

**MOOR PARK,  
CROSBY,  
MARYPORT,  
CUMBRIA**



**HISTORIC BUILDING SURVEY**

**CP. No: 10228**

**DATE: 11/05/2012**



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This report covers works as outlined in the brief for the above-named project as issued by the relevant authority, and as outlined in the agreed programme of works. Any deviation to the programme of works has been agreed by all parties. The works have been carried out according to the guidelines set out in the Institute for Archaeologists (IfA) Standards, Policy Statements and Codes of Conduct. The report has been prepared in keeping with the guidance set out by WA Archaeology Ltd on the preparation of reports.

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|---|--|----|----|
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## SUMMARY

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Wardell Armstrong Archaeology Limited were commissioned by Day Cummins Ltd to undertake a historic building survey of a Victorian property known as Moor Park, at Crosby, Maryport, Cumbria (NGR NY 071 384) prior to the demolition of the structure and proposed redevelopment of the site (Planning Application No. 2/2012/0145).

Moor Park is an imposing Victorian villa which is believed to have been constructed at some point 1853 and 1864, and is therefore regarded as being of historical interest. As a result of this historical interest, Cumbria County Council Historic Environment Service requested a Level 2 Building Survey, as described by English Heritage, of the property prior to its demolition.

Prior to the survey work on site, a rapid desk-based study was undertaken in order to set the building into its historical context. The study involved the consultation of historical mapping and documents housed in the local studies section at Carlisle Library and Carlisle Archives Centre.

The rapid desk-based assessment has revealed that Moor Park appears to have been constructed at some point between 1844, the date of Crosby Tithe Map, and 1861. It is possible to potentially narrow the date of construction down to some point around 1853 when the common land was enclosed.

When Moor Park was advertised for sale in 1911, it was described as a '*charmingly situated freehold marine residence*', and came complete with '*inexpensive gardens and grounds, carriage drive and lodge, outbuildings and about 9 acres of rich park land*'. Historical mapping has shown that as well as the main house, there were outbuildings, a walled garden to the east of the dwelling, and a lodge at the main entrance gateway.

In 1965 planning permission was granted for a change of use from residential property to offices for the North Eastern Housing Association. The former original lodge for Moor Park was seemingly demolished in c.1967 when plans were submitted for the construction of a new bungalow in the grounds.

The historic building survey has shown that Moor Park was a substantial villa constructed in the middle of the 19<sup>th</sup> century which took full advantage of its elevated position to serve as a 'marine residence'. The main elevation shows that the views were an important feature of its design, as it faces to the north towards the Solway Firth, rather than towards the village.

The former house contains architectural detailing in the form of mock quoins, string course, moulded window surrounds with shaped heads and some detailed lintels, a substantial portico, and moulded cornice at eaves level. It was noticeable that most

of this detailing appeared to have been present on the main living areas of the house, rather than the service rooms to the rear.

Internally, the property has lost some of its architectural detailing and features of note such as fireplaces, as a consequence of its use as offices since the 1960s. Elements still survive in the form of architrave, some coving, sections of skirting boards, and window surround panelling. Despite this loss, the floor plans have survived relatively well, and the present plans remain largely as they are shown on those of 1965.

Moor Park is an interesting example of a property which was constructed in its own grounds, largely hidden from public view, and was designed, and subsequently advertised, as a property which enjoyed the extensive sea views of the Solway Firth and over to Scotland.

## ACKNOWLEDGEMENTS

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Wardell Armstrong Archaeology Limited would like to offer thanks to Stuart Woodall of Day Cummins Ltd for commissioning the project and to Steve Whitehead for providing access into the building.

Wardell Armstrong Archaeology Ltd would also like to extend their thanks to staff at Carlisle Archives Centre and Stephen White, Carlisle Library Local Studies.

The rapid desk-based study and historic building survey was undertaken by Fiona Wooler. The report was written, and the drawings were produced, by Fiona Wooler. The project was managed by Frank Giecco, Technical Director for Wardell Armstrong Archaeology Ltd, who also edited the report.

## 1 INTRODUCTION

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- 1.1 Wardell Armstrong Archaeology Ltd were commissioned by Day Cummins Ltd, on behalf of their client, to undertake a historic building survey of a former Victorian Villa known as Moor Park, which is located in the village of Crosby, Maryport, Cumbria (NGR NY 071 384). The survey was undertaken prior to the proposed demolition of the property for subsequent redevelopment of the site.
- 1.2 The villa is believed to have been constructed between 1853 and 1864, and is therefore regarded as being of historical and architectural interest, despite suffering from a fire which destroyed parts of the building in 2011. As a result of this historical interest, Jeremy Parsons, Historic Environment Officer for Cumbria County Council has requested that a Level 2 building survey, as set out by English Heritage<sup>1</sup>, should be undertaken prior to demolition work (Condition 2 of the Planning Consent, Planning Application No. 2/2012/0145).

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<sup>1</sup> English Heritage 2006, Page 14

## 2 METHODOLOGY

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### 2.1 INTRODUCTION

- 2.1.1 The historic building survey consisted of two phases, a rapid desk-based assessment, and a site visit to photograph and assess the exterior and interior of the building where it was safe to do so.

### 2.2 RAPID DESK-BASED ASSESSMENT

- 2.2.1 Prior to the commencement of the survey on site, a rapid desk-based study was undertaken in order to establish the historical context of the buildings on the site, and to provide details, where known, on the buildings' architects, builders, patrons and owners.
- 2.2.2 The rapid desk-based study involved the consultation of historical maps, unpublished material and published sources housed within the local studies section of Carlisle Library and Carlisle Archives Centre.
- 2.2.3 The rapid desk-based study was undertaken in accordance with the Institute for Archaeologists *Standard and Guidance for Historic Environment Desk-Based Assessment*<sup>2</sup>.

### 2.3 BUILDING SURVEY

- 2.3.1 A Level 2 building survey of the Moor Park was undertaken according to the standard and guidance set out by the Institute for Archaeologists<sup>3</sup> and English Heritage. A Level 2 survey is a descriptive record where the exterior and interior of the building(s) will be viewed, described and photographed. The record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based<sup>4</sup>.
- 2.3.2 The survey includes:
- a written description of the building, including its plan, form, function, age, development sequence and construction material. The landscape and historical context of the building will also be considered.

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<sup>2</sup> IfA 2011

<sup>3</sup> IfA 2008

<sup>4</sup> English Heritage 2006, Page 14

- a 35mm monochrome and digital photographic record of the building and its relationship with other structures in the immediate area. A selection of the digital photographs are included within this report for illustrative purposes.

2.3.3 The results of the building survey have been combined with the findings of the rapid desk-based study in this report, in order to provide a narrative on the origin, form, use and development of the buildings, where known.

## **2.4 THE ARCHIVE**

2.4.1 An archive will be prepared in accordance with the recommendations in *'Archaeological Archives: A Guide to Best Practice in Creation, Compilation, Transfer and Curation'*<sup>5</sup>. The archive will be deposited with Carlisle Archives Centre.

2.4.2 A final bound copy of the report will be deposited with the Cumbria County Council Historic Environment Record (HER) at Kendal, where viewing will be made available on request.

2.4.3 Wardell Armstrong Archaeology Ltd and Cumbria County Council Historic Environment Service support the **Online Access to the Index of archaeological investigationS (OASIS)** project. This project aims to provide an online index and access to the extensive and expanding body of grey literature created as a result of developer-funded archaeological fieldwork. As a result, details of the results of this study will be made available by Wardell Armstrong Archaeology Ltd, as a part of this national project.

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<sup>5</sup> Brown, D.H, 2011



### 3 SITE LOCATION

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- 3.1 The village of Crosby is located approximately four kilometres to the north-east of the town and harbour of Maryport, on the west Cumbrian coast. The village straggles the main A596 trunk road between Maryport and Carlisle. The village of Crosscanonby is situated approximately one kilometre to the north, and Dearham is located to the south (Figure 1).
- 3.2 Moor Park is situated to the western side of the village, on the north side of the road, close to the junction with the minor road to Crosscanonby which is located to the north of Crosby (Figure 2).

## 4 HISTORICAL BACKGROUND

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### 4.1 INTRODUCTION

- 4.1.1 Prior to the survey work on site, a rapid desk-based study was undertaken in order to place the site of Moor Park into its historical context. This assessment involved the consultation of historical mapping, and published and unpublished material housed in the local studies section of Carlisle Library and Carlisle Archives Centre.

### 4.2 HISTORICAL BACKGROUND

- 4.2.1 The earliest readily-available map consulted as part of the rapid desk-based assessment was Hodskinson and Donald's Map of Cumberland dating to 1774. Although at a small scale, this map does provide some information on the form that the village of Crosby took in the late 18<sup>th</sup> century. Crosby is shown as a linear settlement, with properties lining both sides of the road, with another road leading off to the north towards 'Cannonby' (modern Crosscanonby). The area of land on which Moor Park would be constructed is seemingly shown as waste land to the western side of the village (Figure 3).
- 4.2.2 Greenwood's Map of Cumberland dating to 1823 shows a similar linear settlement at Crosby, although more properties appear to be represented on this source. The village was still seemingly clustered to the east side of the junction of the road that leads to 'Cannonby', with the west side of the village still shown as apparent waste or common. There is no property represented on this map in the approximate location of Moor Park which may indicate that it had not been constructed by this date (Figure 4).
- 4.2.3 In 1829, Crosby was described as a 'good village' located in the parish of Cross Canonby. The only building of apparent note referred to in this source was the school, which was described as having been bequeathed in 1822 by John Nicholson '*£10 per annum, for the education of 20 poor children belonging to the townships of Birkby, Crosby and Cross Canonby*'. The trade directory section of this source appears to indicate that the village was agricultural in character, as 10 separate farmers were listed within its township. The village also had two public houses (the Royal Oak and the Stag), along with three shopkeepers, two joiners, a

blacksmith and a cattle dealer. Only one 'gent' is listed, Gustavus Richmond, although it is not known where he was residing<sup>6</sup>.

- 4.2.4 The Tithe Map and accompanying Award for Crosby Township, dating to 1844, shows that Moor Park had still not been constructed by this date. This map clearly shows the properties in the village located further to the east with distinctive strip fields extending to the rear, possibly indicative of medieval origins. The land on which Moor Park would be constructed is shown on this map as open ground to the west side of the road to Crosscanonby. The map shows this land as Plot 40 which is described in the accompanying Award as being owned by Mrs Watts, occupied by Daniel Hetherington, and listed as 'Common' of approximately 66 acres in size (Figure 5).
- 4.2.5 A trade directory dating to 1883 refers to the common land at Crosby being enclosed in 1853<sup>7</sup>. The First Edition Ordnance Survey map of 1867 shows the former common land to the west of Crosby has been divided up into regular fields, and by this date Moor Park has been constructed as a detached property set in its own grounds, with a lodge guarding the entrance from the main road (Figure 6).
- 4.2.6 A consultation of 19<sup>th</sup> and 20<sup>th</sup> century trade directories, and 19<sup>th</sup> century Census Returns, has provided some information on the occupants of Moor Park as well as Moor Park Lodge. The earliest recorded occupant was Henry Richmond who was living at Moor Park in 1861 along with his family and servants. The table below lists all the relevant entries from these sources:

| Source   | Entry   |
|--|---|
| Census Returns 1851  | No apparent entry for Moor Park, although none of the properties at Crosby are individually named   |
| Post Office Directory of Westmorland and Cumberland 1858, Kelly & Co.                    | No entry naming Moor Park. Those listed under 'private residents' do not have property names attributed to them   |
| The History and Topography of the Counties of Cumberland and Westmorland 1860, W Whellan | <i>'The landowners [at Crosby] are Henry Richmond, Esq.; John Reay, Esq.; John Richmond, Esq.; Edward B Stee, Esq.; and William Swinburn, Esq. Each proprietor claims the manorial rights of his own land; the tenure here is freehold. The enclosure of the commons took place in 1853'.</i> |

<sup>6</sup> Parson, W and White, W, 1829, Page 324

<sup>7</sup> T Bulmer & Co. 1883, Page 581

| Source  | Entry  |
|---|--|
| Census Returns 1861                                   | <p>Moor Park:</p> <p>Henry Richmond, 26, landed proprietor, corn Crosscanonby</p> <p>?Isabella, wife, 23, born Ireland</p> <p>Hannah, daughter, 2, born Crosby</p> <p>Jane, daughter, ?months, born Moor Park</p> <p>Charles Little, 28, groom</p> <p>Ann Stephenson, house servant, 26</p> <p>Mary ?, 18, nurse, born Crosby</p>  |
| Slater's Directory of Cumberland and Westmorland 1869 | <p>(Crosby is listed under Maryport)</p> <p>There is an entry for Henry Richmond Esq, Moor Park, but it does not indicate if this property was at Crosby</p>   |
| Census Returns 1871                                   | <p>Moor Park:</p> <p>William Mulcaster, 60, managing partner in Crosby, Gilcrux and St Helens Collieries, born Brigham</p> <p>Jane, wife, 61, born Brigham</p> <p>Phillis Penrice, daughter, 35, widow</p> <p>?, daughter, 24</p> <p>William, son, 22, mining engineer</p> <p>Elizabeth, daughter, 20</p> <p>Mary, daughter, 18, teacher</p> <p>Joseph, son, 16, apprentice to mining company</p> <p>Mary Penrice, gr/daughter, 11, scholar</p> <p>Jane Penrice, gr/daughter, 10, scholar</p> <p>Joseph Wallace, servant, 67</p> <p>Elizabeth ?, servant, born at Crosscanonby</p> |
| Kelly's Directory of Cumberland and Westmorland 1873  | William Mulcaster, Moor Park   |
| Cumberland Directory 1879                             | <p>(Crosby is included under Maryport)</p> <p>Mr Richard Brockbank, Moor Park</p>  |
| Census Returns 1881                                   | Porters Lodge (presumably refers to Moor Park Lodge as it comes before   |

| Source  | Entry  |
|---|--|
|   | <p>Moor Park in the census):</p> <p>David Snowden, 44, gardener, born Scotland</p> <p>Dinah, wife, 52, born Dearham</p> <p>Mary Key, mother in law, born Hallfoot</p> <p>Moor Park:</p> <p>Richard B Brockbank, 56, farmer of 280 acres employing 6 men, 3 ? and 2 boys, born Carlisle</p> <p>Jane, wife, 55, born Woodbridge</p> <p>Amy, daughter, 14, born Burgh by Sands</p> <p>Lucy, daughter, 13, born Burgh by Sands</p> <p>Sarah Middleton, servant, 23, born Allonby</p> |
| History and Directory of West Cumberland, T Bulmer & Co. 1883 | <p><i>'The manor of Crosby formerly belonged to the Earls of Northumberland, it afterwards came to the Porters of Weary Hall, one of whom sold the manorial privileges to the landowners, the chief of whom are Henry Richmond Esq. and R B Brockbank Esq.'</i></p> <p><i>'The commons were enclosed in 1853 when two acres were allotted to the guardians of the poor'.</i></p> <p>Richard B Brockbank, yeoman, Moor Park</p>   |
| Census Returns 1891   | <p>Moor Park:</p> <p>Listed as 'U' = uninhabited</p> <p>Moor Park Lodge:</p> <p>John ?, 71, labourer, born in Crosscanonby</p> <p>Margeret, wife, 65, born St Cuthbert's</p> <p>James, son, 24, born Burgh by Sands</p>  |
| Kelly's Directory of Cumberland and Westmorland 1897          | <p>No 'Moor Park' listed under Crosby, in either the commercial or private residents sections.</p> <p>There are several individuals named but with no house attributed: Richard B Brockbank, William Garborough,</p>   |

| Source   | Entry   |
|--|---|
|  | Thomas Pooley.<br>Properties that are named include Hope House, Moor Lea House, Garborough House and Solway House   |
| History, Topography and Directory of Cumberland, T Bulmer & Co. 1901 | Mr Joseph Collins, Moor Park<br>R B Brockbank Esq., The Nook<br><i>'Moor Park, a handsome and capacious residence belonging to Mr Joseph Collins, is in this township. Solway Villa, a fine squarely-built mansion, standing in tastefully laid-out grounds, is in the occupancy of H Williamson, Esq.'</i> |
| Census Returns 1901  | Moor Park:<br>Joseph Collins, head, 60, retired grocer, born in Great Broughton<br>Margaret Collins, wife, 69, born in Maryport<br>Joseph Collins, son, 31, retired grocer, born in Wales<br>Moor Park Lodge:<br>John Gregson, 42, flour miller, born in Allonby  |
| Kelly's Directory of Cumberland 1910                                 | Mrs Collins, Moor Park  |
| Kelly's Directory of Cumberland and Westmorland 1914                 | Mrs Collins, Moor Park  |
| Kelly's Directory of Cumberland and Westmorland 1921                 | Miss Pittman, Moor Park   |
| Kelly's Directory of Cumberland and Westmorland 1925                 | Miss Pitman, Moor Park (listed under private residents)   |
| Kelly's Directory of Cumberland and Westmorland 1929                 | Thomas Ferguson, Moor Park  |
| Kelly's Directory of Cumberland and Westmorland 1934                 | No entry for Moor Park in private residents   |
| Kelly's Directory of Cumberland and Westmorland 1938                 | David B Gibson, Moor Park (listed under private residents)  |

4.2.7 The Second Edition Ordnance Survey map of 1900 clearly shows the property of Moor Park, with possible outbuildings to its south side. A 'Lodge' is shown at the entrance from the main road, and gardens appear to have surrounded the property at this date. Immediately to the

south of Moor Park is a rectangular area of land which is labelled 'Allotment Gardens' (Figure 7).

- 4.2.8 In 1901 Moor Park was described as a *'handsome and capacious residence, belonging to Mr Joseph Collins'*<sup>8</sup>.
- 4.2.9 It would appear that by 1911, Moor Park was up for sale, as Sales Particulars dating to that year are housed at Carlisle Archives Centre. The property was advertised as a *'Charmingly situated Freehold Marine Residence with inexpensive gardens and grounds, carriage drive and lodge, excellent outbuildings and about 9 acres of rich park land, now in the occupation of Mrs Collins, the owner'*. The Sales Particulars provide interesting information on the rooms within the building, and their functions in the early 20<sup>th</sup> century (Plates 1 to 3). It would appear that the property may not have been sold at this date as Mrs Collins is still listed as resident there in 1914 (see table above).
- 4.2.10 There does not appear to have been any change to the form of the buildings at Moor Park by 1925, as the Ordnance Survey map of that date shows the site as it was in 1900 (compare Figures 7 and 8).
- 4.2.11 In September 1964 a planning application was submitted and permitted by Cumberland County Council to the North Eastern Housing Association Ltd for the conversion of Moor Park (then described as a 'house') to offices and car park. Copies of the documents associated with this planning permission are housed at Carlisle Archives Centre and contain external elevations and ground plans of the property as it was prior to conversion, and plans for proposed minor alterations<sup>9</sup>. Plates 4 to 13 show the plans and elevations of Moor Park as they appeared in 1965 prior to the proposed conversion.
- 4.2.12 The North Eastern Housing Association Ltd was formed by the Commissioned for the Special Areas (England and Wales) in 1935, to operate in the Tyneside and Durham Special Area. Its sphere of operation was later extended to include the Cumberland Special Area. The purpose of its formation was to assist in the provision of houses for wage earners in the districts where there was serious unemployment. The shortage of houses in these districts was largely due to the inability of the local authorities to meet their obligations under the slum clearance and overcrowding Acts, which required them to contribute from the rates towards the cost of the houses they provided. The decline in the prosperity of local industries, heavy unemployment, expenditure on public assistance and reduction of rate income made it impossible for

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<sup>8</sup> T Bulmer & Co. 1901, Page 713

<sup>9</sup> Carlisle Archives Centre Ref: SRDC 3/2/5794

them to carry out their housing programmes without sever financial strain<sup>10</sup>.

- 4.2.13 In 1967 further plans were submitted by the North Eastern Housing Association, in this case for the erection of a new dwelling in the grounds of Moor Park, and the apparent demolition of the original lodge<sup>11</sup>. Plates 14 to 16 show the proposed site plan, annotations referring to the demolition of the original lodge and proposed elevations and ground plan of the new bungalow.

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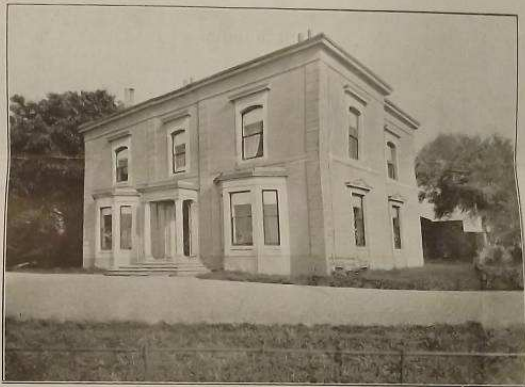
<sup>10</sup> The North Eastern Housing Association Ltd: 35 years of Housing, Undated

<sup>11</sup> Carlisle Archives Centre Ref: SRDC 3/2/6248



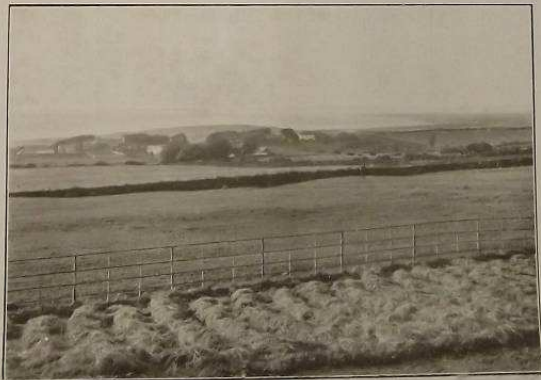
**On the Solway Coast, Cumberland.**

About 1 mile from Dearham Bridge Station, 3 miles from Maryport, (Maryport and Carlisle Railway), and 24 miles from Carlisle.



FRONT VIEW FACING COAST.

**PARTICULARS OF THE**  
Charmingly Situated Freehold Marine Residence,  
Situated and known as  
**MOOR PARK, CROSBY,**  
With inexpensive GARDENS and GROUNDS, Carriage Drive and Lodge, Excellent Outbuildings,  
and about 9 ACRES OF RICH PARK LAND, now in the occupation of Mrs. Collins, the Owner.



SEA VIEW FROM FRONT OF HOUSE.

**TO BE  
SOLD BY AUCTION**  
IN  
**The Estate Auction Mart, 49 Lowther Street, Carlisle,**  
On **SATURDAY, JULY 15th, 1911,** at 2 o'clock in the Afternoon.

Vendors Solicitors -  
Messrs. TYSON & HOBSON,  
Camp Street, MARYPORT.

Auctioneer -  
W. L. TIFFEN,  
49 Lowther Street, CARLISLE.

*Plate 1: Sales Particulars for Moor Park 1911*

## **Moor Park**

Is a most unusually Attractive Property, occupying as it does a secluded and entirely private situation with Western aspect—high up on the Solway Coast, commanding most beautiful near and distant views of Coast, Sea and Mountain Scenery sweeping along the Cumberland and Scottish Coasts with Criffel range of mountains as a back ground, and reaching to the Isle of Man on the West. The pretty little bay and hamlet of Allonby completes a glorious picture.

### **The Residence**

Which has a pleasing elevation with an open portico on massive stone columns, is most substantially built and in good structural condition, and forms a most desirable family residence, standing well back from the road, overlooking the park-like land and well sheltered by a small timbered plantation. It is approached by a wide well wooded carriage drive, through a massive ornamental iron gateway, with small entrance lodge.

### **The Gardens and Grounds,**

Which are not large, and quite inexpensive to keep up, are nicely laid out with flower beds, lawn and well matured ornamental trees and flowering shrubs, and fine full grown timber.

There is a large walled in kitchen garden and orchard, abundantly stocked with healthy well trained and good yielding fruit trees.

### **The Land,**

Which comprises 9 acres or thereabouts, of rich, old pasture, lies immediately in front of the House, and adds considerably to the attractiveness of the property, the total area being 11 acres or thereabouts.

There is a compact and complete range of Substantial Outbuildings, enclosing a spacious yard, with a separate vehicle entrance from the main road.

There are excellent railway facilities, Dearham Bridge being 1 mile distant, with a good daily service of trains to and from Carlisle, Maryport, and West Cumberland.

The popular seaside resorts of Allonby and Silloth are, respectively, 4 and 12 miles distant along the coast where good bathing can be had; there are also fine golf links at Bank End, 1½ miles distant.

The property is entirely freehold and tithe free. Early possession can be had.

***Plate 2: Sales Particulars for Moor Park 1911***

## Accommodation.

GROUND FLOOR.—Fine Entrance Hall, 33 ft. long and 7 ft. 6 ins. wide, with a side entrance to the garden, Two well lighted and lofty Sitting Rooms, 19 ft. by 15 ft., and 19 ft. by 15 ft. 6 ins., exclusive of Large Bay Windows, Breakfast Room, 18 ft by 14 ft., Library, 19 ft. by 11 ft. 9 ins., fitted with two sets of Bookshelves and Cupboards, Kitchen and Large Pantry, with back stairs and lobby to Bedrooms.

FIRST FLOOR.—Approached by a substantial winding Staircase, to a good landing, lighted half way by a large arch top window. There are 4 excellent principal Bedrooms, varying from 19 ft. 6 ins. by 15 ft., to 18 ft. by 11 ft. 9 ins., Dressing Room, and 3 Secondary rooms.

SECOND FLOOR.—Two Good Bedrooms and Stairway to roof from which is obtained a magnificent view of the surrounding country on all sides.

BASEMENT.—There is excellent dry and good keeping Cellarage.

There is an abundant supply of good water by pump, and a large cistern roof storage for rain water.

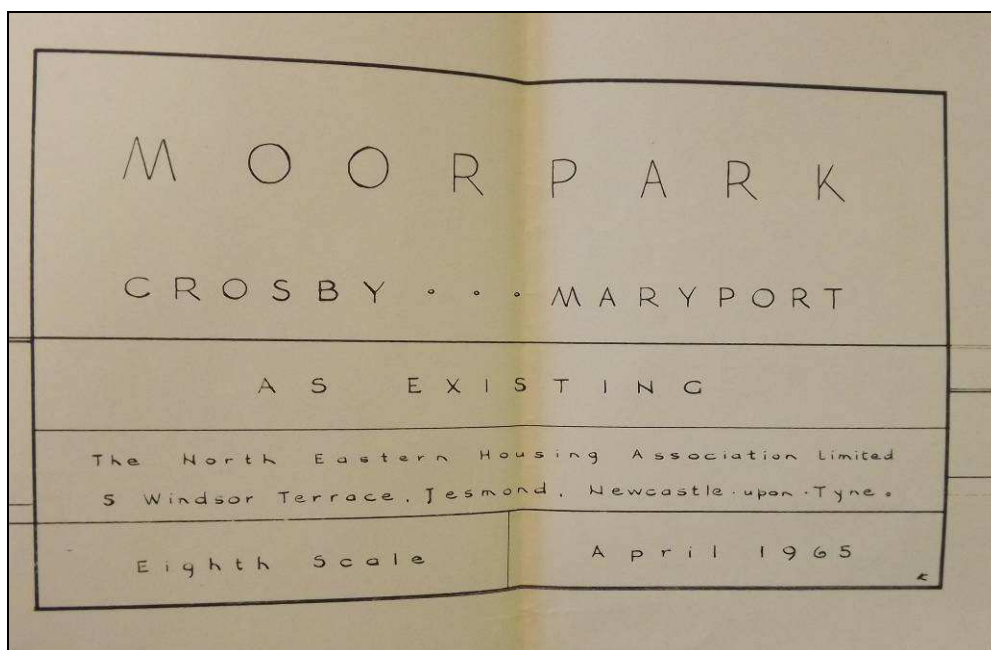
The Outbuildings, which are close to hand, comprise 4 stall stable, loose box, harness room, groom's room, double coachhouse (very suitable for motor garage), large provender loft, byre for 4 head, poultry houses, pigstyes, meal house, splendid wash-house and laundry, and other offices. The whole enclosing a spacious well-paved yard.

Mrs. COLLINS, the occupying owner, will be pleased to show anyone over on receiving a day's notice. Orders to view and further particulars can be had from:—

**Messrs. Tyson & Hobson, Solicitors, Camp Street, Maryport, or the  
Auctioneer, W. K. Tiffen, 49 Lowther Street, Carlisle.**

*Plate 3: Sales Particulars for Moor Park 1911*

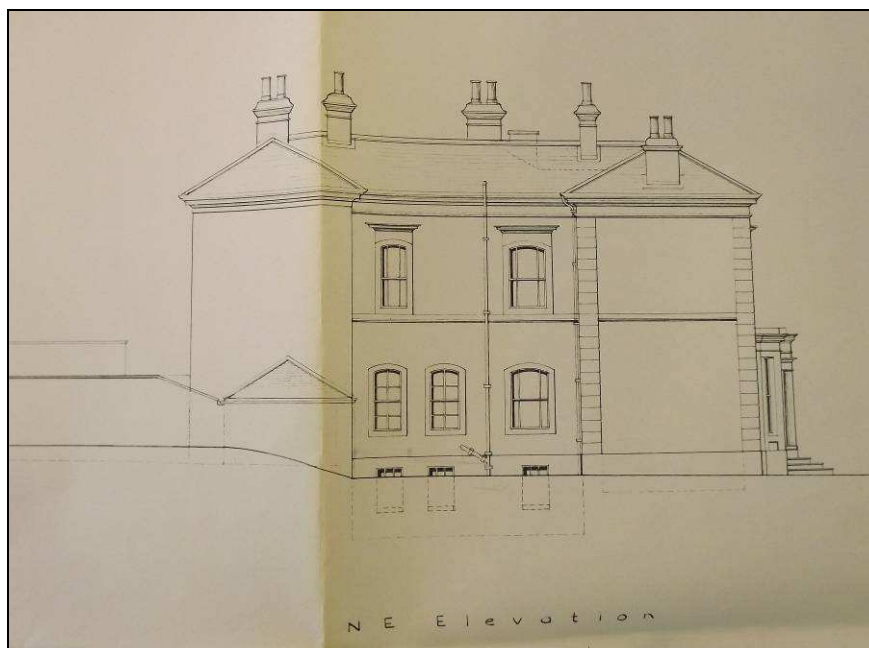




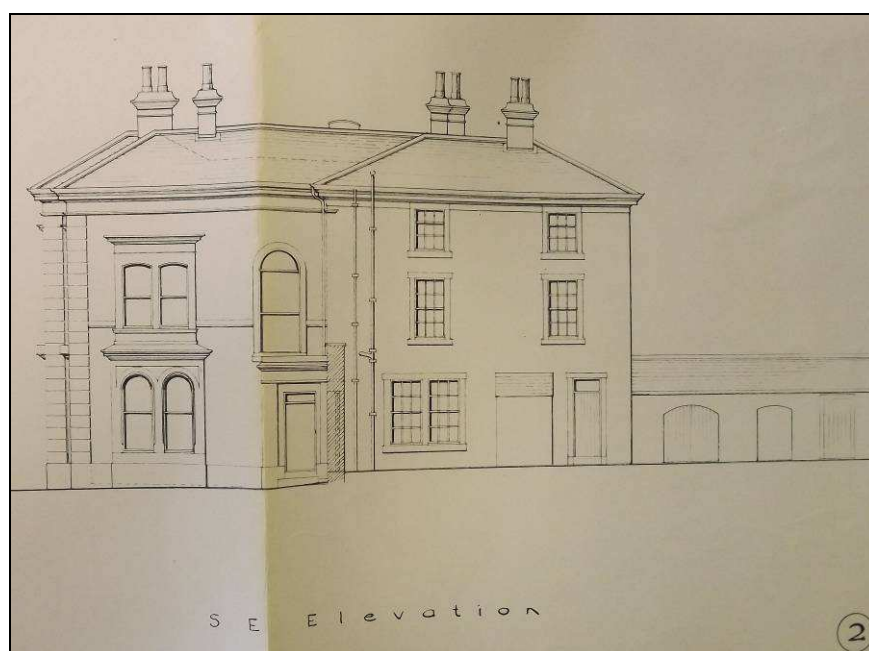
*Plate 4: Title of drawings for the North Eastern Housing Associated Ltd 1965*



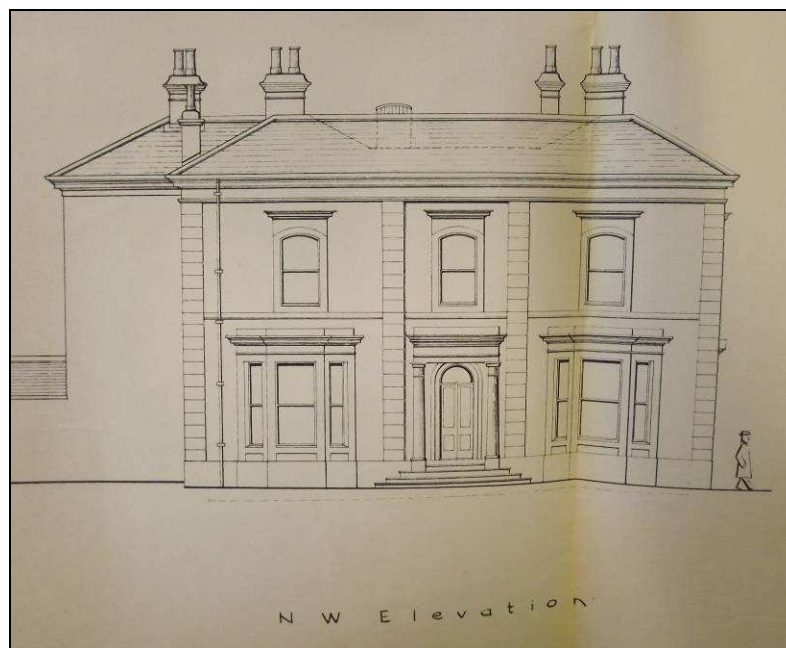
*Plate 5: South-west elevation of Moor Park 1965*



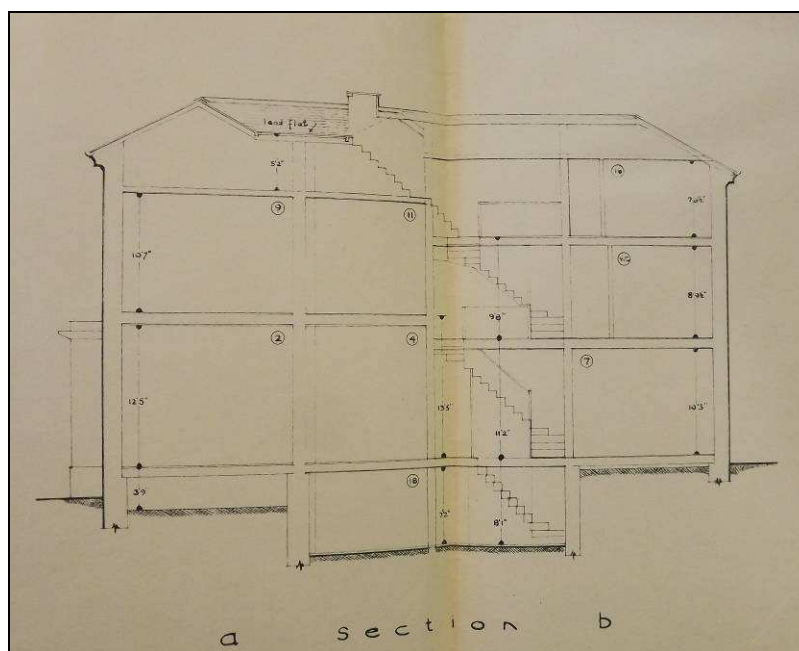
*Plate 6: North-east elevation of Moor Park 1965*



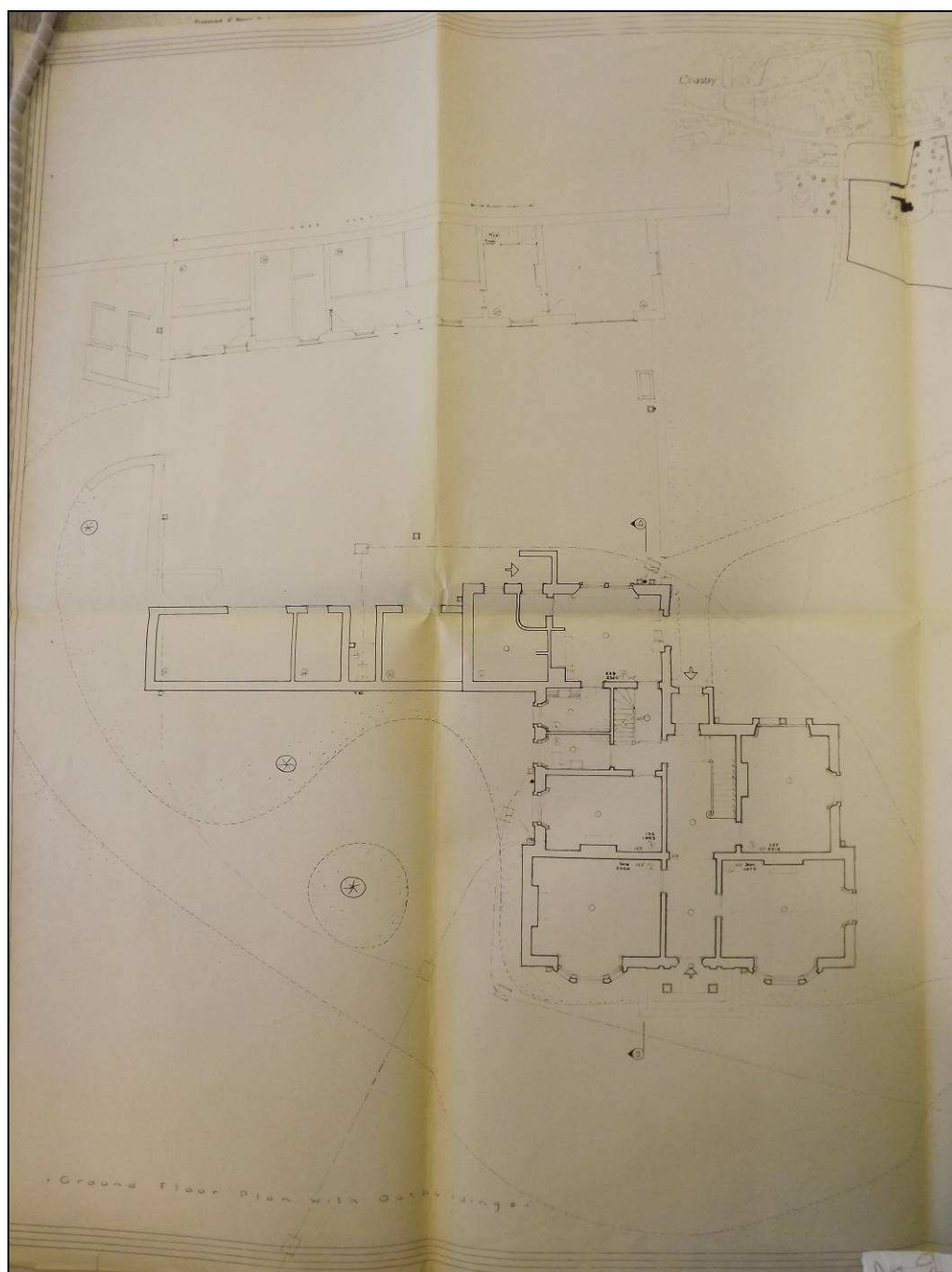
*Plate 7: South-east elevation of Moor Park 1965*



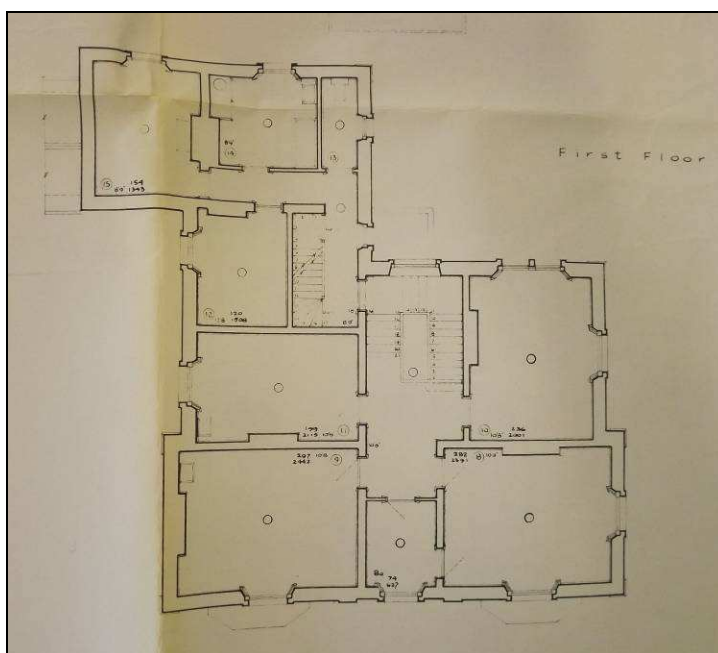
*Plate 8: North-west elevation of Moor Park 1965*



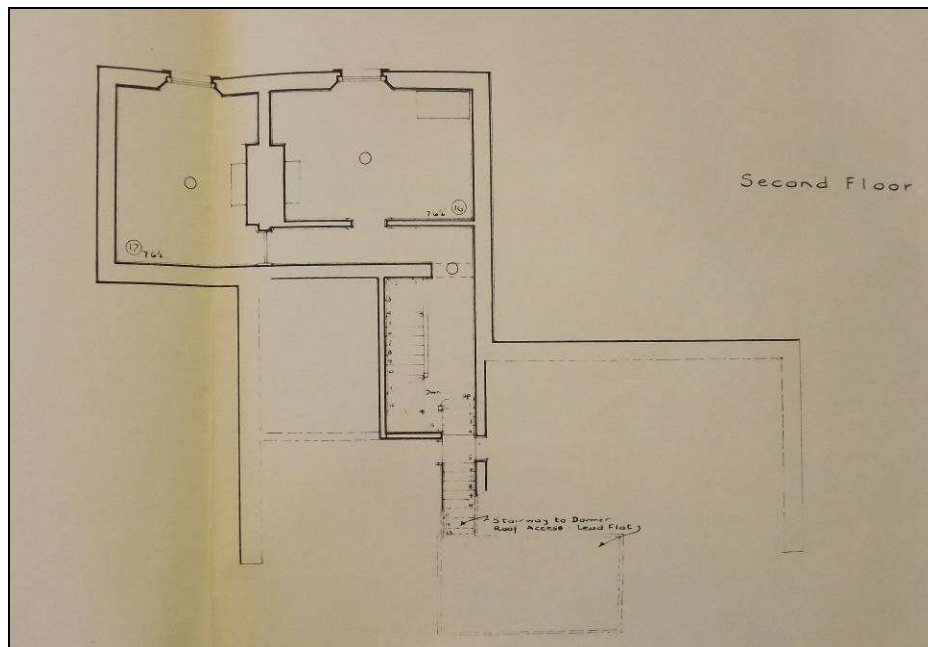
*Plate 9: Section through Moor Park 1964*



**Plate 10:** Ground plan of house and outbuildings at Moor Park 1965

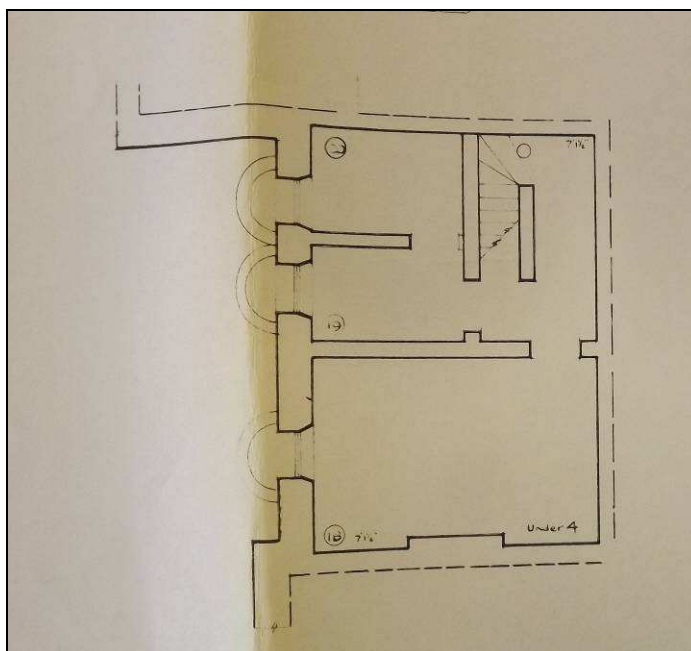


*Plate 11: First floor plan of Moor Park 1965*



*Plate 12: Second floor plan of Moor Park 1965*

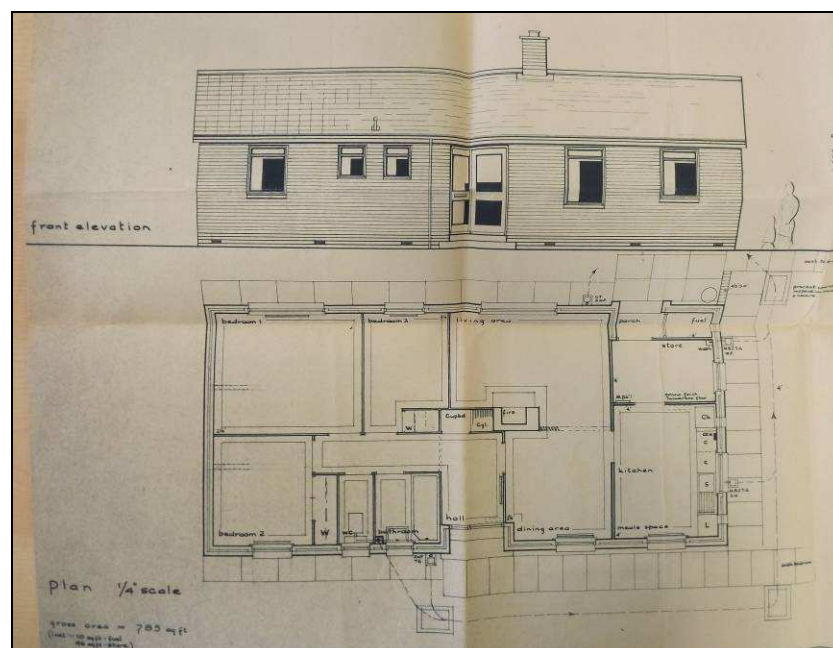




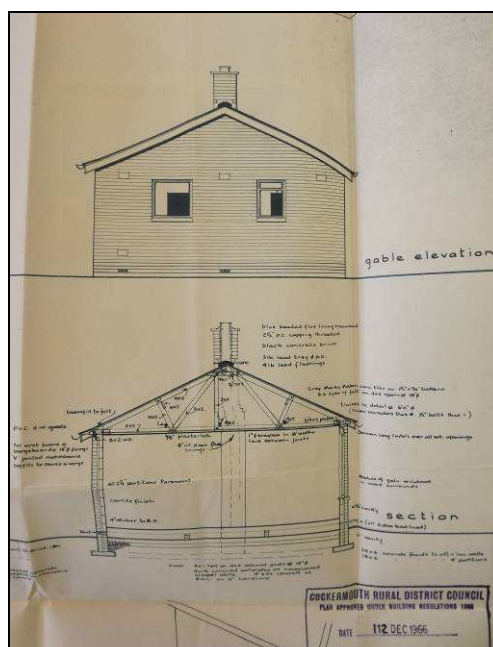
*Plate 13: Plan of cellar at Moor Park 1965*



*Plate 14: Site plan for a new bungalow at Moor Park dated 1966*



*Plate 15: Proposed main elevation and floor plan for new bungalow in the ground of Moor Park 1966*



*Plate 16: Proposed end elevation and cross section of new bungalow at Moor Park 1966*

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## 5 HISTORIC BUILDING SURVEY

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### 5.1 INTRODUCTION

- 5.1.1 The historic recording survey was undertaken on the 8<sup>th</sup> May 2012. At the time of survey the building was largely boarded-up to prevent unauthorised access, which prevented natural light from entering the interior of the property. This lack of natural light hindered a thorough inspection of the internal rooms. The property has also recently been partially damaged by fire, and consequently is presently partly surrounded by scaffolding with a temporary roof covering.
- 5.1.2 Figure 9 shows the directions from which some of the external photographs were taken.

### 5.2 EXTERIOR OF THE BUILDINGS

- 5.2.1 The property known as Moor Park is approached from the main road through Crosby to the south, and up a winding tree-lined road (Plates 17 and 18), with the 1960s bungalow located to its west side (Plate 19).
- 5.2.2 The main elevation of Moor Park faces northwards away from the village of Crosby, and offers fine views towards south-west Scotland and the Solway Firth. It is clear that the original positioning of the property was intentional in order to take full advantage of the elevated location on which Crosby sits. This is quite a difference from other large older properties in village, for example the late 17<sup>th</sup>/early 18<sup>th</sup> century farmhouse at Westlands Farm, which has its main elevation facing northwards towards the village green and main road through the settlement, whilst its rear (north facing) elevation is distinctly plain<sup>12</sup>.
- 5.2.3 The north elevation has the original main entrance into the building, accessed up four stone steps and set within a portico defined by two Tuscan-style columns supporting a decorative entablature (Plates 20-22). The centrally-placed doorway, and window above, is separated from the rest of this main façade by vertical lines of mock quoins, a feature which is present on all of the corners of the house and appears to be original to the property (Plate 22).
- 5.2.4 At ground floor level in the north elevation there are two large bay windows, one to each side of the main entrance; these would have provided extensive views of the Solway Firth (Plates 20 and 23). At first

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<sup>12</sup> Wooler, F, 2005

floor level there are three regularly-spaced windows with shallow arched heads and decorative lintels. A horizontal string course runs along the base of these upper windows, providing further architectural detail (Plate 22). Defining the top of all the elevations of the house is a moulded decorative cornice.

- 5.2.5 The west elevation shows that this wall is not in a straight line, and instead the north section projects outwards slightly; this feature is repeated in the east elevation as can be seen from the ground plan of the property of 1965 (see Plate 10). There are two ground floor windows in this elevation, each with a decorative scroll lintel. It is interesting to note that this detailing is not present on the opposing east elevation, and presumably reflects that fact that the west elevation was clearly viewed from the approach road to the property, whilst the east faces the garden and is hidden from the approach road by a single-storey range of outbuildings. At first floor level there are two windows with the same shallow arched heads as already observed in the north elevation (Plate 24).
- 5.2.6 The south facing elevation is not symmetrical as is the case with the north (Plate 25), which may reflect the need to provide service rooms such as kitchens, pantry and cellars; features which may not necessarily fit within a symmetrical ground plan, as is the case with the main living areas.
- 5.2.7 The south-west section of this elevation has a projecting window at ground floor level consisting of two arched heads with decorative lintel and cornice. Above, at first floor level the two windows are set within the same slightly projecting feature and have shallow arched heads as already seen on the west and north elevations (Plate 26).
- 5.2.8 Set at the point where the south elevation turns, is a single-storey porch which appears to be a later addition as the cornice above partly obscures the lintel of the large first floor window which lights the internal staircase (Plate 27).
- 5.2.9 The west facing section of the south side of the property has a single ground floor window, which is relatively plain compared to those already noted; this may have lit a former kitchen and the plainness may be a reflection of the utilitarian nature of this internal space. At first floor level there are two windows with shallow arched heads set above the string course (Plate 28). It is interesting to note that despite the relative plainness of the first floor windows, there is some decorative moulding around the surrounds and along the base of the string course (Plate 29).

- 5.2.10 The main section of the south elevation projects outwards from that shown on Plate 26, and as already noted appears to have been utilised as service rooms rather than as living spaces for the main family of the house. This section shows that there are three floors in this part of the house, as indicated by the windows at ground, first and second floor level (Plate 30). Interestingly, there is no string course present on this elevation, the window surrounds are relatively plain and there is a lack of the prominent mock quoins on the south-east corner, all presumably reflecting the utilitarian characteristics of the internal rooms in this area of the house (Plate 31). A small porch is located central to this elevation; this does not appear to be an original feature although it is present on the ground plan dated to 1965 (see Plate 10).
- 5.2.11 The east elevation of the main house was partly obscured by the scaffolding and tarpaulin which has fallen away from the roof. It was possible, however, to note that there are three windows at ground floor level, each with arched heads but without the decorative scroll moulding present on the opposing west elevation (Plates 32 and 33). Set directly below each of these three windows are further openings to light the basement (Plate 34). At first floor level, although partially obscured, are two windows in which have the same form of lintels present over those on the north and west elevations. It is interesting to note that the projecting north section of this elevation does not have any openings; this presumably is due to the fact that there were fireplaces against this wall internally.
- 5.2.12 There is a single-storey range of outbuildings still extant, which projects from the south-east corner of the house, although a further range of outbuildings shown on the First to the Third Ordnance Survey mapping (1867 to 1925, see Figures 6-8) have been demolished. The extant range has four openings in the south elevation, two of which have arched heads (Plate 35). The east and north elevations have no openings at all indicating that the focus for activity with regards to this range of buildings was in the yard to the south side (Plates 36 and 37). No access was possible to the interior of this range at the time of survey.





*Plate 17: View looking north up the approach road to Moor Park*



*Plate 18: Moor Park as seen from the approach road to the south-west*





***Plate 19:** The 1960s bungalow known as 'The Lodge' located to the west side of the approach road to Moor Park*



***Plate 20:** View looking south-east showing the main (north) elevation of Moor Park*



*Plate 21: Detail of original main entrance set within a portico, north elevation*



*Plate 22: Detail of entablature of the portico and first floor windows*





*Plate 23: Detail of one of the large bay windows in the north elevation*



*Plate 24: West elevation of Moor Park*



*Plate 25: South elevation of Moor Park*



*Plate 26: South elevation (west side) of Moor Park*



*Plate 27: Detail of possible inserted porch, south elevation (Scale = 2m)*



*Plate 28: West facing section of the south side of Moor Park*





*Plate 29: Detail of first floor window surround, south side of Moor Park*



*Plate 30: South elevation of Moor Park*



*Plate 31: Detail of one of the first floor windows, main section of south elevation*



*Plate 32: East elevation of Moor Park*





*Plate 33: Detail of ground floor window surround, east elevation (Scale = 2m)*



*Plate 34: Detail of one of the three basement windows, east elevation*



*Plate 35: South elevation of the single-storey range*



*Plate 36: East elevation of singles-storey range (Scale = 2m)*





*Plate 37: North elevation of single-storey range of outbuildings (Scale = 2m)*

### 5.3 INTERIOR OF THE BUILDING

- 5.3.1 As already noted above, the interior of the building was difficult to thoroughly assess at the time of survey due to the lack of natural or artificial light, and due to some areas being unsafe following the fire in the south-east corner of the property. It was clear that the use of the property as offices from a housing charity had involved the insertion of suspended ceilings, the removal of fireplaces and provision of central heating, and the introduction of fire doors. All of these modifications have meant that there was very little apparent original detailing surviving. The only detailing which survived included door architraves, some coving, some sections of skirting board, and panelling of the windows (Plates 38-43).
- 5.3.2 The windows were noted internally to be generally of the same form as those which are shown on the Sales Particulars photograph of 1911, although these may not have been original to the newly constructed villa of mid-19<sup>th</sup> century date. The 1911 photograph clearly shows the sash windows as consisting of only two pieces of glass, rather than being separated into several panes by glazing bars as would perhaps be expected of a mid-19<sup>th</sup> century property. Although large sheets of glass were becoming available from the middle of the 19<sup>th</sup> century for use in



windows, the standard Victorian window generally had four panes, but by the end of that century two pane windows were common<sup>13</sup>.

- 5.3.3 The original ground floor entrance to the Victorian villa, in the north elevation, was noted to have been converted into a large window, with the main entrance more latterly being located through the porch on the south elevation (see Plate 27).
- 5.3.4 The layout of the staircases in the property appear to be located in their original positions, however the staircases themselves, which include the balusters, hand rail and newel posts, appear to have been replaced at some point as they possibly appear more Edwardian in style (Plates 44-46).
- 5.3.5 At second floor level there is a further staircase which provides access to a flat area of roofing through a dormer (Plate 47 and second floor plan Plate 12). This area of roofing appears to have been deliberately created to allow extensive views to the north towards the Solway Firth, and to the east and west (Plate 48). From the flat roof area it was possible to note the single surviving chimney, which served fireplaces in the east side of the house (Plate 49). It was also possible to note that sections of the roof at least were laid in slate with sandstone ridge tiles, and the flat area was laid in lead over timber boarding (Plate 50).
- 5.3.6 During the survey work on site it was possible to note that some of the walls for the walled garden which was located to the east side of the property were still standing, including a decorative metal gate (Plates 51 and 52).

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<sup>13</sup> Yorke, T, 2005, Page 20



*Plate 38: Ground floor bay window (Scale = 1m)*



*Plate 39: Ground floor, south room (Scale = 1m)*



*Plate 40: First floor, north elevation central window (Scale = 1m)*



*Plate 41: Detail of architrave, first floor (Scale = 1m)*



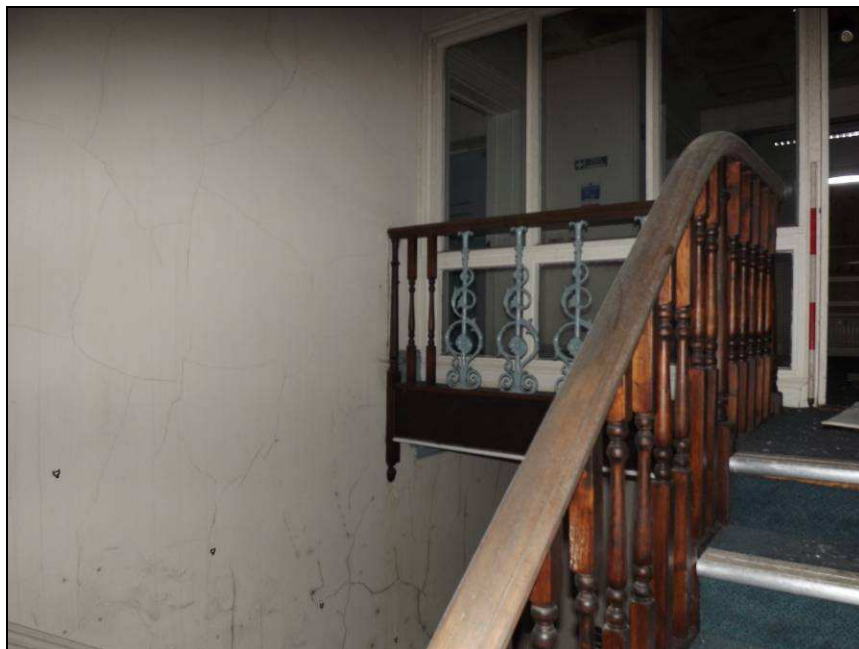
*Plate 42: Detail of surviving coving and picture rail, first floor*



*Plate 43: Detail of decorative coving in main entrance hall, ground floor*



*Plate 44: Detail of main staircase from ground to first floor (Scale = 1m)*



*Plate 45: Detail of main staircase at first floor level*





*Plate 46: Detail of staircase at second floor level*



*Plate 47: Detail of dormer, access to roof*



***Plate 48:** View looking north towards the Solway Firth as seen from the roof of Moor Park*



***Plate 49:** Detail of surviving chimney pot as viewed from the roof*





*Plate 50: View looking west from the flat roof area*



*Plate 51: Surviving section of walled garden wall to east of Moor Park*





*Plate 52: Detail of walled garden gate (Scale = 2m)*

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## 6 CONCLUSION

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- 6.1 The rapid desk-based assessment, which was undertaken prior to the survey work on site, has revealed that Moor Park appears to have been constructed at some point between 1844, the date of Crosby Tithe Map, and 1861, when it is included in the Census Returns of that year under the occupancy of Henry Richmond Esq. and his family. It is possible to potentially narrow the date of construction down to some point between 1853 (when the common land was enclosed) and 1861.
- 6.2 When Moor Park was advertised for sale in 1911, it was described as a '*charmingly situated freehold marine residence*', and came complete with '*inexpensive gardens and grounds, carriage drive and lodge, outbuildings and about 9 acres of rich park land*'. The Sales Particulars of that date provide useful information on the rooms of each floor, in particular what function they served, indicating that it was a substantial family home.
- 6.3 Historical mapping has shown that as well as the main house, there were outbuildings attached to its south-east corner, as well as a separate range to the south, a walled garden to the east of the dwelling, and a lodge at the main entrance gateway.
- 6.4 Moor Park was occupied as a residence until the 1960s by families such as the Mulcaster's, the Brockbank's, the Collins's, Miss Pittman and David Gibson. In 1965 planning permission was granted for a change of use from residential property to offices for the North Eastern Housing Association. Floor plans of the property from that date, and proposed alteration plans, indicate that little change was required to the building to accommodate this altered use at this date, apart from the conversion of the main entrance into a window, the insertion of a reception hatch in the entrance hall, the creation of gent's toilets at ground floor level, and the provision of a canteen and ladies toilet at first floor level.
- 6.5 The former original lodge for Moor Park was seemingly demolished in c.1967 when plans were submitted for the construction of a new bungalow in the grounds.
- 6.6 The historic building survey has shown that Moor Park was a substantial villa constructed in the middle of the 19<sup>th</sup> century which took full advantage of its elevated position to serve as a 'marine residence'. The main elevation shows that the views were an important feature of its design, as it faces to the north towards the Solway Firth, rather than towards the village. Its situation off the main road and hidden by trees

- also indicates that the need to 'show off' to passers-by was not a prerequisite of its construction.
- 6.7 The former house contains architectural detailing in the form of mock quoins, string course, moulded window surrounds with shaped heads and some detailed lintels, a substantial portico, and moulded cornice at eaves level. It was noticeable that most of this detailing appeared to have been present on the main living areas of the house, rather than the service rooms to the rear.
- 6.8 Only one of the ranges of outbuildings still survives to the south side of the house; a separate range shown on historical mapping still to have been extant in 1990, had been demolished by the time of survey. Parts of the walls for the walled garden still survive to the east side of the house constructed of masonry and some of brick.
- 6.9 Internally, the property has lost some of its architectural detailing and features of note such as fireplaces, as a consequence of its use as offices since the 1960s. Elements still survive in the form of architrave, some coving, sections of skirting boards, and window surround panelling. Despite this loss, the floor plans have survived relatively well, and the present plans remain largely as they are shown on those of 1965 which are reproduced above as Plates 10-13.
- 6.10 Moor Park is an interesting example of a property which was constructed in its own grounds, largely hidden from the public view, and was designed, and was subsequently advertised, as a property enjoyed extensive sea views of the Solway Firth and Scotland to the north.

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### Maps

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*Plan of the Township of Crosby in the Parish of Cross Canonby [Crosby Tithe Map and Award] 1844* (Carlisle Archives Centre Ref: DRC 8/52)

*First Edition Ordnance Survey Map, Surveyed 1864-65, Published 1867, 6" to 1 mile scale, Cumberland Sheet 45* (Carlisle Library)

*Second Edition Ordnance Survey Map, 1900, 25" to 1 mile scale, Cumberland Sheet 45.2* (Carlisle Library)

*Third Edition Ordnance Survey Map 1925, 25" to 1 mile scale, Cumberland Sheet 45.2* (Carlisle Library)

*Ordnance Survey Map 1991, 1: 10 000 scale, Sheet NY 03 NE* (Carlisle Library)

## APPENDIX: FIGURES

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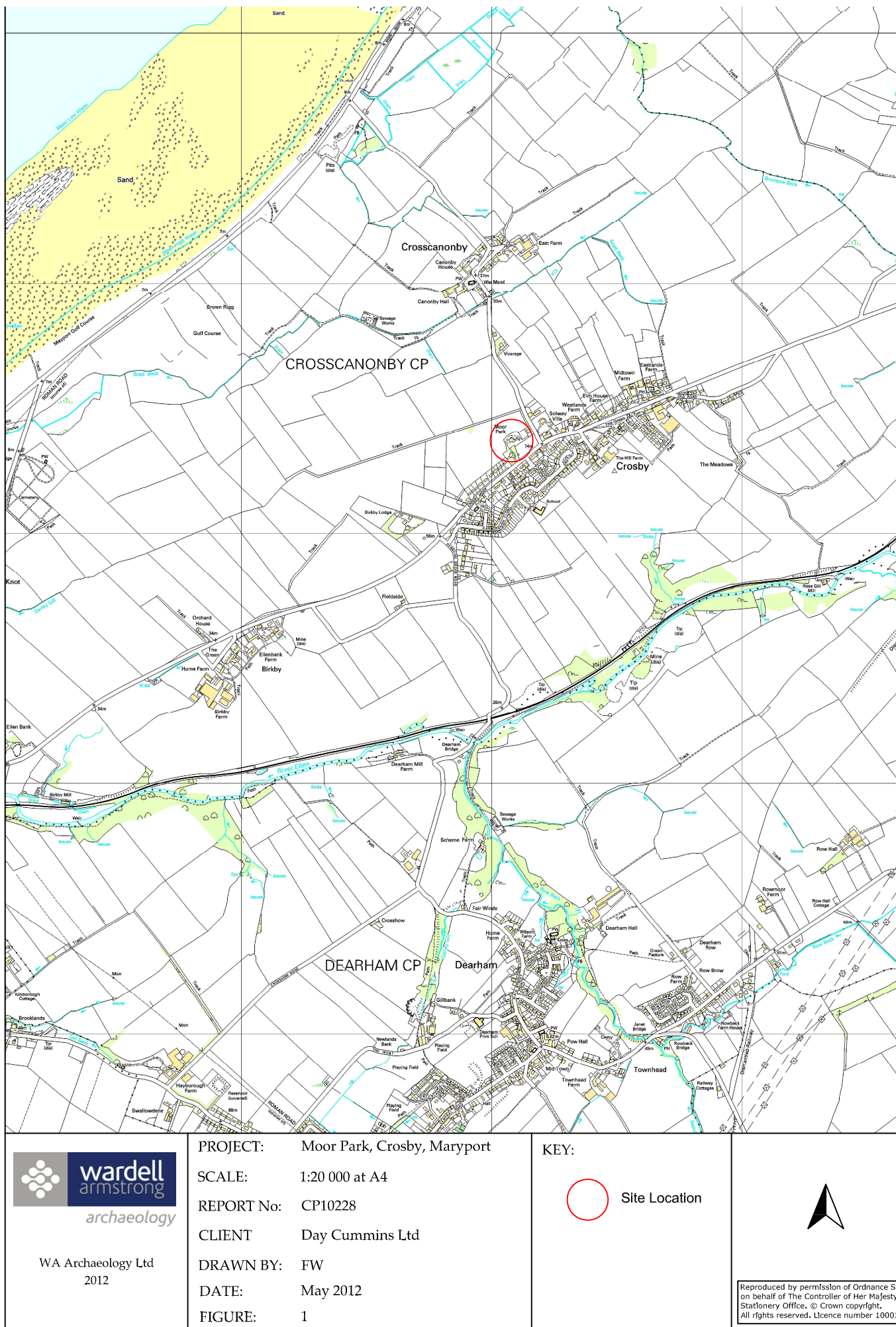


Figure 1: Site Location








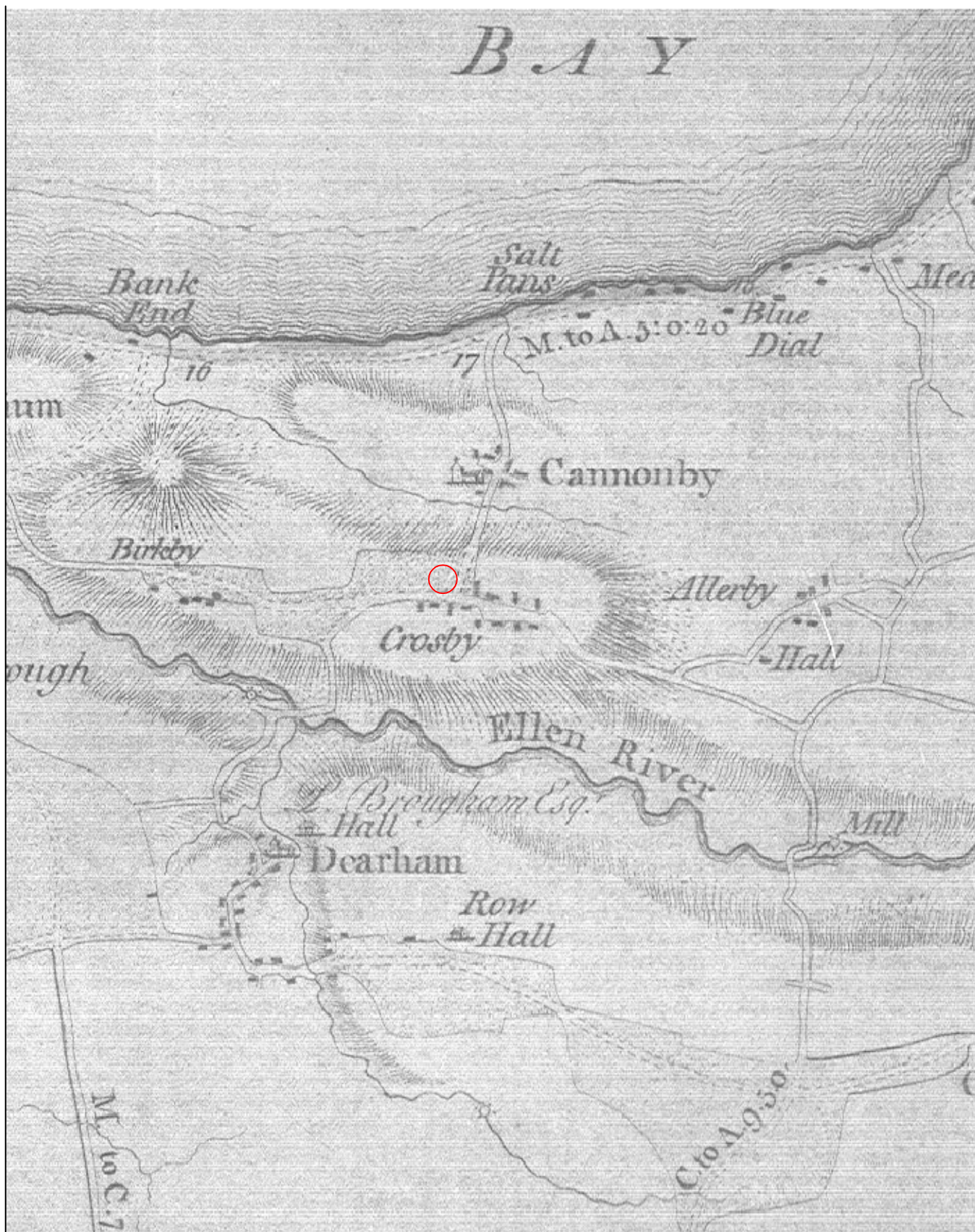
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|  | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: 1:2500 at A4</p> <p>REPORT No: CP10228</p> <p>CLIENT Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 2</p> | <p>KEY:</p> <p> Site Boundary</p> |  <p><small>Reproduced by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. © Crown copyright. All rights reserved. Licence number 10001</small></p> |
|---|---|--|--|

Figure 2: Detailed Site Location (based on OS map 1991)








|  |   |  |   |
|--|---|--|---|
|  <p>WA Archaeology Ltd<br/>2012</p> | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: Not to Scale</p> <p>REPORT No: CP10228</p> <p>CLIENT Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 3</p> | <p>KEY:</p> <p> Approximate Site Location</p> |  |
|--|---|--|---|

Figure 3: Extract from Hodkinson and Donald's Map of Cumberland 1774








|   |   |  |   |
|---|---|--|---|
|  | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: Not to Scale</p> <p>REPORT No: CP10228</p> <p>CLIENT Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 4</p> | <p>KEY:</p> <p> Approximate Site Location</p> |  |
|---|---|--|---|

Figure 4: Extract from Greenwood's Map of Cumberland 1823








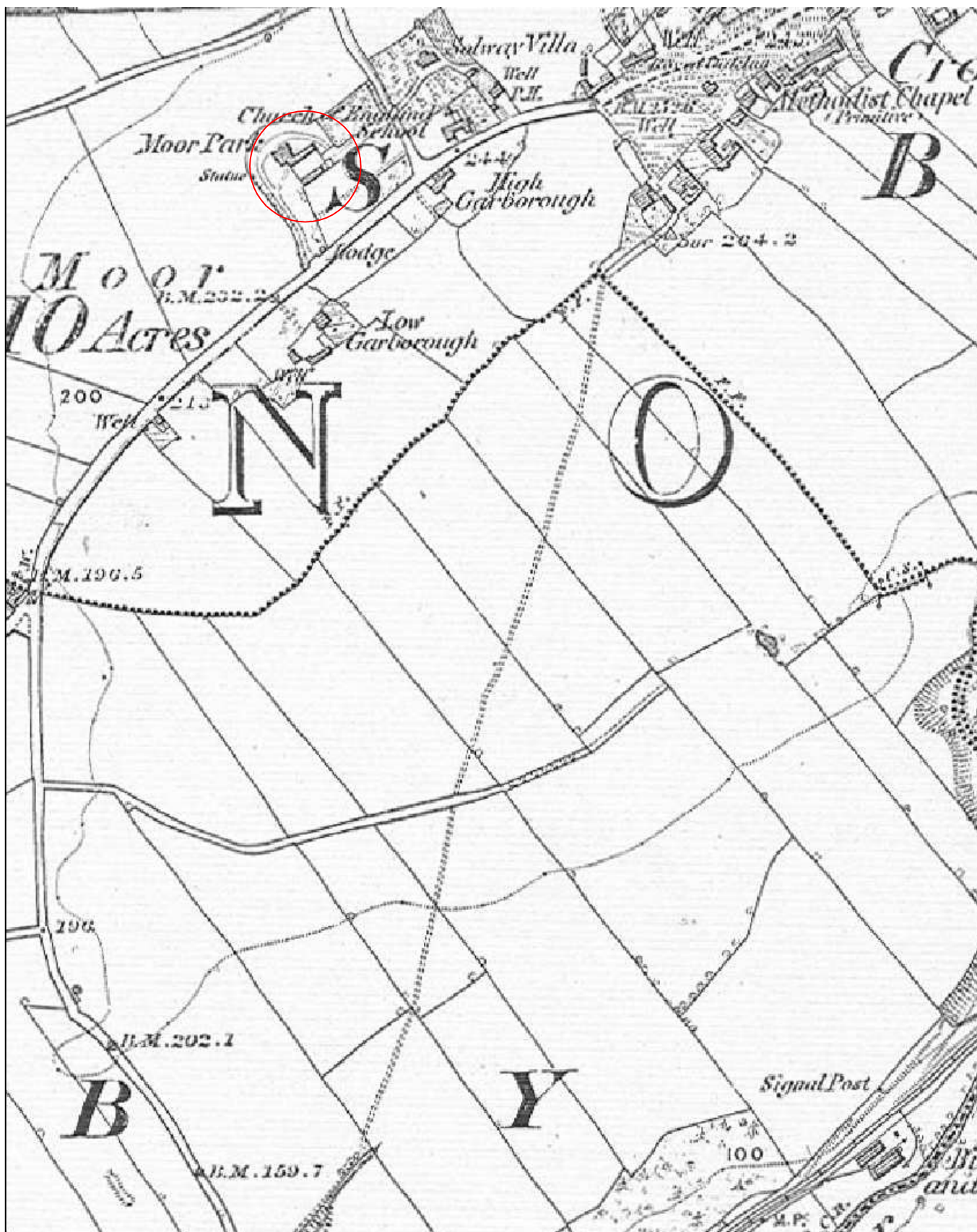
|   |   |  |   |
|---|---|--|---|
|  | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: Not to Scale</p> <p>REPORT No: CP10228</p> <p>CLIENT Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 5</p> | <p>KEY:</p> <p> Approximate Site Location</p> |  |
|---|---|--|---|

Figure 5: Plan of the Township of Crosby in the Parish of Crosscanonby 1844






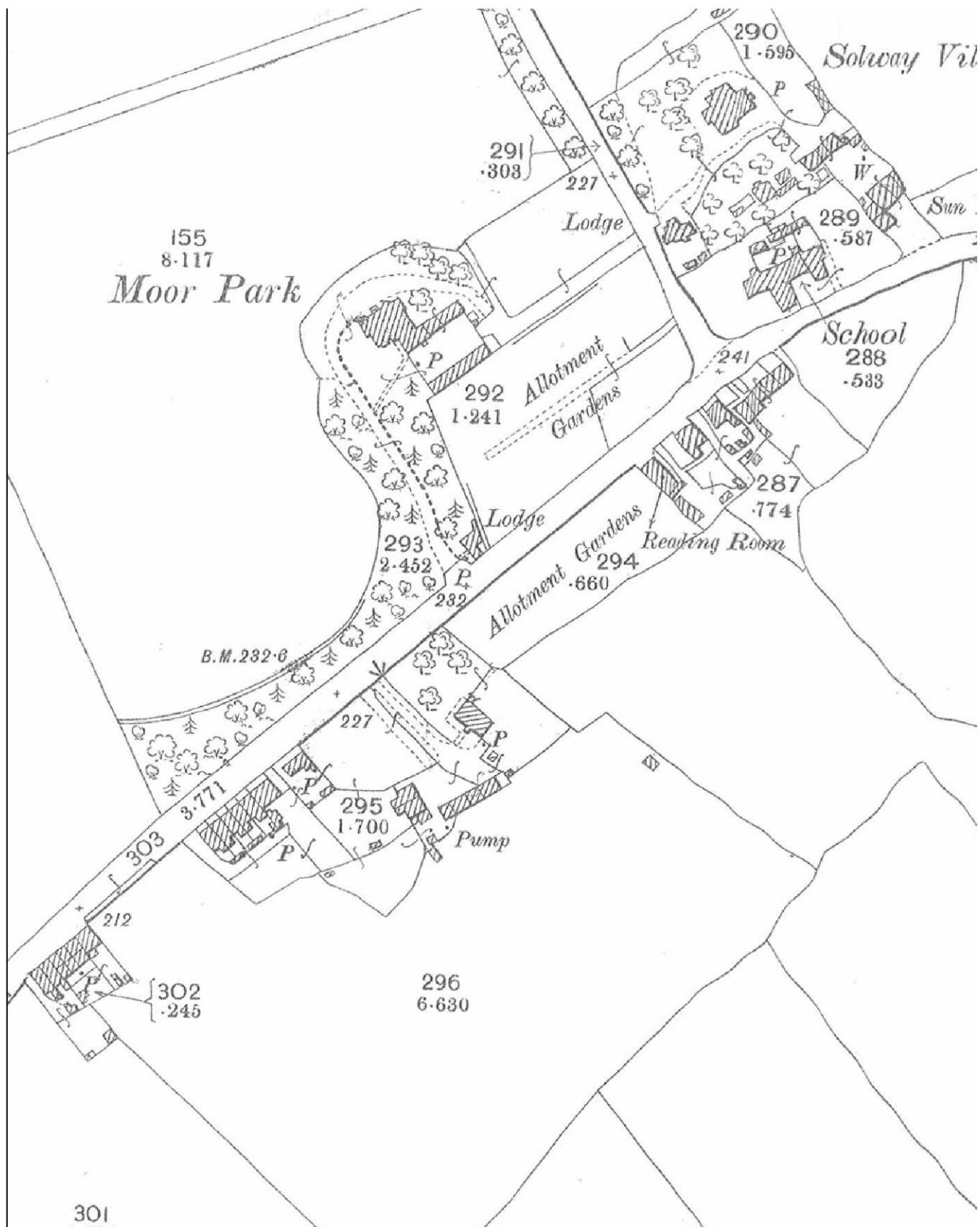
|   |   |  |   |
|---|---|--|---|
|  | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: Not to Scale</p> <p>REPORT No: CP10228</p> <p>CLIENT Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 6</p> | <p>KEY:</p> <p> Site Location</p> |  |
|---|---|--|---|

Figure 6: First Edition Ordnance Survey Map 1867 (6" to 1 mile scale)







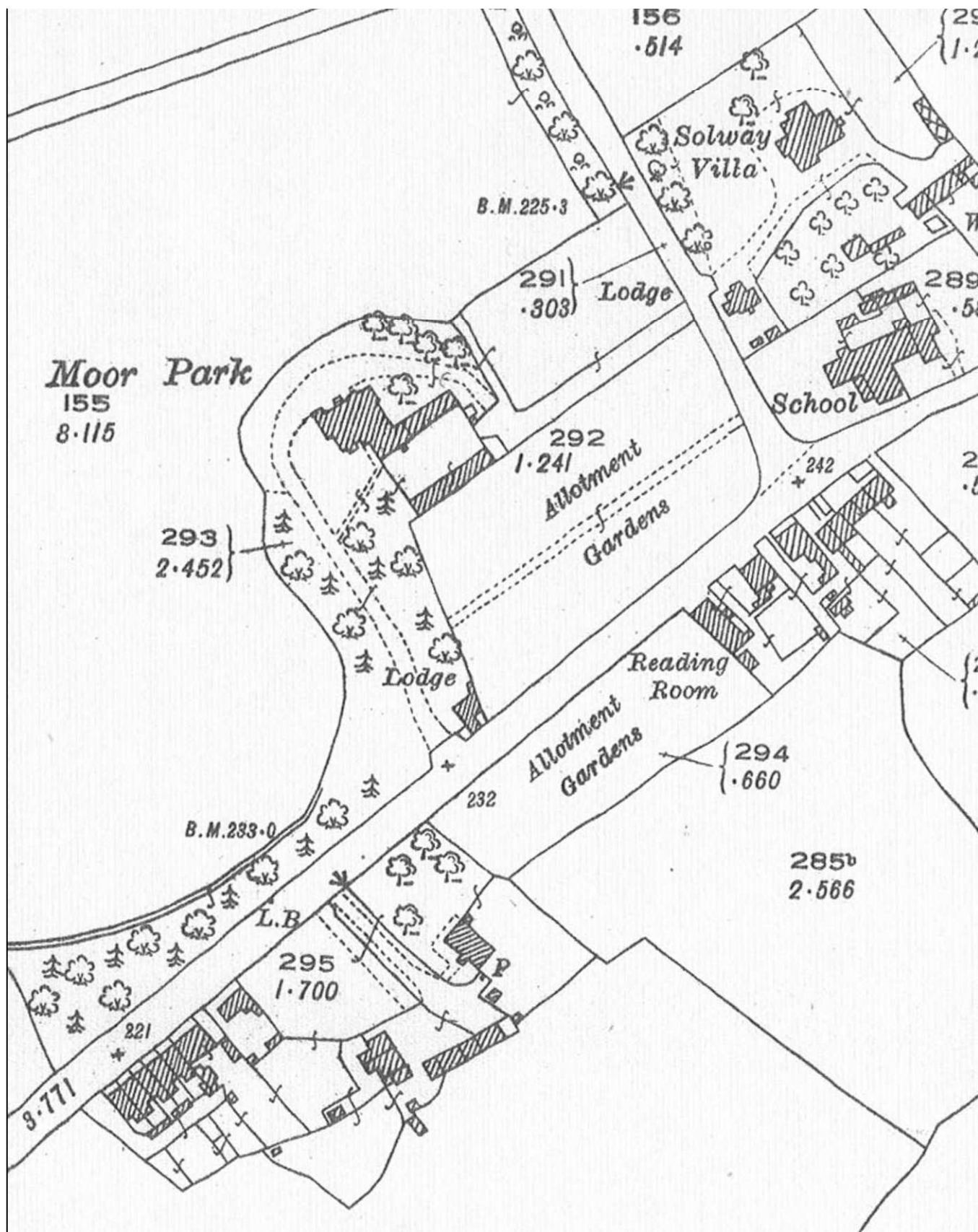
|   |  |   |
|---|--|---|
|  | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: Not to Scale</p> <p>REPORT No: CP10228</p> <p>CLIENT: Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 7</p> |  |
| <p>WA Archaeology Ltd<br/>2012</p>  |  |   |

Figure 7: Second Edition Ordnance Survey Map 1900 (25" to 1 mile scale)





|   |   |   |
|---|---|---|
|  | <p>PROJECT: Moor Park, Crosby, Maryport</p> <p>SCALE: Not to Scale</p> <p>REPORT No: CP10228</p> <p>CLIENT Day Cummins Ltd</p> <p>DRAWN BY: FW</p> <p>DATE: May 2012</p> <p>FIGURE: 8</p> |  |
| <p>WA Archaeology Ltd<br/>2012</p>  |   |   |

Figure 8: Third Edition Ordnance Survey Map 1925 (25" to 1 mile scale)

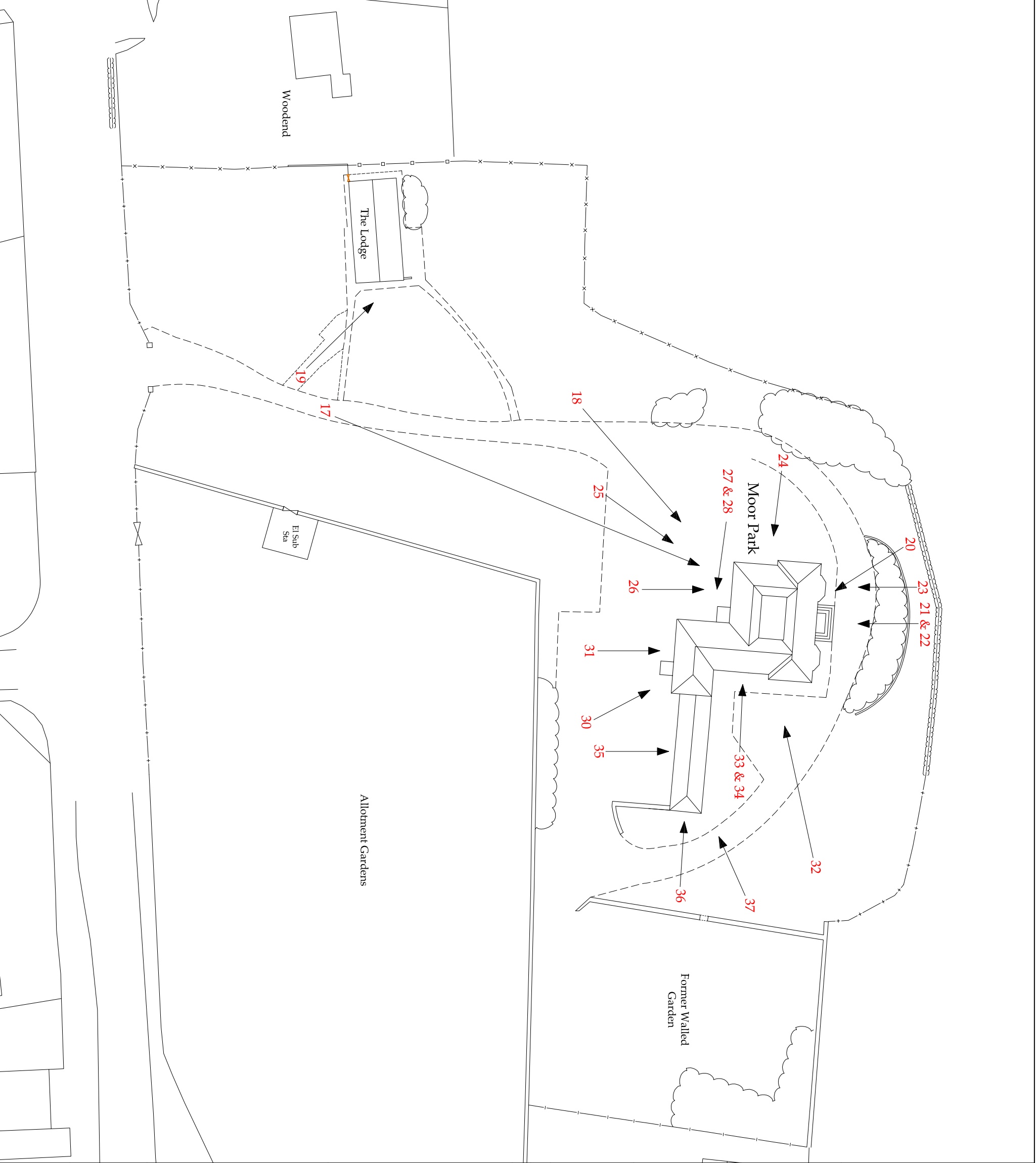


Figure 9: Site plan showing directions of external photographs

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| <div><div><div><div></div></div><div>wardellarmstrong</div></div><div>archaeology</div></div> <div>WA Archaeology Ltd<br/>2012</div>   |  |
| Moor Park, Crosby,<br>Maryport   |  |
| CLIENT:<br><br>Day Cummins Ltd   |  |
| SCALE:<br><br>1:500 at A3  |  |
| DRAWN BY:<br>FW  |  |
| DATE:<br>May 2012  |  |
| KEY:<br><br><div>19 Plate Numbers in Report</div>  |  |
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| REPORT No:<br><br>CP10228  |  |
| FIGURE:<br><br>9   |  |