

**FORMER POLICE DEPOT,
BELLE VUE ROAD,
LEEDS**

HISTORIC BUILDING SURVEY

PROJECT CODE: CS00051

DATE: 07/11/2014



WARDELL ARMSTRONG ARCHAEOLOGY

COCKLAKES YARD

CARLISLE

CUMBRIA

TEL 01228 564820

WWW.WAARCHAEOLOGY.CO.UK

Wardell Armstrong Archaeology

DOCUMENT TITLE: Former Police Depot, Belle Vue Road, Leeds
DOCUMENT TYPE: Historic Building Survey
CLIENT: Watkin Jones
PROJECT CODE: CS00051
OASIS REF: wardella2-193847
PRINT DATE: 06/11/2014
GRID REFERENCE: Centred on SE 2882 3439

Quality Assurance

This report covers works as outlined in the brief for the above-named project as issued by the relevant authority, and as outlined in the agreed programme of works. Any deviation to the programme of works has been agreed by all parties. The works have been carried out according to the guidelines set out in the Institute for Archaeologists (IfA) Standards, Policy Statements and Codes of Conduct. The report has been prepared in keeping with the guidance set out by Wardell Armstrong Archaeology on the preparation of reports.

	01	02	03
PREPARED BY: POSITION: DATE:	Fiona Wooler Buildings Archaeologist 06/11/2014		
EDITED BY: POSITION: DATE:	Dave Hodgkinson Technical Director 06/11/2014		
APPROVED BY: POSITION: DATE:	Dave Hodgkinson Technical Director 06/11/2014		

Wardell Armstrong Archaeology is a wholly owned company of Wardell Armstrong LLP. Company Registration No. 07702975 VAT Registration No. 108 2243 47. All rights reserved.

Disclaimer

No part of this report may be copied or reproduced, stored or transmitted by any means without prior written permission from Wardell Armstrong Archaeology, or the client for whom the work was carried out. The report has been produced specifically for the client's usage, and no other party may use, make use of or rely on the contents of the report; any person or party using or relying on this document for such purposes agrees, and with such use or reliance be taken to confirm their agreement, to indemnify Wardell Armstrong Archaeology for all loss or damage resulting from their action. No liability is accepted by Wardell Armstrong Archaeology for any use of this report other than the use and purpose for which it was originally intended. Information contained in this report is provided by WA Archaeology Ltd using due care and diligence and no explicit warranty is provided as to its accuracy. No independent verification of any information provided to Wardell Armstrong Archaeology has been made.

CONTENTS

SUMMARY	5
1 INTRODUCTION AND SITE LOCATION	6
2 METHODOLOGY	7
2.1 Introduction	7
2.2 Rapid Desk-Based Assessment	7
2.3 Historic Building Survey	7
2.4 Reporting and Archive.....	8
3 HISTORICAL BACKGROUND.....	9
4 HISTORIC BUILDING SURVEY	17
4.1 Introduction	17
4.2 Exterior.....	17
4.3 Interior	33
5 CONCLUSION	51
6 BIBLIOGRAPHY	53
APPENDIX: FIGURES	55

ILLUSTRATIONS

FIGURES (APPENDIX)

FIGURE 1: SITE LOCATION

FIGURE 2: DETAILED SITE LOCATION

FIGURE 3: FIRST EDITION ORDNANCE SURVEY MAP 1893, 25" TO 1 MILE SCALE

FIGURE 4: ORDNANCE SURVEY MAP 1908, 25" TO 1 MILE SCALE

FIGURE 5: ORDNANCE SURVEY MAP 1921, 25" TO 1 MILE SCALE

FIGURE 6: ORDNANCE SURVEY MAP 1933, 25" TO 1 MILE SCALE

FIGURE 7: ORDNANCE SURVEY MAP 1955, 1:1250 SCALE

FIGURE 8: ORDNANCE SURVEY MAP 1970, 1:1250 SCALE

FIGURE 9: ORDNANCE SURVEY MAP 1983, 1:1250 SCALE

FIGURE 10: EXISTING FLOOR PLAN

FIGURE 11: EXISTING NORTH-EAST TO SOUTH-WEST CROSS SECTIONS

FIGURE 12: EXISTING SOUTH-EAST TO NORTH-WEST CROSS SECTION

SUMMARY

Wardell Armstrong Archaeology was commissioned by Watkin Jones to undertake an Historic Building Survey of the Former Police Depot, Belle Vue Road, Leeds, West Yorkshire (centred on NGR SE 2878 3442) prior to the proposed demolition in advance of redevelopment (Planning Application Ref: 13/04862/FU).

The former police garage was originally constructed by Arthur and Co. as a clothing manufactory in 1903. The company originated in Glasgow but were a presence in central Leeds from 1880; by 1931 Arthur and Co. had concentrated their Yorkshire operations at the Belle Vue Road site. West Yorkshire Archaeology Advisory Service have identified the building as being of archaeological interest as an example of a purpose-built clothing factory. As a non-designated heritage asset the former clothing factory has been identified as being worthy of further research and recording prior to demolition and the redevelopment of the site. As a consequence, a condition (Condition 7) was placed on Planning Consent requiring that no demolition should take place until a photographic and drawn record of the building had taken place.

A rapid-desk based assessment undertaken in advance of the historic building survey of the Former Police Depot has indicated that the structure was constructed in 1903 by Arthur and Co, wholesale clothiers, on a previously undeveloped land. The original building control plans survive at West Yorkshire Archives to show that the factory was intended as a single-storey structure with north-light roof.

Arthur and Co. continued to occupy the site throughout the early 20th century, and by c.1930 an addition had been made to the original building, possibly reflecting the concentration of the company's activities at the Belle Vue Road site as compared to Park Lane. The company occupied the Belle Vue Road site until 1959. Following the closure of the clothing factory the premises were taken over by the West Yorkshire Police.

The historic building survey has revealed that the former Police Depot building was originally constructed as a single-storey brick-built structure with north-light roof and a degree of architectural embellishment. The existing elevations contain evidence for two construction phases, the main 1903 factory building and the c.1930 addition to the south-east.

Internally, the building retains its original roof structure including the supporting columns and I-beams. The north-west side of the building has been adapted to create numerous offices as part of the occupancy of the site by the police.

The former Police Depot is an example of an early 20th century purpose-built factory, constructed to manufacture ready-to-wear clothing. The building consisted essentially of a large open space for the accommodation of sewing machines and machinery, with a limited amount of internal divisions apart from those relating to toilets for the workers, offices, boiler room and dining room. The limited amount of internal divisions allowed the building to be easily adapted following the closure of the clothing factory for use by the police as a depot.

1 INTRODUCTION AND SITE LOCATION

- 1.1 Wardell Armstrong Archaeology was commissioned by Watkin Jones to undertake an Historic Building Survey of the Former Police Depot, Belle Vue Road, Leeds, West Yorkshire (centred on NGR SE 2878 3442) prior to the proposed demolition of the structure in advance of redevelopment, which includes the adjacent former St Michael's College site to the east (Planning Application Ref: 13/04862/FU).
- 1.2 The former police garage was originally constructed by Arthur and Co. as a clothing manufactory in 1903. The company originated in Glasgow but were a presence in central Leeds from 1880; by 1931 Arthur and Co. had concentrated their Yorkshire operations at the Belle Vue Road site. The company ceased trading in 1959.
- 1.3 West Yorkshire Archaeology Advisory Service have identified the building as being of archaeological interest as an example of a purpose-built clothing factory. As a non-designated heritage asset the former clothing factory has been identified as being worthy of further research and recording prior to demolition and the redevelopment of the site. As a consequence, a condition (Condition 7) was placed on Planning Consent requiring that no demolition should take place until a photographic and drawn record of the building had been undertaken.
- 1.4 The site is located approximately 1.5km to the north-west of the centre of Leeds, on the corner of Belle Vue Road and St Johns Road (Figures 1 and 2). The building is surrounded to the north, west and south by residential properties, and immediately to the east by buildings associated with the former St Michael's College (Figure 2).

2 METHODOLOGY

2.1 INTRODUCTION

2.1.1 No formal Brief has been issued for the historic building recording. A Written Scheme of Investigation (WSI) outlining the aims and methodology of the archaeological work (Wooler 2014) was submitted to, and approved by, David Hunter, West Yorkshire Archaeology Advisory Service, prior to the commencement of the survey work on site.

2.2 RAPID DESK-BASED ASSESSMENT

2.2.1 A Heritage Statement has already been compiled for the St Michael's College and Former Police Depot site (Stephen Levrant Heritage Architecture Ltd 2013). Information derived from that report will be referred to below; however a rapid desk-based assessment was also undertaken of readily-available sources housed at Leeds Library and West Yorkshire Archive Service, Leeds.

2.3 HISTORIC BUILDING SURVEY

2.3.1 A Level 3 building survey of the structure was undertaken according to the standard and guidance set out by the Institute for Archaeologists (IfA 2008) and English Heritage (2006). A Level 3 survey comprises an analytical record of a building or buildings, where both exterior and interiors will be viewed, described and photographed to illustrate the building's appearance and to support an historical analysis. The record will include an account of the evidence on which the analysis has been based (English Heritage 2006, 14).

2.3.2 The survey includes:

- a written description of the building, including its plan, form, function, age, development sequence and construction materials. The landscape and historical context of the building has also been considered.
- a photographic record of the building and its relationship with other structures in the immediate area. A selection of the digital photographs is included within this report for illustrative purposes.
- a drawn record in the form of a floor plan and cross sections (as existing) in order to illustrate the appearance and structure of the building and to support an historical analysis.

- 2.3.3 The purpose of the archaeological building recording was to produce a detailed record of the existing structure prior to conversion.

2.4 REPORTING AND ARCHIVE

- 2.4.1 An archive will be prepared in accordance with the recommendations in *'Archaeological Archives: A Guide to Best Practice in Creation, Compilation, Transfer and Curation'* (Brown 2011). The archive will be deposited with the Leeds City Office of the West Yorkshire Archive Service.
- 2.4.2 A paper and digital copy of the report will be deposited with the West Yorkshire Historic Environment Record (HER) at Wakefield.
- 2.4.3 Wardell Armstrong Archaeology supports the Online Access to Index of Archaeological Investigations (OASIS) project (<http://www.oasis.ac.uk/>). The overall aim of the OASIS project is to provide an online index to archaeological grey literature that has been produced as a result of developer funded fieldwork. Details of this project have been included on the OASIS database under the identifier **wardella2-193847**.

3 HISTORICAL BACKGROUND

- 3.1 The manufacture of woollen cloths and clothing had been a staple industry of Leeds for centuries. Two hundred years ago the city boasted that cloth to the value of £200,000 'was yearly made within'. In the early 20th century the industry in Leeds was noted to produce 'one third of this country's woollen manufactures' (Anon c.1923).
- 3.2 The wholesale clothing (ready-to-wear clothes) industry, which in Leeds was once the largest in the world, was founded in the second half of the 19th century by the enterprise of two men, John Barran and Herman Friend. The idea of producing ready-made clothing was a revolutionary one; clothing could now be obtained 'off the peg' and what had once been purchased to last a lifetime was now being produced cheaply with limited durability. John Barran invented the band-knife for cutting cloth and other significant improvements to the industry, whilst Herman Friend devised methods of breaking down the manufacturing process so that it would be efficiently completed by distinct groups of workers, each undertaking a separate operations (Brears 1992, 145; Mitchell 2000, 98).
- 3.3 John Barran's first factory in Alfred Street was succeeded by others in Park Row in 1867, and then by his Moorish structure, St Paul's House, Park Square, which was designed for him by Thomas Ambler in 1878 (Brears 1992, 145). By 1881, Leeds had 21 wholesale clothiers, many such as John Barran and J Hepworth and Sons (Wellington Street), having impressive warehouses and manufacturing premises. The number of workers in the clothing industry in Leeds by the start of the 20th century had reached 20,000, and 10 years later a quarter of the women workers in Leeds had jobs in the clothing industry (Mitchell 2000, 99).
- 3.4 Arthur and Co. were established in Glasgow in 1878, but quickly expanded to develop new premises in the expanding ready-made clothing industry in Leeds, opening their first English factory on Park Lane in the city in 1882. Between 1882 and 1903, the company developed four factories in the city mainly manufacturing ready-made suits. By the end of the 19th century the company employed approximately 1500 workers, of which 900 were women (Stephen Levrant Heritage Architecture Ltd 2013, 37).
- 3.5 In 1893, Arthur and Co. constructed another factory on Oxford Row, but it was only occupied for a short time. In 1903 the firm constructed an additional factory on Belle Vue Road, but retained its Park Square premises as well as factories in London, Manchester, Newcastle and Glasgow (Honeyman 2000).
- 3.6 The original building control plans for the factory on Belle Vue Road are housed at Leeds Archives. These plans, which are titled 'Plan shewing

- proposed new workshops to be built St Johns Road, Leeds for ‘Messrs Arthur and Co. Ltd’ are dated September 1902 and provide information on the intended form of the new premises. The area of land chosen for the new building had previously been undeveloped, and was shown as an open area of ground immediately north of ‘St John’s Cottage’ (Figure 3). This site may have been chosen due to the fact that it had the advantage of being inexpensive land for development (Stephen Levrant Heritage Architecture Ltd 2013, 37).
- 3.7 The building control plans show that, as proposed, the ‘new workshops’ building for Arthur and Co. Ltd was intended to be a single-storey north-lit shed, with its plan form intended to reflect the plot on which it was to be built, including the angled north-west elevation along Belle Vue Road. Essentially the building consisted of one large open space, divided into eight bays by lines of columns, although separate areas are shown to provide space for lavatories, offices, dining room and cloak room and engine house. The proposed elevation drawings show that there was intended to be a degree of architectural embellishment to the building along the Belle Vue Road frontage (Plates 1-4). In the suburbs of Leeds, where land was cheaper, the clothing factories built during the 20th century were usually single storey; this made the use of lifts unnecessary and enabled the maximum use to be made of natural light. Another example of an early 20th century factory was D Joseph and Sons, Ashton Road, Harehills, which was built c.1920, and also had a typical ‘northern-light’ roof the shallow south facing slope of each parallel gable being covered in slate, while the steeper northern slope was of glass which illuminated the factory floor for the majority of the working hours (Brears 1992, 144).
- 3.8 Trade directory evidence indicates that Arthur and Co. Ltd were certainly in operation at the Belle Vue Road site from at least 1904/05 and continued to operate there throughout the first half of the 20th century (see Table below). When the Belle Vue Road site was constructed in 1903, the company’s Park Square premises were retained, however by 1931 the firm concentrated its activities at Belle Vue Road where it continued until 1959 (Honeyman 2000).
- 3.9 The Ordnance Survey maps dating to 1908 and 1921 show the building labelled as a ‘Clothing Manufactory’ separated from the boundary of the Catholic College to the south-east by an open area of land (Figures 4 and 5). By 1933, however, this open land had been infilled with an apparent extension to the factory (Figure 6).
- 3.10 Arthur and Co. Ltd remained at the Belle Vue Road site until its closure in 1959; this closure ‘represented the first substantial business failure within the Leeds clothing trade’ (Honeyman 2000). Following its closure, the former clothing factory was acquired by the West Yorkshire Police who stripped out some of its internal and external features and adapted it for utilisation as a garage workshop and depot for vehicles (Stephen

Levrant Heritage Architecture Ltd 2013, 37), although the 1970 Ordnance Survey map continues to label the site as a 'Clothing Factory' (Figure 8). The Ordnance Survey map of 1983 labels the site as a 'Police Depot' (Figure 9).

- 3.11 The factory was latterly used as a base for the West Yorkshire Police's local policing teams, comprising the Belle Vue Neighbourhood Policing Team and their Proactive Crime Teams. Planning permission, however, was granted in 2012 to relocate the police activities to a nearby site, leaving the site vacant and awaiting disposal (Stephen Levrant Heritage Architecture Ltd 2013, 37-38).

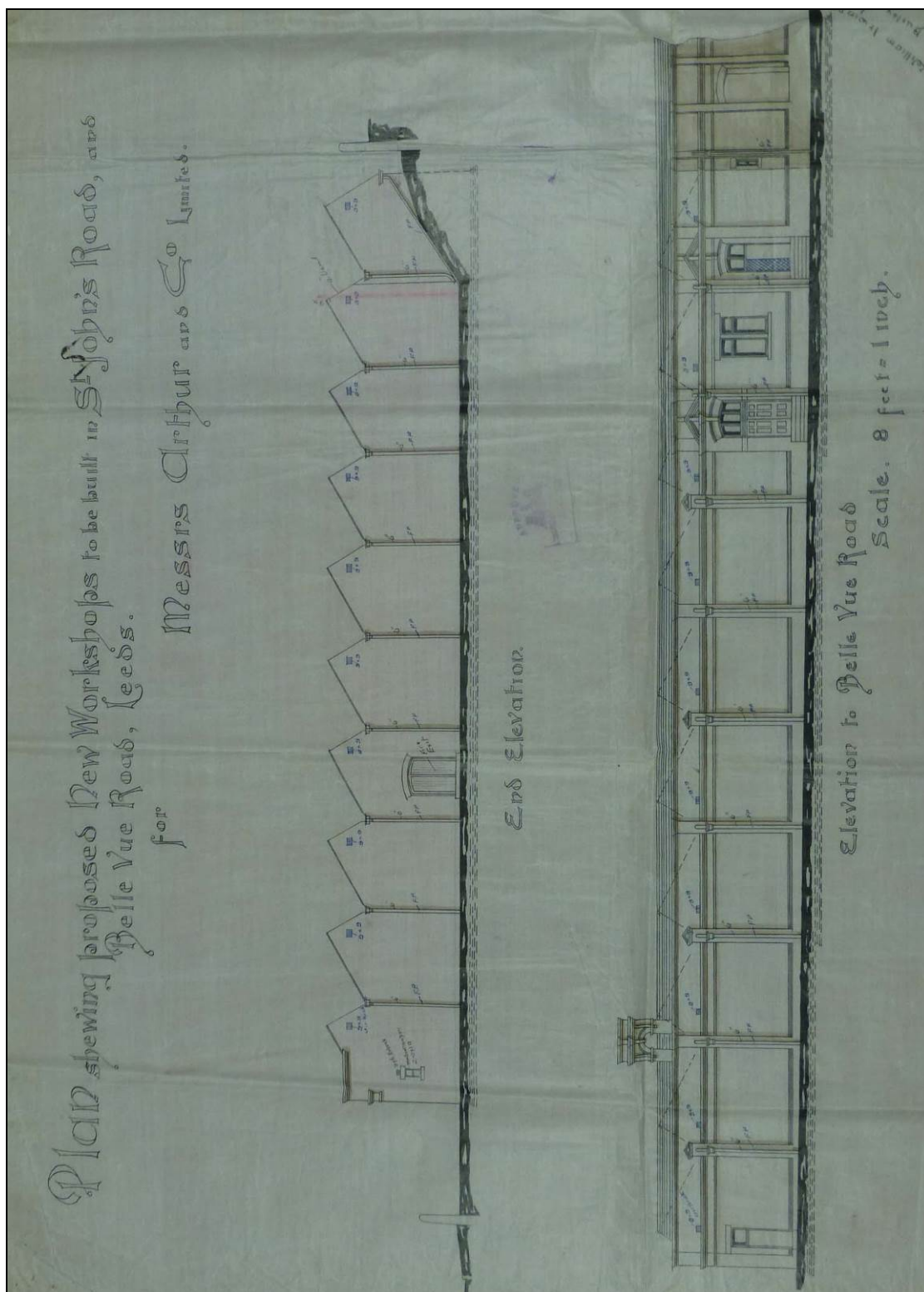


Plate 1: 'Plan shewing proposed New Workshops' for Messrs Arthur and Co. Ltd dated 1902 (Leeds Archives Ref: LC/ENE/BCP no.101)

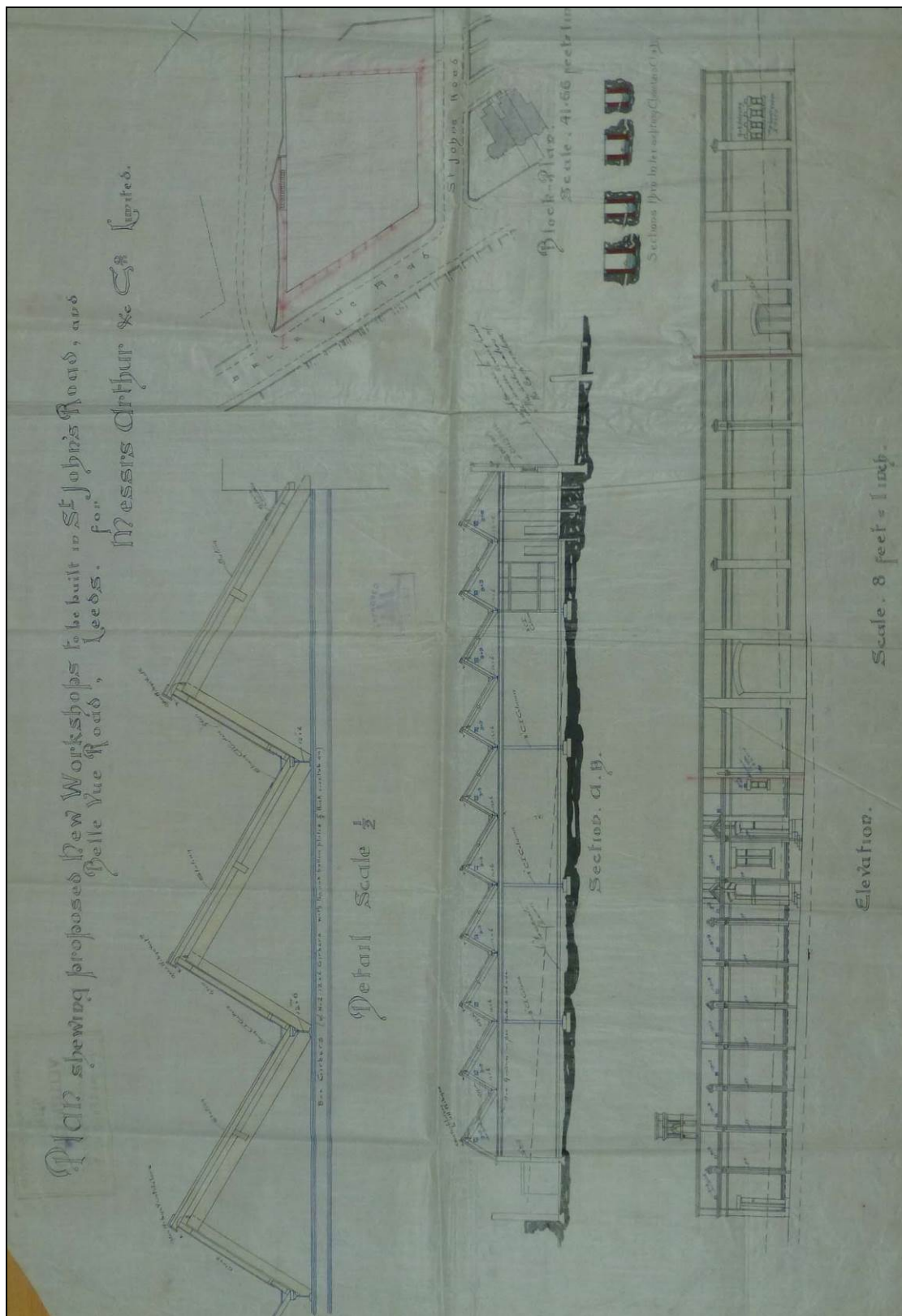


Plate 2: 'Plan shewing proposed New Workshops' for Messrs Arthur and Co. Ltd dated 1902 (Leeds Archives Ref: LC/ENE/BCP no.101)

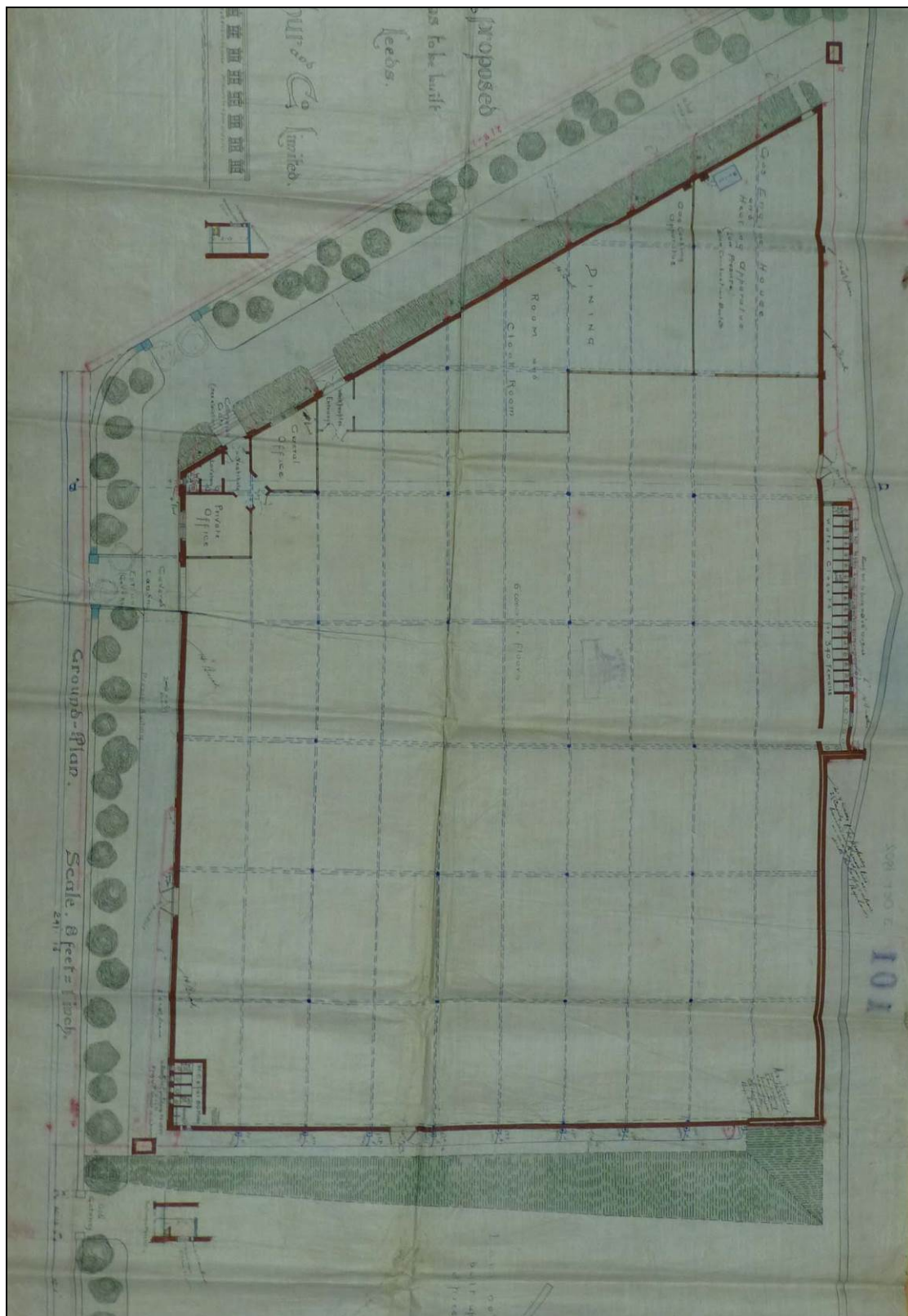


Plate 3: Proposed ground plan for Messrs Arthur and Co. Ltd dated 1902 (Leeds Archives Ref: LC/ENE/BCP no.101)

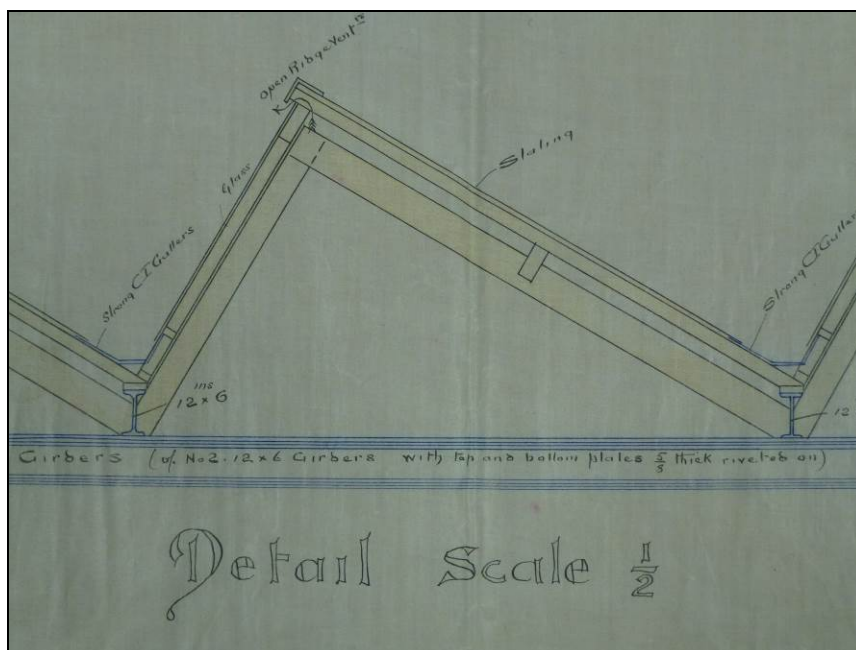


Plate 4: Detail of proposed roof structure dated 1902

Source	Relevant Entry
Robinson's Directory of Leeds 1904/05	Arthur and Co. Ltd, wholesale clothiers (branch factory)
Robinson's Leeds Directory of Leeds 1905	Arthur and Co. Ltd, wholesale clothiers (branch factory)
Robinson's Leeds Directory 1906	Arthur and Co. Ltd, wholesale clothiers (branch factory)
Kelly's Directory of Leeds 1907	Arthur and Co., wholesale clothiers (branch factory)
Kelly's Directory of Leeds 1908	Arthur and Co., wholesale clothiers works, Belle Vue Road
Kelly's Directory of Leeds 1909	Arthur and Co. Ltd, Park Square and Belle Vue Road (listed under clothiers)
Kelly's Directory of Leeds 1911	Arthur and Co. Ltd, wholesale clothiers etc, Park Square and Belle Vue Road; at Glasgow, London, Manchester and Newcastle upon Tyne
Kelly's Directory of Leeds 1921	Arthur and Co. Ltd, wholesale

Source	Relevant Entry
	clothiers etc, Park Square and Belle Vue Road
Kelly's Directory of Leeds 1929	Arthur and Co. Ltd, wholesale clothiers etc, Belle Vue Road
Kelly's Directory of Leeds 1947	Arthur and Co. Ltd, wholesale clothiers (works)
Leeds and Bradford Telephone Directory 1957	Arthur and Co. Ltd, wholesale clothing manufacturers, 181 Belle Vue Road. Tel: Leeds 2-0141
Leeds Area Post Office Telephone Directory 1959	Arthur and Co. Ltd, wholesale clothing manufacturers, 181 Belle Vue Road, Tel: Leeds 2-0141
Leeds Telephone Directory 1961	Arthur and Co. not listed

4 HISTORIC BUILDING SURVEY

4.1 INTRODUCTION

4.1.1 The historic building survey was undertaken on the 22nd October 2014. The survey was concerned with a single-storey building located immediately to the north-west of the former St Michael's College (Figure 2). At the time of survey, the building was no longer in use and there had been some water ingress as a result of vandalism. Access was not possible to the rear elevation (north-east) and photography around the main elevations facing onto Belle Vue Road and St Johns Road was partly restricted due to the land being utilised as car parking.

4.2 EXTERIOR

4.2.1 The main elevations of the single-storey building face onto Belle Vue Road and St Johns Road. There is an area of land around these elevations, so the building is set back from the streets; this land contains some mature trees which may be survivals of the original planting shown on the proposed floor plan reproduced above as Plate 3. The roof structure could not be observed from ground level as a parapet wall around the north-west and south-west elevations obscures the parallel lines of the north-lit roof, however it was possible to observe from Belle Vue Road that the north-west ends of the north-lights are hipped presumably due to the angle of this elevation, and possibly to reduce the visibility of the roof structure from the road (Plate 9).

4.2.2 The building is constructed of machine-manufactured brick laid in Flemish Stretcher bond consisting of five courses of stretchers (long edge of the brick) to one course of alternate stretchers and headers (the end of the brick). The dressings of the windows and doorways are constructed largely constructed of brick, however where new openings have been inserted, sandstone has been utilised for lintels. Architectural detailing is provided by a horizontal band of dog-tooth style brick tiles above which is a projecting string course that is also constructed of brickwork. The main elevations are divided into panels by vertical 'columns' surmounted by square capitals which are located in line with the detailing of the parapet, or by triangular stone detailing (Plates 10 and 11). These 'columns' appear to relate to the valleys between the lines of the north-lit roof structure as each rainwater pipe associated within it.

4.2.3 The north-west elevation facing onto Belle Vue Road has two original doorways at its southern end, both with architectural detailing in the form of triangular pediments and arched heads (Plates 12-14). Both of these doorways are accessed up stone steps indicating that the internal

- floor level is above the external ground level. The original floor plan for the building indicates that these doorways provided access for the workers (one is labelled 'workpeoples entrance') whilst the other provided access to two offices (General Office and Private Office) (see Plate 3).
- 4.2.4 The remainder of the windows and doorways in the north-west elevation appear to have been inserted later, possibly as a result of the occupancy of the building by the Police, as each opening displays disturbance in the brickwork surrounding it (Plates 15 and 16 and Figure 10). The four doorways at the north end of this elevation all have concrete steps rather than stone. One of the doorways provides access to an electricity substation which appears to have been inserted in the location of an earlier (but not necessarily original) opening as shown by the redundant lintel above (Plate 17).
- 4.2.5 The original floor plan (which may not necessarily reflect what was actually built) shows a further doorway at the north end of the north-west elevation which provides access to the 'Gas Engine Room and Heating Apparatus' (Plate 3). This doorway may have been included when the building was constructed as there is presently a window in this location but it appears to have previously been a doorway as shown by the vertical breaks in the brickwork below (Plate 18).
- 4.2.6 At the corner of the north-west and south-west elevations there are two chimneys which have the same architectural detailing as the main elevations, indicating that they are original (Plates 6 and 19). When considered in relation to the original floor plan, these chimneys appear to have related to fireplaces or flues for heaters located in the 'General Office' and the 'Private Office' (see Plate 3).
- 4.2.7 The south-west elevation faces onto St Johns Road (Plate 8); this elevation is partly obscured by a relatively modern brick canopy which also contains the same recessed panelling present in the original building (Plates 20 and 21).
- 4.2.8 At the east end of the south-west elevation there is an addition to the original building as shown by the utilisation of different coloured brickwork and the inclusion of stonework for architectural detailing (Plate 23). This addition has a stone pediment which is reminiscent of Art Deco styling, and a consultation of Ordnance Survey maps of 1921 and 1933 indicates that this addition was constructed during this period (Figures 5 and 6). The addition is constructed of English Garden Wall bond (five courses of stretchers to one course of headers) and has three large windows each with a masonry keystone (Plates 22 and 24). A stone string course is present below these windows, and another string course defines the top of a plinth which runs along its length. It appears that originally there were two large openings to the west of these windows

- which have been subsequently infilled with stretcher bond and smaller windows inserted (Plate 23).
- 4.2.9 The construction break between the original c.1903 factory and the c.1930 addition is evidenced by the vertical break between the two and the difference in height, with the later addition being slightly lower. There is a clear difference in the architectural detailing, as shown by the use of square stone quoins and moulded cornice (Plates 25 and 26).
- 4.2.10 As with the north-west elevation, the south-west elevation also has a number of inserted openings which are not original to the factory. The five small windows located at its eastern end appear, however, to be original as the building control plan shows WC's internally at this location (see Plate 3). To the west of these windows there is an inserted large doorway with shutter and a pedestrian doorway immediately its left-hand side; both of these doorways have disturbed brickwork around the openings suggesting they were inserted at a later date, presumably when the site became a police depot (Plate 27 and Figure 10).
- 4.2.11 To the west of the large canopy there are a further two inserted openings, a large doorway for vehicular access with a pedestrian doorway to its left-hand side (Plate 28); these also appear to have been created when the building changed use to a police depot.
- 4.2.12 At the western end of this elevation there are two large windows each with two timber frames separated by a plain square stone mullion (Plates 29 and 30). Both of these windows appear to be original, however the eastern example has clear evidence for disturbance in the brickwork surrounding it suggesting it was formerly a larger aperture (Plate 30). The original plans for the building show a large doorway at this location, however it must be noted that the plans do not necessarily reflect what was actually constructed (see Plates 1-3).



Plate 5: North-west elevation onto Belle Vue Road



Plate 6: View looking north-west up Belle Vue Road



Plate 7: View looking north-east showing the building on the junction of Belle Vue Road and St Johns Road



Plate 8: South-west elevation facing onto St Johns Road



Plate 9: Detail of roof structure, north end of north-west elevation



Plate 10: South-west elevation showing architectural detailing



Plate 11: North-west elevation showing architectural detailing in the form of horizontal banding and vertical columns



Plate 12: Detail of original doorway, north-west elevation (facing onto Belle Vue Road)



Plate 13: Southernmost original doorway, north-west elevation



Plate 14: Detail of brick pediment over original doorway, north-west elevation



Plate 15: *Detail of inserted door and windows, north-west elevation
(Scale = 2m)*



Plate 16: *Inserted doorway, north end of the north-west elevation*



Plate 17: Detail of inserted electricity substation door, north-west elevation



Plate 18: North end of north-west elevation showing possible former doorway converted to a window (Scale = 2m)



Plate 19: Detail of the two chimneys, corner of north-west and south-west elevations



Plate 20: View looking east along St Johns Road from Belle Vue Road showing the south-west elevation



Plate 21: South-west elevation facing onto St Johns Road



Plate 22: Eastern end of the south-west elevation showing separate construction phase



Plate 23: South-west elevation, c.1930 addition, showing the shadow of the company name 'ARTHUR AND COMPLY LTD'



Plate 24: Detail of windows, south-west elevation of addition (Scale = 2m)



Plate 25: South-west elevation showing the difference between the original factory (left of photograph) and the c.1930 addition (right of photograph)



Plate 26: Construction break between original factory (left) and c.1930 addition (right), south-west elevation



Plate 27: South-west elevation of original factory showing inserted doorways (Scale = 2m)

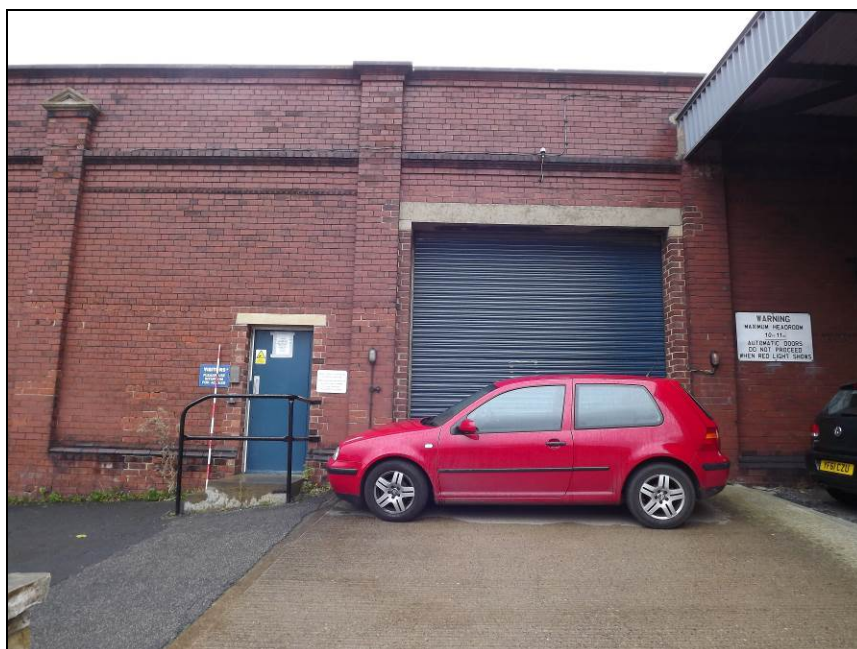


Plate 28: South-west elevation, west end, showing inserted doorways



Plate 29: West end of south-west elevation



Plate 30: West end of south-west elevation showing two large windows

4.3 INTERIOR

- 4.3.1 At the time of survey the access point into the building was through the inserted pedestrian doorway in the south-west elevation (see Figure 10). This doorway provides access into a large square space (the majority of the former factory floor) which is open to the roof and has a concrete floor (Plates 31 and 32).
- 4.3.2 The roof structure is of the north-light form ('saw tooth'), supported by round iron columns and horizontal I-beams (Figures 11 and 12). The north-east facing side of the roof is glazed, whilst the south-west facing side is boarded underneath, but covered in slate externally. The angles of the roof are further supported by machine-cut timber rafters (Plates 33 and 34). The round columns are regularly-spaced within this area, creating four bays from north-east to south-west, and five bays from north-west to south-east (Figures 10 and 11).
- 4.3.3 There was no evidence noted in this part of the building for manufacturers/suppliers marks on any of the steelwork, although such evidence was noted in the c.1930 addition as will be referred to below (see 4.3.10). The upper parts of the round columns were noted to retain small electric fittings presumably related to the use of electricity for the sewing machines (Plate 35).
- 4.3.4 The south-west, north-west and south-east walls of the former main factory floor are constructed of brick and contain various windows and doorways, some of which have been inserted since the construction of the building. The south-east wall, which would have been the original external wall prior to the construction of the c.1930 addition, has one original doorway with arched head which has been infilled (Plate 36); the remainder of the openings in this wall are later (see Figure 10). The south-west wall also contains a line of columns, incorporated within the brickwork (Plate 37).
- 4.3.5 The north-west wall of the main former factory floor also has the columns incorporated into the brickwork, however it is possible that this wall may have been inserted at a later date (possibly when the police took over the building) to separate the main former factory floor from a series of offices to its north-west side (Plate 38). This wall is constructed of stretcher bond and includes two windows and a doorway at its south end, with a double doorway at its north end (Plates 39 and 40). It was noted that both of these doorways were accessed up one step, indicating that the floor level to the north-west side of this wall was higher than the remainder of the building.
- 4.3.6 The north-east wall of the main former factory floor consists of a stud wall, which created a gym, and wooden sliding doors, with a room defined by concrete block walls at its south-east end, all possibly associated with the use of the building as a depot by the police (Plate 41 and Figure 10). The sliding doors create a defined area against the north-

- east side of the building that appear to have been used for the assessment of vehicles (Plates 42 and 43).
- 4.3.7 In the south-east corner of the main former factory floor there is an area which is defined by a square brick wall with the addition of an area defined by a concrete blockwork wall (Plate 44 and Figure 10). The original plans show four men's toilets in this location, annotated as being for '60 men' (see Plate 3). There appears to have been some modification to these toilets since they were first constructed. The blockwork addition was seemingly created to provide further WC's, with access being created from the 1930s extension to the south-east (Figure 10).
- 4.3.8 To the south-east side of the main former factory floor is the extension to the factory, added in c.1930 as shown from cartographic evidence (compare Figures 5 and 6). The vertical break between the original building and the c.1930 addition has already been noted externally (see Plates 25 and 26).
- 4.3.9 This addition has a single line of columns running down the middle (orientated north-east to south-west) consisting of three round columns and one vertical I-beam, all of which are not on the same north-west to south-east alignment as those in the original building (Plates 45 and 46 and Figure 10). The form of the round columns within the part of the building is not the same as those in the original, a further indication that the two parts of the structure are not contemporary.
- 4.3.10 The roof structure in the c.1930 addition, although of the same north-light profile, is also slightly different with the north lights being supported by steelwork rather than timber rafters (Plate 47). It was noted that some of the horizontal I-beams of the roof structure had the maker's name 'Frodingham Iron and Steel Co Ltd, England' (Plate 48). Frodingham Iron and Steel Co Ltd was established in 1865 in Scunthorpe, Lincolnshire. The company became limited in 1904, and in 1914 was described as 'iron and steel manufacturers' (Graces Guide 2014). It was also noted that some of the structural steelwork had the 'British Steel' stamp; as British Steel was not formed until 1967 (Tata Steel Europe 2014) it is clear that some of the roof structure has been replaced or modified.
- 4.3.11 At the south-west end of the c.1930 addition there are a series of small rooms which have been created by the insertion of concrete blockwork walls, presumably utilised as offices, which are not contemporary with the c.1930 building (Figure 10). At the north-east end of this addition, however, there is a small square room, constructed of the same brickwork as the main walls, which does appear to be contemporary (Plate 49). This room has a large metal door in its south-west elevation, which internally has the manufacturer/maker's details of 'Chatwood Safes and Locks' and the apparent brand name of 'Invincible' (Plate 50).

Chatwood's were based near Shrewsbury, and in the 1920s the company began developing safe and strong room development (Chatwood Milner 2014). It would appear that this small room formed part of the construction of the c.1930 addition, and served as a strong room for the factory.

- 4.3.12 The north-west wall of the c.1930 addition was formerly the external wall of the original building. This is evidenced by the vertical construction break already noted externally on the south-west elevation, but also by the presence of rain water hoppers and down pipes along this now internal wall (Plates 51 and 52). The original hoppers were positioned at the base of each gully between the north lights, however when the c.1930 addition was constructed the north lights, and their gully's, do not appear to have aligned with the earlier building. It appears that all the downpipes along this elevation may have been inserted when the extension was added to carry away rainwater from the original and later roof gullies. Each of the downpipes has an apparent access hatch near the base, presumably to allow for them to be cleaned out if blocked (Plate 53). This wall also contains the one original doorway already observed from the main former factory floor (Plate 54).
- 4.3.13 The north-western side of the former Police Depot has been divided into numerous offices and rooms by the insertion of stud walls (Figure 10). Some original features appear to survive in this part of the building but originally it appears that much of this area formed part of the factory floor, as shown on the building control plan (see Plate 3).
- 4.3.14 The locations of the round columns which extend across the width of the building have been incorporated into some of the modern partition walls, for example in room G12 (Plate 54); where identified the locations of those columns are shown on Figure 10.
- 4.3.15 In the western corner of the building (between rooms G04 and G07) there is an apparent original WC defined by brick walls. In the northern corner of the building there are further internal brick walls which relate to a Boiler Room (Figure 10 and Plate 55). Immediately to the south of the Boiler Room there is an electricity sub-station, although there was no access possible to this at the time of survey. To its south-east side, however, room G30 has a substantial sliding metal door and concrete ceiling; this appears to have been used as a room for electrical switchgear, with the metal door and concrete ceiling possibly forming part of fire prevention measures (Plate 56 and Figure 10).
- 4.3.16 The only other features of note were the two original doorways in the north-west wall (either side of room G07 on Figure 10) (Plates 57 and 58).



Plate 31: View looking east showing the interior of the main former factory floor

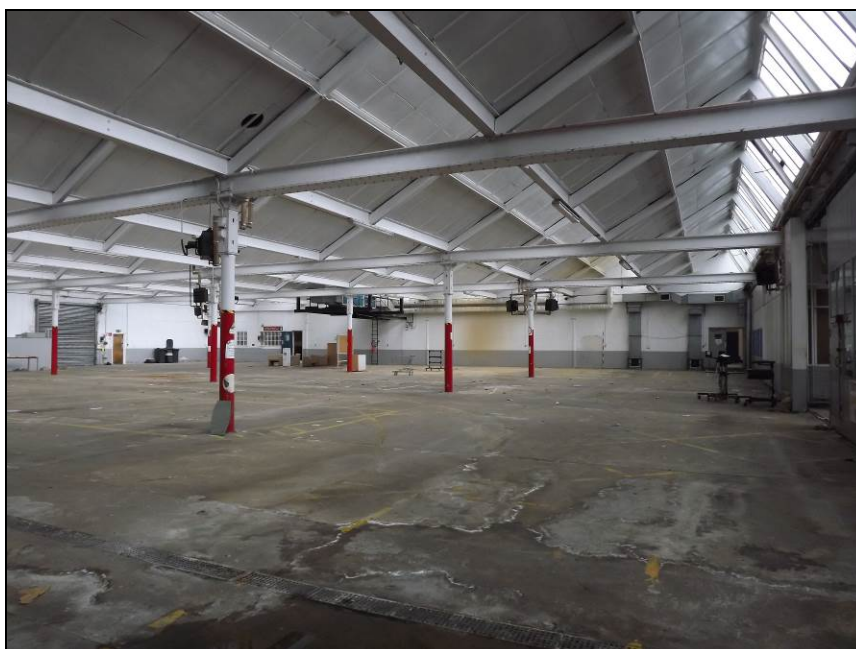


Plate 32: View looking west showing the main former factory floor



Plate 33: View looking north-west showing the round columns and I-beams of the roof structure, main former factory floor



Plate 34: Detail of one of the north-lights, main former factory floor



Plate 35: Detail of top of column showing joints between I-beams and electric fittings



Plate 36: Original doorway in south-east wall of main former factory floor (Scale = 2m)



Plate 37: South-east wall of main former factory floor showing inserted doorways and incorporated columns

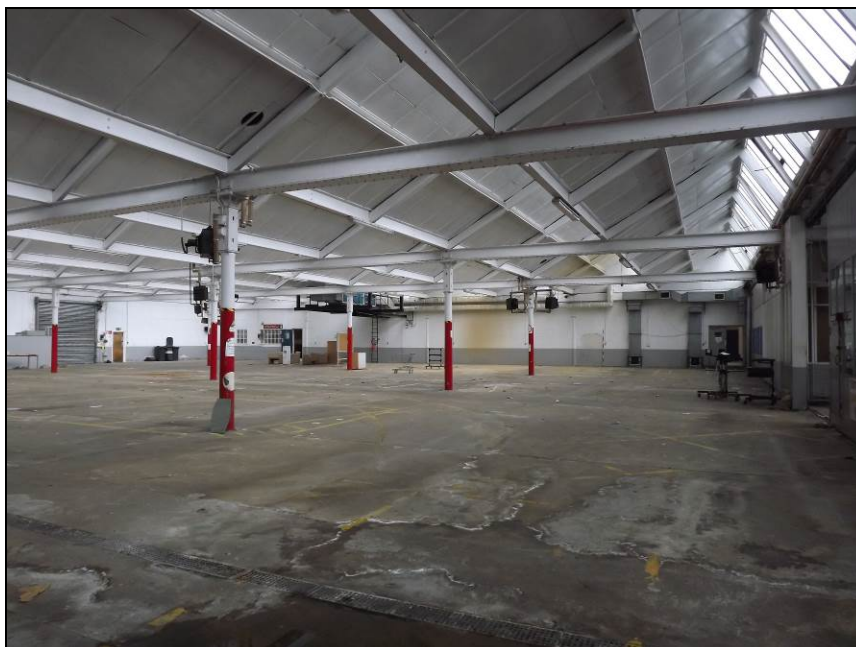


Plate 38: View looking north-west showing the possible inserted brick wall between the main former factory floor and the offices



Plate 39: North-west wall (south end) of main former factory floor showing the possible inserted wall, window and doorway



Plate 40: Double doorway at north end of the north-west wall of main former factory floor with column incorporated into the wall (Scale = 2m)



Plate 41: North-east wall of main former factory floor showing inserted sliding doors and stud walls



Plate 42: Detail of inserted sliding doors, north-east wall of main former factory floor



Plate 43: Northern side of sliding doors, located in the north-east wall of the main former factory floor (Scale = 2m)



Plate 44: South-east corner of main former factory floor showing block and brick room (WC's) to right of photograph



Plate 45: View looking south-west showing the interior of the c.1930 addition



Plate 46: Detail of one of the round columns in the c.1930 addition
(Scale = 2m)



Plate 47: Detail of roof structure, c.1930 addition



Plate 48: Detail of steel maker's mark 'Frodingham Iron and Steel Co Ltd', roof structure in c.1930 addition



Plate 49: Small room at north-east end of c.1930 addition, possibly a former strong room (Scale = 2m)



Plate 50: Manufacturer's details, internal side of strong room door, c.1930 addition



Plate 51: North-west wall of the c.1930 addition



Plate 51: Detail of rainwater hopper and downpipe, north-west wall of c.1930 addition



Plate 52: Detail of rainwater hopper, north-west wall of c.1930 addition



Plate 53: Detail of possible access hatch, downpipe on north-west wall of north-west of c.1930 addition



Plate 54: Room G12 showing column incorporated into an office partition
(Scale = 2m)



Plate 54: Original doorway (now infilled), north-west wall of c.1930
addition



Plate 55: Boiler Room in northern corner of building



Plate 56: Room G30 (Electrical Switchgear)



Plate 57: Original doorway, north-west elevation



Plate 58: Original doorway, north-west elevation (Scale = 2m)

5 CONCLUSION

- 5.1 A rapid-desk based assessment undertaken in advance of the historic building survey of the Former Police Depot has indicated that the structure was constructed in 1903 by Arthur and Co, wholesale clothiers, on a previously undeveloped land, to complement their premises on Park Lane. The original building control plans survive at West Yorkshire Archives to show that the factory was intended as a single-storey structure with north-light roof, and a degree of architectural embellishment.
- 5.2 Arthur and Co. continued to occupy the site throughout the early 20th century, and by c.1930 an addition had been made to the original building, possibly reflecting the concentration of the company's activities at the Belle Vue Road site as compared to Park Lane. The company occupied the Belle Vue Road site until 1959.
- 5.3 Following the closure of the clothing factory the premises were taken over by the West Yorkshire Police who stripped out some of its internal and external features and adapted it for use as a garage workshop and depot.
- 5.4 The historic building survey has revealed that the former Police Depot building was originally constructed as a single-storey brick-built structure with north-light roof and a degree of architectural embellishment along the Belle Vue Road frontage. The original doorways were noted in the north-west elevation, but there was a limited amount of original fenestration presumably due to the fact that the north-light roof provided enough natural light. The external elevations displayed evidence for several pedestrian and vehicular doorways having been inserted presumably as a consequence of the building being utilised as a police depot.
- 5.5 The existing elevations contain evidence for two construction phases, the main 1903 factory building and the c.1930 addition to the south-east, which although also of single-storey height and with north-light roof, contains different architectural detailing characteristic of the period in which it was constructed.
- 5.6 Internally, the building retains its original roof structure including the supporting columns and I-beams. The north-west side of the building has been adapted to create numerous offices as part of the occupancy of the site by the police, however the locations of the original columns was still apparent. Some of the original internal brick walls appear to have survived, most of which relate to the walls shown on the original building control plans.
- 5.7 The former Police Depot is an example of an early 20th century purpose-built factory, constructed to manufacture ready-to-wear clothing. The

building consisted essentially of a large open space for the accommodation of sewing machines and machinery, with a limited amount of internal divisions apart from those relating to toilets for the workers, offices, boiler room and dining room. The limited amount of internal divisions allowed the building to be easily adapted following the closure of the clothing factory for use by the police.

6 BIBLIOGRAPHY

- Anon, c.1923, *Leeds and its Manufactures* [copy housed at Leeds Central Library]
- Brears, P, 1992, *Images of Leeds 1850-1960*, Derby: Breedon Books
- Brown, D, 2011, *Archaeological Archives: A Guide to Best Practice in Creation, Compilation, Transfer and Curation*, Archaeological Archives Forum
- English Heritage, 2006, *Understanding Historic Buildings: A Guide to Good Recording Practice*, Swindon
- Honeyman, K, 2000, *Well Suited: A History of the Leeds Clothing Industry 1820-1990*, Oxford University Press
- IfA, 2008, *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*, Institute for Archaeologists: Reading
- Mitchell, W.R, 2000, *A History of Leeds*, Chichester: Phillimore
- Stephen Levrant Heritage Architecture Ltd, 2013, *Heritage Statement - Significance and Development Impact: St Michael's College, St John's Road and Former Police Depot, Belle Vue Road, Little Woodhouse, Leeds*, Unpublished Report
- Wooler, F, 2014, *Written Scheme of Investigation for an Historic Building Photographic Survey at Belle Vue Road/St Johns Road, Leeds*, Unpublished Report

Maps

- First Edition Ordnance Survey Map 1893, 25" to 1 mile scale, Yorkshire Sheet 218.1*
- Ordnance Survey Map 1908, 25" to 1 mile scale, Yorkshire Sheet 218.1*
- Ordnance Survey Map 1921, 25" to 1 mile scale, Yorkshire Sheet 218.1*
- Ordnance Survey Map 1933, 25" to 1 mile scale, Yorkshire Sheet 218.1*
- Ordnance Survey Map 1955, 1:1250 scale, Plan SE 2834SE*
- Ordnance Survey Map 1970, 1:1250 scale, Plan SE 2834SE*
- Ordnance Survey Map 1983, 1:1250 scale, Plan SE 2834SE*

Websites

Chatwood Milner:

http://www.madeinshrewsbury.co.uk/companies/chatwood_milner - Accessed 06/11/2014

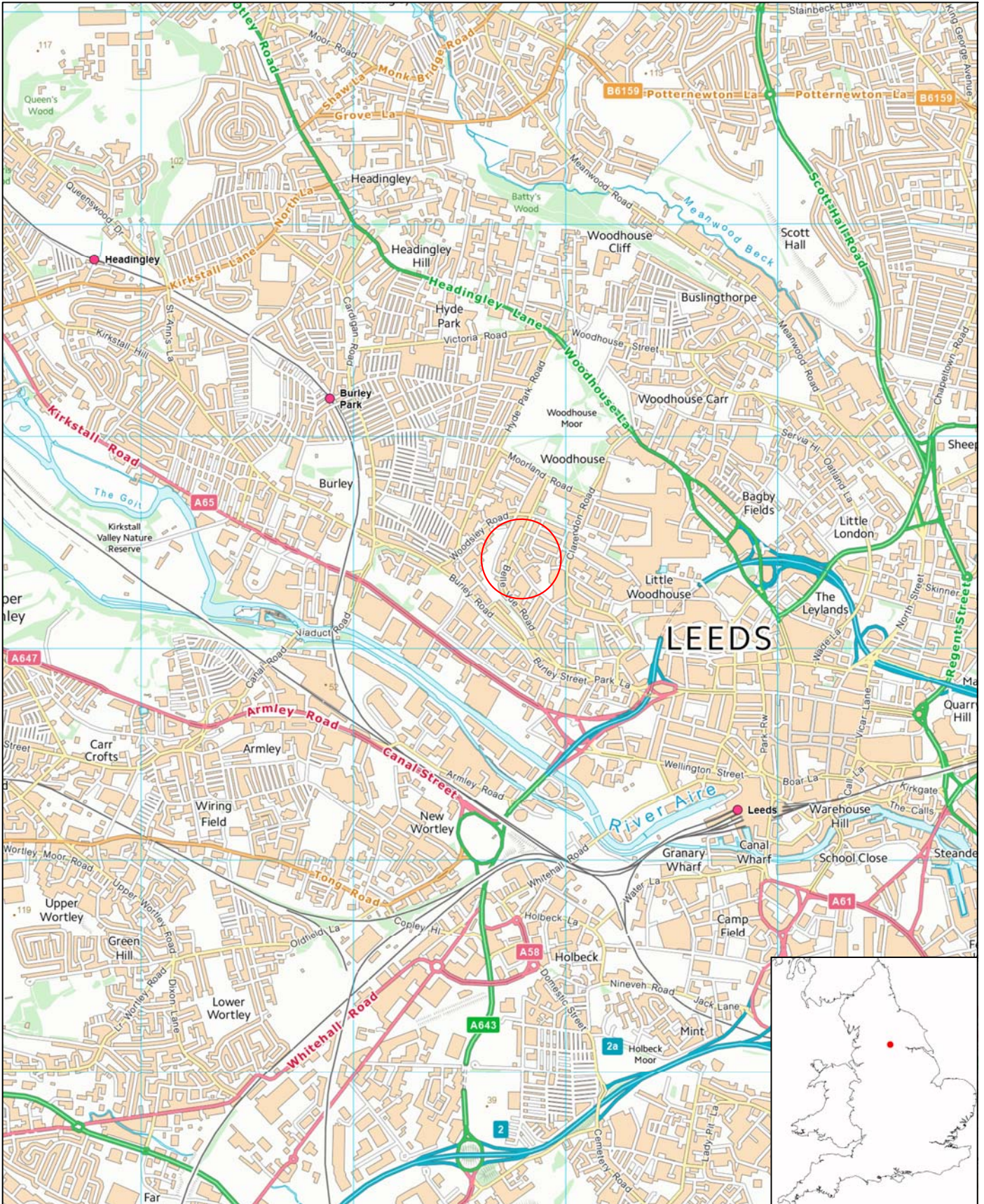
Graces Guide: http://www.gracesguide.co.uk/Frodingham_Iron_and_Steel_Co - Accessed 06/11/2014

Tata Steel Europe:

http://www.tatasteeleurope.com/file_source/StaticFiles/Corporate/History_BS.pdf -

Accessed 06/11/2014

APPENDIX: FIGURES






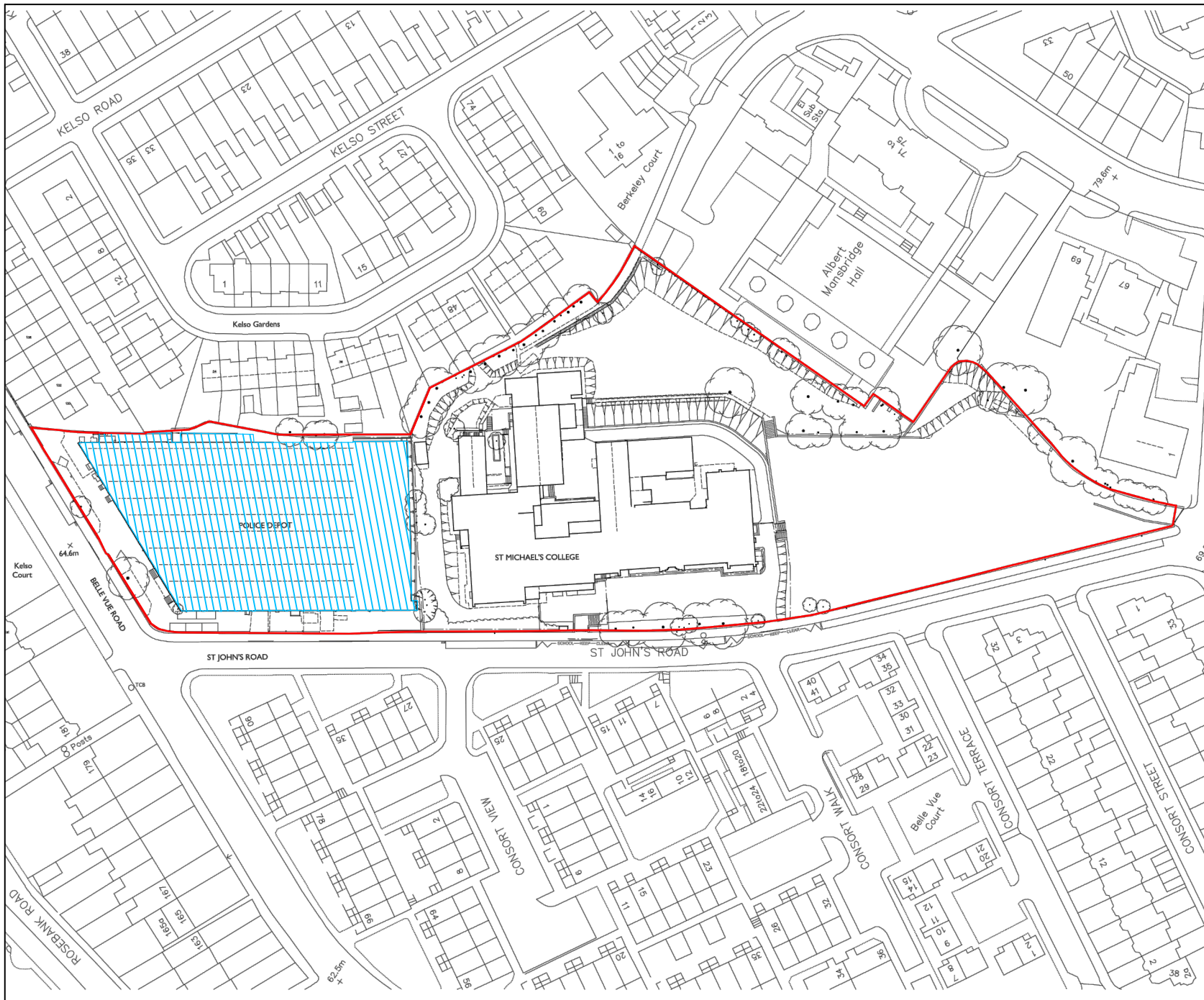
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: 1:25,000 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 1</p>	<p>KEY:</p> <p> Site location</p>	 <p>Reproduced by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. © Crown copyright. All rights reserved. Licence number 100019512</p>
---------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Figure 1: Site location.



Wardell Armstrong
Archaeology
2014

PROJECT:
**Former Police Depot,
Belle Vue Road, Leeds,
West Yorkshire**



CLIENT:
Watkin Jones


SCALE: 1:1,500 at A4

DRAWN BY: AB

DATE: November 2014

KEY:

-  Site boundary
-  Former police depot



Reproduced by permission of Ordnance Survey
on behalf of The Controller of Her Majesty's
Stationary Office. © Crown copyright.
All rights reserved. Licence number 100019512

REPORT No:
CS00051

FIGURE:
2

Figure 2: Detailed site location.







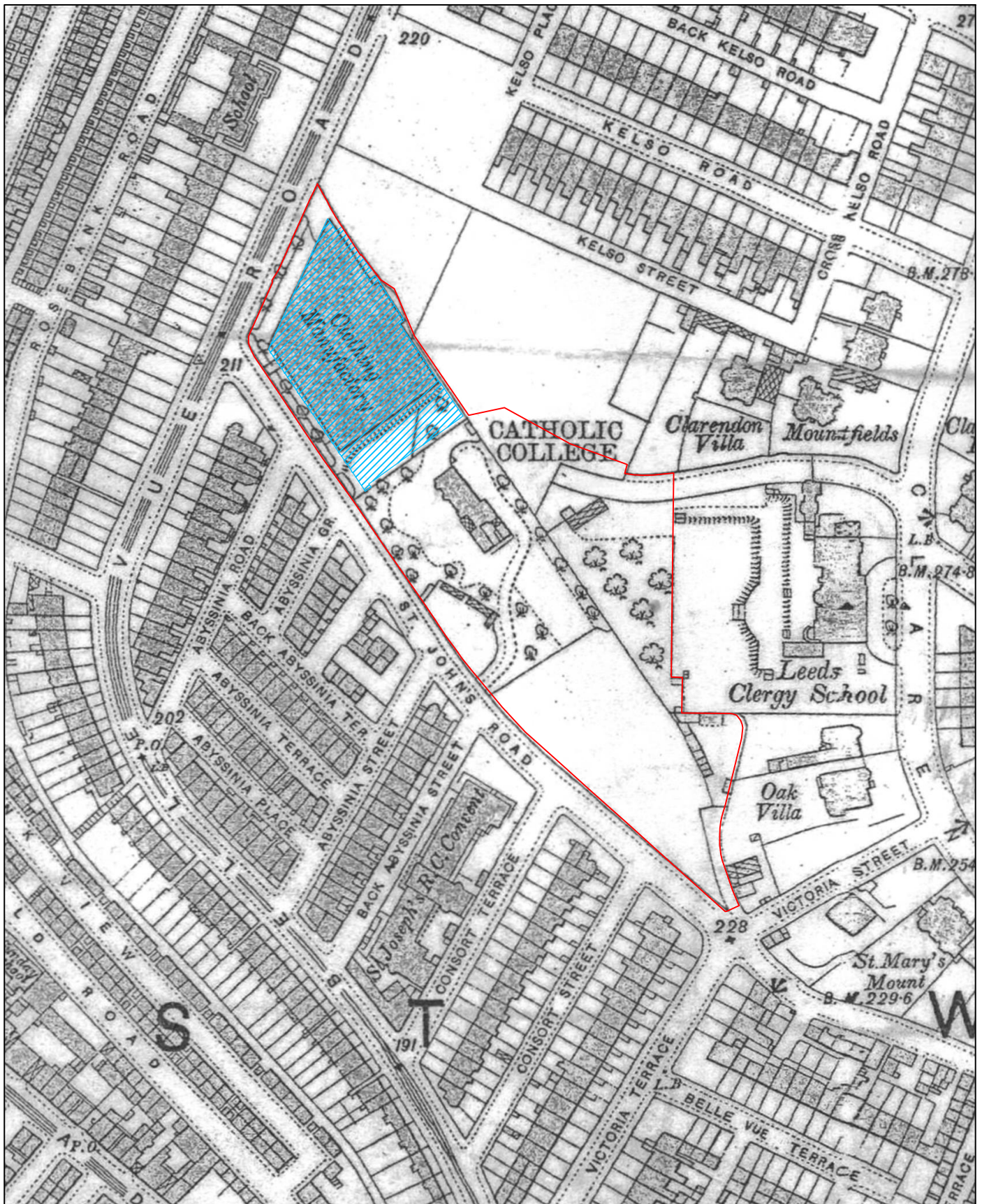
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: c.1:2,000 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 3</p>	<p>KEY:</p>  <p>Site boundary</p>  <p>Former police depot</p>	
---------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

Figure 3: First Edition Ordnance Survey Map, 1893 (25" to 1 mile scale).







 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: c.1:2,000 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 4</p>	<p>KEY:</p>  <p>Site boundary</p>  <p>Former police depot</p>	
---------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

Figure 4: Ordnance Survey Map, 1908 (25" to 1 mile scale).







 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: c.1:2,000 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 5</p>	<p>KEY:</p>  <p>Site boundary</p>  <p>Former police depot</p>	
---------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

Figure 5: Ordnance Survey Map, 1921 (25" to 1 mile scale).







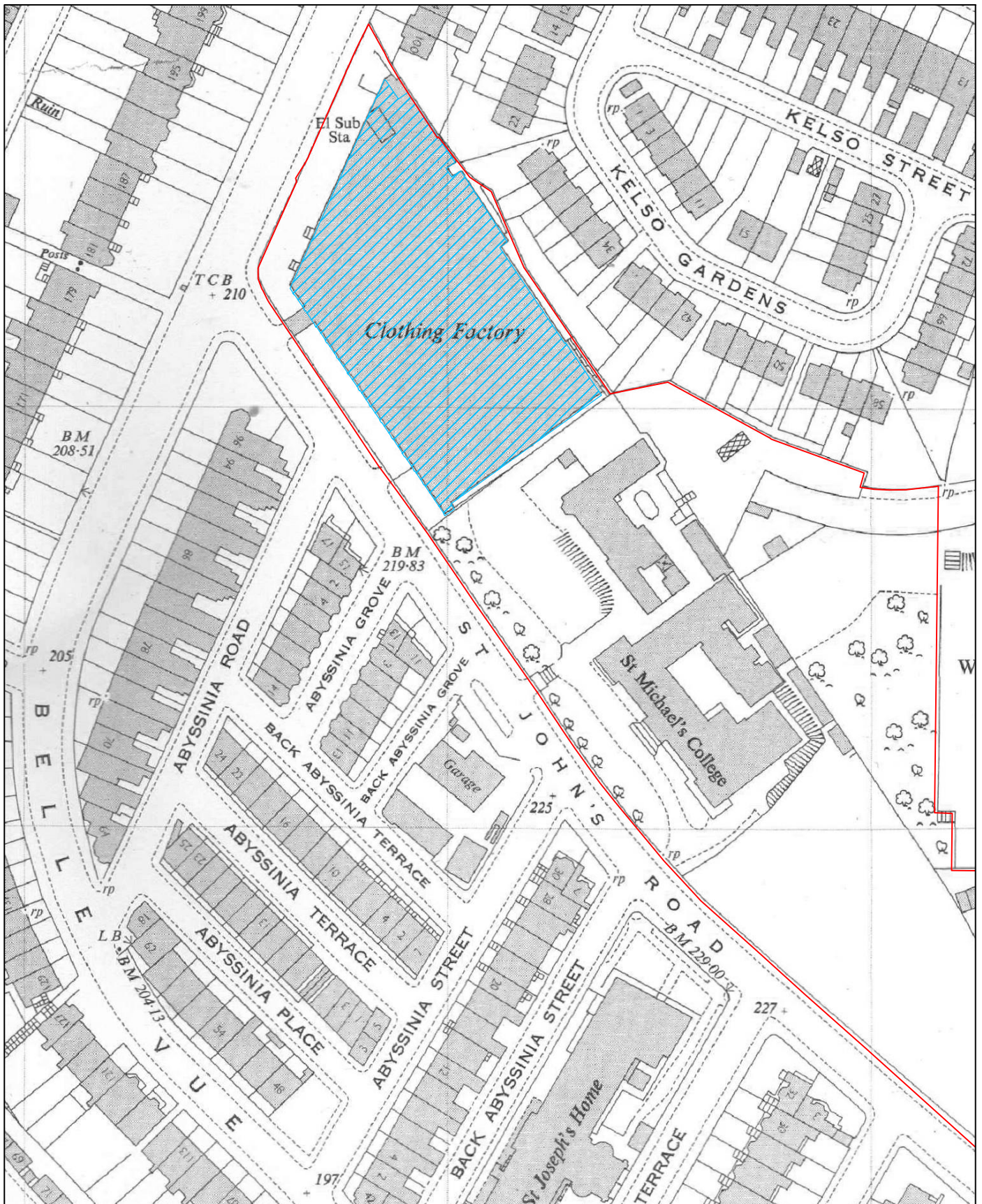
 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: c.1:2,000 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 6</p>	<p>KEY:</p>  <p>Site boundary</p>  <p>Former police depot</p>	
---------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

Figure 6: Ordnance Survey Map, 1933 (25" to 1 mile scale).







 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: 1:1,250 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 7</p>	<p>KEY:</p>  Site boundary  Former police depot	
---------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------

Figure 7: Ordnance Survey Map, 1955 (1:1,250 scale).







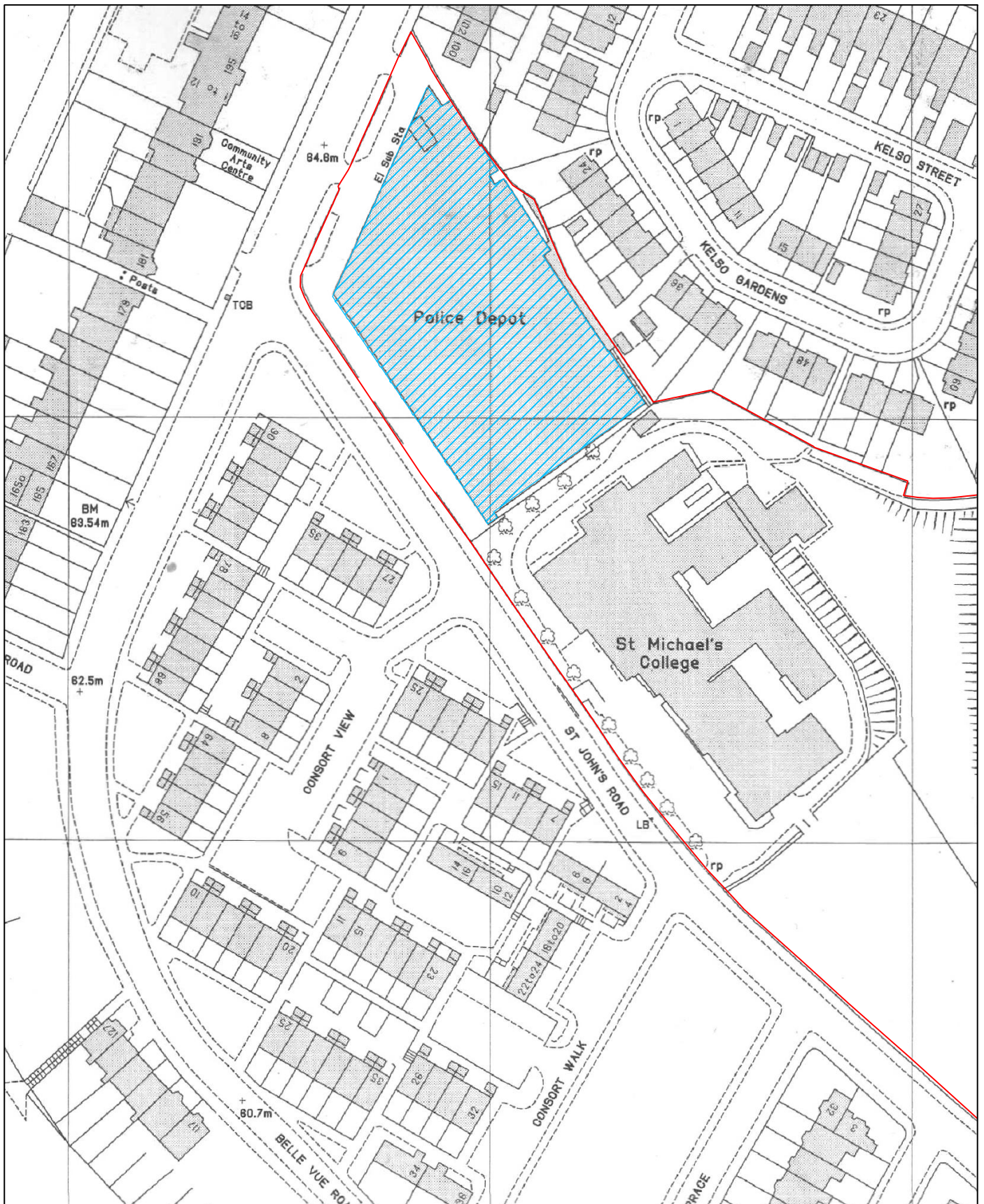


 <p>Wardell Armstrong Archaeology 2014</p>	<p>PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire</p> <p>SCALE: 1:1,250 at A4</p> <p>REPORT No: CS00051</p> <p>CLIENT: Watkin Jones</p> <p>DRAWN BY: AB</p> <p>DATE: November 2014</p> <p>FIGURE: 8</p>	<p>KEY:</p>  Site boundary  Former police depot	 <p>Reproduced by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. © Crown copyright. All rights reserved. Licence number 100019512</p>
---------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Figure 8: Ordnance Survey Map, 1970 (1:1,250 scale).



Wardell Armstrong
Archaeology
2014

PROJECT: Former Police Depot, Belle Vue Road, Leeds, West Yorkshire
 SCALE: 1:1,250 at A4
 REPORT No: CS00051
 CLIENT: Watkin Jones
 DRAWN BY: AB
 DATE: November 2014
 FIGURE: 9

KEY:
 Site boundary
 Former police depot



Reproduced by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. © Crown copyright. All rights reserved. Licence number 100019512

Figure 9: Ordnance Survey Map, 1983 (1:1,250 scale).

PROJECT:
**Former Police Depot,
Belle Vue Road, Leeds,
West Yorkshire**





CLIENT:
Watkin Jones

SCALE: 1:300 at A3

DRAWN BY: AB

DATE: November 2014

KEY:

-  Brick walls
-  Stud walls
-  Blockwork
-  Column
- G10 Room numbers assigned by police



REPORT No:
CS00051

FIGURE:
10

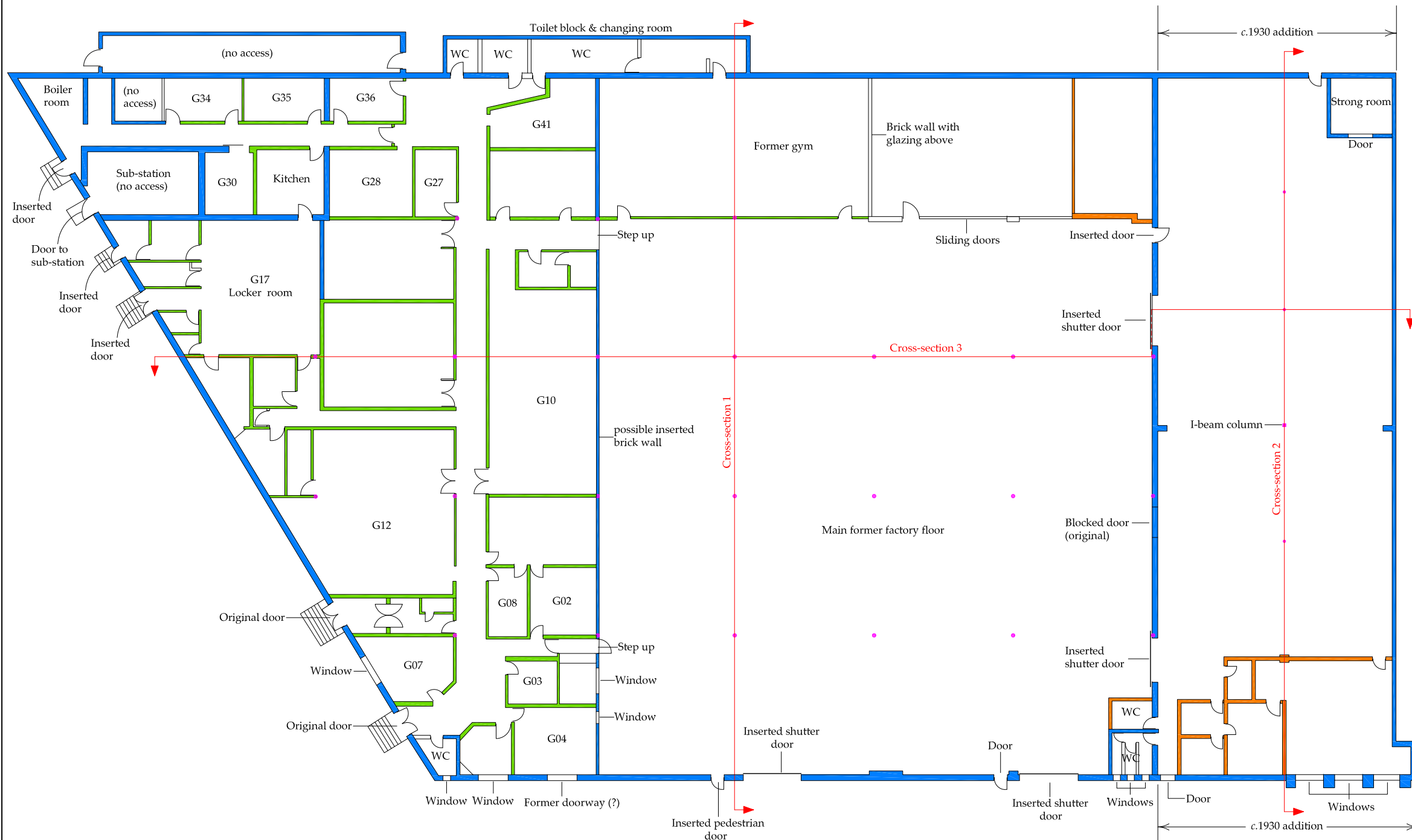


Figure 10: Existing floor plan.

PROJECT:

Former Police Depot,
Belle Vue Road, Leeds,
West Yorkshire

CLIENT:

Watkin Jones

SCALE: 1:150 at A3

DRAWN BY: AB

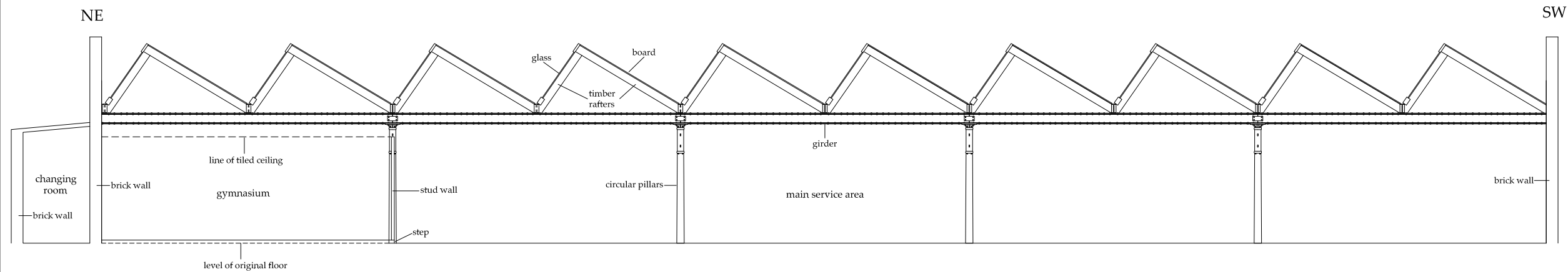
DATE: November 2014

REPORT No:

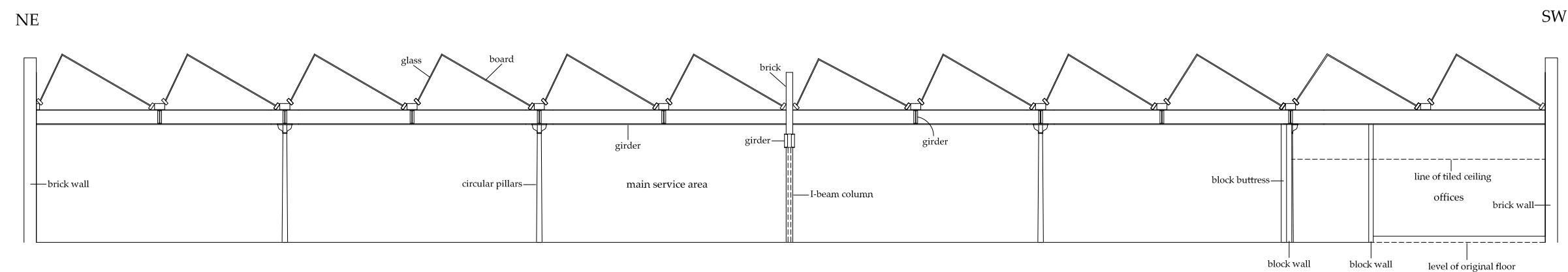
CS00051

FIGURE:

11



Section 1. Cross-section through original workshop.



Section 2. Cross-section through c.1930 addition.

Figure 11: Existing NE - SW cross-sections.

PROJECT:

Former Police Depot,
Belle Vue Road, Leeds,
West Yorkshire

CLIENT:

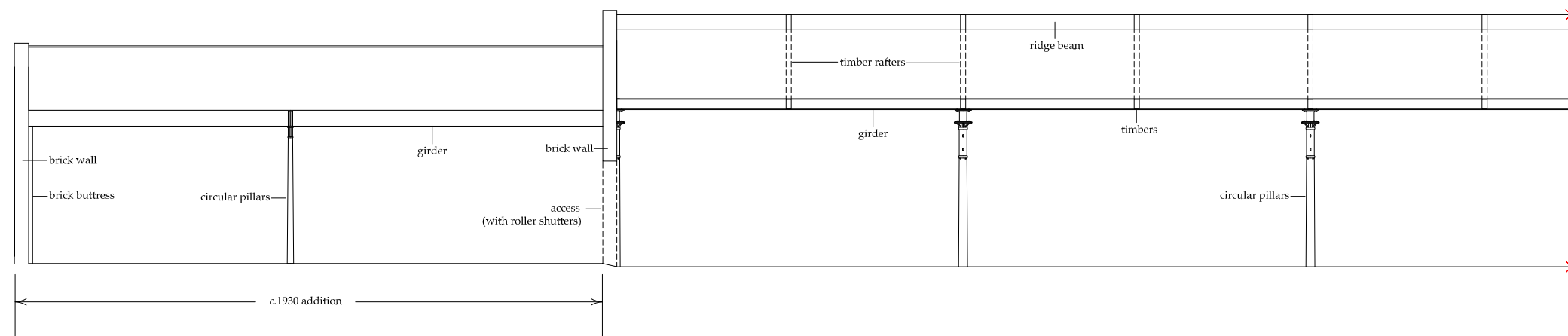
Watkin Jones

SCALE: 1:150 at A3

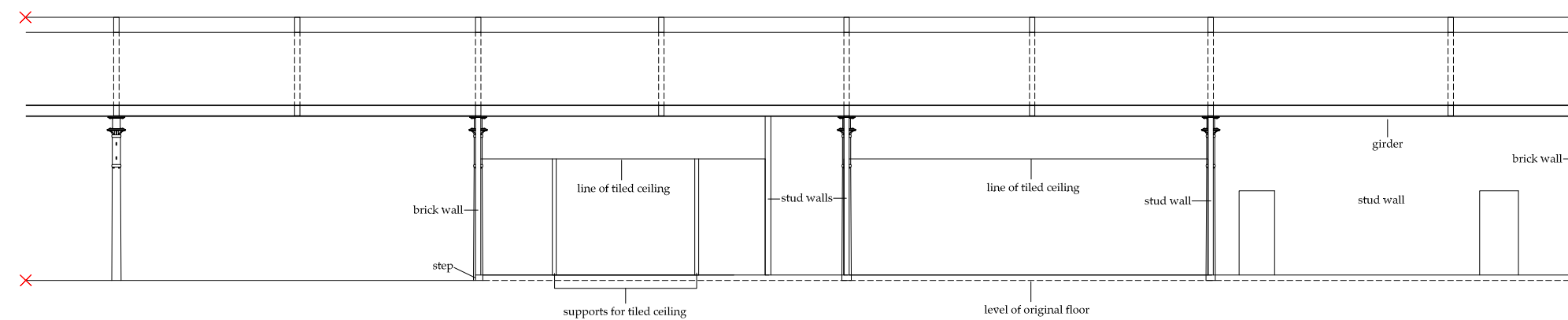
DRAWN BY: AB

DATE: November 2014

SE



NW



Section 3. Cross-section through additional workshop, original workshop and converted offices.

REPORT No:

CS00051

FIGURE:

12

Figure 12: Existing SE - NW cross-section.