showing later partial reuse and breaking through for a rectangular opening with plastered sides.	
96	G8 DSC00746 2014-03-24	2014-03-24	NE	View of blocked mullion window, showing later partial reuse and breaking through for a rectangular opening with plastered sides.	
97	G8 DSC00752 2014-03-24	2014-03-24	NNE	Section of blocked and damaged mullion window on the face of the former external west wall of the Hall prior to construction of the chapel.	
98	G8 DSC00747 2014-03-24	2014-03-24	SE	Chapel east wall, view to rear of lathe and plasterwork showing metal clamps on face of former outside west wall of the Hall.	
99	G8 DSC00748 2014-03-24	2014-03-24	-	Detail of metal clamps	
100	G8 IMG_0479 JHW 2012-02-16	2012-02-16	SE	SE corner of the chapel showing doorway in east wall and plasterboard panelling being installed to cover/protect the original decorative scheme.	
101	G9 DSCF7823 2011-09-25	2011-09-25	SE	View of 9a and 9b after removal of later central dividing wall	
102	G9 DSCF7826 2011-09-25	2011-09-25	-	Detail of later Victorian encaustic tiled floor on east side of room 9a/9b	
103	G9 DSCF7827 2011-09-25	2011-09-25	SW	View of 9a and 9b after removal of later central dividing wall and showing fireplace in west wall	
104	G9 DSCF7830 2011-09-25	2011-09-25	N	View of 9a and 9b after removal of later central dividing wall	
105	G9 DSCF7831 2011-09-25	2011-09-25	-	Room 9a/9b after removal of central partition showing earlier lathe and plaster marks on underside of central beam indicating form of room prior to its division.	

The following plans show the location and direction of photographs from the above index. Room numbers are in black, photo references (far left column in the above table) are in red.







San Diego Flat  
excluded

FIRST FLOOR PLAN