

**MULCASTER HOUSE,
CHURCH LANE,
STANWIX,
CARLISLE,
CUMBRIA**

DESK-BASED ASSESSMENT AND BUILDING SURVEY

CP. No: 10898

DATE: MAY 2014



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This report covers works as outlined in the brief for the above-named project as issued by the relevant authority, and as outlined in the agreed programme of works. Any deviation to the programme of works has been agreed by all parties. The works have been carried out according to the guidelines set out in the Institute for Archaeologists (IfA) Standards, Policy Statements and Codes of Conduct. The report has been prepared in keeping with the guidance set out by Wardell Armstrong Archaeology on the preparation of reports.

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SUMMARY

Wardell Armstrong Archaeology was commissioned by Space design Solutions to undertake a desk-based assessment and building survey at Mulcaster House, Carlisle, Cumbria (NGR NY 4021 5703). This work was undertaken to inform a proposed planning application for the construction of a swimming pool, summer house and new entrance way. The work is required as the site lies within the buffer zone of the Hadrian's Wall part of the 'Frontiers of the Roman Empire' World Heritage Site and the area known to form the interior of the Roman fort of Stanwix, a scheduled monument. The proposed work would also impact upon the setting of a grade II* listed building.

The desk-based research has identified that Mulcaster House dates to the late 18th century with early 19th century additions for James Mulcaster. Cartographic sources and census records indicate that the property appears to have been two, or possibly three separate dwellings throughout its history.

The historic building survey has revealed that Mulcaster House is essentially a characteristic double-pile house, of late 18th/early 19th century date, with two wings to each side to provide additional space, possibly utilised as servant's quarters.

The consideration of archaeological impact concludes that there is a possibility that the proposed development might impact upon the Outstanding Universal Values associated with the World Heritage Site, but that this will depend on the survival of Roman archaeological remains within the grounds of Mulcaster House. Elsewhere in Stanwix the survival of remains associated with the fort has been variable.

ACKNOWLEDGEMENTS

Wardell Armstrong Archaeology thank Lee Page of Space Design Solutions for commissioning the project on behalf of Edmond Castle Estates.

Wardell Armstrong Archaeology extend their thanks to staff at Cumbria County Council Historic Environment Service; Stephen White, Carlisle Library, and Denis Perriam for their help during this project.

The desk-based assessment was undertaken by Richard Newman and the building survey was undertaken by Fiona Wooler. The drawings were produced by Adrian Bailey. The project was managed by Frank Giecco, WAA Technical Director, who also edited the report.

1 INTRODUCTION

1.1 CIRCUMSTANCES OF THE PROJECT

- 1.1.1 This archaeological desk-based assessment has been prepared by Wardell Armstrong Archaeology (WAA) in response to a pre-planning application inquiry and instruction from Lee Page of Space Design Solutions Ltd. The project was discussed in principle with both the Cumbria County Historic Environment Service and Mike Collins, English Heritage's archaeologist for Hadrian's Wall. The report sets out the archaeological and historical background of the residential property at Mulcaster House, Church Lane, Stanwix, Carlisle and provides an assessment of the significance of known and potential heritage assets within the proposed site boundary. It also considers the likely impact of the development proposals both in terms of beneficial and adverse impacts upon the significance of defined heritage assets.
- 1.1.2 The desk-based assessment comprised a search of both published and unpublished records. A search was made of records held by the Historic Environment Record (HER), held by Cumbria County Council and records held at the local archives centre in Carlisle. In addition information was sought from the archives and library held by Wardell Armstrong Archaeology.
- 1.1.3 For the purpose of this assessment, a study area of a broadly 0.5km radius around the site boundary was defined in order to allow for the study of the wider area and to set the site into context. This radius is distinct from the site boundary, which only refers to the area of the proposed development.
- 1.1.4 An historic building survey was undertaken of the Grade II* listed Mulcaster House prior to proposed renovation works in order to identify and record areas of historic interest.
- 1.1.5 The principal objective of this assessment was to undertake sufficient work in order to identify and characterise the archaeological constraints associated with the development area. The report sets out the results of the work in the form of a short document outlining the background information, findings from within the study area, followed by a statement of the implications of the findings for the development. The implications are expressed as risks to the developer, significance of the heritage assets and likely impacts of development. The potential impacts of the proposed development on identified and potential heritage assets are established, including beneficial impacts, and appropriate mitigation measures for reducing potential adverse impacts are discussed where relevant.
- 1.1.6 The development proposals are for a swimming pool, summer house and associated alterations at Mulcaster House, Chapel Lane, Stanwix, Carlisle, Cumbria, CA3 9DP (NY 402 571). The site is currently being used as a domestic residence and garden.

1.2 PLANNING POLICY

- 1.2.1 **National Policy:** the National Planning Policy Framework (NPPF) defines the role of the planning system as to promote and achieve sustainable development and involves 'seeking positive improvements in the quality of the built, natural and historic environment' (9).
- 1.2.2 Under the NPPF plan making and decision taking is informed by 12 core planning principles, including the requirement for the planning system to 'conserve heritage assets in a manner appropriate to their significance', so they can be enjoyed for their contribution to the quality of life for this and future generations (s17).
- 1.2.3 Where heritage assets are to be affected by development, local authorities should require the applicant to describe the significance of the assets affected (including the contribution made to the significance of the asset by its setting); the level of detail being proportionate to the asset's importance, which may include an archaeological evaluation and/or mitigation. The NPPF also requires developers to 'record and advance understanding of the significance of any heritage assets to be lost' through archaeological excavations and reporting (s141).
- 1.2.4 The more important the heritage asset the greater the weight that should be given to its conservation. The significance of a heritage asset can be compromised, reduced or lost through alteration, destruction or negative impacts on setting. The NPPF considers negative impacts on heritage assets in terms of loss, 'substantial harm' and 'less than substantial harm'. Heritage Assets that are of the highest significance, such as scheduled monuments or grade I and II* listed buildings, will be protected from loss or substantial harm in all but 'wholly exceptional circumstances'. Those of high but lesser significance such as grade II listed buildings or registered parks and gardens will be protected from loss or substantial harm in all but 'exceptional circumstances' (s132).
- 1.2.5 **Local Policy:** relevant policies from the Carlisle City Council Carlisle and District Local Plan 2001-2016 (2008, http://www.carlisle.gov.uk/downloads/CDLP_WS.pdf) comprise policies LE5, LE6, LE7, LE8, LE9, LE10 and LE12, which state the following:
- 1.2.6 Policy LE5: Hadrian's Wall World Heritage Site: Development will not be permitted where there is an unacceptable impact on the Hadrian's Wall Military Zone World Heritage Site.
- 1.2.7 Policy LE6: Scheduled/Nationally Important Ancient Monuments: Development will not be permitted where there is an unacceptable impact on scheduled and other nationally important ancient monuments and their settings.
- 1.2.8 Policy LE7: Buffer Zone on Hadrian's Wall World Heritage Site: Within the buffer zone of Hadrian's Wall Military Zone World Heritage Site, as defined on the Proposals Map, proposals for development which would have an unacceptable impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted, where it is consistent with other policies of this Plan, providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

- 1.2.9 Policy LE8: Archaeology on Other Sites: On land for which there is no archaeological information, but where there are reasonable grounds for believing remains to be present, the City Council will ensure that the archaeological aspects of development proposals are examined and evaluated before planning applications are determined. Planning permission will not be granted without adequate assessment of the archaeological implications.
- 1.2.10 Policy LE9: Other Known Sites and Monuments of Archaeological Significance: on other known sites and monuments of archaeological significance, permission for development will be granted, provided the applicant can demonstrate that the site will be either satisfactorily preserved or appropriate arrangements for excavation and recording have been made. These cases will be judged against the following:
1. the importance of the archaeological features;
 2. the effects of the proposal on the archaeological features;
 3. the need to retain and where possible enhance the features which have a particular archaeological and/or landscape significance;
 4. the applicant's arrangements for in situ preservation of the features.
- On the other known sites of archaeological significance, the City Council will ensure that the archaeological aspects of development proposals are examined and evaluated before planning applications are determined.
- 1.2.11 Policy LE10: Archaeological Field Evaluation: On all scheduled and other nationally important monuments, sites of archaeological significance and other sites of high archaeological potential, the City Council will ensure that the archaeological aspects of development proposals are examined and evaluated either before planning applications are determined or in exceptional circumstances by the use of condition. Planning permission will not be granted without adequate assessment of the archaeological implications.
- 1.2.12 Policy LE12: Proposals Affecting Listed Buildings: Proposals for new development which adversely affects a listed building or its setting will not be permitted. Any new development within the setting of a listed building should preserve the building's character and its setting. The City Council will seek to encourage any new development to be sympathetic in scale, character and materials.
- 1.2.13 In addition to the published Local Plan, note must be taken of the proposed new local plan for 2015-2030. It is important to recognise that as of spring 2014 this is currently at the Preferred Options (stage 2) phase and open to consultation and as a result subject to change. Moreover, none of its policies are in force as yet. It is intended for publication in autumn 2014 and as such may be operational during the consideration of the planning application for Mulcaster House. Consequently, consideration of this document is necessary as it provides a context for the analysis of development risk http://www.carlisle.gov.uk/planning_and_buildings/planning_policy/the_new_local_plan.aspx .

- 1.2.14 Policy 53: Hadrian's Wall World Heritage Site: There is a presumption in favour of preserving the fabric, integrity and authenticity of archaeological sites that form part of the outstanding universal value of the World Heritage Site. Development will not be permitted where there is an unacceptable impact on Hadrian's Wall World Heritage Site. Proposed development in the Buffer Zone should be assessed for its impact on the Outstanding Universal Value of the World Heritage Site, and particularly on key views both into and out of it: development that would have an adverse impact on Outstanding Universal Value should be refused. New development will not be permitted on currently open land on the line of the wall.
- 1.2.15 Policy 54: Scheduled and other Nationally Important Ancient Monuments: Development will not be permitted where it would have an unacceptable harm to the significance of a scheduled Monument, or other nationally important non designated site or assets of archaeological interest or their setting. Proposals that affect non designated assets of archaeological interest will be judged on the significance of the assets and the scale of harm to establish whether the development is acceptable in principle. The Council will seek to ensure mitigation of damage through the preservation of the remains in situ as a preferred solution. When in situ preservation is not justified, the developer will be required to make adequate provision for excavation and recording of assets by the developer to a level that is proportionate to their significance and to the scale of the impact of the proposal. The information will need to be made publicly accessible in the County's Historic Environment Record. Proposals that will have an impact on an area where there are reasonable grounds for the potential of unknown assets of archaeological interest to exist, should be accompanied by an assessment of the significance of the asset and how that significance will be affected by the proposed development. The level of information required will be proportionate to the assets significance and to the scale of impact of the proposal, and may require, where necessary, archaeological desk-based assessment and field evaluation.
- 1.2.16 Policy 57: Listed Buildings: Listed buildings and their settings will be preserved and, where appropriate enhanced. The loss of any significance should be minimised and will be permitted only where any harm is justified by the public benefit of the proposal. Applications for works to listed buildings including: alterations or extensions, changes of use, or new development within the curtilage/or its setting must have regard to:
1. the importance of the heritage asset, its intrinsic architectural and historic interest and rarity, and its significance to the local distinctiveness and character of the district;
 2. the setting of the heritage asset and its contribution to the local scene;
 3. the extent to which the proposed works would bring substantial benefits to the community;
 4. the present or future economic viability or function of the heritage asset;
 5. the physical features of the building in particular scale, proportions, character and detailing (both internally and externally) and of any windows and doorways.

Any new development within the locality of a listed building should preserve or enhance its character and setting. The City Council will expect any new development to be sympathetic in scale, character and materials.

1.3 SITE SPECIFIC HISTORIC ENVIRONMENT PLANNING ISSUES

1.3.1 A brief review of the heritage planning issues indicates the following:

- Mulcaster House is a grade II* listed building
- the site is an unscheduled island surrounded by land designated as a scheduled monument, relating to Hadrian's Wall and the Roman fort at Stanwix
- the site sits within the Hadrian's Wall World Heritage Site buffer zone (<http://whc.unesco.org/en/list/430/multiple>)
- the site is within the known defined area covered by Stanwix Roman fort (National Heritage List 1019748).

1.3.2 National and local heritage guidance with respect to these defined issues suggests that:

- In order to proceed the proposed development will require both planning and scheduled monument consent,
- any development initiator should assess the significance of any assets that may be affected by the development proposals (including any adverse affect upon the significance of an asset by impacts upon its setting),
- the more important the heritage asset the greater the weight that should be given to its conservation,
- Heritage Assets that are of the highest significance, such as scheduled monuments or grade I and II* listed buildings, will be protected from loss or substantial harm in all but 'wholly exceptional circumstances',
- loss of any significance should be minimised and will be permitted only where any harm is justified by the public benefit of the proposal,
- the development will be in the immediate vicinity of a listed building and thus should be 'sympathetic in scale, character and materials' and should enhance its character and setting',
- there are no designated archaeological remains on the site but any discovered undesignated remains will be 'judged on the significance of the assets and the scale of harm to establish whether the development is acceptable in principle',
- to mitigate the impacts of development on undesignated archaeological remains 'preservation of the remains in situ will be the preferred solution',
- development will not be permitted where it causes an unacceptable impact on Hadrian's Wall World Heritage Site,
- no new development will be allowed on the line of Hadrian's Wall,
- any development within the World Heritage Site Buffer Zone should be 'assessed for its impact on the Outstanding Universal Value of the World Heritage Site, and particularly on key views both into and out of it',
- any development that has an adverse impact on Outstanding Universal Value is likely to be refused.

2 METHODOLOGY

2.1 PROJECT CIRCUMSTANCES

- 2.1.1 Wardell Armstrong Archaeology was commissioned by the client to undertake a desk-based assessment of the property of Mulcaster House, Stanwix, Carlisle (NGR NY 4021 5703). All work undertaken was consistent with the relevant standards and procedures of the Institute for Archaeologists, as set out in *Standard and Guidance for Historic Environment Desk-Based Assessment* (IfA 2012).
- 2.1.2 The assessment was discussed by Wardell Armstrong Archaeology with the Cumbria County Council Historic Environment Service prior to works taking place.

2.2 DESK-BASED ASSESSMENT

- 2.2.1 For the purposes of the report, the term 'site' is used to refer to the proposed development area. The term 'search area' relates to the wider area defined for the purposes of baseline information collection, which for this assessment comprised a 0.5km radius around the site. The term 'heritage asset' is used to refer to items of archaeological, architectural or historical interest that form a physical part of the historic environment and are not portable antiquities or artefacts.
- 2.2.2 Several sources of information were consulted, in accordance with the relevant professional standards and guidance. A further search of online resources was undertaken in order to identify any designated archaeological sites including Scheduled Monuments, Listed Buildings, Registered Parks and Gardens, Registered Battlefields and Conservation Areas, around the site. This was done in order to help assess the possible impact of the proposed development on heritage assets of the highest significance. The principal sources of information were the Historic Environment Record (HER), the Portable Antiquities Scheme website, historical maps and secondary sources.
- 2.2.3 **Cumbria County Council Historic Environment Record (HER):** the HER maintained by Cumbria County Council was consulted in order to obtain information regarding known designated heritage assets (for example listed buildings, scheduled monuments and conservation areas), and non-designated heritage assets, i.e. sites of historic or archaeological interest which are not designated. Non-designated heritage assets may include locally listed sites of archaeological, architectural or historical significance. The HER was also consulted for information on historic landscape character. Reports relating to previous archaeological work undertaken in the vicinity of the proposed development area were also assessed for any information relating to the site and its environs.
- 2.2.4 There were 93 HER records within the study area that has been defined as a 0.5km radius around the site. Details of these are included in Appendix 1, and their locations are shown as site numbers on Figure 3.

- 2.2.5 **English Heritage:** Pastscape and other English Heritage web-based datasets were also consulted to identify the locations of designated sites.
- 2.2.6 The Cumbria County Council Historic Landscape Characterisation was consulted to establish the nature of the existing historic environment.
- 2.2.7 Google Earth™ and Magic were used to gain a composite aerial view of the site and its surroundings.
- 2.2.8 **Local Archives Centre:** a search of maps covering the study area was carried out at Carlisle Archives. Only those that reveal the area around the development site and of direct relevance have been included (Appendix 2). In particular, the First, Second, and Third Editions of the Ordnance Survey mapping were checked, and a search was made of the local history books and pamphlets held within their collections.
- 2.2.9 **Wardell Armstrong Archaeology (WAA):** various publications and unpublished reports on excavations and other work in the region are held within the Wardell Armstrong Archaeology Ltd library and any, as yet, undeposited archives of the sites themselves were examined. An electronic enquiry was also made of English Heritage's National Monuments Record and the website of the Archaeology Data Service. This was in order to enhance and augment the data obtained from a search of the appropriate repository.

2.3 HISTORIC BUILDING SURVEY

- 2.3.1 The purpose of the historic building survey was to determine the original form of the buildings at Mulcaster House, and to identify the main phases of development, forms of construction and use. The building recording corresponded to English Heritage Level 2 recording, as outlined in *Understanding Historic Buildings: A Guide to Good Recording Practice* (English Heritage 2006), and comprised a building survey supported by the desk-based research.
- 2.3.2 The building survey comprised an internal and external observation of the buildings, and the production of a written and photographic record. Photographs were taken using digital photography. Shots were taken of all external elevations, and internal rooms, to show structural or architectural detail, and features of historic interest. A selection of digital photographs is included in the report as appropriate. Scaled elevations and floor plans of the buildings are included within the report (Figures 10-14).

2.4 THE ARCHIVE

- 2.4.1 A final bound copy of the report will be deposited with Cumbria County Council HER at their offices in Kendal, where viewing will be made available on request. The archive will be deposited with Carlisle Archive Centre.
- 2.3.2 Wardell Armstrong Archaeology and Cumbria County Council Historic Environment Service support the **Online Access to the Index of archaeological investigations (OASIS)** project. This project aims to provide an online index and access to the extensive and expanding body of grey literature created as a result of developer-

funded archaeological fieldwork. As a result, details of the results of this study will be made available by Wardell Armstrong Archaeology, as a part of this national project. This project has the unique identifier of wardella2-177717

3 BACKGROUND

3.1 LOCATION, LANDSCAPE AND GEOLOGICAL CONTEXT

- 3.1.1 Stanwix lies within the lowland plains of the Solway Basin National Character Area (Natural England 2014), approximately 1.6 kilometres north of the city of Carlisle and is linked to the city by the Eden Bridge (Figure 1). The Solway Basin lies between the Cumbria High Fells to the south, the rugged terrain of the Scottish Border to the north, and the Border Moors and Forests to the northeast (Natural England 2014). The site is located on the north bank of the River Eden. To the north of the site boundary is Church Street with its 19th century housing and to the west is St. Michael's Church (Figure 2), a mid-19th century Commissioner's church (Hyde and Pevsner 2010, 265). The site lies at a height of approximately 30m aOD and is positioned on the north bank of the River Eden. The site is situated on a large river terrace created by the Eden.
- 3.1.2 The land at the southern end of the proposed development area has previously been developed as Mulcaster House, a late 18th century villa with the northern end being landscaped grounds. The development area forms a block of land on the eastern side of Church Lane, and is a domestic property. The property is known to be within the former Roman fort at Stanwix. The area is shown in Figure 2.
- 3.1.3 The solid geology of the Carlisle area is comprised of soft, reddish Permo-Triassic sandstones of the St. Bees formation, with the less extensive Kirkclinton sandstones, St. Bees Shales, and Stanwix Shales. At Stanwix, similar to Carlisle, the bedrock is overlain to a depth of several metres by drift deposits of glacial till that include sands, gravels and boulder clay (British Geological Survey 1982). The soils of the region are of the Clifton Association, typically composed of stagnogleys, although some fluvial deposits are present along the margins of the River Eden (Countryside Commission 1998).
- 3.1.4 The National Character Area profile states that one of the environmental opportunities of the Solway Basin is to:
"Conserve and promote the historic landscape and settlement character, including the many heritage assets linked to the area's history as a disputed boundary zone, such as the World Heritage Site of Hadrian's Wall, promote education and understanding through interpretation, enhance recreation opportunities and ensure that the design of new development enhances the character of the area" (Natural England 2014).
Historic Landscape Characterisation defines the study area as part of the Carlisle Character Area which is primarily of an urban and suburban character and a largely 19th and 20th century landscape with a moderate legibility of landscape elements of a medieval origin (Cumbria County Council 2009, 51).

3.2 HISTORICAL AND ARCHAEOLOGICAL BACKGROUND

- 3.2.1 **Introduction:** this historical and archaeological background is compiled mostly from secondary sources, and the records consulted during the desk-based assessment. It is intended only as a summary of historical developments around the study area. References to the County Historic Environment Record (HER) and National Monuments Record (NMR) are included where known. The locations of known sites within the 0.5km radius study area are depicted in Figure 5.
- 3.2.2 **Prehistoric (up to c. AD 72):** evidence of prehistoric occupation within Stanwix comes from a number of small scale archaeological interventions that have revealed ploughmarks that were cut into the natural surface of the soil, and ditches. In 1976 excavations to the northeast of the fort at Stanwix revealed an extensive field system that predated the construction of Hadrian's Wall. Limited areas of buried soil were located and it was concluded that these fields had been used mainly as pasture, rather than arable, land. An evaluation in 1990 to the northeast of Cumbria College of Art and Design (now a campus of the University of Cumbria), and southeast of Tarraby Lane, located a buried soil and ploughmarks that were sealed beneath a dump of sandy clay. The same features were noted in further archaeological work undertaken in 1996, also within the grounds of the Art College. A ditch was also observed that was aligned northwest/southeast, although the relationship of this to the ploughmarks and buried soil could not be determined (Zant and McCarthy 1996).
- 3.2.3 **Roman (c. AD 72- c.410):** the Romans did not arrive in and take control of the Carlisle area until the 7th 8th decade AD. Throughout this period it was the Roman fort at Carlisle (*Luguvalium*), established in 72 AD that formed the principal focus of Roman activity in the area leaving little or no mark on Stanwix. By the early 2nd century, a series of forts that were linked by a road, known as the Stanegate, had been established along the Tyne-Solway corridor. The line of the Stanegate is unclear in the Carlisle/Stanwix area. One possibility for the position of the Stanegate was that the road crossed the Eden to the east of Carlisle, at Linstock, avoiding Stanwix (Cook and Zant 2007). The other possibility is that the Stanegate would have approached Carlisle along the north bank of the Eden and therefore very likely to have passed through Stanwix (*ibid*).
- 3.2.4 Hadrian's Wall, from Wallsend to Bowness-on-Solway was mostly built of stone from its inception. West of the River Irthing, however, Hadrian's Wall consisted of turfs. It is thought that the turf wall was replaced by stone sometime in the mid 2nd century, once the Antonine Wall was abandoned (Stobbs 2008).
- 3.2.5 The Roman fort at Stanwix, known to antiquarians as either *Uxelodunum* (now considered to be Castlesteads) and or *Petriana*, was the fourth station on the line of the wall, when counting from the west, situated between Burgh-by-Sands and Castlesteads (Biggins and Taylor 2000). It has been said that the Roman fort at Stanwix is one of the least known of all of the Hadrian's Wall forts. There had been some evidence of buildings in the southern section of the fort, to the south of Church Street. Anecdotal evidence from the latter half of the 19th century suggests that masonry and pottery were revealed when grave digging was undertaken within St Michael's Churchyard. Although no trace of the fort could be seen in 1875, it was

- noted that Roman remains had been observed when the church was rebuilt in the 1840s. A slightly raised bank located to the south-western and south-eastern boundaries of the churchyard were considered by Richmond to possibly have been the rampart of the stone curtain wall. A section of road was noted by Simpson in the southern part of the garden to Stanwix House, and Richmond found a small section of curtain wall and part of an interval tower near the south-east corner of Stanwix House garden (*ibid*).
- 3.2.6 A watching brief on a service trench along Church Street in 2010 noted evidence of the fort ditch to the west of the entrance to St Michael's churchyard (Strickland and Wooler 2010, 36).
- 3.2.7 **Early Medieval (c.410-c1100):** some evidence of occupation during the early medieval period can be found from the name. Stanwix is thought to be from the Anglo-Saxon *Stanwic*, meaning stone-town (Stobbs 2008), and probably relates to contemporary standing stone-built Roman remains. Evidence for a timber building that is likely to have been an early medieval timber hall, built within the ruins of Stanwix fort, was recovered from excavations at Stanwix Primary School in 1999 (Frank Giocco *pers comm.*; Strickland and Wooler 2010, 55). Other evidence of early medieval occupation within the study area consists of a 9th century Anglian cross-head found in the garden of Old Croft, to the north of the site boundary and a coin of Cnut (1016-1035) found while digging the foundations for St. Michael's Church in 1842.
- 3.2.8 **Medieval (c1100-1540):** the Carlisle area became part of Norman England in 1092. William constructed a castle and brought settlers from the south to re-inhabit the newly re-established town. The Norman hold on Cumberland was consolidated by William's brother Henry I (Rollinson 1969). In the early 12th century Henry I retained the vill of Stanwix as part of the royal demesne and it remained so for much of the medieval period (Graham 1927). Evidence for the development of Stanwix during the medieval period is lacking. There are, however, a few references to the village within the historical record from the late 12th century onwards. In 1187, the sheriff accounted for the donum of Stanwega. In 1195 the tallage of the King's demesne was paid for by the men of Steinweges. In 1227 the Calender Close Rolls recorded that the men of the vill of Steinwegges were pardoned for non-payment of a like due (*ibid*).
- 3.2.9 The extent of the medieval village is uncertain but it is likely that the settlement was aligned along Church Street, where a small two-cell church stood in the southwest corner of the Roman fort. This small medieval structure was replaced by the present Church of St. Michael in the early 1840s. The 1839 tithe map shows that the church lay in the middle of a settlement stretching from Scotland Road in the west with the eastern end of the settlement forming a funnel like area probably used as a green but clearly encroached upon by 1839. This is not the settlement pattern depicted on Donald's county map of 1774, which shows no development in the east of Stanwix, to the east of Church Lane, and indicates that any green in that area was unencroached. It also suggests that Mulcaster House was not in existence at the time of Donald's survey. County maps like Donald's have recently been shown to accurately depict settlement shape in the later 18th century and this has been demonstrated to often be illustrative of a settlement's later medieval topography (*pers comm.* Caron

Newman, Newcastle University). The impression that medieval Stanwix may have lain to the west of the church along Church Street and at its junction with Scotland Road, is reinforced by the only archaeological evidence for medieval settlement being near the Scotland Road/Church Street junction, where a series of postholes were recorded that contained 12th-13th century pottery (Cook and Zant 2007). This view is given further credence by the total lack of medieval archaeological evidence found in any of the archaeological interventions to the north and east of Church Lane, where Roman (and possibly some post-Roman/early medieval) remains were found below post-medieval garden soils with no intervening archaeological levels (Strickland and Wooler 2010, 57-8).

- 3.2.10 **Post-medieval to Modern (1540-present):** very little is known of Stanwix during the post-medieval period. In the later 16th and 17th century, Carlisle and its region was adversely affected by warfare and plague. Civil War and Jacobite rebellions ensured that the Carlisle area remained unstable until the mid 18th century (Newman 2011). Increasing wealth in the later 18th century may have been reflected by the development of out of town villas as at Mulcaster. During the first half of the 19th century, the population of Carlisle rose dramatically from 10,000 inhabitants in 1801 to 35,000 by 1841 (McCarthy 1993). This resulted in the rapid expansion of the city suburbs. At Stanwix the construction of new houses and buildings during the second half of the 19th century transformed the village into a city suburb. By the time of the First Edition Ordnance Survey map of the 1860s (for example see Figure 5), this expansion was obvious as new streets and houses were depicted on the west side of Scotland Road and along Etterby Road, an area that had been open fields only 12 years earlier (Cook and Zant 2007).

3.3 EVOLUTION OF THE SITE

- 3.3.1 The site is known historically as Mulcaster House. The property is first recorded in the early 19th century. The property is situated within the known bounds of the Roman fort of Stanwix, to the south of the line of Hadrian's Wall. This fort was considered by Biggins and Taylor, following geophysical survey in the late 1990s, to have very little extant material surviving in the areas of the major houses such as Stanwix and Mulcaster houses and their landscaped grounds. They based this observation on surveys taken either side of the property of Mulcaster House, in the churchyard of St Michaels and to the rear of Stanwix House (Biggins and Taylor 2000, 280). There are other possible reasons relating to modern disturbance and conditions that may have limited the results of geophysical survey and this evidence should not be taken as conclusively indicating a lack of extant remains in either property or in the grounds of Mulcaster House.
- 3.3.2 There are numerous antiquarian records of Roman finds made in the vicinity of Stanwix fort. For the most part 18th and early 19th writers with regard to Stanwix refer to the 17th and early 18th century antiquarian writings of Camden and Horsley. Horsley described the fort as having had buildings within it, "which the number of stones dug up prove to have stood there". The wall was still highly visible in Camden's day and there are references to the church and houses in the village being built from the stones of the wall and fort (Hutchinson 1795, 577-9). Material was

certainly being dug up in Stanwix in the late 18th century for Hutchinson (1795, 578) records a Mr Goodman of Carlisle finding a Roman altar there, “not many years ago”. Jollie (1811) refers to the wall forming the northern rampart of the fort and extending through “the gardens of the village”. Though not visibly upstanding the wall formed a “ridge” which was “pretty eminent in many places” (39). Britton and Brayley (1802, 98) refer to the gardens of Stanwix village extending over the course of the wall “and are fenced with the stones obtained from it”. When the current church of St Michaels was built in the early 19th century many Roman remains were supposedly encountered and masonry remains were discovered in subsequent grave digging (Biggins and Taylor 2000, 279).

- 3.3.3 **Aerial photography:** Combined aerial and satellite imagery of the site was accessed using Google Earth™ and Magic. Nothing of significance was noted.
- 3.3.4 **Map regression analysis:** The available historic mapping for the study area consists of first, second and third edition Ordnance Survey maps, the Stanwix Tithe map of 1839 and Donald’s map of the County of Cumberland. The Tithe Map and accompanying Award was the earliest readily-available map consulted to show individual properties in the village of Stanwix in the middle of the 19th century. It shows that the property of Mulcaster House was owned by James Mulcaster. Comparisons of the 19th century mapping with Donald’s map of 1774 indicates that the development of Stanwix to the north and east of Church Lane post-dated 1774, suggesting that the medieval core of Stanwix lay from St Michaels church west toward Scotland Road (see section 3.2.9 above).
- 3.3.5 **The site:** The site has been a domestic property for many years and consists of a late 18th century mansion or villa with its attached garden. The site is unscheduled but surrounded by land designated as a scheduled monument and it lies within the Hadrian’s Wall buffer zone. Whilst it is clear that the property lies within the precinct of Stanwix Roman fort, it is unclear as to the extent of survival of Roman deposits within the property’s boundaries. There is likely to have been centuries of stone robbing having taken place between the end of the Roman period and the construction of Mulcaster House. By the late 18th century there may no longer have been any extant upstanding remains within the vicinity of Mulcaster House. The construction of the house and the landscaping of its grounds may have removed further archaeological evidence but there is no certainty that evidence for the Roman fort does not still survive beneath the garden. Any surviving remains will relate to the Outstanding Universal Value of the Hadrian’s Wall World Heritage Site. The only known heritage asset recorded from within the property on either the HER or the NMR is the grade II* listed Mulcaster House, which was first listed on 1st June 1949 (www.imagesofengland.org.uk).
- 3.3.6 Mulcaster House dates to the late 18th century with early 19th century additions for James Mulcaster. The listed building description describes it as: *‘Painted stucco walls on chamfered plinth with angle pilasters, eaves cornice and solid parapets. Graduated greenslate roof with three- boxed dormer windows; stucco ridge and end chimney stacks. Two storeys, five bays, with a four bay return on Church Lane; central stair, double-depth plan. Central three bays project and are pilastered; central panelled door in prostyle Corinthian porch with swag ornament, entablature and cornice. All*

windows are sashes with glazing bars in stone architraves; further left pilastered doorway’.

- 3.3.7 The listed building description continues to describe the interior: *‘The interior has much original detail with some careful 20th century additions in 18th century style; panelled internal shutters and panelled doors in fluted architraves. Simple moulded plaster ceiling cornices in principal rooms with some original cast-iron fireplaces in fluted surrounds. Small dog-leg stair is 18th century with carved tread ends, square balusters and moulded handrail. Further servants staircase is probably 19th century’.*
- 3.3.8 The earliest cartographic source consulted to show the buildings at Mulcaster House, is Stanwix Tithe Map of c.1840 (Figure 4). This map shows that the property consisted of buildings which were U-shaped in plan, with undeveloped land to the north-west and south-east sides, and situated along the east side of Church Lane. The accompanying Schedule lists the site as Plot 84, which was owned by James Mulcaster, and was occupied by ‘J Dalston and others’. This suggests that at this date, Mulcaster House was several dwellings rather than providing accommodation for one family.
- 3.3.9 The First Edition Ordnance Survey map of 1865 shows the buildings as being of the same form, but the land to the north-west and south-east is shown as gardens on this source, including a small structure at the north end of the larger garden (Figure 5).
- 3.3.10 The property is seemingly shown as being divided into three separate dwellings on the Second Edition Ordnance Survey map of 1901, with several outbuildings to the north-west side (Figure 6). The same buildings, and subdivisions, are shown on the Third Edition Ordnance Survey map of 1925 (Figure 7).
- 3.3.11 By 1940, some of the small buildings to the rear of the property appear to have been removed, and the subdivisions are no longer shown, although it is unclear how accurate this map is with regards to representing separations in dwellings. It is possible, however, that by this date Mulcaster House may have been converted to a single house (Figure 8).
- 3.3.12 The Ordnance Survey map of 1965, however, clearly shows Mulcaster House as two separate dwellings, with the range along Church Lane labelled as ‘Mulcaster House’ (Figure 9).
- 3.3.13 An assessment of documentary sources has provided information on the historical occupants of Mulcaster House, as listed in the table below:

Source	Occupant
Jollies Directory 1811	James Mulcaster is listed at Stanwix
Pigot & Co. Directory 1828-1829, page 68	James Mulcaster, Esq. Stanwix
Carlisle Journal 5/1/1833	Late Mr Mulcaster of Stanwix, at his late residence and household contents
Stanwix Tithe Map c.1840 (Figure 4)	Plot 84, owned by James Mulcaster, occupants J Dalston and others <i>‘buildings, yard and lawn’</i>

Carlisle Journal 4/12/1841	Death of George Mulcaster, died at Stanwix on 16 th September aged 75, last survivor of family
Carlisle Journal 11/8/1882	Mulcaster House, Stanwix, for sale by order of High Court, now occupied as three dwellings
1891 Census	Lists Mary Bell (aged 40) at Mulcaster House, along with three sisters, three nieces and one nephew
1901 Census	Three separate households are listed at Mulcaster House: Mary Bell and family (nine other occupants); James Ferguson (and six other occupants) and Thomas Charters (and nine other occupants)
Carlisle Directory 1907-1908	Misses Bell, Mulcaster House

3.4 PREVIOUS ARCHAEOLOGICAL INTERVENTIONS

- 3.4.1 There have been six previous archaeological interventions in the immediate vicinity of the site. Archaeological work consists of the above mentioned geophysical survey undertaken by Biggins and Taylor in the grounds of St Michaels church and Stanwix House and small excavations by the Carlisle Archaeology Unit in 1996, 97 and 98 at Tarraby Lane and Stanwix Primary School. In addition a watching brief was undertaken on a service trench along Church Street in 2010. In these excavations evidence of Hadrian's Wall was found along with deposits relating to activity at the fort between the 2nd and 4th centuries (Strickland and Wooler 2010, 57-8).
- 3.4.2 Numerous other interventions have taken place elsewhere in the vicinity of the Roman fort and the early 19th century settlement area of Stanwix. These have shown that remains of the wall and the fort do survive in the area and that medieval settlement appears to have been confined to the west of Church Lane towards Scotland Road.

3.5 GROUND INVESTIGATIONS

- 3.5.1 No ground investigations have been carried out within the site.

4 HISTORIC BUILDING SURVEY

4.1 INTRODUCTION

- 4.1.1 The Historic Building Survey was undertaken on the 7th April 2014. At the time of the survey, the property was empty with little in the way of obstructions externally or internally. The building is in a relatively good state of repair, although since being empty the property is suffering from water ingress.
- 4.1.2 Elevations and floor plans of the property, as existing, are provided as Figures 10 to 14 with features of interest shown. For ease of reference, each room has been allocated a number on the floor plans to allow each room to be discussed individually within this report.

4.2 EXTERIOR OF MULCASTER HOUSE

- 4.2.1 Mulcaster House occupies a prominent position on the corner of Brampton Road and Church Lane, and in close proximity to St Michael's Church, Stanwix (Plate 1). The main elevation of the property is the southern, which faces onto Brampton Road and would have allowed unrestricted views over the River Eden and beyond (Plates 2 and 3). This was clearly the elevation that was meant to be viewed by passers-by, as the elevation on Church Lane has less in the way of architectural embellishment (Plate 4). There is a small area of garden to the front of the property, set on a higher level to the road, with a sandstone retaining wall defining the boundary along the north side of Brampton Road (Plate 2).
- 4.2.2 The main (south) elevation has a symmetrical façade of five bays, is of painted stucco walls on a moulded plinth with angle pilasters that define the end bays which are set back slightly (Plate 5). A decorative eaves cornice runs along the top of this elevation below a parapet (Plate 6). The main elevation is central to the façade, and is set within a portico with Corinthian columns and swag decorated frieze above. The flat roof of this portico provides a balcony for one of the first floor windows (Plates 7 and 8). The doorway surround has lugged architrave, which defines the six-panelled door.
- 4.2.3 The windows in the south elevation are regularly-spaced, with two to each side of the main entrance at ground floor level, and five at first floor level. The stone surrounds have a square head, plain sills and decorative architrave. All the windows in this elevation are six-over-six pane sashes (Plates 5 and 9).
- 4.2.4 Although not clearly visible from the Brampton Road, due to the rise in ground level, there are three boxed dormer windows in the gabled roof of the central three bays, indicating that the roof space has been utilised for human occupation. Chimney stacks are present on each end of this three-bay section, providing evidence for the locations of internal fireplaces. The end bays of the south elevation form the southern end of two wings with hipped roofs which extend northwards (see Figure 12). All the roofs are laid in diminishing courses of slate. The form of the roofs can be more easily

- understood when the property is viewed from top end of the garden to the north (see Plate 16).
- 4.2.5 The west elevation of Mulcaster House runs along the east side of Church Lane and terminates in a modern garage before continuing as a brick-built garden wall, constructed on sandstone footings, as far as the early 20th century terraced housing of Albert Terrace (Plates 4 and 10).
- 4.2.6 This elevation has two doorways in pilastered surrounds, the southern doorway provides access into the main house, although historically this would have been the main entrance into Mulcaster Cottage (Plate 11), and the northern doorway provides access to a passageway into the rear courtyard; interestingly, this doorway has the sign 'Tradesmens Entrance' providing evidence for, certainly historically, social hierarchy.
- 4.2.7 There is some evidence for two separate builds within this range which extends northwards along Church Lane. The southern end, which contains the doorway shown on Plate 11, and the five regular-shaped windows which surround it, is contemporary with the main section (shown on Plate 5) as evidenced by the same form of window surrounds and continuation of plinth, although along this section the plinth is plain rather than moulded (Plates 4 and 13). The northern end of the west elevation, which contains the 'Tradesmens Entrance' doorway, appears to have been an addition as shown by the way it projects slightly from the main rest of the range, but it may have been constructed relatively soon after (or possibly reused), as the door surround is of the same form as that to the south. The plinth of this section is dominant, and there is a small window to the south of the doorway (Plate 12).
- 4.2.8 To the north of the west range, there is a modern square garage, a gateway, and a doorway into the walled garden (Plate 14). The modern garage has been constructed on the site of earlier buildings (see Figure 7 for example) which may have served as a coach house and stables.
- 4.2.9 The north side of the property could only be viewed from within the walled garden which extends north-westwards from the house along Church Lane (Figure 2 and Plates 15 and 16). From this side of the house it was clear that the property consisted of a central gabled structure, with two wings, one to each side, of varying form, as will be discussed below (Plate 17). Unlike the main south elevation, the north side of the house, and all elevations which face into the garden and courtyard, are not rendered therefore the construction material for the building is evident, along with evidence for construction breaks and alterations to the fabric. This lack of render is also significant as it indicates that these elevations were not meant to be seen by passers-by, with the majority of the architectural detailing provided on the south, and public facing, façade.
- 4.2.10 The north elevation shows that the house is constructed of brick laid in English Garden Wall Bond with five courses of stretchers (the long edge of the brick) to one course of headers (the short end of the brick). The main central section of the property has an entrance set within a small sandstone portico; this seems slightly out of place and may be a later addition (Plate 18). To the east (left-hand) side of this

- doorway there is a further door which provides, rather unusually, external access to the cellar rather than the access being from within the house interior.
- 4.2.11 In the central main section of the house, there are presently three windows at ground floor level, one lighting the staircase, and three large windows at first floor level, with a smaller opening above the main doorway (Plate 17). The four windows to the west of the doorway are later insertions, as shown by the stretcher brickwork which surrounds them and the lack of keystone detail present on the other examples. These windows were presumably inserted when the property was subdivided at some point; it is likely that originally there would have been a single window at ground and first floor levels in this location (as in the standard double-pile house plan), but all evidence for these has been removed. The original windows to the east side of this elevation have flat arch heads of brick, and dominant keystones providing architectural detail (Plate 19).
- 4.2.12 The eastern wing of the property consists of a two-storey section and a one-storey addition, as shown by the vertical construction break in the brickwork (Plates 20 and 21). The one-storey section presently has two doorways, one of which has a plain stone surround, whilst the northern only has a stone lintel. Between is a narrow window opening, with a stone sill set between the two door lintels. To the south of the doorways there is a small window at ground floor level. The character of this structure is more utilitarian, or even agricultural, than domestic, and whilst the southern room of this space has more latterly been used as a utility room for the house, it is possible this building was originally stabling or outbuildings. The north elevation of this structure has a large inserted bay window (Plate 20).
- 4.2.13 The two-storey section of this wing has a large bay window at ground floor level; this has clearly been inserted into earlier fabric as shown by the presence of more modern brickwork above and below the opening (Plate 22). At first floor level there is a further window which appears to be original as it is of the same form and size as those in the north elevation of the central section (Plate 21); there is, however, no keystone detail above this aperture, although this was also noted in an apparently contemporary window in the opposing western wing, which may indicate that architectural detailing was reserved for the central core of the dwelling (see Plate 23).
- 4.2.14 The western wing of the property consists of two apparent separate phases, with the modern garage building adjoining its north end (Figure 12 and Plate 23). The section nearest the central core of the house has a doorway at ground floor level set in a plain stone surround, although there is a vertical break visible in the brickwork to the south (left hand) side of this entrance which may indicate the presence of an earlier opening (Plate 24). At first floor level there is a six-over-six pane sash window, of the same form as those already noted in the north elevation of the central core, and in the eastern range; as with the example in the eastern range, this window also does not have the keystone detailing (Plate 23).
- 4.2.15 To the north side of this section, there is a further two-storey part to the western range, although it is not as wide, and is clearly set back from the rest of the range (Plate 23); this is the section that was noted from Church Lane to possibly not have been contemporary with the main phase of the house (see 4.4.7 above, Plate 12). At

ground floor level there is an arched passageway which leads to the door shown on Plate 12 (with the 'Tradesmens Entrance sign'). The window immediately to the south of this passageway may be a later insertion as the head is not of the same form as the rest of the original windows, although if it lit a more utilitarian space, it is possible it may not have been prescribed the same detailing. The first floor window above, although of the same size and containing the same type of sash frames as those already noted, also does not have the flat-arched head, and instead is a plain stone lintel, which may be further indication that this two-storey section is a later addition.

- 4.2.16 A plain chimney stack is present on the ridge of the western range, set on top of the north end of the possible earlier section. The presence of this stack provides information on the location of internal fireplaces (Plate 23). There were no features of note in the north gable of this range, and the lower part is now obscured by the modern garage (although no features were noted from within the garage interior).



Plate 1: *Mulcaster House located on the corner of Brampton Road and Church Lane, Stanwix*



Plate 2: Main (south) elevation of Mulcaster House on Brampton Road



Plate 3: Looking south from the first floor of Mulcaster House showing the view over the River Eden (the property right of photograph would not have existed when Mulcaster House was constructed)



Plate 4: View looking north up Church Lane showing the west elevation of Mulcaster House



Plate 5: South elevation of Mulcaster House



Plate 6: Detail of eaves cornice, south elevation



Plate 7: Detail of main entrance, south elevation (Scale = 2m)



Plate 8: Detail of capital, main entrance portico, south elevation



Plate 9: Detail of ground floor window, south elevation



Plate 10: View looking south showing the west elevation of Mulcaster House and the garden wall (left of photograph)



Plate 11: Former doorway to Mulcaster Cottage, west elevation (Scale = 2m)



Plate 12: Northern doorway, west elevation, with 'Tradesmens Entrance' sign



Plate 13: Detail of window in west elevation (Scale = 2m)



Plate 14: View looking south down Church Lane showing the modern garage with pyramidal roof, gateway and doorway to walled garden



Plate 15: View looking north from the first floor of Mulcaster House showing the walled garden



Plate 16: View looking south showing Mulcaster House as seen from the north end of the walled garden



Plate 17: North elevation of Mulcaster House



Plate 18: Detail of main entrance to Mulcaster in north elevation, with cellar (green) door to its left-hand side

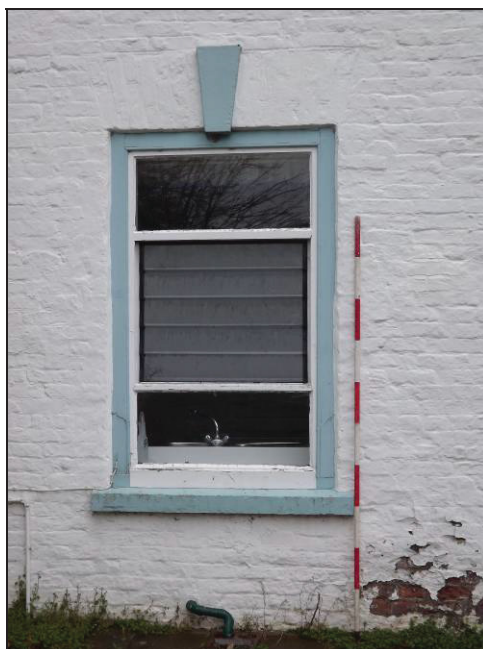


Plate 19: Detail of original ground floor window, north elevation (Scale = 2m)



Plate 20: East wing showing two-storey section and one-storey addition



Plate 21: West elevation of the east wing (Scale = 2m)



Plate 22: Detail of inserted bay window, west elevation of east wing



Plate 23: East elevation of the western wing (Scale = 2m)



Plate 24: Detail of vertical construction break to left of doorway, western wing (east elevation)

4.3 INTERIOR OF MULCASTER HOUSE

4.3.1 As noted above, for ease of reference each room within Mulcaster House has been allocated a number, as shown on the floor plans (Figures 12- 14).

4.2.2 *Room 1, Ground Floor:* upon entering the property from the main doorway in the south elevation (see Plate 5), access is via a small vestibule (Plate 25). This vestibule appears to be a relatively modern creation, but clearly an attempt has been made to construct it using detailing which is historic in character, such as the fluted panels and square floral motifs. The north wall of this vestibule contains the door into Room 1, whilst the west wall has been constructed to provide book shelves on its room facing side (Plates 25 and 26).

4.2.3 In the west wall of Room 1 there is a fireplace which appears to be an original late 18th century example of a decorative hob grate (Plates 27 and 28). The single window which lights this space, located in the south wall, still retains its original panelled surround, and hinges for the former shutters although these have been painted over (Plate 29).

4.2.4 As the present skirting boards and coving respect the modern vestibule, it is considered that they are also relatively modern. Doorways in the east and west walls provide access into Room 2 and Room 3 respectively; both of the surrounds contain the same detail of fluted architrave and square floral motifs, and although it is possible that these are modern reproductions, they may be based on earlier detailing found in the property (Plates 30 and 31). Both of the doors themselves may be original, as they contain the same panelled detail as the window surround.

- 4.2.5 In the north wall of Room 1 there is a large opening with arched head that provides access to the main staircase and the corridor to the back door. This opening is flanked to each side by decorative fluted columns (Plate 32), with a further column to the north side of the western column which defines a ground level cupboard and recess (Plate 33).
- 4.2.6 *Room 2, Ground Floor:* Room 2 is accessed by the doorway from Room 1, or via the kitchen (Room 5) (see Figure 12). This is a large room which is well-lit by the two large windows in the south wall (Plates 34 and 35). The main source of heat for this space would have been the fireplace in the east wall, although the present example is modern. To either side of this fireplace there is a decorative niche with fluted design surround and keystone detail (Plate 36). As with Room 1, the window surrounds in this room retain their original shuttering, although the hinges have been obscured by the insertion of secondary glazing. The doors, one in the west wall and the other in the north wall, are both of the same panelled form as that shown on Plate 30 in Room 1, with the same fluted architrave (Plate 37). Of interest in this room is the survival of an historic push button for drawing the attention of the serving staff (Plate 38).
- 4.2.7 *Room 3, Ground Floor:* this room is situated to the west of Room 1, and is accessed through the door shown on Plate 27; however the ground level in Room 3 is lower than Rooms 1, 2, 4-6 (Figure 12). Room 3 is well-lit by a single large window in the south elevation, and another in the west elevation which faces onto Church Lane. Only the window which faces south, however, retains its panelled surround, shuttering and decorative architrave, whilst the west window has either lost its surround, or it was not present due to the south elevation being the most important (Plate 39).
- 4.2.8 The fireplace in this room is situated in the east wall, and although the present example is modern, it is located in the original position (Plate 40). The coving is decorative, but appears to be more Victorian in character than Georgian, and this was one of only two locations in the property where such elaborate coving was noted (Plate 41). The door surrounds in this room were noted to be different from those already observed in Rooms 1 and 2, being unlike the fluted design with square floral motifs. The surrounds in this room consist of moulded architrave with no inserted motifs or 'chamfer blocks' at the base, and it has been considered that these may be the original (or certainly historic) form of the surrounds (Plates 40 and 42).
- 4.2.9 *Room 4, Ground Floor:* Room 4 on the ground floor is the stairwell and corridor from the rear (north) external doorway (Figure 12). This room houses the main staircase for the property, although as will be discussed below there is evidence for one former staircase to the east side of the house, and there is presently a further staircase to the west side (but possibly inserted) (see Figure 12). The dog-leg staircase in Room 4 is relatively plain in detail; however it still retains its decorative tread ends on the open string, turned newel posts, plain square balusters and moulded wooden handrail, which the listed building description notes to be of 18th century date (Plates 43 and 44). An assessment of national examples of tread end designs, and hand rail profile, has indicated that these features could date to the late 18th century or early 19th century (Hall 2007).

- 4.2.10 The staircase is situated in a relatively small space between the corridor to the back door, and Room 5 which has more recently served as a kitchen (Figure 12). The position of this staircase is likely to be original, as it is in the standard location for a double-pile house of late 18th/early 19th century date, flanked by a back kitchen to one side and a dairy to the other (Brunskill 2002, 81-83), although in this instance these rooms may have been located in one of the wings.
- 4.2.11 *Room 5, Ground Floor:* this room has more latterly been used as the kitchen, but it is possible its original function may have been similar. The room is accessed from the base of the main stairs in Room 4, through a doorway which has a plain architrave and six-panelled door which is not as decorative as those already noted in the rooms to the front (south side) of the house, possibly a reflection of the more utilitarian use of the room (Plate 45). Standard six-panelled doors, such as the examples at Mulcaster House, were in use throughout the 18th century and the early 19th century, with panel mouldings of varying degrees of complexity depending on the status of the house (Hall 2007, 43).
- 4.2.12 There was little of historical interest visible within Room 5, apart from the position of a former fireplace or range where the modern oven and hob now stands (Plate 46).
- 4.2.13 *Room 6, Ground Floor:* this room, which is located to the west side of the main staircase and rear corridor (Figure 12) has been subdivided at some point, possibly when the property was split into individual dwellings. All that survives of its original form is the location of a fireplace in the west wall (Figure 12). The two windows which light the two spaces in this room are later insertions as already noted from the exterior (see Plate 17). Of interest in this space, however, is the use of a stud wall to create a separate area for a WC and washbasin; this partition includes the same detailing of fluted panel and foliage motif as noted around the doors in the rooms already described, and therefore it is considered that where these are architectural elements are found, they appear to be modern reproductions (Plate 47).
- 4.2.14 *Room 7, Ground Floor:* Room 7 is set at the same floor height as Rooms 3, 8 and 9, approximately 0.25m below the rest of the ground floor. This room functioned as a hallway for the main door located in the west elevation on Church Lane (see Plate 11), and an access point to the first floor as shown by the presence of a staircase (Plates 48 and 49). The staircase lacks any architectural detailing, and may be a later insertion, or may reflect its possible use as a servant's stairway. The door surrounds for the main entrance, and the doorways to Rooms 3 and 8 all have the same fluted architrave and floral motifs as noted elsewhere on the ground floor, but which have already been suggested to be a modern reproduction.
- 4.2.15 *Room 8, Ground Floor:* this room could, in its most recent use, be accessed internally from Room 7 to the south or from an external door in the east elevation (Figure 12). The door, window surround and cupboard doors are all of the same design, and may be original; there are of the same form as seen elsewhere on the ground floor, and suggest that this room formed part of the original property (Plates 50 and 51). There is a modern heater in the east wall of this room; however it appears that this may be the location of an historical fireplace as suggested by the projecting section of wall, although no chimney stack survives at this location on the roof (Plate 51). The door in

- the east elevation may be a later insertion, as suggested from evidence noted on the external wall (see 4.2.14 above and Plate 24). In the north wall of this room there is a doorway which provides access into Room 9, and a blocked doorway (Plate 52). This room is lit by the large window in the west elevation, and by the glazed section of the door in the east elevation. The only other detailing in this room is the plain coving.
- 4.2.16 *Room 9, Ground Floor:* this room is situated in the possible addition to the north end of the west range, located immediately south of the passageway (Figure 12). The most recent function of this room is unclear, although it appears to have been a small bathroom or utility room given its size, utilitarian character and presence of a single line of white tiles (Plate 53).
- 4.2.17 *Room 10, Ground Floor:* this small space in the east wing of the property contains apparent cupboard doors, which once opened reveal a wooden staircase with panelled sides which has been blocked off before its half landing (Plates 54-56). This may have been an original servant's staircase given its location to the kitchen. To the north of this staircase there are three stone steps leading down in an easterly direction, which now provide access to a storage area below the wooden staircase (Plate 57). There was no evidence at the time of survey that these steps provided access to a cellar, although it is possible a small subterranean room could have been infilled; there was no evidence from the existing cellar (located below Rooms 4 and 5) that a staircase entered it from another location.
- 4.2.18 *Room 11, Ground Floor:* Room 11 is located to the north side of Room 10, accessed by a doorway in the south-west corner (Figure 12). This room has clearly more latterly been used as a dining or living room as suggested by the architectural detailing; however there was no evidence for a former fireplace in this space, and it has been considered that this may not originally have formed part of the living space of the principal residents and may have been part of a range of outbuildings. There is a large bay window in the west wall, which has already been noted from the exterior to be a later insertion, and in the east wall there are two niches although they are not of the same style as those present in Room 2 (Plates 58 and 59). It is interesting to note that the same fluted architrave and floral motif bosses are present around the large bay window, which is not original, and around the two doorways in this room, with smaller versions around a serving hatch in the west wall; suggesting that this detailing, which is present throughout the property, is of a later date. Of interest in this room is the thickness of the north wall, as noted through the doorway to Room 12 (Plate 60). It has already been noted that evidence in the fabric of the building indicates that the north end of this wing was a later addition, as shown by a vertical construction break (see Plate 21). This elevation, therefore, was seemingly the original north wall.
- 4.2.19 *Room 12, Ground Floor:* this room has more latterly been a utility room, with an area for coal storage in the north-east corner. The only feature of note in this space is a possible former doorway in the south wall (not visible on the opposing side), which may have been the original external doorway in the north elevation (Plates 61 and 62).

- 4.2.20 *Room 13, Ground Floor:* there was no access to the interior of this room at the time of survey, but it appears to have more latterly been used as a gardener's store. It comprises a single space, with a large inserted bay window in the north elevation and doorway in the west elevation (Figure 12).



Plate 25: Detail of vestibule, south-east corner of Room 1



Plate 26: Detail of book shelves, Room 1



Plate 27: Fireplace in west wall of Room 1, with door to Room 3 to right-hand side



Plate 28: Detail of hob grate, Room 1



Plate 29: Detail of window surround, south wall of Room 1

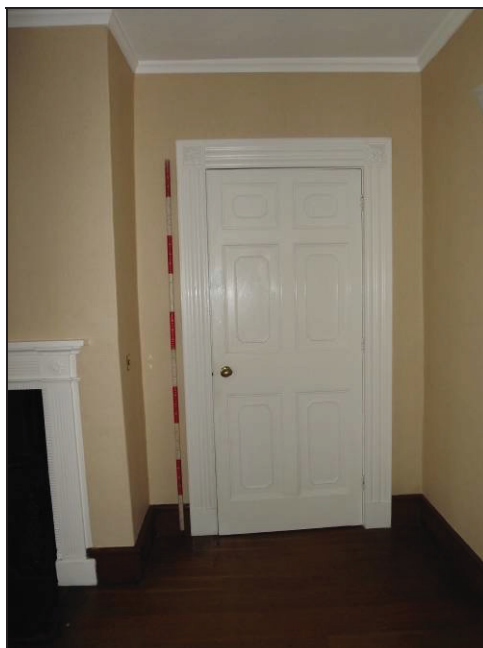


Plate 30: Detail of panelled door to Room 2, west wall of Room 1 (Scale = 2m)



Plate 31: East wall of Room 1 showing doorway to Room 2



Plate 32: *Arched opening, north wall of Room 1*



Plate 33: *Detail of fluted columns, north of Room 1 (Scale = 2m)*



Plate 34: East wall of Room 2



Plate 35: West wall of Room 2



Plate 36: Detail of one of the niches in the east wall of Room 2

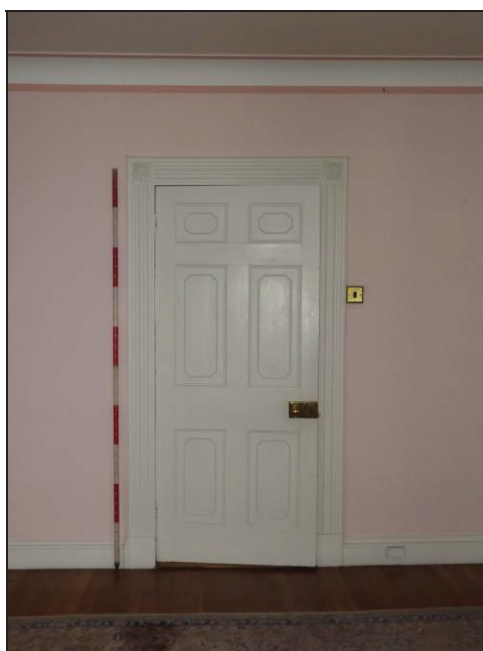


Plate 37: Detail of door in north wall of Room 2 (Scale = 2m)



Plate 38: Detail of servant's bell, west wall of Room 2



Plate 39: Detail of paneled surround and architrave, window in south wall of Room 3



Plate 40: East wall of Room 3



Plate 41: Detail of coving, Room 3

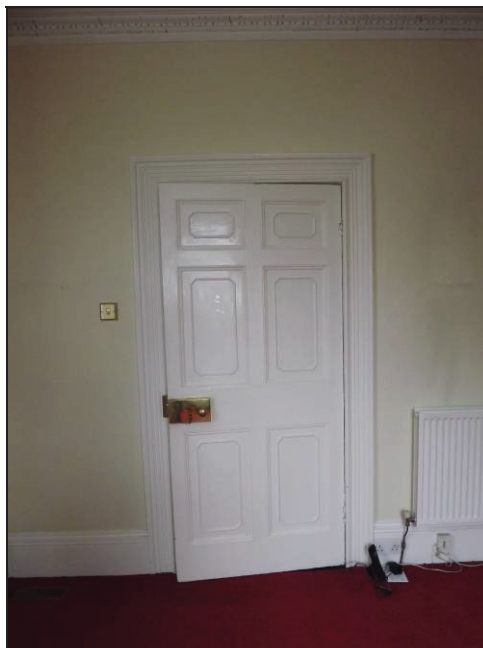


Plate 42: Detail of door and surround, north wall of Room 3



Plate 43: Detail of main staircase in Room 4 (Scale = 2m)



Plate 44: Detail of tread ends, main staircase in Room 4



Plate 45: Detail of doorway to Room 5 from Room 4 (Scale = 2m)



Plate 46: Location of former fireplace or range, east wall of Room 5



Plate 47: Detail of modern partition for WC, Room 6, showing architectural detailing found elsewhere in the property



Plate 48: Main door in west elevation leading into Room 7



Plate 49: Staircase in Room 7 (Scale = 2m)



Plate 50: South wall of Room 8 showing the same detailing on the door and window surround (Scale = 2m)



Plate 51: East wall of Room 8 showing possible original cupboards and location of fireplace



Plate 52: North wall of Room 8



Plate 53: View looking west showing Room 9

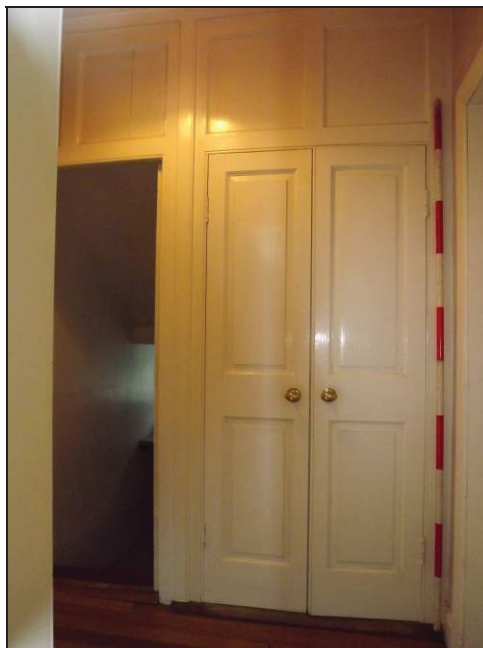


Plate 54: Detail of modern panelling in Room 10



Plate 55: Detail of former staircase, ground floor Room 10



Plate 56: Detail of panelling for former staircase, Room 10



Plate 57: View looking west showing the stone steps in Room 10



Plate 58: West wall of Room 11



Plate 59: Detail of niches, east wall of Room 11

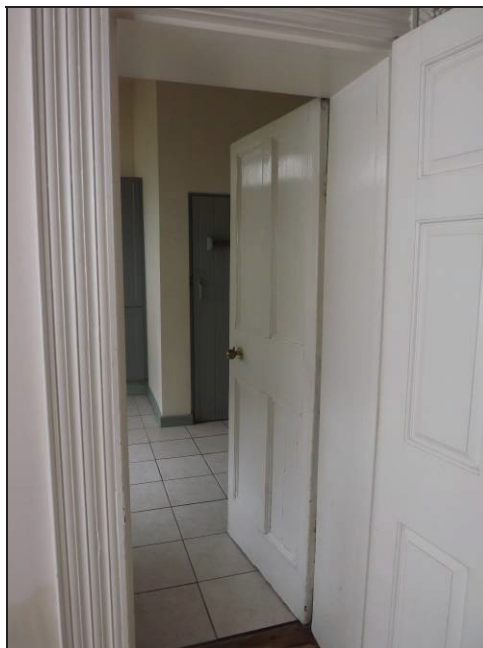


Plate 60: View looking north showing the wide separation between the door in Room 11 (foreground) and the door in Room 12



Plate 61: North wall of Room 12 with door for coal store to right of photograph



Plate 62: South wall of Room 12 showing present door to Room 11, and possible blocked door to right of photograph

- 4.2.21 *Room 14, First Floor:* this space comprises the continuation of the main staircase from the first floor (Room 4) (Figure 13). The staircase has the same detailing as already noted on the ground floor in the form of square balusters, moulded handrail and decorative tread ends (Plate 63). The first floor landing now provides access to Rooms 15, 16, 18 and 23-26, with the remainder now being accessed from the staircase in Room 7 on ground floor, indicating the former sub-division of the property. The main staircase in this room continues upwards to provide access to the attic (Figure 13).
- 4.2.22 *Room 15, First Floor:* this room is situated to the east of the main staircase, and is accessed by a door in the south wall which forms the north side of a corridor (Figure 13). This is has more latterly been a small bedroom, with a window in the north wall which still retains the panelled shuttering, although the hinges have been painted over (Plate 64). In the east wall there is an apparent original cast iron hob grate fireplace, with decorative detailing, although it is not of the same style as, for example, that in Room 1 (compare Plates 28 and 66). Of interest in this room is the presence of L-shaped hinges on the door (Plate 67); this form of hinge came into use in the late 17th century, however the plain examples, such as this one at Mulcaster House, were in use throughout the 18th century and into the early 19th century (Hall 2007, 53).
- 4.2.23 *Rooms 16 and 17, First Floor:* Rooms 16 and 17 originally would have formed one room, however it has been divided into two, with each side relating to a different dwelling at one time. Room 16 has more latterly been used as a bathroom, and no original or historical features are present in this space (Plate 68). It is likely that this room (and what is now Room 17) would have been a bedroom originally; bathrooms

did not become included in new build houses until after 1870 nationally (Barrett and Phillips 1988, 120), but even as late as the 1950s, they may not have existed in some houses (Leighton 2009, 33). Room 17 could only be accessed from, what would have been, a separate dwelling situated to the west side of Mulcaster House (Figure 13). This has also been used more latterly as a bathroom (Plate 69).

- 4.2.24 *Room 18, First Floor:* Room 18 has more recently been used as a bedroom, with a former fireplace being situated in the west wall as shown by the projecting chimney breast (Plate 70). The east wall of this room has a curved section at its north end, close to the doorway, which is unlikely to be an original feature (Plate 71). It must be noted that the architectural detailing of the fluted woodwork and floral motifs respect this curved wall, indicating that this is not an original design element, as has already been suggested from evidence on the ground floor. It is therefore necessary to consider where the original dividing wall between Rooms 18 and 23 would have been located, given the position of the windows in the south elevation (Figure 13). It is possible that the partition may not have been symmetrical, creating two different sized rooms as is the case on the ground floor immediately below (Rooms 1 and 2). There may have been a corridor which ran along the north side of Rooms 18 and 23, and possibly even provided access to Rooms 19 and 24, although if this was the case, no evidence for a corridor in this location survives.
- 4.2.25 *Room 19, First Floor:* Room 19 could not be accessed from the main staircase in Room 14 due to it having formerly been part of a separate dwelling, and accessed from the staircase in Room 20 (Figure 13). There was no obvious evidence in the west wall of this room for a former doorway which may have linked it with Room 18, although such a blocked opening could not be necessarily observed without removing the wallpaper and possibly the plaster. This room has a cast iron hob grate fireplace in the east wall, but it does not have the same decorative detailing as that in Room 1 or that in Room 15 (Plates 72 and 73). There are windows in the south and west elevations, although neither retain their panelled surrounds (if they existed). The west window does not have a recessed base, as is present in all of the windows in the south elevation (Plate 74); this was also noted in the corresponding window at ground floor level in Room 3, and further highlights the importance given to the main public facing elevation.
- 4.2.26 *Room 20, First Floor:* Room 20 consists of the upper part of the staircase already described in Room 7 (Figure 13). It would appear that there was originally a staircase in this location, as access to Rooms 21 and 22 would otherwise have had to have been through the other rooms on the first floor, unless, of course, the property was originally constructed to serve as two dwellings. Decorative elements in this space include the coving, and the same form of door surrounds already noted elsewhere (Plates 75 and 76). The doorway leading into Room 17 from the top of this staircase appears to be a later insertion, presumably relating to the division of the room which created Rooms 16 and 17.
- 4.2.27 *Room 21, First Floor:* access to Room 21 is from the doorway in the south wall, but there may have been an earlier or contemporary doorway in the same elevation, as shown by a recessed area, although it is possible it was utilised as a cupboard or shelving (Plate 77). In the east wall there is a cast iron hob grate fireplace, with fluted

detail, which is also unlike any of the other hob grates in the property. To the north of the fireplace there is a cupboard which has the same beading detail as the door (Plate 78). Unlike the window in the west wall of Room 19, the example in Room 21 does have a recessed base, although it has lost its panelled surround. The window in the east wall of this room does not have a recessed base. In the north wall of Room 21 there is a doorway which provides access to Room 22 (Figure 13).

- 4.2.28 *Room 22, First Floor:* this room is set at a lower level to those to the south (Rooms 19-21); this presumably relates to the fact that it is located in the two-storey addition at the north end of this range. The only features of note in this room are the Victorian fireplace in the south wall, and the window in the east wall (Plate 79).
- 4.2.29 *Room 23, First Floor:* this is the largest bedroom on the first floor, but as the west wall appears to be a later creation (Plate 80), it is possible it may originally have been smaller. The fireplace for this room was in the east wall, although the aperture has been infilled and covered over (Plate 81). The window surrounds and coving are of the same fluted design with floral motifs noted elsewhere (Plate 82), however further evidence for this being a modern addition is given by the fact that on the east wall, the coving has been fixed out from the wall to accommodate strip lights (Plate 83).
- 4.2.30 *Room 24, First Floor:* this room can be accessed from the main staircase by a corridor running along the south side of Room 15, and from the former landing of a staircase in Room 25 (Figure 13). Features of note in this room include the Victorian fireplace in the east wall (Plate 84), the form of which is exactly the same as that in Room 22 which suggests that when they were both inserted, the property was under one occupancy, as both rooms have been historically situated in separate dwellings. The six-over-six pane sash window in the south wall of this room has the recessed base as noted in other rooms along that elevation, but it has lost its panelled surround.
- 4.2.31 *Room 25, First Floor:* this space is the upper section of the former staircase already noted in Room 10 directly below. This room acts as the connecting space between the corridor from the main staircase (Room 14) and Rooms 24 and 26 (Figure 13). In this room there is evidence for the staircase continuing up to the attic space, although it now terminates in a small storage room, with the lower section of the former staircase having been utilised as a small bathroom (Plate 85).
- 4.2.32 *Room 26, First Floor:* Room 26 is accessed from Room 25 to its south side (Figure 13). In the east wall of this room there is an apparent projecting chimney breast, suggesting that there had been a fireplace for this room (Plate 86). This is of interest, as there is no corresponding chimney breast in the room immediately below (Room 11), and it has been suggested that Room 11 may not originally have been utilised as living accommodation. But on the evidence from Room 26 it is possible a fireplace and associated chimney breast in Room 11 may have been removed, although this would have required significant structural work to support the remaining chimney breast above in Room 26. The window in the west wall of this room is relatively plain with no surviving evidence for a panelled surround (if it existed).

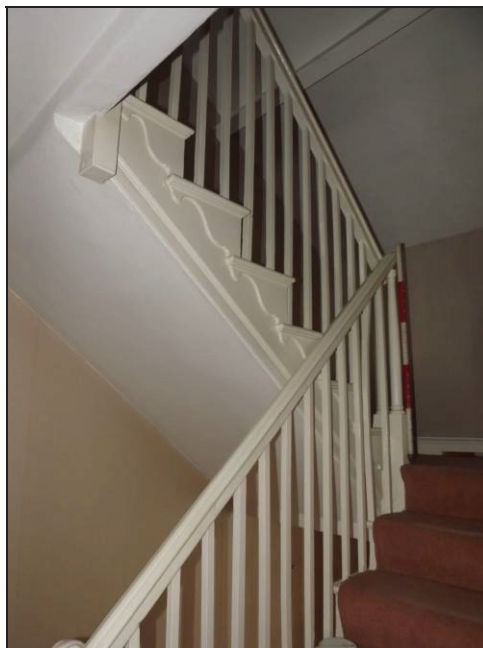


Plate 63: Detail of staircase as it ascends to the attic from Room 14



Plate 64: Detail of window shutters, Room 15



Plate 65: *Fireplace, east wall of Room 15*



Plate 66: *Detail of hob grate fireplace, Room 15*



Plate 67: Detail of L-shaped hinge, Room 15



Plate 68: Detail of bathroom suite, Room 16



Plate 69: View looking north showing Room 17



Plate 70: West wall of Room 18 showing projecting chimney breast of former fireplace



Plate 71: East wall of Room 18 showing curved wall (Scale = 2m)



Plate 72: East wall of Room 19 showing hob grate fireplace



Plate 73: Detail of fireplace, Room 19



Plate 74: West wall of Room 19



Plate 75: View looking east showing Room 20



Plate 76: Detail of door surround to Room 19 as seen from Room 20



Plate 77: South wall of Room 21 showing present door and possible former doorway



Plate 78: East wall of Room 21



Plate 79: *Fireplace and doorway, south wall of Room 22*



Plate 80: *West wall of Room 23*



Plate 81: East wall of Room 13 (Scale = 2m)



Plate 82: Detail of window surround, south wall of Room 23



Plate 83: Detail of coving fixed away from the south wall to accommodate strip lights, Room 23



Plate 84: Fireplace and cupboard, east wall of Room 24



Plate 85: View looking east showing part of the stairway in Room 25, with the bathroom in the lower section of the former staircase to left of photograph



Plate 86: East wall of Room 26

- 4.2.33 *The Attic:* the attic space is accessed by the main staircase housed in Room 4 at ground floor level, and Room 14 at first floor level (Plate 63 shows the staircase continuing to the attic). At the time of survey, the attic was divided into two spaces, with three dormer windows in the south elevation, and a single window in the east and west elevations (Figure 14 and Plates 87 and 88). The roof structure has been designed as such to create the maximum amount of head space, and the amount of windows clearly indicates that this area was utilised as accommodation. There was no evidence that either of the staircases to the east or west of the property continued up to this space (although that in the east range may have originally), with indicates that the primary access point was from the main stairs which was associated with the main family, rather than as a separate access point for servants as has been observed in properties such as Hutton Hall in Penrith, or The Nunnery near Kirkoswald.
- 4.2.34 *The Cellar:* unusually, the cellar at Mulcaster House is accessed from the exterior of the property rather than from the interior, although it is possible there was access at some point from the staircase located in the east wing as noted above. The door to the cellar is immediately to the east of the main rear entrance (see Plate 18). At present, the steps down to the cellar are wooden, and take a turn to the east upon descending; however, originally access was by stone steps which descended directly ahead from the entrance (Plate 89). All the cellar walls are constructed of sandstone, although there is one brick cross wall, and a modern brick support. In the east wall there is a projection which relates to the fireplace in the kitchen (Room 5) above, and presumably acted as a load bearing support for the chimney breasts above (Plate 90). There was no evidence in this room for any other access point apart from via the external door already noted. The floor of the cellar is a mixture of handmade brick and sandstone flagstones (Plate 91).
- 4.2.35 *The Garden:* although there is a small area of garden to the front (south side) of Mulcaster House, the main garden is situated to its north side, and is defined to the east and west by high walls. There has been some terracing within the garden, and at the south end, closest to the house, is a courtyard area. At the north end of the garden there is a greenhouse, built against a brick wall which separates the garden from housing on Albert Terrace (see Plates 15-16 and 92).



Plate 87: View looking west showing the attic space



Plate 88: Detail of the form of the south side of the roof to create one of the dormers



Plate 89: View looking north showing the original stone steps to the cellar and the present wooden stairs (Scale = 1m)



Plate 90: East wall of the cellar showing masonry walls and projecting support for fireplace in kitchen (Room 5) above (Scale = 1m)



Plate 91: Detail of brick floor, cellar (Scale = 1m)



Plate 92: Greenhouse at north end of the garden

5 GAZETTEER OF HERITAGE ASSETS

5.1 Explanation

- 5.1.1 The gazetteer of heritage assets consists only those assets which are directly relevant to the archaeological potential of the property of Mulcaster House itself. In this instance these are archaeological remains found close to Mulcaster House, south-east of the line of Hadrian's Wall.
- 5.1.2 The grade II* listed building of Mulcaster House and its curtilage are not included in this gazetteer.
- 5.1.3 All assets that occur within the 0.5km radius search area are tabulated in appendix 2.

Asset Number 10

Designation Scheduled Monument

HER Number 488

Asset Type Buried archaeology

Period Roman

NGR NY 4020 5710

Source HER

Description The Roman fort of Stanwix.

Asset Number 16

Designation -

HER Number 501

Asset Type Portable antiquity no longer *in-situ*

Period Roman

NGR NY 4010 5700

Source HER

Description Two Roman altars found in 1725 and 1931. One was dedicated to the Mother Goddesses and the other to the Emperor Verus. Two building stones were found in 1599 and 1794 but are now lost.

Asset Number 20

Designation -

HER Number 529

Asset Type Portable antiquity no longer *in-situ*

Period Roman

NGR NY 4020 5703

Source HER

Description Roman bronze ring found near the surface of the ground in the garden of Mulcaster House.

Asset Number 22

Designation -

HER Number 531

Asset Type Portable antiquity no longer *in-situ*

Period Roman

NGR NY 4027 2727

Source HER

Description Piece of thin sheet bronze, possibly part of the cheek piece of a Roman helmet, and several Roman coins ranging from the 2nd to the 4th centuries. Medieval and later objects were also found all from Barn Close.

Asset Number 57

Designation Scheduled Monument

HER Number -

Asset Type Buried archaeology

Period Post-Medieval to Modern

NGR NY 4010 5710

Source Wardell Armstrong report (HER report accession number 1/11/2250)

Description Sandstone and brick building foundations.

6 CONCLUSIONS

6.1 SUMMARY OF RESULTS

- 6.1.1 The assessment has identified five heritage assets within the immediate vicinity of the site that are relevant to its archaeological character, of which one is within the site boundary.
- 6.1.2 The desk-based research has identified that Mulcaster House dates to the late 18th century with early 19th century additions for James Mulcaster. Cartographic sources and census records indicate that the property appears to have been two, or possibly three separate dwellings in its history. The historic building survey has revealed that Mulcaster House is essentially a double-pile house built in the classical style, of late 18th/early 19th century date, with two wings to each side to provide additional space, possibly utilised as servant's quarters. The original floor plan survives intact, with some slight modifications. Some historic features survive internally, such as fireplaces, doors and window shutters; however there was evidence that modern reproductions have been inserted within the property.
- 6.1.3 The site is within the curtilage of a grade II* listed building. It is surrounded by scheduled areas that are part of the Hadrian's Wall World Heritage Site designation and itself lies within the buffer zone of Hadrian's Wall World Heritage Site.
- 6.1.4 The site is clearly indicated to be within the former area of the Roman fort at Stanwix.

6.2 ASSESSMENT OF DEVELOPMENT RISK

- 6.2.1 There is one statutorily designated site within the development boundary. There are two statutorily or designated sites within the study area upon which the development may have an impact on setting, Hadrian's Wall and the Roman fort of Stanwix.
- 6.2.2 The presence of Roman remains associated with the Roman fort of Stanwix within the surrounding area indicates a high likelihood of remains of a Roman date being found within the site. The development history of Mulcaster House and its gardens suggests that any archaeological remains may have been significantly disturbed and probably truncated by previous development and landscaping. There are unlikely to be any remains relating to any other period between the Roman period and the later 18th century within the site. This assessment clearly indicates that medieval activity lay only to the west of Mulcaster House.
- 6.2.4 Overall there would appear to be a moderate risk of encountering significant Roman remains during development. To define the risk more closely and to evaluate the likely impact of development, a programme of archaeological work involving trial trenching is advised.

6.3 ASSESSMENT OF SIGNIFICANCE

- 6.3.1 The assessment has identified a total of 3 heritage assets within the site, the Roman fort at Stanwix, the find of a Roman ring and Mulcaster House itself. Mulcaster House is a grade II* listed building and therefore of national significance. Any Roman remains within the site will relate to the Hadrian's Wall World Heritage Site's Outstanding Universal Value (OUV) and are potentially of international significance. The relevance of any remains to the OUV will depend on the quality and survival of the remains
- 6.3.2 Using the following significance evaluation table one heritage asset within the site is considered to be of national significance, Mulcaster House. One asset has the potential to be of relevance to the OUV of a site of international significance. One asset is of negligible significance as it was a portable antiquity and is no longer extant on the site.

6.4 ASSESSMENT OF POTENTIAL DEVELOPMENT IMPACTS

- 6.4.1 When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more significant the asset, the greater the weight should be. The effect of a proposal on the significance of a non-designated heritage asset should be taken into account in determining a planning application. In assessing negative impact it is the reduction in significance that is being considered rather than just simple physical loss or alteration. Significance can be reduced through alteration or destruction of the heritage asset or development within its setting. The magnitude of impact is measured from the condition that would prevail in a 'do nothing' scenario and it is assessed without regard to the importance of the receptor. The highest magnitude of impact would be complete physical removal of the heritage asset or loss.
- 6.4.2 Using the criteria set out above and in tables 1 and 2 it is possible to predict the degree of adverse impact on the significance of the defined heritage assets (see appendix 1). In summary magnitude of developmental impact x significance of the heritage asset = degree of impact on heritage asset significance. These are split into construction and operational impacts which are described below. A pre-determination desk-based assessment can only summarise the impact for known heritage assets. For unknown but suspected archaeological deposits, impacts can only be appraised in terms of likelihood because neither the nature of any heritage assets nor the detailed developmental plans are sufficiently well known to allow definitive assessments of impact.
- 6.4.3 **Construction Impacts:** Ground disturbance through the construction of a swimming pool and a summer house will have the potential to disturb buried archaeological remains. The likely magnitude of impact is considered to be less than substantial and its potential adverse impact upon the significance of any likely remains is considered to be major only if the remains survive well and are significant in relation to OUV, otherwise the impact upon the heritage asset significance of Stanwix Roman fort is considered to be minor.
- 6.4.4 The impacts on the setting of Mulcaster House grade II* listed building are substantial as the proposed swimming pool will partially obscure the northern face of the

building and will alter the visual character of the property. Any impacts on the fabric of Mulcaster House would be minor as the proposals as presently put forward will not result in any major alterations to the historic fabric or result in any partial demolition of historic fabric.

6.4.4 **Operational Impacts:** gardening operations may in the future further disturb the remains related to Stanwix Roman fort at Mulcaster House, but this was the existing situation and the proposed development will not exacerbate the existing situation.

6.4.5 In respect of designated heritage assets the proposed development has the potential to impact upon the setting of Mulcaster House grade II* listed building. This will be a substantial impact, though the direct impact on the building itself will be minor. The proposed development has the potential to physically impact on as yet undefined buried archaeological remains. The significance of this impact is likely to be of minor in relation to heritage asset significance. Further evaluatory works may be necessary to establish the precise impact of the proposed development on as yet undefined heritage assets.

6.5 CONFIDENCE RATING

6.5.1 The significance of the known archaeological resource has been adequately assessed for the purposes of determining planning permission. The impact of the proposals on known heritage significance has also been adequately assessed to determine any adverse and beneficial impacts of the development proposals on known heritage assets and consequently to define appropriate mitigatory responses. Given the likelihood of encountering archaeological remains relating to Stanwix Roman fort as defined above, an archaeological evaluation may be deemed necessary in order to establish the survival and significance of buried remains. Such an evaluation is likely to take the form of trial trenching.

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APPENDIX 1

TABLE 1 SIGNIFICANCE

Significance	Designation	Asset types and justification	Preferred response to negative impact
International	Non-statutorily designated heritage assets.	World Heritage Site (NPPF s132).	Avoid negative impact where asset contributes to the WHS's defined outstanding universal values (NPPF s138).
National	Statutorily designated heritage assets.	Scheduled monuments, grade I and II* listed buildings (NPPF s132).	Avoid negative impact.
National	Non-statutorily designated heritage assets.	Registered battlefields, grade I and II* Registered Parks and Gardens (NPPF s132).	Avoid negative impact.
National	Non-designated heritage assets of demonstrable equivalence to a scheduled monument (NPPF s138).	Assets where assessment for designation is pending, assets that have been assessed as being capable of designation but have not been designated at the SoS discretion, assets worthy of designation but which are outside the scope of the 1979 Act (NPPF s139).	Avoid negative impact.
District or County (Higher)	Statutorily designated heritage assets.	Grade II listed buildings (NPPF s132).	Limit negative impact (avoid substantial harm) and mitigate.
District or County (Higher)	Non-statutorily designated heritage assets.	Conservation area (NPPF s127), grade II registered park and garden (NPPF s132).	Limit negative impact (avoid substantial harm) and mitigate.
District or County (Lesser)	Non-designated heritage assets within a national park or AONB.	Any extant heritage assets (NPPF s115).	Limit negative impact and mitigate.
District or County (Lesser)	Non-designated heritage assets.	Heritage assets placed on a local planning authority list (NPPG).	Limit negative impact and mitigate.
District or County (Lesser)	Non-designated heritage assets.	Any area of potential listed in a local plan (NPPG).	Limit negative impact and mitigate.
Local	Non-designated heritage assets.	Any extant heritage assets outside of a national park or AONB.	Mitigate.
Negligible	Non-designated heritage assets.	Heritage assets recorded in the HER that are no longer extant, individual findspots or structures of no heritage	No action.

		value.	
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TABLE 2 ESTABLISHING THE MAGNITUDE OF IMPACT

Magnitude of Impact	Heritage Asset		
	Archaeological Remains (Archaeological Interest)	Historic Buildings (Architectural/Artistic Interest and/or Historic Interest)	Historic Landscapes (Historic Interest)
Loss	<ul style="list-style-type: none"> Change to most or all key archaeological materials, such that the resource is totally altered 	<ul style="list-style-type: none"> Change to key historic building elements, such that the resource is totally altered 	<ul style="list-style-type: none"> Major change to historic landscape character resulting from: Changes to most key historic landscape elements, parcels or components Extreme visual effects Major change to noise or change to sound quality Major changes to use or access
Substantial	<ul style="list-style-type: none"> Substantial or moderate changes to setting where setting elements affected make a high contribution to the significance of the asset Changes to many key archaeological materials, such that the resource is clearly modified 	<ul style="list-style-type: none"> Changes to many key historic building elements, such that the resource is significantly modified 	<ul style="list-style-type: none"> Moderate change to historic landscape character resulting from: Changes to many key historic landscape elements, parcels or components Visual change to many key aspects of the historic landscape Noticeable differences in noise or sound quality Considerable changes to use or access
Less than substantial	<ul style="list-style-type: none"> Slight changes to the setting where setting elements affected make a high contribution to the significance of the asset Substantial or moderate changes to setting where setting elements affected make a moderate contribution to the significance of the asset Changes to key archaeological materials, such that the asset is slightly altered 	<ul style="list-style-type: none"> Change to key historic building elements, such that the asset is slightly different 	<ul style="list-style-type: none"> Limited change to historic landscape character resulting from: Changes to few key historic landscape elements, parcels or components Slight visual changes to few key aspects of the historic landscape Limited changes to noise levels or sound quality Slight changes to use or access
Minor alteration with no reduction in significance	<ul style="list-style-type: none"> Slight changes to setting where setting elements affected make a moderate contribution to the significance of the asset Substantial, moderate or minor changes to setting where setting elements make a slight contribution to the significance of the asset Very minor changes to archaeological materials 	<ul style="list-style-type: none"> Slight changes to historic buildings elements 	<ul style="list-style-type: none"> Very small change to historic landscape character resulting from: Very minor changes to key historic landscape elements, parcels or components Virtually unchanged visual effects Very slight changes to noise levels or sound quality Very slight changes to use or access
No change	<ul style="list-style-type: none"> Any change to setting elements when setting elements make a negligible contribution to the significance of the asset No change 		

Adapted from Design Manual for Roads and Bridges, Volume II, Section 3, Part 2 (2007)

APPENDIX 1 ASSESSMENT MATRIX

Assessment Matrix to define the degree of impact on heritage asset significance		Magnitude of Impact				
		No change	Minor alteration with no reduction in significance	Less than substantial	Substantial	Loss
Significance of Heritage Asset	National	Blue	Yellow	Dark Green	Red	Red
	District/County (Higher)	Blue	Yellow	Light Green	Dark Green	Red
	District/County (Lesser)	Blue	Yellow	Light Green	Light Green	Dark Green
	Local	Blue	Blue	Yellow	Light Green	Light Green
	Negligible	Blue	Blue	Blue	Blue	Blue

Blue (no appreciable impact) = no mitigation necessary
 Yellow (very limited impact) = low level mitigation eg photographic record/watching brief etc
 Light green (limited impact) = may need evaluation to establish appropriate mitigation which may include site survey/excavation etc
 Dark green (major impact) = may not be agreed and then only with significant justification, may require evaluation and will require significant mitigation such as excavation, detailed building survey, visual restoration, some in-situ preservation, and on-site interpretation
 Red (very major impact) = unlikely to be agreed except in exceptional circumstances and only with a high level of mitigation

GAZETTEER OF HER SITES IN THE STUDY AREA:

Site No.	HER No.	Site Name	Description	NGR (N)	NGR (Y)	Period
1	186	Harker Road, Stanwix	Course of the Roman road followed by a modern road	339700	561400	Roman
2	433	Hadrian's Wall Milecastle 66, Stanwix Bank, Carlisle	Milecastle 66 by calculation would lie near to the edge of the escarpment where it was noted in 1772 ' <i>vestiges of some dykes describing a small square</i> '. Now there are no visible remains	339730	556780	Roman
3	434	Hyssop Bank Cemetery	A cemetery where the garrison of Stanwix buried their horses	339810	556780	Roman
4	440	Pillar Find, Stanwix Bank	Tuscan' capital, pillar and Roman pottery found in 1812	339980	556740	Roman
5	470	Carved Stone, Stanwix	Sculptured horse block, three steps high with a figure of a man in Roman dress playing the bagpipes carved in a recess of the highest end	339900	556900	Roman
6	472	Carved Stone, Stanwix	Red sandstone slab with the figure of Mercury in relief, holding a purse in the right hand and a wand in the left. Found in Stanwix where the Scots and Newcastle roads join	340000	556800	Roman
7	473	Tombstone Find, Stanwix	Roman inscribed tombstone found at Stanwix noted in 1599	339670	557020	Roman

8	475	Medal Find, Edenmount	Round medallion of lavender coloured opaque vitreous paste found during excavations in 1850 at Eden Mount/ Devonshire Terrace, Stanwix	339970	55680 0	Roman
9	476	Statue Find, Stanwix	Small Roman bronze statue of a female figure	339800	55700 0	Roman
10	488	<i>Petriana</i> /Stanwix Roman Fort and Turret 65b	The Roman Wall fort of <i>Petriana</i> at Stanwix	340200	55710 0	Roman
11	490	Rickerby Park Ditch, Carlisle	A V-shaped ditch of Pre-Vallum date. Revealed while tracing the route of the Vallum in 1933. This was already in disuse by the Roman period. Overlying Roman layers contained part of a 2 nd century bronze torque, a fibula and Iron Age pottery	340050	55681 0	Prehistoric/Roman
12	493	Coin Finds, Kings Meadow	Nine coins and 80, nearly all bronze, finds that consisted of brooches, buckles, dress fasteners, discs, pins, and rings from chainmail. The coins dated to the reigns of Domitian, Nerva, Trajan and Hadrian. Found in 1930 while digging a deep sewer trench across King Meadow	340200	55680 0	Roman
13	495	Hadrian's Wall Gate, Stanwix	Assumed site of a gateway through Hadrian's Wall for the road from the south	340000	55708 0	Roman

14	499	Weapon Find, North View	A bronze implement of peculiar shape was found in a pit of black earth at North View, about 400 yards North of the Roman Wall. Some pottery was found with it	340150	55726 0	Roman
15	500	Stanwix Roman Civil Settlement	Suggested site of the <i>vicus</i> of <i>Petriana</i> Roman Fort	340300	55690 0	Roman
16	501	Architectural Feature and Altar Finds, Stanwix	Two Roman altars found in 1725 and 1931. One was dedicated to the Mother Goddesses and the other to the Emperor Verus. Two building stones were found in 1599 and 1794 but are now lost	340100	55700 0	Roman
17	521	Old Croft Cross, Stanwix	An Anglian cross-head thought to be 9 th century in date. Found in 1947 in the garden of Old Croft, Stanwix	340210	55727 0	Early medieval
18	525	Axe Find, Kings Meadow, Stanwix	Two late Bronze Age socketed axes found together on Kings Meadow	340100	55670 0	Prehistoric
19	528	Tombstone Find, Stanwix	A sculptured tombstone of a Roman cavalryman found in the wall of the old parish church of Stanwix when it was being demolished in 1787	340140	55704 0	Roman
20	529	Ring Find, Mulcaster House, Stanwix	Roman bronze ring found near the surface of the ground in the garden of Mulcaster House	340200	55703 0	Roman
21	530	Coin Find, Stanwix	Two Roman coins found in Stanwix. One was a 2 nd brass of Antoninus Pius (2 nd century) found at Old Croft. The other was a 3 rd brass of Gordianus	340200	55727 0	Roman

22	531	Coin Finds, Barn Close, Stanwix	Piece of thin sheet bronze, possibly part of the cheek piece of a Roman helmet, and several Roman coins ranging from the 2 nd to the 4 th centuries. Medieval and later objects were also found all from Barn Close	340270	55713 0	Roman/Medieval
23	532	Roman Finds, Stanwix	A quantity of Samian and Romano-British potsherds, some Roman coins, an iron cannon ball, a large millstone and a stone hopper were all found in 1904 while digging the new foundations at the junction of Newcastle and Glasgow roads at Stanwix Bank	340010	55684 0	Roman
24	533	Tegula Find, Stanwix	Part of a tegula found in 1953 on the north bank of the Eden River in Rickerby park near Eden Bridge	340070	55664 0	Roman
25	4434	Stanwix Coin Find	A silver Danish coin found in 1842 when digging the foundations for a new church at Stanwix. The obverse shows the side face of Canute with his head covered by a cap and a sceptre in his right hand with the inscription <i>CNUT REX AL</i>	340000	55700 0	Early medieval
26	4541	Homeacres Well, Stanwix	A well below Homeacres. A lane in the vicinity is still known as Well Lane	340410	55709 0	Unknown

27	4542	Priestbeck Bridge, Carlisle	Site of a medieval and post-medieval bridge. Prior to 1571, reference is only made to the Eden Bridge. In 1571 a breach in the river created the Priest Beck that was still unbridged in 1597. The first mention of two bridges over the Eden was in the early 1600s. Both of the bridges were described as great timber bridges that provided the only passage from Scotland into England. These were replaced by stone bridges under the Act of 1601	340120	55663 0	Medieval /Post-medieval
28	4907	Stanwix Roman Vault	A vault said to be 'probably Roman' in date discovered before 1816	340000	55700 0	Roman
29	5072	Roman Disc Find, The Swifts	An eagle mount, bronze, slightly convex openwork disc. It is thought that each of these discs could have been part of a set to be worn on baltens-cross strap. None of British mounts are from securely dated contexts, but a short period of manufacture was in the 1 st or 2 nd quarter of the 3 rd century	340200	55660 0	Roman
30	5081	Carlisle-Newcastle Military Road	Military road between Carlisle and Newcastle built between 1751 and 1758. Unique in England in that it was built for strategic not economic reasons	340000	55677 0	Post-medieval

31	5319	Roman Coin Finds, River Eden	Two separate finds of one and seven coins. Seven coins of Vespasian and one of Domitian	340100	55660 0	Roman
32	5782	Hadrian's Wall and Vallum	Group number for Hadrian's Wall	322100	56260 0	Roman
33	6311	Carlisle WWII Pillbox	A WWII Pillbox camouflaged as part of a wall	340500	55720 0	Modern
34	13614	Anglian Cross Head Find, Stanwix	A 10 th century Cross Head said to be from Stanwix	340000	55700 0	Early medieval
35	15500	Roman Coin Find, Stanwix House	A denarius of Marcus Antonius	340300	55720 0	Roman
36	17703	Coin Finds, Stanwix	Records of two coins found at Old Croft, Stanwix in 1915 and 1935. One is a dupondius of Antoninus Pius (c. AD 152-153), the other is of Gordian III, AD 238-241	339950	55695 0	Roman
37	17953	Glass Bead Find, St. George's Crescent	A translucent amber bead with a yellow wave decoration dated to the 1 st -2 nd century found in the garden at 10 St. George's Crescent in 1982	339900	55689 0	Roman
38	18937	Roman Coin, Beech Grove	Coin found in Beech Grove of Septimius Severus (AD 196-197)	340220	55761 0	Roman
39	18944	Roman Coins, River Eden, Rickerby park	Two Roman coins found near Rickerby park. One is a Denarius of L. Rubrius Dossenus (87 BC). The second coin was of Nerva dated 96-98 AD	340130	55665 7	Roman
40	18945	Coin Finds, The Swifts, River Eden	Two Roman coins found. One was a Sestertius of Nerva dated 96-98 AD and the other is probably Flavian, 69-96 AD	340500	55680 0	Roman

41	18959	Fountain, Stanwix Bank	By 1915 a fountain was located at the top of Stanwix bank in the middle of the road. This was one of five fountains in the city	340000	55708 0	Post-medieval
42	19111	Roman Coin, Stanwix	A Roman coin found in Stanwix in 1976, the exact location on the find is unknown. The coin is a Sestertius of Septimus Severus, 3 rd century AD	340000	55700 0	Roman
43	19164	Roman Coins, River Eden	Two Roman coins found in 1990 on the banks of the River Eden, the exact findspots are unknown. One of the coins is a Dupondius of Nero, 64-67 AD, and the other is a Denarius of Faustina I, 141 AD	340300	55670 0	Roman
44	19512	Coin Find, River Eden	One of two coins found on the banks of the River Eden in 1990 by medal detectors. The coin is a Dupondius of Nero, 64-67 AD	340200	55670 0	Roman
45	19523	Pottery Find, Edenside Cricket Ground	A lid fragment from an open-mouthed bowl of Neine Valley colour-coated ware found at Edenside Cricket Ground in 1993	339845	55666 0	Roman
46	19524	Pottery Find, Eden Mount	An amphora handle with a badly worn stamp found in the garden of 10 Eden Mount. The handle was from a southern Spain vessel and one of the most common forms found on North British sites dating from the late 1 st to the 3 rd centuries AD	339975	55698 0	Roman

47	19601	Coin Find, River Eden	A Henry III Long Cross Penny found on the south side of the River Eden. The coin was dated to c. 1248-1250	340500	556800	Medieval
48	19703	Weight Find, Stanwix	A heavy ball weight found in the garden of Eden Mount. The function of this is obscure and is of relatively recent date	339990	556895	Post-medieval
49	19749	Iron Chisel Find, Lansdowne Close	A heavily corroded chisel found in the garden of Lansdowne Close	340000	557000	Unknown
50	40817	Ditch, Cumbria Institute of Art and Design, Stanwix	Ditch containing post-medieval pottery found while excavating at the Cumbria Institute of Art and Design	340390	557290	Post-medieval
51	40968	Carlisle Tram System	Tram system and London Road Depot built in 1900 following the withdrawal of a horse-drawn service and closed in 1931	341025	555025	Modern
52	41194	Ploughmarks, Cumbria Institute of Art and Design	Two areas were excavated in 2004 that revealed ploughmarks beneath deposits interpreted as the remains of a putative 2 nd century Roman parade ground that belonged to the Stanwix Roman fort. The ploughmarks were found to cut into an earlier ground surface and so are potentially of Romano-British date or earlier	340398	557294	Prehistoric/Roman

53	41195	Ditch, Cumbria Institute of Art and Design, Stanwix	The remains of a ditch were identified during excavations in 2004. This ditch was sealed and partially filled by deposits interpreted as a putative 2nd century Roman parade ground that belonged to the Stanwix Roman fort. The ditch was interpreted as an earlier land division	340386	55728 7	Prehistoric/Roman
54	42114	Gosling Syke Culvert, Etterby	The remains of two parallel stone-built walls found on either side of a modern culvert during excavations in 2007. The walls were interpreted as an earlier culvert to redirect Gosling Syke underground sometime between 1865 and 1912	339650	55707 0	Post-medieval
55	42230	Carlisle Racecourse, The Swifts	Site of a racecourse at The Swifts next to the River Eden shown on the First Edition Ordnance Survey map of 1865. The racecourse closed in 1904, the associated Grandstand Hotel built in 1839-1840 continued as a pub after the closure of the racecourse. The hotel/pub is still extant	340500	55607 0	Post-medieval
56	42241	Vessel Find, Carlisle City	A hand-made ceramic vessel of late 2 nd century date found in 2005	339800	55730 0	Roman
57	-	Church Street, Carlisle	Brick and stone foundations found during a pipeline watching brief	34010	55710	Post-medieval

ID	EH Listed Building No.	Listed Building SMR No.	Building Name	Description	Grade	NGR (N)	NGR (Y)
58	386570	25411	Eden Bridge	Road Bridge over the River Eden. Dated to 1812-1815 for the County of Cumberland by Robert Smirke with various minor alterations. Widened in 1932 by Percy Dalton, City Engineer	I	340033	556592
59	386874	25704	Nos. 1, 2 and 3, Stanwix Bank	Three houses in a Terrace dated to the 1840s or early 1850s. These appear on the 1865 OS map	II	340017	556855
60	386867	25689	Nos. 50 and 52, Scotland Road	Two houses forming the end of a terrace, one is now a surgery. Late 19 th century in date	II	340020	557245
61	386866	25688	Nos. 43-51 (odd), Scotland Road	Terrace of five houses that date to the late 1860s or early 1870s. English bond brickwork on chamfered plinth with stone-bracketed metal gutter	II	339982	557195
62	386865	25687	Nos. 38-49 (even), Scotland Road	Six houses in a terrace dated to the late 1830s. Flemish bond brickwork with light headers, on chamfered plinth	II	340026	557219
63	386775	25615	Nos. 14, 16 and 18, Kells Place	Originally four houses in a row, now three houses. Probably early 18 th century in date with 19 th century alterations and 20 th century rear extensions	II	340220	557171

64	386634	25476	No. 16 Little Bank, Brampton Road	House dated 1813 for Mrs. Houseman. Flemish bond brickwork with light headers, on chamfered plinth	II	340313	557062
65	386638	25481	Mulcaster House, Brampton Road	House dated to the late 18 th century with early 19 th century alterations for James Mulcaster. Painted stucco walls in chamfered plinth with angle pilasters, eaves, cornices and solid parapets	II	340214	557033
66	386637	25480	Gateway, wall and lamp brackets to Stanwix House, Brampton Street	Also known as gateway, wall, lamp brackets at south entrance to Cumbria College of Art and Design. Early 19 th century in date. Red sandstone and cast-iron lamp brackets	II	340258	557046
67	386635	25478	Homeacres, Cumbria College of Art and Design, Brampton Road	House that is now part of the college. Dated to the late 1840s or early 1850s. Incised cement render on squared plinth with raised quoins, sill band and dentilled wooden cornice	II	340349	557154
68	386636	25479	The Cottage and Homeacres Cottage, Cumbria College of Art and Design, Brampton Road	Reform school, now part of the college. Built in 1854 for George Head Head of Rickerby, with later extensions to the rear. English garden wall bond brickwork without plinth, dressings of calciferous sandstone	II	340405	557297

69	386686	25529	Gates, piers and overthrow at entrance drive to The Old Vicarage, Church Street	Gates for the former Stanwix Vicarage of early 19 th century date. Red sandstone piers, cast iron gates and wrought-iron overthrow	II	340058	557014
70	386685	25528	The Old Vicarage, Church Street	Vicarage for the Church of St. Michael, now a private house. 1809 in date incorporating part of the 18 th century vicarage for Reverend Joseph Hudson with rear 1890 extensions. Flemish bond brickwork in chamfered plinth	II	340104	557028
71	386682	25525	Church of St. Michael, Church Street	Church of England church on a medieval site. Built in 1841-1843 by John Hodgson with 1843 repairs, 1893 alterations and a 1907 extension. Red sandstone ashlar in irregularly coursed small blocks on chamfered plinth with clasping buttresses carried up as pinnacles on the tower and nave	II	340143	557043
72	386684	25527	Monument to George Head Head to southwest of Church of St. Michael, Church Street	Table tomb in Stanwix Graveyard, 1876	II	340173	556987

73	386683	25526	Monument to Dean Tait's Children to the south of Church of St. Michael, Church Street	Churchyard memorial, 1856. Dean Tait was a prominent Broad Churchman who became Bishop of London in 1856 and Archbishop of Canterbury in 1868	II	340181	556980
74	386687	25530	Stanwix House, Church Street	House that is now part of the college. Early 19 th century in date built for Richard Lowry, attorney. Flemish bond brickwork with light headers, on chamfered plinth, with V-jointed quoins and sill band	II	340175	557118
75	386661	25504	Hyssop Holme Well, Cavendish Terrace	Natural spring well dated 1817 with repairs made in 1986. Red sandstone rubble set into a high bank. Water was at one time used to supply hot and cold-water baths nearby	II	339747	556802
76	386660	25503	Cavendish Hill, Cavendish Terrace	House built c. 1850. Painted stucco walls on chamfered plinth with angle pilasters and eaves cornice	II	339922	556794
77	386703	25546	Nos. 1-9 (consec.), Devonshire Terrace	Terrace of nine houses. Date on keystone reads 1832, with 1840s additional houses and later alterations. Flemish bond brickwork with light headers, on chamfered stone plinth with V-jointed quoins on end houses	II	339967	556811

78	386713	25557	No. 9, Eden Mount	House dated to the 1840s. Flemish bond brickwork with light headers on chamfered plinth with V-jointed quoins on left angles sill band and eaves cornice	II	339981	556968
79	386712	25556	Nos. 1-8 (consec), Eden Mount	Includes No. 1 Cromwell Crescent. Nine houses in a terrace dated to the 1840s. Flemish bond brickwork, most houses with light headers on chamfered plinth with V-jointed quoins on end houses, sill bands and eaves cornice	II	339979	556903
80	386741	25583	Nos. 82 and 84, Etterby Street	Two houses forming the end of a terrace dated to the 1840s. Flemish bond brickwork with light headers, on chamfered plinth	II	339717	557208
81	386740	25582	Nos. 72-80 (even), Etterby Street	Five houses forming part of a terrace dated to the 1840s. Flemish bond brickwork with light headers on chamfered stone plinth	II	339741	557208
82	386739	25581	Nos. 62-70, Etterby Street	Five houses forming part of a terrace dated to the 1830s. Flemish bond brickwork with light headers on chamfered plinth	II	339771	557196
83	386738	25580	Nos. 54-60, Rydal Mount, Etterby Street	Four houses forming part of a terrace dated to the 1830s	II	339802	557187

84	386737	25579	No. 52, Rydal Mount, Etterby Street	House forming part of a terrace dated to the 1830s or 1840s. Painted stucco walls on chamfered plinth	II	339819	557182
85	386736	25578	Nos. 44-50 (even), Etterby Street	Four houses forming part of a terrace dated to the 1830s	II	339835	557175
86	386735	25577	Nos. 38, 40 and 42, Etterby Street	Three houses forming part of a terrace dated to the 1830s	II	339859	557170
87	386734	25576	Nos. 26-36 (even), Etterby Street	Six houses forming part of a terrace dated to the 1830s	II	339882	557158
88	386733	25575	Nos. 22 and 24, Etterby Street	Originally one house in a terrace, now divided into two and dated to the 1830s	II	339906	557151
89	386732	25574	Nos. 18 and 20, Etterby Street	Two houses forming part of a terrace dated to the 1830s	II	339918	557140
90	386731	25573	Nos. 14 and 16, Etterby Street	Two houses forming part of a terrace dated to the 1830s, with later alterations	II	339932	557137
91	386730	25572	No. 12, Etterby Street	Detached house in a terrace dated to the 1830s with later alterations	II	339944	557134
92	386729	25571	No. 10, Etterby Street	House forming part of a terrace dated to the 1830s with late 19 th century alterations	II	339953	557122
93	386728	25570	Nos. 6 and 8, Etterby Street	Two houses, now an office and flat at the end of a terrace. Dates to the 1840s	II	339961	557114

APPENDIX 2




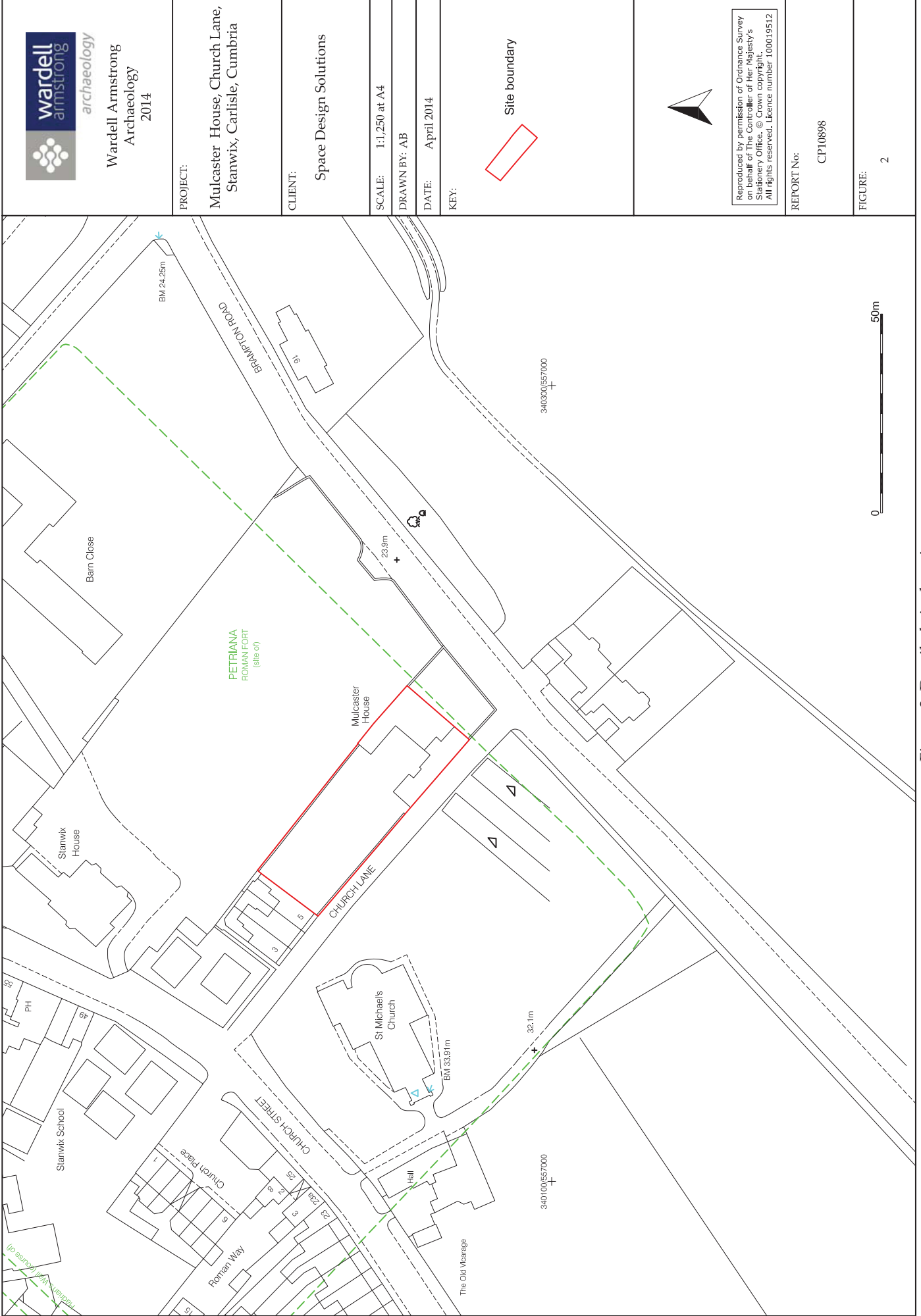
	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:25,000 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 1</p>	<p>KEY:</p> <p> Site location</p>	
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Figure 1: Site location.



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CLIENT:
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SCALE: 1:1,250 at A4

DRAWN BY: AB

DATE: April 2014

KEY:



Site boundary

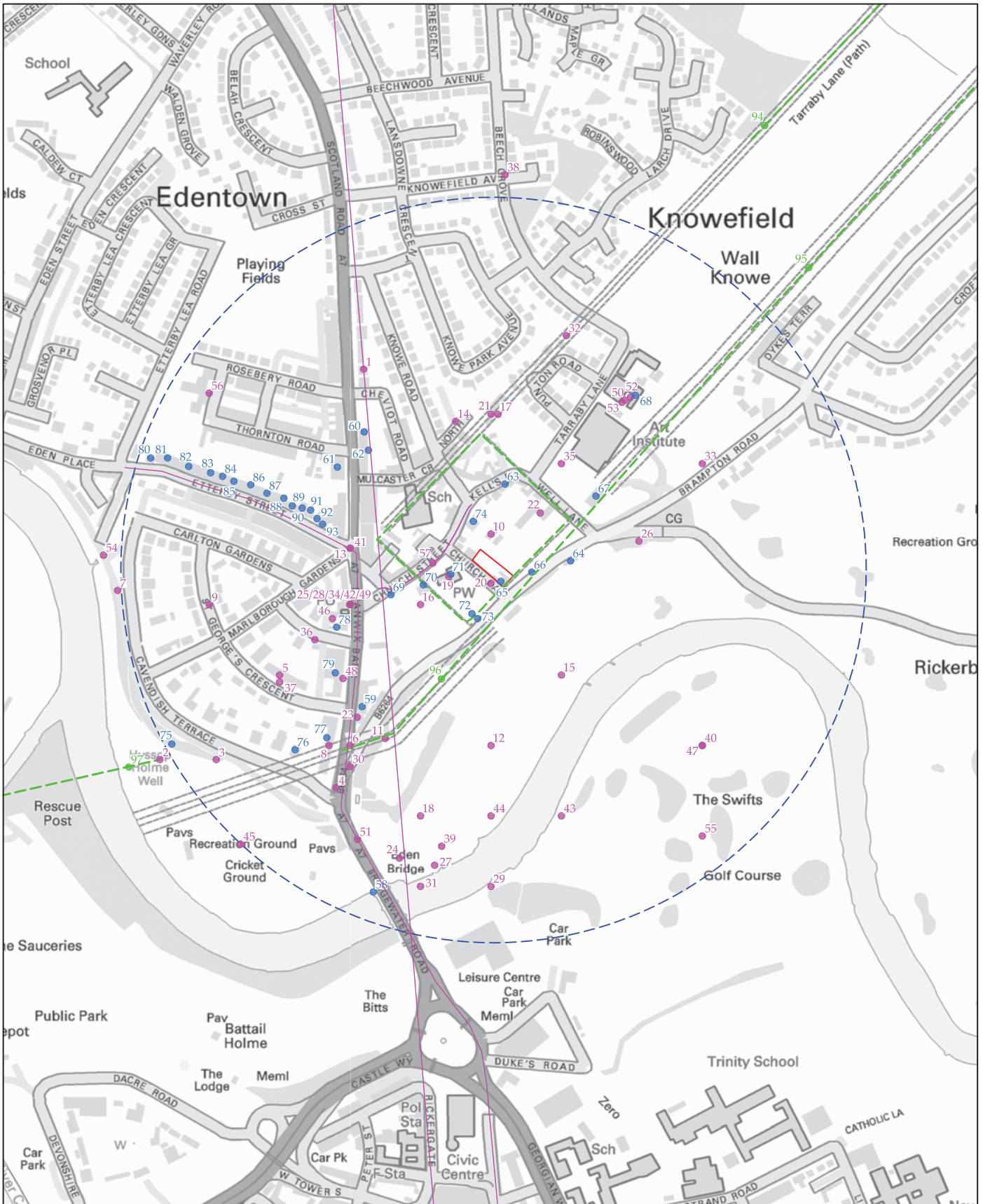


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FIGURE:
2

Figure 2: Detailed site location.










 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:7,500 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 3</p>	<p>KEY:</p> <ul style="list-style-type: none">  Site boundary  500m radius  HER sites  Listed buildings  Scheduled ancient monuments 	 <p>Reproduced by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. © Crown copyright. All rights reserved. Licence number 100019512</p>
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Figure 3: Location of heritage assets.

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FIGURE:

4

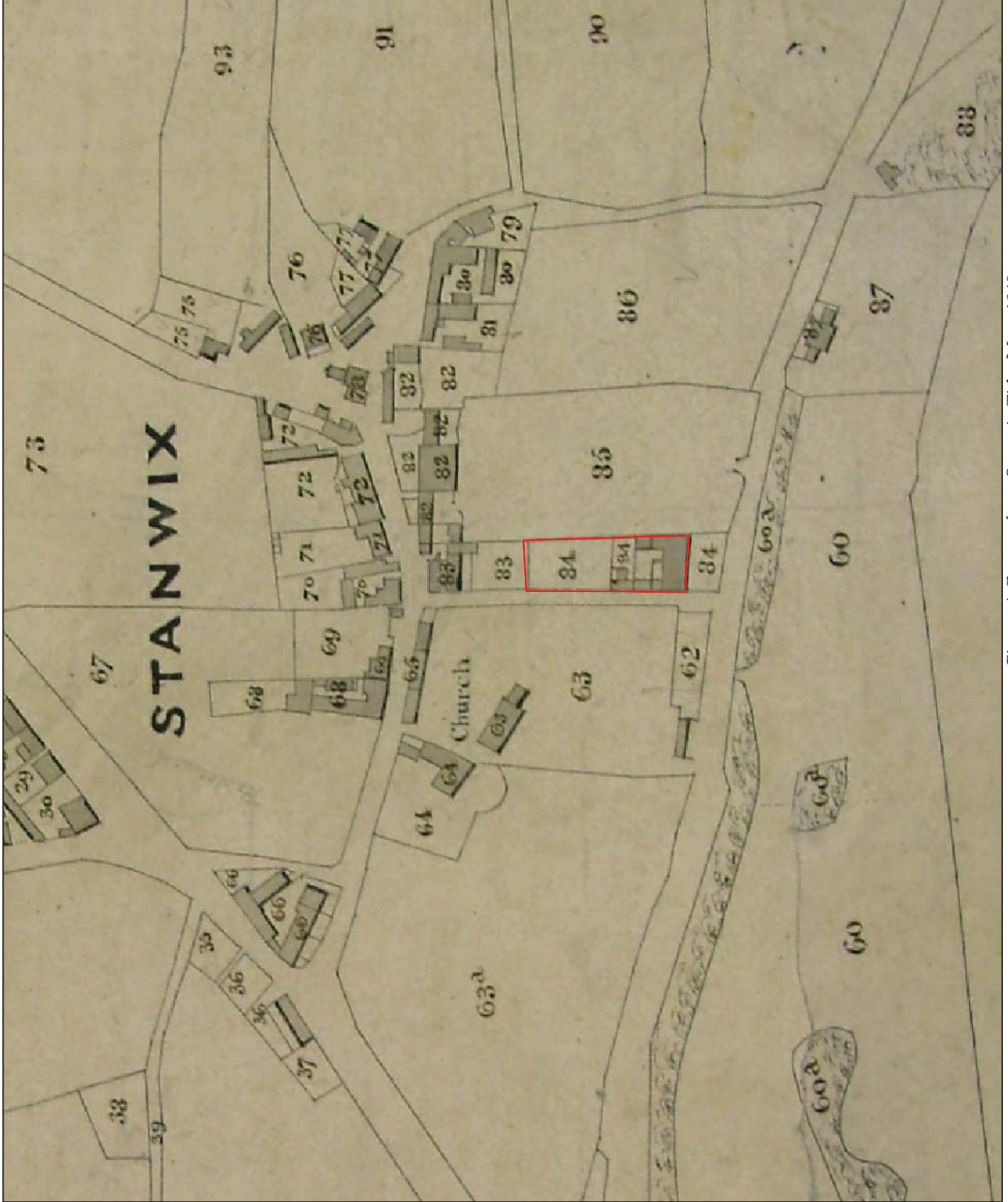


Figure 4: Extract from Stanwix Tithe Map, 1849.






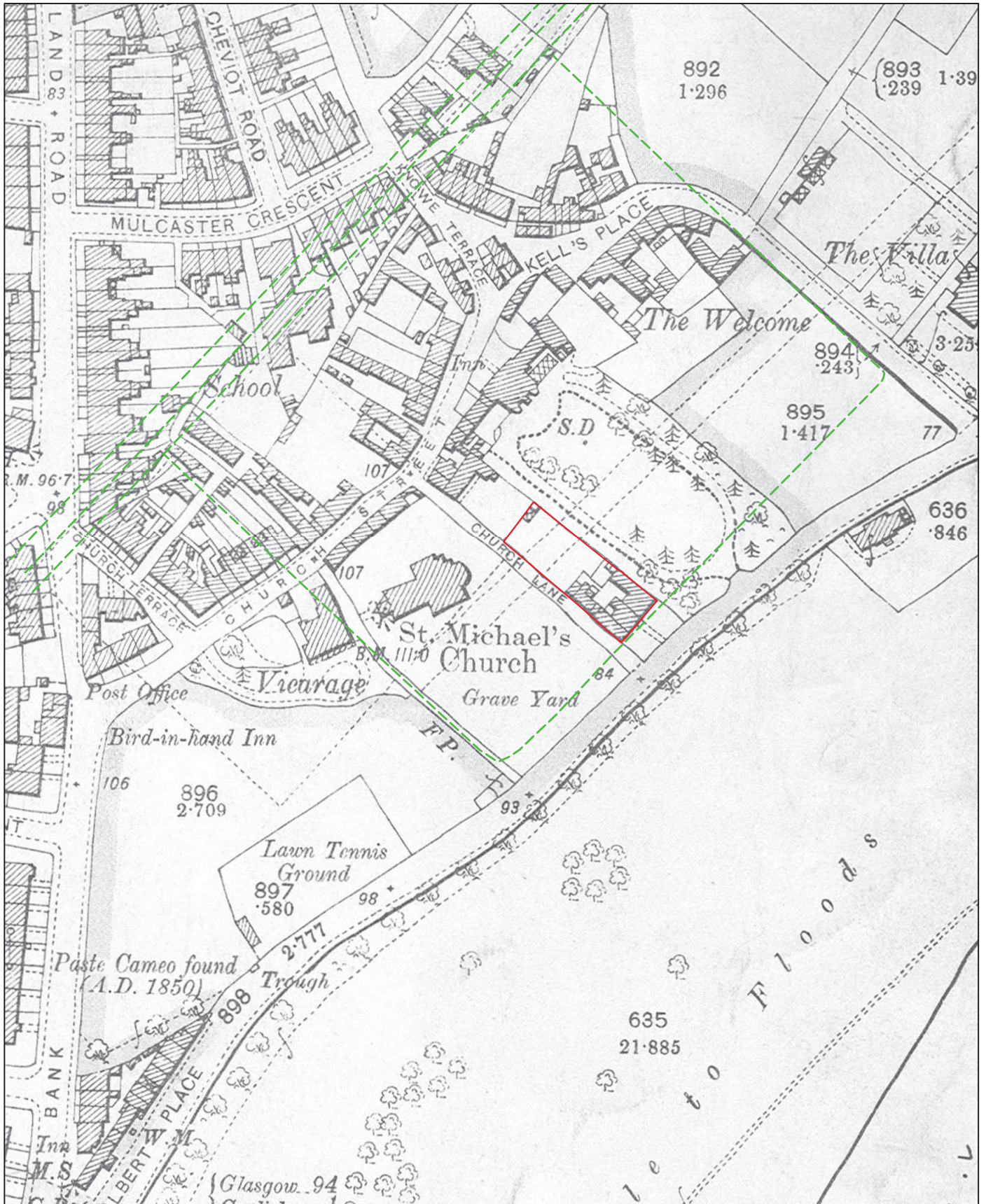
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:2,000 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 5</p>	<p>KEY:</p>  Site boundary	
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Figure 5: First Edition Ordnance Survey Map, 1865.







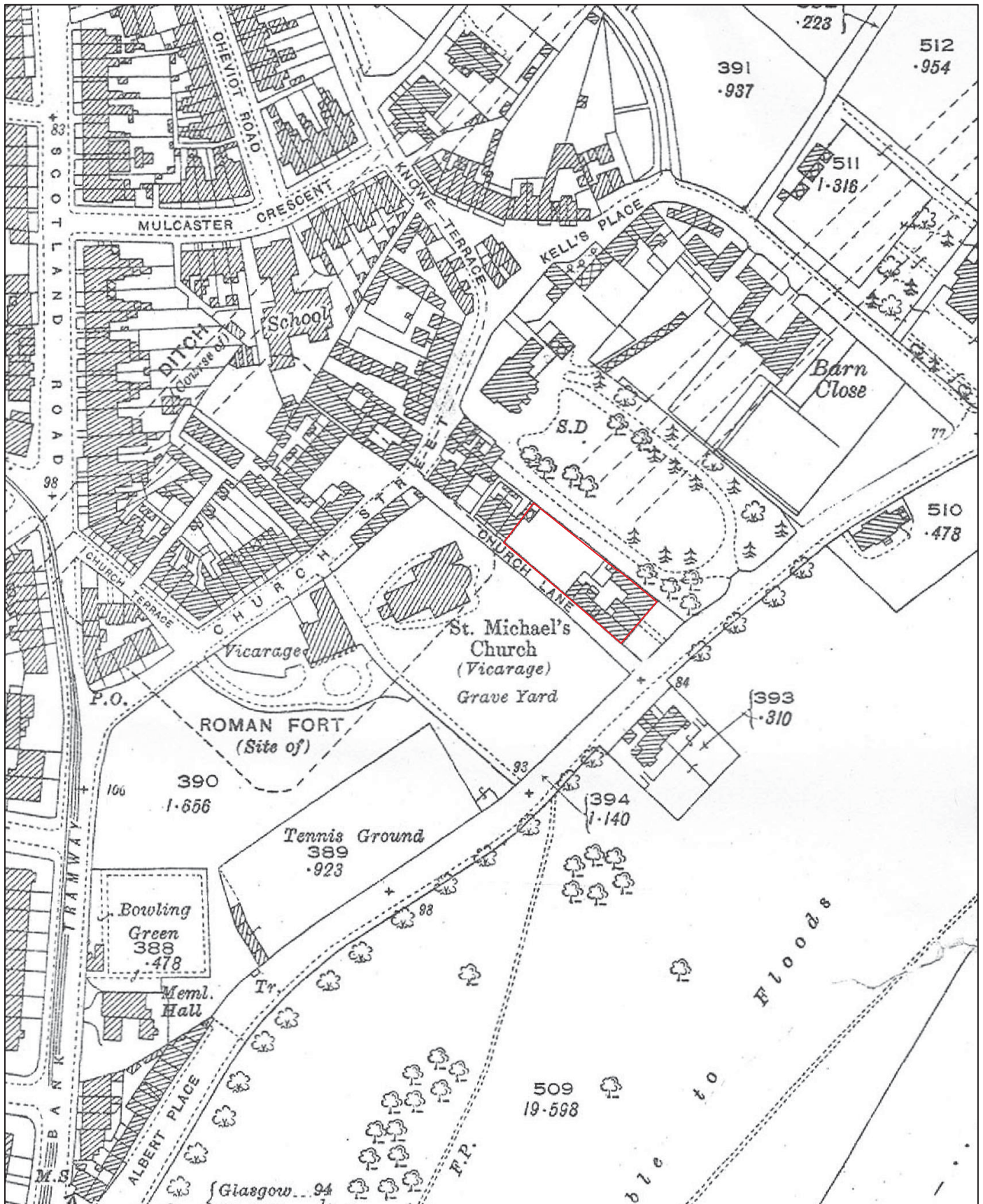
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:2,000 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 6</p>	<p>KEY:</p> <p> Site boundary</p> <p> Scheduled ancient monument</p>	
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Figure 6: Second Edition Ordnance Survey Map, 1901.






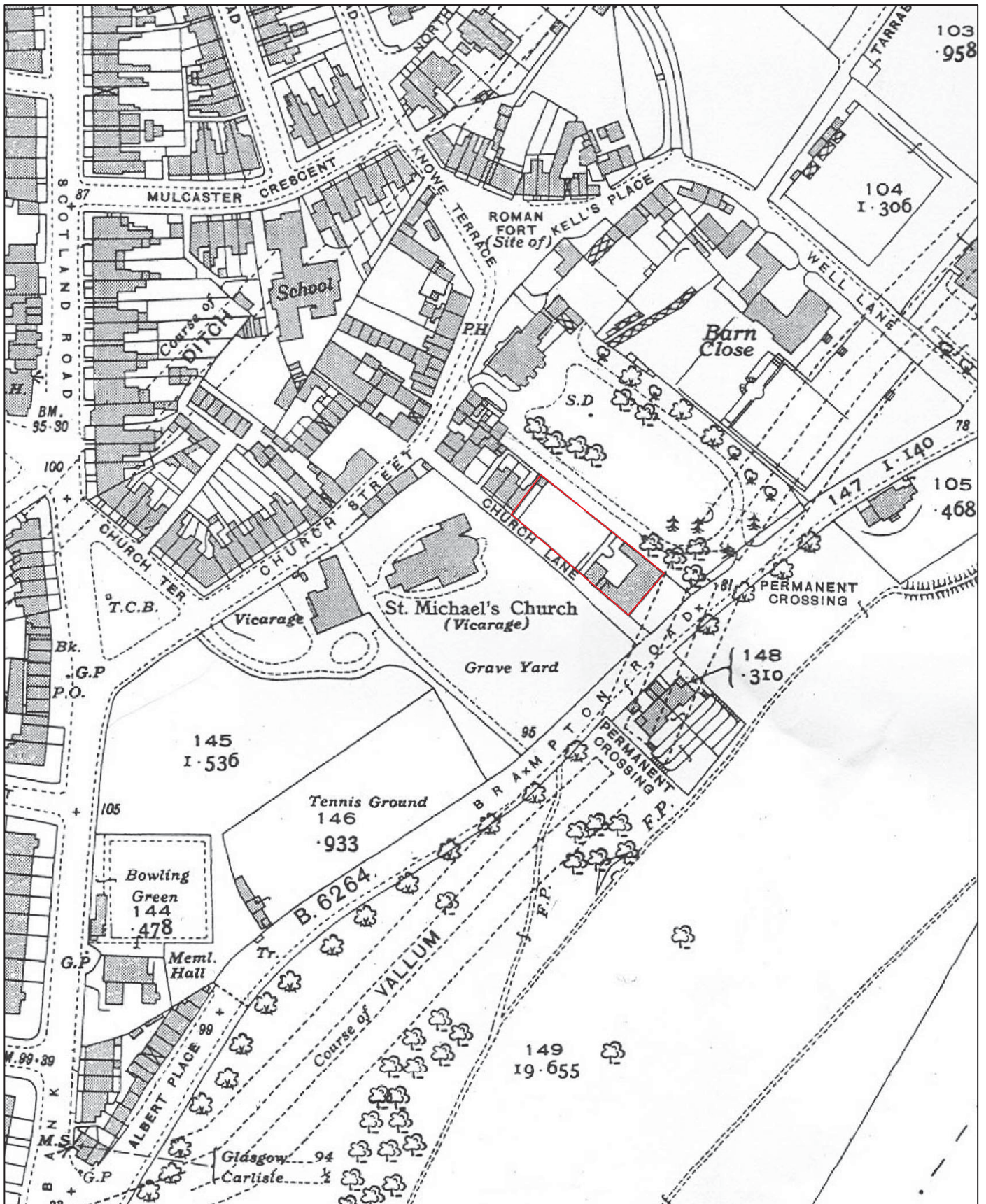
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:2,000 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 7</p>	<p>KEY:</p>  Site boundary	

Figure 7: Third Edition Ordnance Survey Map, 1925.






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Figure 8: Fourth Edition Ordnance Survey Map, 1940.



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KEY:



Site boundary



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FIGURE:
9

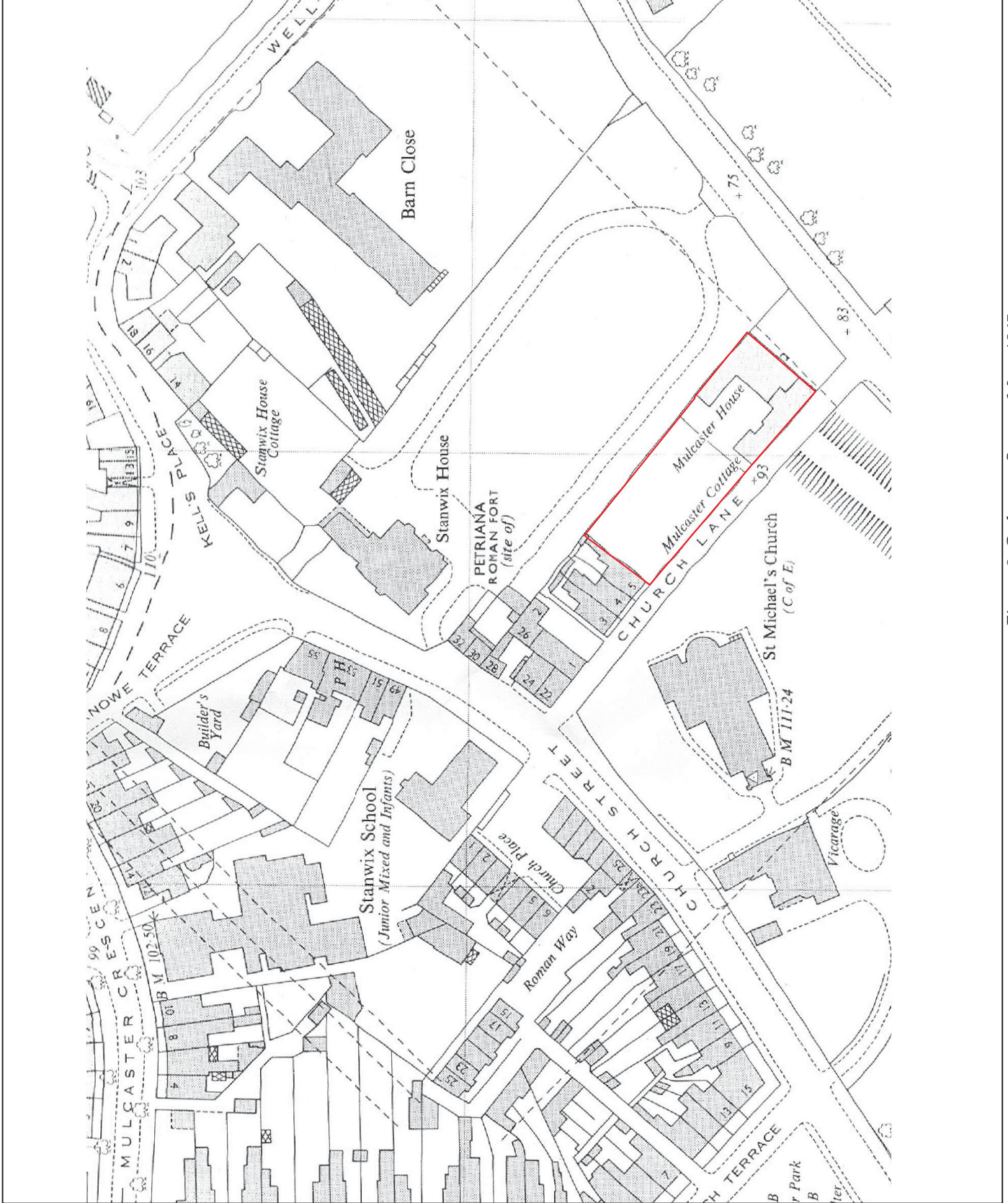


Figure 9: Ordnance Survey Map, 1965

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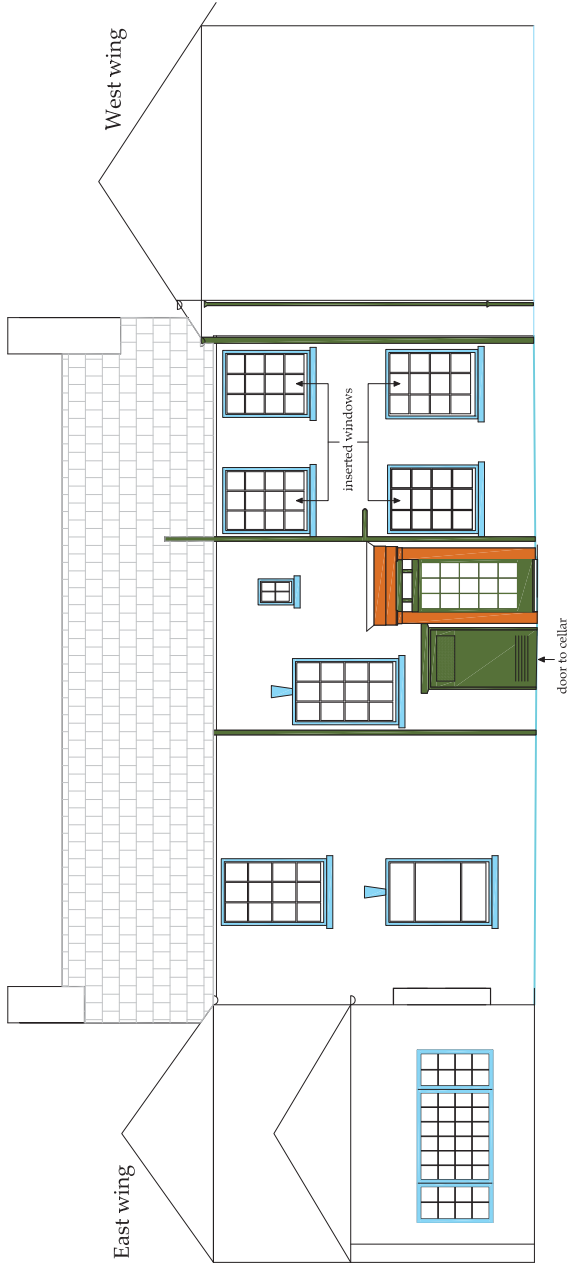
SCALE: 1:125 at A4

DRAWN BY: AB

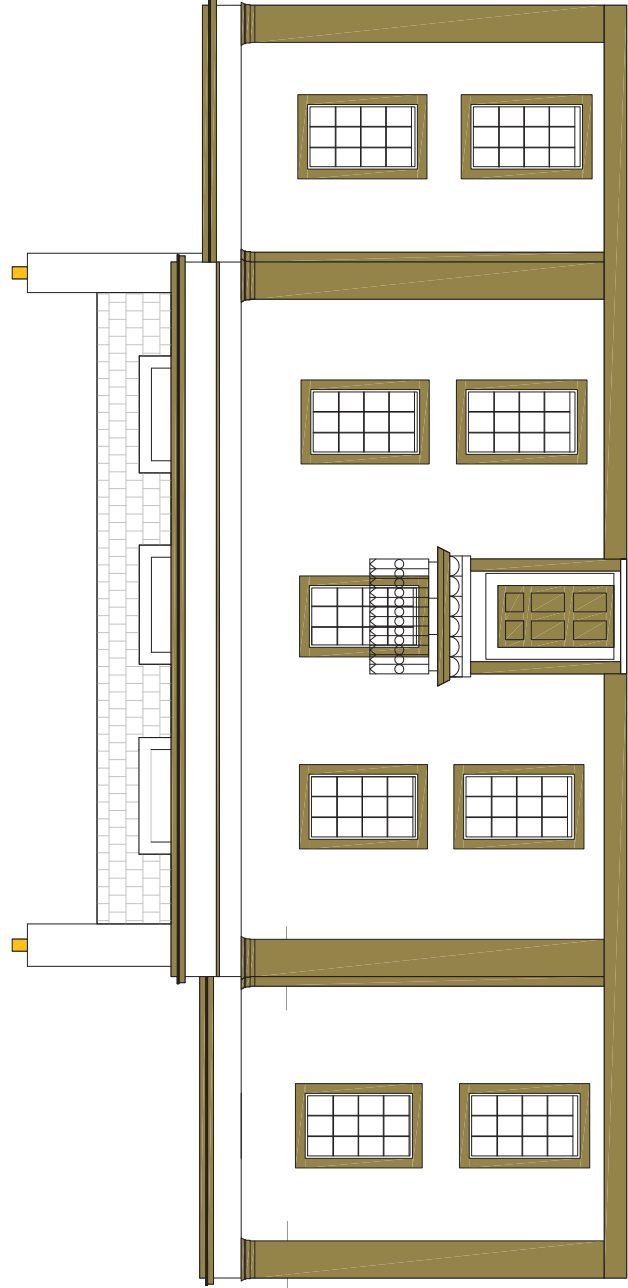
DATE: April 2014

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FIGURE:
10



North elevation



South elevation

Figure 10: North and south elevations of Mulcaster House.

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Stanwix, Carlisle, Cumbria

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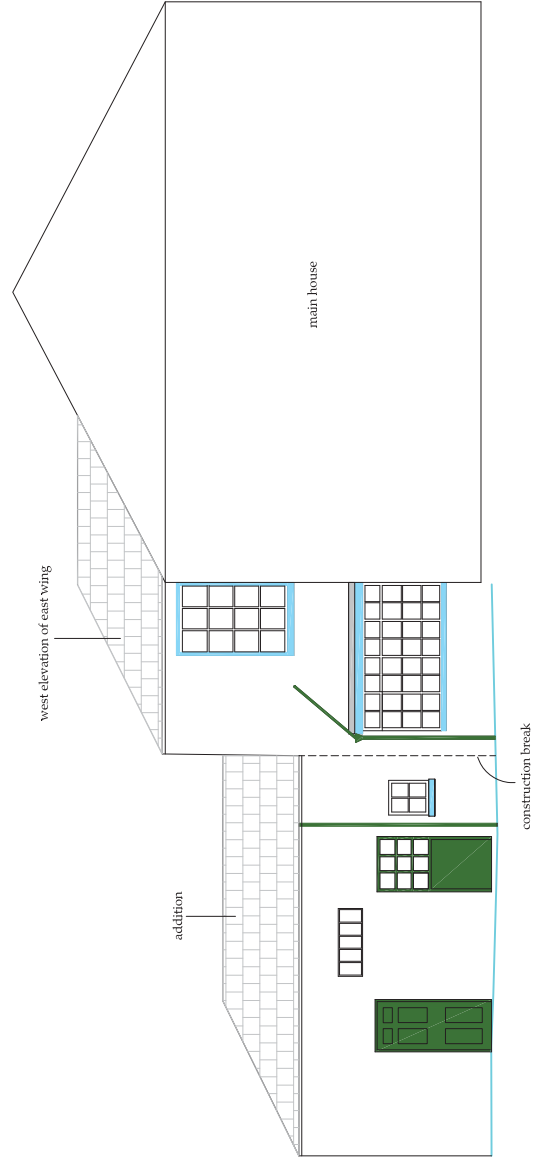
CP10898

FIGURE:

11

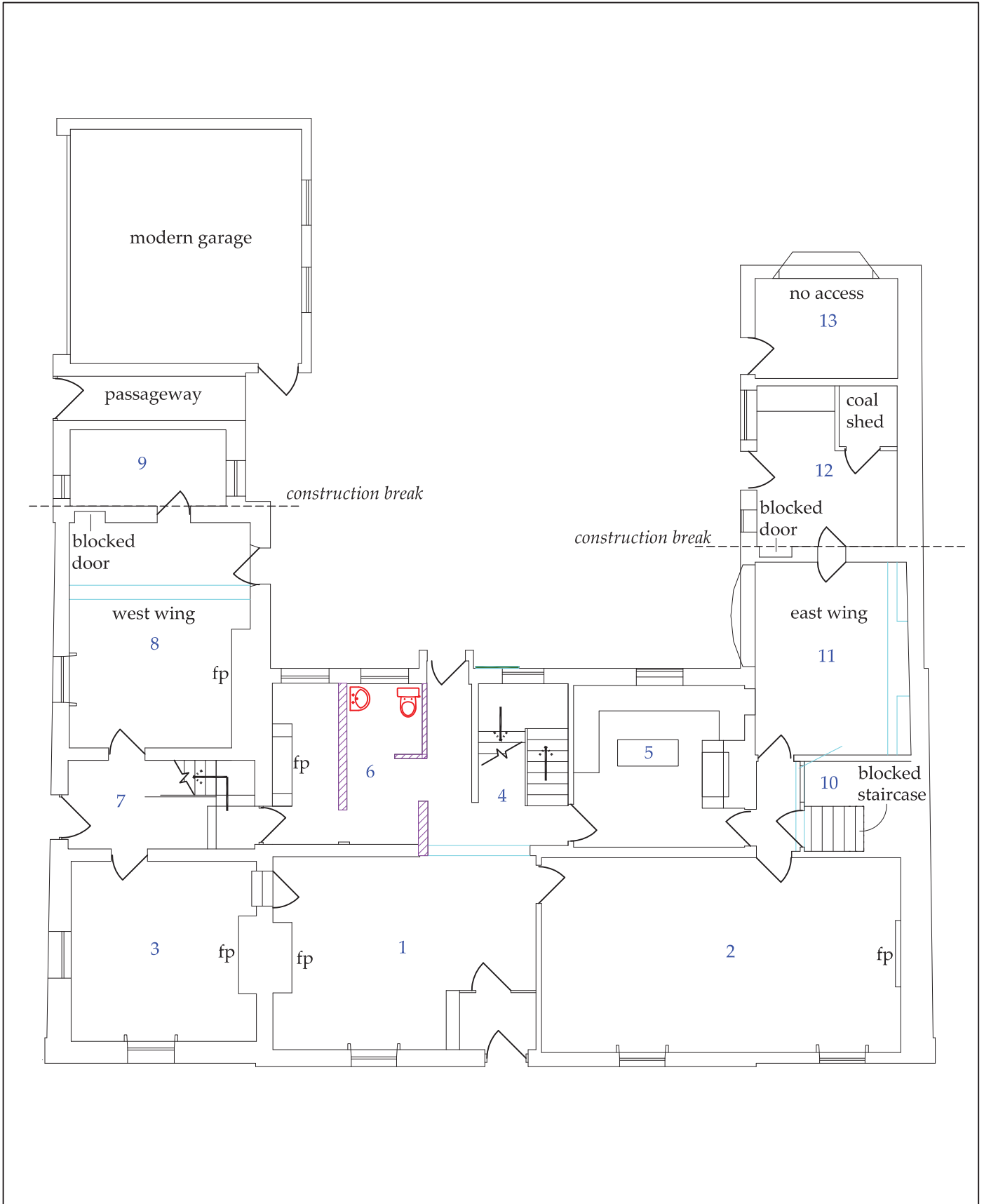


East elevation



West elevation

Figure 11: East and west elevations of Mulcaster House.






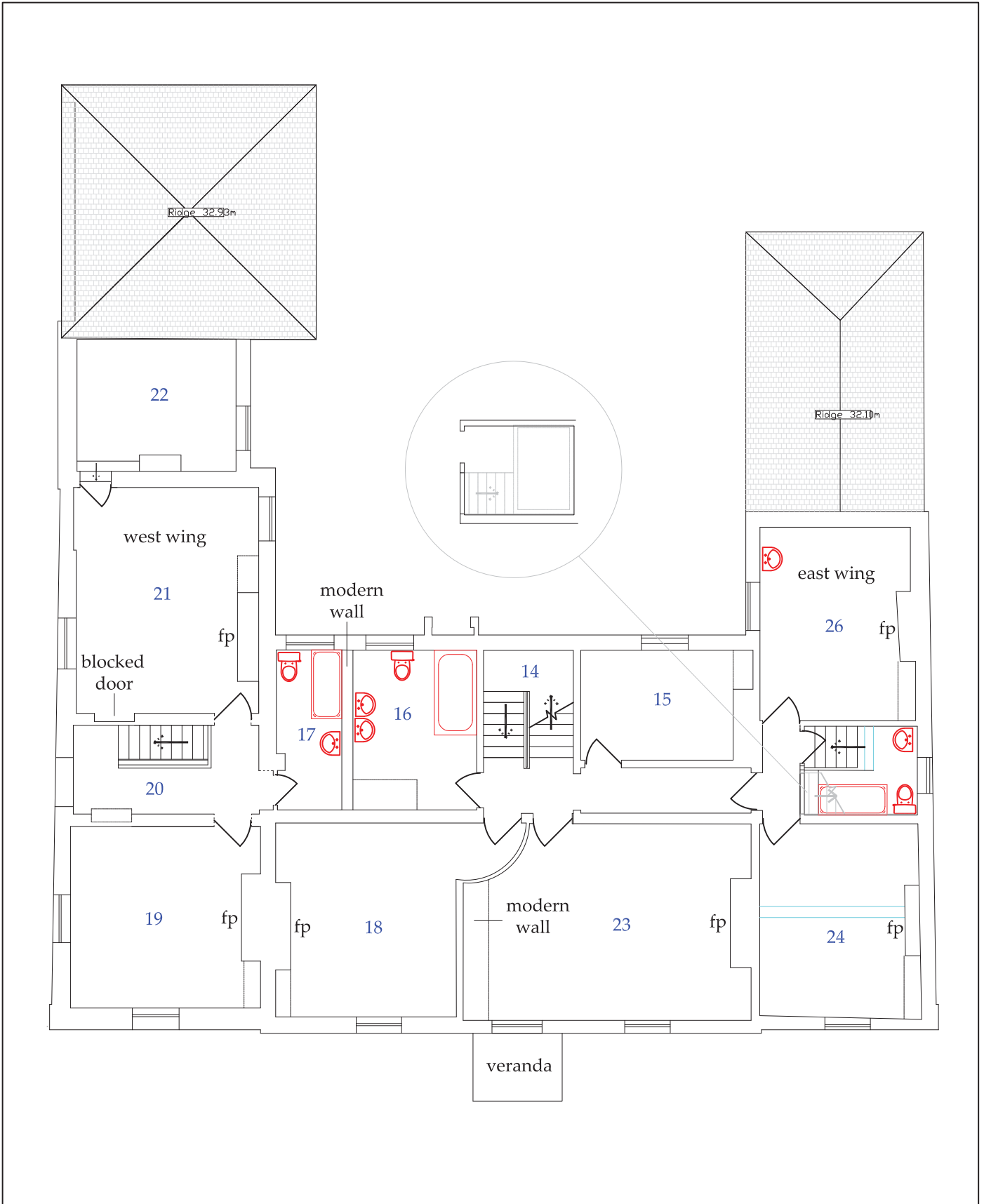
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:125 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 12</p>	<p>KEY:</p> <p>fp Fire place</p> <p>12 Room numbers referred to in report</p> <p> Modern stud walls</p>	
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Figure 12: Ground floor plan.





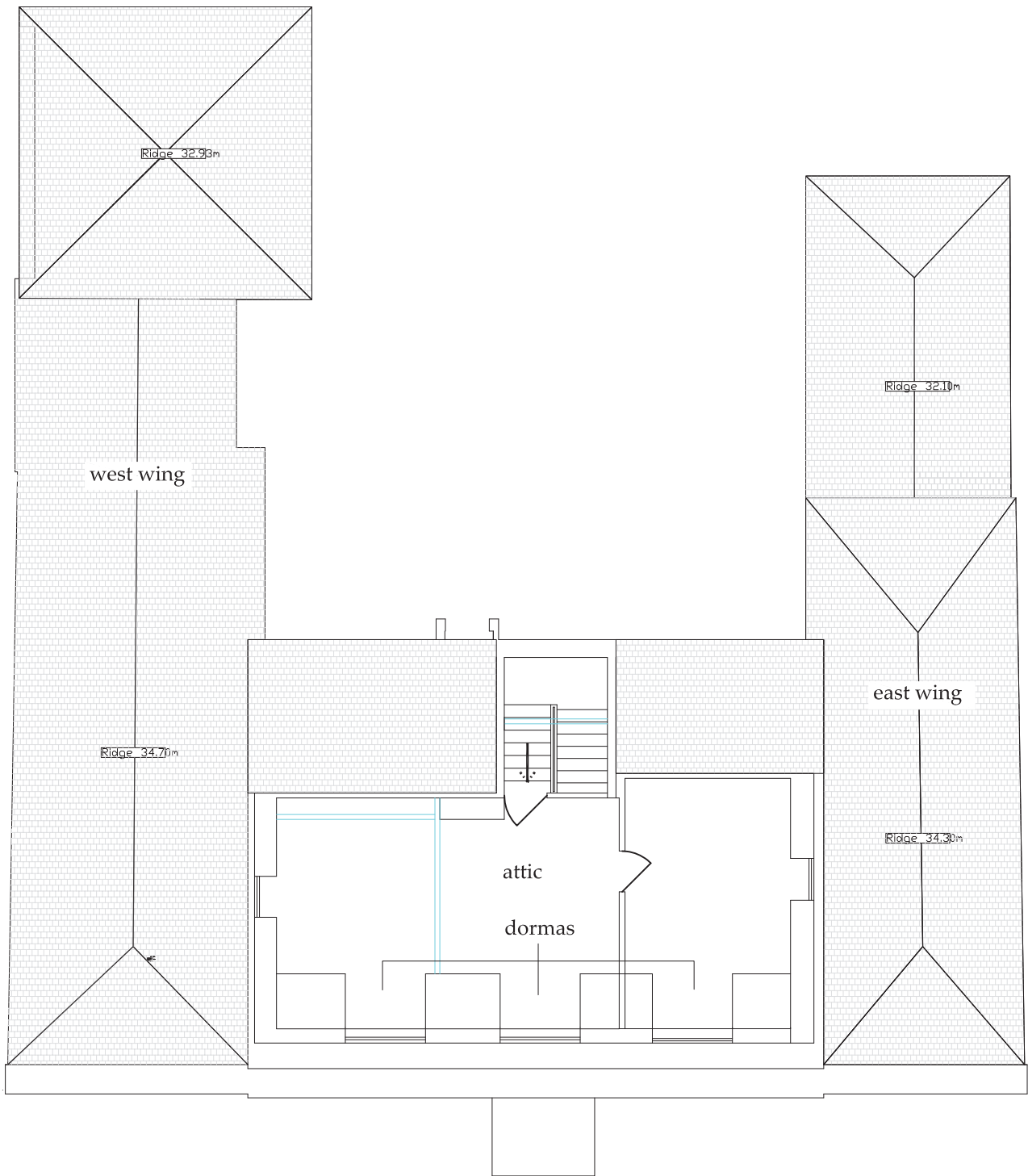
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Mulcaster House, Church Lane, Stanwix, Carlisle, Cumbria</p> <p>SCALE: 1:125 at A4</p> <p>REPORT No: CP10898</p> <p>CLIENT: Space Design Solutions</p> <p>DRAWN BY: AB</p> <p>DATE: April 2014</p> <p>FIGURE: 13</p>	<p>KEY:</p> <p>fp Fire place</p> <p>12 Room numbers referred to in report</p>	
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Figure 13: First floor plan.



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FIGURE: 14



Figure 14: Second floor plan.