



WATKINS JONES GROUP

**STEEL WORKS HOUSE (FORMER J & RILEY CARR OFFICES AND SHOWROOM),
BAILEY LANE, SHEFFIELD**

ARCHAEOLOGICAL BUILDING RECORDING REPORT

DECEMBER 2019

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EXECUTIVE SUMMARY

Wardell Armstrong LLP was commissioned by the Watkin Jones Group to undertake an archaeological building recording of the former J & Riley Carr offices and showroom, Bailey Lane, Sheffield. This work was required to meet the requirements of condition 3 of planning consent reference 18/02170/FUL for the partial demolition of the former offices and showroom building. The scope of the building recording was agreed as part of a Written Scheme of Investigation (Wardell Armstrong Report Ref WSI-004 Rev 1) which set out a proportionate approach to the recording of the building in line with the planning consent.

The exact date of the building's construction is not known however analysis of historic mapping and available secondary sources provides a date of construction of between 1872 and 1890 which is supported by the architectural character and decoration of both the interior and exterior.

The east frontage, to be retained within the approved scheme is of most interest architecturally retaining much of its original late 19th Century character and notable decorative features such as the pointer dog statue, known to be trademark of J & Riley Carr Steel manufacturers, and the decorative and prominent pedimented main entrance to Bailey Lane.

It is known that earlier buildings and structures of early 19th Century origin occupied the site of the extant building. It is possible that the part of the north end elevation at ground floor level and the entrance to the cellar area under the north bay of the building may have formed part of the Old Black Boy public house shown to have been present on the site by 1822. Alternatively these could be the remains of another building shown by the time of the production of the 1853 Ordnance Survey map.

The interior of the building has been subject to alteration and reconfiguration of the principal plan form and circulation spaces, notably at ground floor level. However, the remaining decorative features to the interior and the pattern of openings to the exterior, typical of the late Victorian era, provide evidence as to the original arrangement and an understanding of the how the spaces would likely have been originally used.

The north, west and south elevations and the interior of the building will be permanently preserved in this record as a result of the programme of archaeological building recording undertaken in line with Historic England Guidance and condition 3 of the associated planning approval (Application Ref: 18/02170/FUL).

ACKNOWLEDGEMENTS

Wardell Armstrong LLP thanks Owi Jones at Watkin Jones for commissioning the project, and for all assistance during the work.

The archaeological building recording was undertaken by Lorna Goring with photographs taken by Charlotte Dawson. The report was written by Lorna Goring and edited by Charlotte Dawson.

Drawings were produced by Georgios Poullos and reviewed and edited by Scott Rathbone.

The project was managed by Charlotte Dawson.

1 INTRODUCTION

1.1 Project Circumstances and Planning Background

- 1.1.1 Wardell Armstrong LLP was commissioned by the Watkin Jones Group to undertake an archaeological building recording of the former J & Riley Carr offices and showroom, Bailey Lane, Sheffield (Centred on NGR: SK 34974 87381). The building forms part of the former Grunwergs site which is located between Rockingham Street and Bailey Lane within Sheffield City Centre, see drawing ST16524-004.
- 1.1.2 The recording work occurred in advance of the partial demolition of the building for the redevelopment of the Site for a multi-storey, mixed-use scheme incorporating student accommodation. The approved scheme seeks the retention and sustainable re-use of the east façade of the former office and showroom building. The works at the Site have been granted conditional planning permission by Sheffield City Council (Application Reference 18/02170/FUL) on the 5th September 2018.
- 1.1.3 Planning condition 3 of the above approval states that:

No development, including any demolition and groundworks, shall take place until the applicant, or their agent or successor in title, has submitted a Written Scheme of Investigation (WSI) that sets out a strategy for archaeological investigation and this has been approved in writing by the Local Planning Authority. The WSI shall include:

- *The programme and method of site investigation and recording;*
- *The requirement to seek preservation in situ of identified features of importance;*
- *The programme for post-investigation assessment;*
- *The provision to be made for analysis and reporting;*
- *The provision to be made for publication and dissemination of the results;*
- *The provision to be made for deposition of the archive created;*
- *Nomination of a competent person/persons or organisation to undertake the works;*
- *The timetable for completion of all site investigation and post investigation Works.*

Thereafter the development shall only take place in accordance with the approved WSI and the development shall not be brought into use until the Local Planning Authority have confirmed in writing that the requirements of the WSI have been fulfilled or alternative timescales agreed.

- 1.1.4 A Written Scheme of Investigation (WSI) prepared by Wardell Armstrong, and included within Appendix 1, has been agreed with Dinah Saich, Principal Archaeologist for Sheffield City Council. The WSI sets out a methodology for the undertaking, preparation and disposition of a historic building recording to Historic England Level 3 in accordance with Historic England guidance.

1.2 Location

- 1.2.1 The Site occupies a rectangular plot located between Rockingham Street and Bailey Lane within Sheffield City Centre.
- 1.2.2 It was until recently, occupied by a multi-phase commercial warehouse, predominantly modern but with historic fabric within its eastern elevation to Bailey Lane.
- 1.2.3 The historic fabric comprises a single brick building, previously adjoining a modern shed at its north elevation, which is thought to have been utilised as the offices and showroom of J & Riley Carr, who historically operated at the site.

1.3 Planning Context

- 1.3.1 National planning policies on the conservation of the historic environment are set out in the *National Planning Policy Framework* (NPPF), which was revised by the Ministry for Housing, Communities and Local Government (MHCLG) in July 2018 and reissued in February 2019. This is supported by *National Planning Practice Guidance* (NPPG) which was published in March 2014.
- 1.3.2 The policy and guidance documents emphasize that all heritage assets should be conserved “*in a manner appropriate to their significance*” (paragraph 184). *Sites of archaeological or cultural heritage significance that are valued components of the historic environment and merit consideration in planning decisions are grouped as ‘heritage assets.’*
- 1.3.3 The NPPF draws a distinction between designated heritage assets and other remains considered to be of lesser significance, known as non-designated heritage assets, however recognises that all heritage assets contribute to the understanding and interpretation of our past (Planning Practice Guidance Paragraph: 003 Reference ID: 18a-003-20140306).
- 1.3.4 The planning practice guidance goes on to state “*Where the complete or partial loss of a heritage asset is justified, the aim then is to capture and record the evidence of*

the asset's significance which is to be lost, interpret its contribution to the understanding of our past, and make that publicly available". (Paragraph: 003 Reference ID: 18a-003-20140306).

- 1.3.5 There is a general acceptance that non-designated assets can be preserved by record, in accordance with their significance and the magnitude of the harm to or loss of the site as a result of the proposals, to '*avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposals*' (paragraph 190).

1.4 Local Planning Policies

- 1.4.1 Sheffield City Council are currently preparing a new Local Plan however planning decisions affecting the historic environment are guided by Policy G7 from the Pre-submission Draft City Policies (2013) indicative of the forthcoming new Sheffield Plan. This policy is quoted in full below:

Policy G7 Development and Heritage Assets

Heritage assets, including the conservation areas, nationally and locally important historic buildings and landscapes and other heritage features that contribute to the distinct identity of Sheffield, will be conserved by the developer through:

- a. Protection and, where appropriate, restoration and repair of features of heritage significance, using designs, materials, techniques and detailing traditional to Sheffield, consistent with the asset's age and significance; and:*
- b. Protection and, where appropriate, recording and interpretation of archaeological evidence and retention of remains that help an understanding of how the city has developed or, in the exceptional circumstances that any harm to the remains could be justified, investigation and publication of the resulting evidence; and*
- c. Protection of the character and setting of heritage assets, and ensuring that development affecting them respects, enhances or better reveals their significance. Historic parks, gardens and cemeteries will be protected, and their restoration and enhancement will be encouraged. Development should not damage their features, character, appearance, setting or views in or out or prejudice future restoration.*

- 1.4.2 In-line with this policy guidance, Sheffield City Council have included a condition to planning consent for the redevelopment at the Site, and this archaeological building recording adheres to condition 6 of the planning approval.

2 METHODOLOGY

2.1 Standards and Guidance

2.1.1 A Level 3 Historic Building Survey, as described by Historic England, is an analytical record of a building or buildings which provides an introductory description followed by a systematic account of each building's origins, development and use. A building record to this level is appropriate when the fabric of a building is under threat, but time or resources are insufficient to allow for detailed documentary research, or where the scope for such research is limited (Historic England 2016).

2.1.2 The survey was also undertaken following Historic England 'Understanding Historic Buildings: A Guide to Good Recording Practice' and the appropriate standards and guidance issued by the Chartered Institute for Archaeologists (CIfA 2014).

2.2 Archaeological Building Recording

2.2.1 The building subject to the recording is depicted on Drawing ST16524-004, Building Location Plan.

2.2.2 The recording comprised internal and external observations of the building, where accessible, to produce a photographic and written record. Photographs were taken of all external elevations and principal internal rooms, where possible, including structural architectural details, details of fixtures and fittings, and more general views showing the building in its urban context. In summary, the photographic survey included:

- A photograph of the building in its wider context;
- A series of oblique views of all external elevations to provide an impression of size and shape;
- Photographs of any complex features at right angles;
- Photographs illustrative of original design intentions (known from documentary research or inferred on Site);
- Internal photography to illustrate principal rooms and circulation areas (to demonstrate shape and size);
- External and internal details (structural or decorative) illustrative of the building's design, development and use (with scale where appropriate);
- Any machinery, plant or building contents which attest to its former use; and

- Any dates or inscriptions, signage or graffiti which contribute towards an understanding of the building (a transcription should be referenced where necessary).
- 2.2.3 Black and white photographs, forming the primary archive, are included as plates within this report and have been printed in black and white on silver halide paper for physical deposition.
- 2.2.4 Supplementary digital, coloured photographs have been included within the report where necessary to supplement the black and white plates. Digital colour photographs are included as Appendix 3.
- 2.2.5 A photographic register detailing the plate location and direction of each shot is included within the drawings. Plate locations are also noted on the existing site and floor plans of the building.
- 2.2.6 The written record comprises:
- The precise location of the buildings as an address and in the form of a National Grid reference;
 - The date when the record was made, the name(s) of the recorder(s) and the location of any archive material;
 - An introduction briefly setting out the circumstance in which the record was made, its objectives, methods, scope and limitations, and any constraints. Where appropriate the brief for the work or project design should be stated or appended;
 - Acknowledgements to all those who have made a significant contribution to the making of the record, or who have given permission for copyright items to be reproduced;
 - A discussion of the published sources relating to the Site and its setting, an account of its history as given in published sources;
 - An analysis of historic map evidence (map regression) for the building;
 - An account of the building's overall form (structure, materials, layout) and of its successive phases of development, together with the evidence supporting the analysis;
 - An account of the building's past and present uses and the uses of its parts with the evidence for these interpretations including an analysis of the circulation

pattern and an account of any fixtures, fittings, plant or machinery associated with the buildings, and their purpose; and

- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Selected copies of historic maps, views or historic photographs deemed appropriate to provide an understanding of the building; and
- A full bibliography.

2.2.7 The drawn record comprises:

- Measured drawings to show the form of any architectural decoration (for example the moulding profiles of door surrounds, beams, mullions and cornices) or small-scale functional detail not easily captured by photography. A measured detail drawing is particularly valuable when the feature in question is an aid to dating;
- Measured elevations, where these are necessary to an understanding of the building's design, development or function;
- One long section and at least one cross section through the main building range, to clarify structural & spatial relationships; and
- A plan or plans identifying the location and direction of accompanying photographs.

2.2.8 The measured plans have been annotated in the field, and these annotations added electronically to the drawings and included within the final report to aid interpretation.

2.2.9 All drawings use drawing conventions set out in Historic England (2016) *Understanding Historic Buildings: A Guide to Good Recording Practice*.

2.3 Purpose and Aims

2.3.1 The purpose of this archaeological building recording is to ensure that any archaeological building remains, are investigated and a proper understanding of their nature, date, extent and significance gained, prior to any works being undertaken which result in the loss or damage of those remains, and that knowledge gained is disseminated to building upon the archaeological record of the area, and to comply with saved policy BE22 Archaeological Sites and Monuments (1998 Unitary Development Plan) and with Policy G7 Development and Heritage Assets of the Pre-

submission Draft City Policies (2013) indicative of the forthcoming new Sheffield Plan which both encourage appropriate recording of archaeological remains.

2.3.2 The general aims of the building recording are to:

- determine the plan, form, character and date of origin for the building;
- understand the fabric of the building and how it has may have been adapted or altered;
- enable understanding of the function of the building and how this has changed over time;
- record the elevations of the building to an appropriate standard;
- provide historic context of the building;
- disseminate the results of the building recording through an appropriate level of reporting; and
- ensure an accurate and comprehensive record as part of the archive to be disseminated to the south Yorkshire HER.

2.4 Reporting and Project Archive

2.4.1 The fully indexed field archive consisting of all primary written documents, plans, sections, photographic negatives and a complete set of labelled photographic prints (minimum size 6" x 4" or equivalent for Medium format) has been compiled.

2.4.2 Wardell Armstrong supports the Online Access to Index of Archaeological Investigations (OASIS) project (<http://www.oasis.ac.uk>). The aim of the OASIS project is to provide an online index to archaeological grey literature that has been produced as a result of developer-funded fieldwork. Details of this project have been included on the OASIS database under the identifier **wardella2-376253**.

3 HISTORICAL BACKGROUND

3.1 Location

- 3.1.1 Steel Works House (the former J & Riley Carr offices and showroom building) is located within the south east corner of the former Grunwergs site and is centred on NGR SK 34973 87384. The building fronts onto Bailey Lane, a narrow road which runs on a roughly south east to north east alignment connecting Trippet Lane in the south to Boden Lane in the north. The former Grunwergs site extends to the north and west of the building (Drawing ST16524-004).

3.2 Historic Background

- 3.2.1 This record focusses upon historic development of the former J & Riley Carr offices and showroom. The historic background of the Site generally has been discussed in detail within the Heritage Statement prepared by Stephen Levrant Heritage Architecture (June 2018) and within the Archaeological Desk Based Assessment prepared by Wardell Armstrong (Report Reference ST16524-002, April 2018) and has been summarised for the purposes of this record.
- 3.2.2 Sheffield, had, by the late sixteenth century, become an important industrial centre; in 1624 a Cutlers' Company was established by a parliamentary Act of Incorporation which ensured the quality of training and manufacture in the cutlery industry. As a consequence, by the end of the seventeenth century, Sheffield was renowned for cutlery production.
- 3.2.3 The industrial growth which followed, both in the cutlery and steelmaking industries, facilitated by the abundant supply of natural materials and the water-power meant that by 1736 the population of Sheffield had reached 10,000 (Crossley 1997). The focus for these activities was to the north-east of the town in an area known as The Crofts.
- 3.2.4 Fairbanks map of 1771 (see Appendix 4) shows a number of 'Crofts' to the north of Broad Lane, to the north of the site. The map identifies the development of Sheffield during the 18th Century expanded west towards the area of the former Grunwergs Site which is shown to be enclosed by new street layouts linking to Broad Lane in the north. No development is depicted within the Site at this time.
- 3.2.5 Fairbanks Map shows the site within an area identified as 'Bailey Fields' and clearly depicts an 'intended Bailey Street', to the east of the site, indicating encroachment of

development to within the vicinity of the site.

- 3.2.6 Fairbanks later map dated 1797 (see Appendix 4) clearly depicts the rapid expansion of the city in a relatively short period of time; this is most obvious to the north of the site however both Bailey Lane and Rockingham Street are now clearly depicted for the first time with buildings occupying the northern end of the former Grunwergs Site facing towards Boden Lane.
- 3.2.7 The former Grunwergs Site remained undeveloped however until the early 19th Century when Fairbanks 1803 map shows the continued western expansion of development into the Site area.
- 3.2.8 Between 1821 and 1851, the population of Sheffield increased from 42,000 to 83,000. Observation of an 1823 map produced by Leather and the earliest Ordnance Survey map, dated 1853, clearly shows the impact of this population growth on the land within the site and its vicinity with the proliferation of workers housing laid out on a newly established grid pattern readily apparent. Commentators at the time labelled The Crofts area as a slum (Belford 2001 as cited in WYAS 2005) and the back to back housing laid out in small courtyard clusters apparent on the 1853 map, is characteristic of this.
- 3.2.9 By the 1820s a merchant of manufacturers of steel had become established within the Site. The Bailey Lane Works, originally occupied by the company Carr and Co, is known to have been present within the Site from 1820s. An 1828 trade directory of Sheffield (Blackwell, 1828) recorded the company under the name Carr, Woodhouse and Carr as a *'merchants and manufacturers of saws, fender, steel and composition doctor knives, files, edge tools, and steel refiners'*.
- 3.2.10 The 1853 Ordnance Survey (See Drawing ST16524-004) identifies the works as a large block within the centre of the former Grunwergs Site labelled as the *'Bailey Lane Works (Iron and Steel)'*.
- 3.2.11 The detail of the 1853 map shows that back to back housing characterised much of the former Site. This housing was laid out within courts such as 'Smiths Square' in the north of the Site and served by water 'pumps' and attests to the dense mix and close built relationship between industry and domestic premises at this time.
- 3.2.12 Within the location of the J & Riley Carr office building, the 1853 map depicts the presence of the 'Old Black Boy' public house. The Old Black Boy was first recorded in 1822 on a Fairbanks Survey, see Plate A below. This building is depicted as a linear

range, aligned east to west. On the Ordnance Survey, to the north it appears to be bound by domestic buildings of similar footprint to the back to back court houses. To the south, the building is enclosed by a narrow passageway which extends along the extent of the southern elevation of the building. To the south of this passageway, and likely accessed from the passageway, is a yard area shown to be enclosed to the south by a distinctive angled wall that matches the alignment of the southern wall of the extant building.

3.2.13 To the south of this enclosure is further court housing.

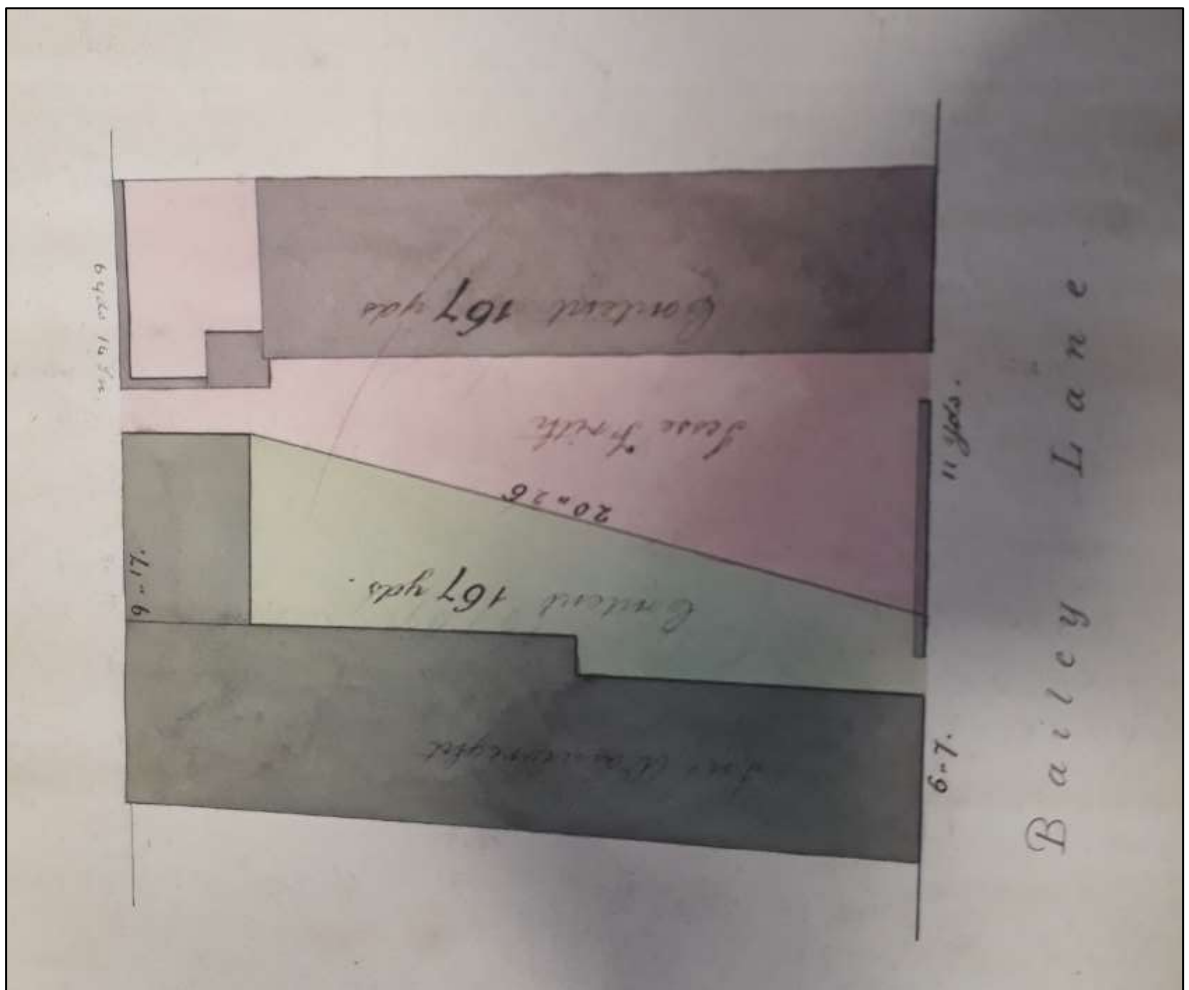


Plate A: Black Boy Public House (top) and adjoining properties to south (1822: Fairbanks Collection
shes 675)

3.2.14 The Post Office Directory of Sheffield (Kelly, 1865) published in 1865 records the company at 41 Bailey Lane under the name of John and Riley Carr 'Merchants of saws, files, steel, machine knives &c. (Bailey Lane Works)'. This is the first reference to the known name of J and Riley Carr observed in trade directories.

- 3.2.15 Also noted in the 1865 directory is the '*Old Black Boy*' at number 29 Bailey Lane and occupied by William Pitts.
- 3.2.16 Trade and street directories from the early 1870s continue to refer to the 'Black Boy' public house at 29 Bailey Lane and it can be reasonably assumed that the building depicted on the 1853 Ordnance Survey map was still present in the early 1870s. Within the 1872 street directory, the Black Boy is recorded to have been occupied or operated by a V. Deardan. Examination of census returns from 1871 and 1861 did not reveal specific records for Bailey Lane however several members of the Deardan family were noted as residing in courts attributed to addresses on Rockingham Street and it is possible that these refer to the domestic court arrangements that formerly occupied the Site area.
- 3.2.17 By the time of the 1890 Ordnance Survey map (See drawing ST16524-004), the Old Black Boy is no longer depicted with the Bailey Lane works appearing to be extended to the south up to the distinctive angled south wall of the former enclosure shown on the earlier 1853 Ordnance Survey map and Fairbanks 1822 survey.
- 3.2.18 The 1890 map therefore suggests the extant building was in situ by this time with this new building occupying the footprint of the Old Black Boy public house, the passageway and the enclosed yard area shown on the earlier 1853 Ordnance Survey plan.
- 3.2.19 Descriptions for the Bailey Lane Works from the 1850s and 1870s trade directories referred to the company as 'Carr, Woodhouse and Carr' and 'Carr. J and Riley' and it is apparent from the 1890 Ordnance Survey map that works operated by J & Riley Carr were expanding during the second half of the 19th Century. Expansion appears to have been a common pattern within the city generally with the 1890 map, confirming the establishment of another steel works to the north of the Bailey Lane Works, within the northern portion of the former Grunwergs Site, where the earlier 1853 map had recorded a coal yard and tenements. This new works was labelled as '*Swedish steel and file works.*' Slaters Directory of 1887 records *Jones G. R & Co. steel manufacturers* in this vicinity.
- 3.2.20 Within Whitakers 1914 Red Book of 'Who's who in Business', the business is noted to be under the principal ownership of Riley Carr and Evan Carr, Riley Carr being the grandson of the original founder also named Riley Carr with the premises being described as 'Extensive and well-equipped'. The trademark of the business is a pointer

dog with the word 'Stanch' below as is depicted to the tympanum of the pediment of the main Bailey Lane entrance into the extant building.

- 3.2.21 Examination of census returns identify Carr as a common surname however the census returns from the 1891 record a John Carr whose occupation is stated as 'File Manufacturer' as residing at 6 Oakdale Road, a detached stone built property of mid-late 19th Century style, within the Nether Edge area to the south of the city centre with his son Riley J Carr, whose occupation is given as 'File Forger' also living at the same address.
- 3.2.22 The same Riley J Carr is recorded in the 1901 census return to have an occupation of 'Steel and File Manufacturer' and to be living at 7 Tapton House Road, Sheffield, a large, imposing, detached late Victorian stone villa, with his wife, son and two domestic servants.
- 3.2.23 An advert included within a 1922 trade directory refers to the 'J & Riley Carr Bailey Lane Works', this being the most recent arrangement of the previous names given to the occupiers of the works.
- 3.2.24 The majority of the remaining tenement blocks within the wider Site area appear to have been removed by the time of the production of the 1935 Ordnance Survey.
- 3.2.25 In respect to the larger buildings within the Site, to the north of the extant building, a 1948 trade directory recorded '*Carr J. & Riley, file mfrs*' on Bailey Lane.
- 3.2.26 The 1952 Ordnance Survey (not reproduced here) map verifies the almost wholesale industrial character of the wider Site by the mid-twentieth century. By this time the former Bailey Lane Works was labelled as a 'Saw Works' and a 'Tool Works' was shown on the southern boundary of the Site.
- 3.2.27 It is recorded that the J & Riley Carr works were relocated to a site on Herries Road South in 1954; the last record of J & Riley Carr at the Site within the trade directories having been in Kelly's 1951 Directory.
- 3.2.28 A review of 1963 Ordnance Survey map (not reproduced) appears to indicate
- 3.2.29 internal extensions at the Bailey Lane Works; internal courtyards shown from 1890 onwards no longer being depicted. The larger structures depicted at this time may have incorporated numerous earlier structures within the enveloping rectangular buildings shown, or they may have comprised new builds. By this time the former Bailey Works was simply labelled as 'Works' but was recorded in a 1968 directory as

'Fearneough W. Ltd. Mfrs. Of machine knives (works)'.

- 3.2.30 The 1986 telephone directory recorded Grunwergs on the Site and the former buildings on Site were associated with warehousing rather than manufacturing.
- 3.2.31 A review of the planning history for the Site identifies that the extensions added to the south of the extant building and which squared off its angled southern elevation, had been removed by 1992, at which time an existing site plan submitted with application reference 92/00733/FUL depicts the former J Riley and Carr office building to have its extant, angled southern elevation. This appears to have been undertaken sometime after 1970 when the 1970 Ordnance Survey plan (not reproduced here) shows the same arrangement to the south of the building as depicted in the 1923 and 1935 Ordnance Survey map editions.

4 ARCHAEOLOGICAL BUILDING RECORDING

4.1 Introduction

- 4.1.1 The archaeological building recording was undertaken on Wednesday 9th October and Friday 8th November 2019. A further visit was undertaken to inspect the rooms within the south east corner of the second-floor area on Monday 25th November. The building was examined internally and externally, the only exception being the loft space.
- 4.1.2 Features of historic or architectural interest have been given unique references which are cited in the text below, and their locations are included in drawings ST16524-006 – 009 and ST16524-012 – 013).

4.2 External Description

- 4.2.1 The building has a rectangular plan form aligned north to south with Bailey Lane. It is a three-storey red brick building with a cellar under the north and south bays. It has a slate roof with red clay butt jointed ridge tiles. The brickwork is laid in a Flemish bond with yellow sandstone and terracotta used for architectural embellishment and decoration. Windows are of timber construction.
- 4.2.2 *South Elevation (See Appendix 3 Plates B1 – B2 and C1):* The south elevation, see Plate B below, comprises a blank, asymmetric gabled end. It is of red brick construction laid in a Flemish bond; the original brickwork construction to the ground and first floors being concealed behind a panel of modern render; this panel likely applied to protect the original brickwork and/or cover over any joints left in the fabric when the later additions to the south, as first depicted on the 1905 Ordnance Survey map, were removed sometime after 1970.
- 4.2.3 The elevation is aligned on a south east to north west angle, the resulting footprint being distinctive on historic mapping and appearing to correspond to an earlier boundary wall/enclosure configuration associated with the early development of the land within the wider site for court housing (feature 103).
- 4.2.4 The elevation extends to three storeys with the eaves level of the west elevation being higher than the eaves on the east elevation. This is obviously presented where the stone coped gable verge is shorter to the west and the stone kneelers are non-aligned. The kneeler to the west side of the elevation, which is carried on projecting corbelled brickwork, is smaller than the east which comprises three separate stone pieces. Both

kneelers are cyma-reversa moulded.

- 4.2.5 To the east side, offset from horizontal alignment with the west kneeler is a single stone block, possibly depicting the position of the purlins to the roof construction. Two terracotta vents have been added to brickwork with the gable apex.



Plate B - South Elevation

- 4.2.6 *East Elevation (See Appendix 3 Plates B3 – B15 and C1 – C4, Drawing SR16524-012) and Plates B-E below:* The east elevation presents the principal frontage onto Bailey Lane. The elevation extends to two storeys in height with accommodation within the roof space. It is of red brick construction laid in a Flemish bond. It has a slate covered roof enclosed at the north and south end by stone copings with stone kneelers. Four modern, projecting rooflights are positioned within the southern half of the roof slope, those to the most southern extent comprising a large pair.
- 4.2.7 The east elevation is the most decorative with stone and terracotta specials used to add interest and embellishment, this aesthetic intention being deliberate to reflect the status of the J Riley and Carr as important steel product manufacturers.
- 4.2.8 The elevation comprises a five-bay range to the ground floor. The most southern bay contains paired, renewed entrance doors at ground floor. The entrance doors are set within a decorative, formal surround which comprises alternating courses of brick and stone to the moulded jambs (feature 102). The surround incorporates a plain stone

panel with moulded edges likely intended for an inscription however no evidence of such was visible. Crowning the entrance is a slightly projecting, moulded first floor stone pediment which has a stone pointer dog statue set within the tympanum with 'STANCH' written in relief within a stone panel below; this dog being the trademark of J Riley and Carr (feature 100), see Plate C below.



Plate C - Trademark logo for J and Riley Carr with pointer dog and 'STANCH' inscription (Feature of Interest Ref 100)

- 4.2.9 The central three bays are defined by three, wide segmental arched openings with slender, dividing steel columns to the centre rising from stone blocks which form part of a continuous sandstone sill (feature 101). The columns have most recently been painted black however missing sections of the paintwork reveal an earlier, cream coloured finish beneath. The openings are now boarded over with timber plywood to the exterior and blockwork infill to the interior. The most northern wide arch opening has been altered with the addition of a pedestrian doorway requiring the cutting of the stone sill and brickwork and removal of part of the original fabric, see Appendix 3 Plate B7.
- 4.2.10 Aligned above each wide arch opening at the first floor are three, one over one vertically sliding timber sash windows; the top light to the central window and the bottom light to the north window are concealed or have been replaced by plywood.

- 4.2.11 To the first floor, the northern bay comprises paired vertical sliding timber sash windows of matching proportions and design to the central three windows; the top light of the outer sash being concealed or replaced by plywood. The two windows are aligned above two window openings at ground floor level which are set under round brick arches. Both are boarded to the exterior with plywood and blockwork infill to the interior; the opening to the south being taller in proportion. Both windows have stone sills.
- 4.2.12 The five first floor sash windows share a continuous stone sill band which is aligned with the frieze of the stone panel above the paired entrance doors. The windows also share a continuous stone storey band at head level. This stone banding forms the base of a more decorative banding detail which consists of projecting brick terracotta special course with ball moulding to the underside and narrow stone cornice above, see Appendix 3 Plate B15.
- 4.2.13 The eaves appear to be modified with timber fascia and renewed guttering.
- 4.2.14 The southern and central bays of the elevation are affected by the addition of soil and waste pipes applied to the main frontage at a later date and by the reconfiguration of the original rainwater downpipes, likely undertaken at the same time, which have left the elevation appearing cluttered and which have damaged parts of the fabric.



Plate D - East Elevation (Bailey Lane)



Plate E – Former showroom windows with arched heads to the east elevation (feature 101)

- 4.2.15 *North Elevation (See Appendix 3 Plates B16 – B18 and Plates F& G below):* The north elevation had been encased by a later brick warehouse addition tied into the brickwork of the east frontage and open to its interior exposing the original external elevations of the building within the new warehouse space. The north elevation is of red brick construction laid in a Flemish bond to the upper courses and within the gable apex and a mix of English garden wall and stretcher bond to the lower floors; the brickwork construction to the ground and first floors exposed to the interior of the formerly adjoining warehouse and being painted white, likely to maximise light to the interior of the former warehouse; the extent of the painted brick identifying the height of the former warehouse addition.
- 4.2.16 The changes in brickwork coursing suggest phases of alteration to this elevation with stretcher bond brickwork likely relating to the most recent phases of change when the metal casement window was added to the ground floor. The outline of a former gable addition is just discernible in the brickwork at first floor level to the western corner of the north elevation.
- 4.2.17 The north elevation, unlike the opposing south elevation has a straight alignment, roughly east to west. It extends to three storeys in height with the eaves level of the west elevation being higher than the eaves on the east elevation resulting in the

asymmetrical appearance. As on the south elevation, this is obviously presented where the stone coped gable verge is shorter to the west and the stone kneelers are non-aligned. The kneeler to the west side of the elevation, which is carried on projecting corbelled brickwork, is smaller than the east which comprises three separate stone pieces. Both kneelers are cyma-reversa moulded.



Plate F – North Elevation

- 4.2.18 A brick end chimney stack set flush with the north elevation projects from the ridge. The stack has two projecting brick bands at its lower stage and more decorative corbelled top courses with saw tooth banding to the upper stages. A single buff coloured terracotta, 'Bishops hat' style pot remains.
- 4.2.19 At the north east corner of the elevation, see Plate G below, a joint in the brickwork (feature 104) indicates the front, east elevation has been tied into an earlier building of which the north elevation forms part. This may also explain the changes in brickwork coursing to the ground floor level of the north elevation which presents an English garden wall bond at its base.
- 4.2.20 To the ground floor, a new window opening has been inserted within the west side of the elevation. The window comprises a 12-pane metal casement with tilt-opening

central light.



Plate G - North east corner of the north elevation showing joint in brickwork where the east façade has been added to an earlier building

- 4.2.21 *West Elevation (See Appendix 3 Plates B19 – B25 and C47 – C48, drawing ST16524-010 and Plates H & I below):* The west elevation of the building has until recently been enclosed by modern warehousing which wrapped around the west and north elevations of the building; these elevations being exposed to the interior of the warehouse space.
- 4.2.22 The elevation extends to three storeys in height. It is of red brick construction laid in a Flemish bond, although a section of the ground floor wall to the central bays has been rebuilt in a stretcher bond indicative of a phase of alteration. Similar to the north elevation, the ground and first floor levels are painted white with the original red brick construction left exposed to the second-floor level above the roof height of the former warehouse addition.
- 4.2.23 The ground floor comprises a three-bay range. The northern bay retains its original configuration with pedestrian access door flanked to the northside by a window opening. Both openings have rounded brick arches comprising two courses of headers and matching those presented to the openings in the opposing east elevation which

are aligned horizontally with the openings in the west elevation.



Plate H - West Elevation

- 4.2.24 The doorway has rounded jambs and is accessed via a single stone step. The window opening contains a renewed timber window which comprises 12-panes, the top three being tip-opening inwards whilst the bottom nine are fixed.
- 4.2.25 Slightly offset, below the window opening is access into the north cellar. Entry into the cellar is via an external hatch entry which reveals a timber ladder that descends steeply in an eastward direction towards the underside of the building and which terminates in line with the west elevation.
- 4.2.26 The central bay of the ground floor has been subject to modification; the remains of two brick piers are present which indicate the location of a former rear extension; a straight joint in the brickwork above the piers also supporting this interpretation. The brick walling between the remains of the brick piers is laid in a stretcher bond indicating the wall has been rebuilt, likely after 1919 when stretcher bond brickwork was used more extensively as a result of the introduction of cavity wall building.
- 4.2.27 A metal casement window is positioned roughly central to the bay. The window, which comprises two 12-pane lights, is clearly part of a later phase of alteration to the

building and is consistent with the detailing of the window inserted to the ground floor of the north elevation. The insertion of the window and the removal of the previous extension likely form part of a contemporary phase of works, which from the detailing of the windows, was likely undertaken in the mid-20th century.

- 4.2.28 The end bay to the south is wider and also displays evidence of alteration presenting the same stretcher bond brickwork to the ground floor level. A further metal casement window of matching proportion and design to those inserted in the north elevation and within the central bay has been inserted between two shallow brick columns which appear to have supported the former first floor mezzanine level of the former warehouse which encased the west and north elevation.
- 4.2.29 To the right and abutting the corner of the south elevation is a large opening which has been created/alterd at a later date to access the interior of the southern bay when internal access between the bays was lost. This opening contains a modern, timber door set within a larger surround with solid timber side panels to the south and glazed and solid top panels. A steel joist inserted above the opening has been left exposed. The brickwork surrounding the opening appears to be original displaying a Flemish bond pattern.
- 4.2.30 To the first floor, the elevation presents a six-window arrangement that follows the same three bay alignment as the ground floor; the north and central bays each displaying paired window openings with painted stone sills and segmental brick arch heads. The openings retain the vertically sliding sashes however the glazing has been removed and replaced with painted plywood boarding. The two openings to the north bay are aligned within the original openings at ground floor level. The two windows to the central bay are wider in their proportions.
- 4.2.31 A pattress plate is positioned between the two bays indicative that previous of structural repairs have been undertaken.
- 4.2.32 To the central bay, a concrete lintel inserted between the ground and first floor level identifies the extent of the rebuilding of the brickwork below.
- 4.2.33 The southern bay presents a greater degree of alteration. A pedestrian door opening has been created from an original window opening with the sill and brickwork below removed and the upper half of the original window, below the lintel, boarded over. The opening provided internal access between the mezzanine floor level of the former warehouse and the upper floors of the extant building.

- 4.2.34 To the south (right) of the door are two, smaller window openings. These openings are narrower and shorter than those to the north and central bays and the first floor of the east elevation and have matching stone painted sills and round arched brick heads. Similar to the adjacent windows, the sash frames are retained with the glazing replaced with plywood.
- 4.2.35 A blocked opening, infilled with brickwork, is present to the south of the smaller window (feature 105), Plate I below. The opening is positioned at a lower level between ground and first floor and corresponds to a half landing of the main staircase to the interior; the window was therefore likely a stair window offering illumination to the original stairwell prior to erection of the warehouse addition which encased the west and north ground and first floor elevations. The opening retains the segmental brick arch with timber lintel inserted below.



Plate I - Blocked opening present to the first-floor south corner of the west elevation (feature 105)

- 4.2.36 To the second floor, the original red brick finish is exposed, this level being above the former warehouse addition. The elevation comprises a seven-window range. Each of the second-floor windows are aligned with the first-floor openings; the second-floor windows present matching proportions and have stone sill and segmental or round arch brick head details; the fifth from left sash (Appendix 3 Plate B23) is representative of the original proportions of the altered first floor opening.
- 4.2.37 A brick chimney stack projects from the west roof slope from just below the ridge. The

stack is of matching design to that present to the north end elevation with two projecting brick bands at its lower stage and more decorative corbelled top courses with saw tooth banding to the upper stages.

4.3 Internal Description

- 4.3.1 The internal accommodation extends to three storeys with cellar spaces below the northern bay and a small, secondary cellar area below part of the southern bay. The description of the interior spaces should be read in conjunction with drawing references ST16524-006 to 011 and Appendix 3 Plates B26 – B50 and C7 to C47.
- 4.3.2 *Ground Floor (See Appendix 3 Plates B30 – B32 and C10 – C25 and Plates J – U below):*
The ground floor comprises a three-room internal arrangement with part of the central bay now being open to the south bay. All the rooms are accessed from the west elevation and which represent the later use of the building as storage space ancillary to the function of the former warehouse addition which encased the building.
- 4.3.3 The north bay of the ground floor is accessed through an original door opening within the north bay of the west elevation. This door leads into a rectangular plan room which extends across the width of the extant building. The room retains its original proportions with high ceiling although the ceiling construction has been renewed. Plywood boarding covers the timber floor boards which were observed from the cellar area directly below. The room retains no skirting or coving details.
- 4.3.4 Within the east wall the outline of the round arched window openings observed to the exterior of the east elevation are clearly visible being infilled with modern block work.



Plate J - Infilled former opening to the ground floor east elevation viewed from the interior

- 4.3.5 The internal dividing wall to the south of the room appears to be original, this wall being aligned with a brickwork wall observed within the cellar area directly below. A door opening is positioned to the east of the centre line of the wall which leads into the interior space of the central bay; the door is missing, and the architrave is modern in detail.
- 4.3.6 To the centre of the north wall are the remains of a chimney breast (feature 106) however the original fireplace and surround have been removed and the aperture extended in height and lined out in plaster to provide storage space. A built-in low-level shelving unit extends across the extent of the north wall, wrapping around the chimney breast.
- 4.3.7 The central bay of the ground floor has been divided into two spaces; the larger of the spaces has interior access through the door opening from the north bay room. This space comprises three separate area defined by modern partitions partially glazed to the upper half. These enclose two smaller rooms positioned to the east half of the bay themselves separated by an internal dividing wall aligned with the supporting column present between the central and north positioned wide, segmental arch openings observed to the exterior of the east elevation. The west half of the bay comprises a single larger room. All the rooms retain the original ceiling proportions with high ceiling level although as with the north room, the ceiling appears renewed and any original joinery detailing comprising skirting or coving has been removed.

- 4.3.8 Within the north wall of the larger west room is an aperture with segmental arch head (feature 107) suggestive of a former fireplace position although this does not align with the external stacks nor the remains of chimney breasts at the upper floor levels.
- 4.3.9 The outline of the original segmental arch openings is clearly visible within the east wall of the two smaller rooms with the openings having been infilled with concrete blockwork similar to the north room; the archway to the north has been altered within the insertion of a fire escape door within the blockwork. The outline of the original window-sill to the central segmental arch is visible within the south room.
- 4.3.10 The south bay and part of the central bay (the smaller of the two spaces) is accessed from an external opening in the west elevation (*confer* 4.2.29). The opening leads into a space that has been tiled for use as WC and shower facilities. The underside of the stone cantilevered main stair (feature 108) which is built into the angled south wall, is visible opposing the entrance, see Plate K below. Further evidence of the staircase is shown through an arched recess within an internal wall to the small room of the central bay (feature 111, see Appendix 3 Plate C19); a small ceiling hatch reveals the continued route of the stair as it ascends against the western elevation.
- 4.3.11 The enclosing wall to the north of the space as one enters from the west is aligned with the external stack and the shape of the wall is suggestive of the presence of a former chimney breast. The position of the partition wall between the entrance area and the WC area to the east in relation to the chimney breast indicates at the original line of division between the centre bay south bay.



*Plate K - Underside of cantilevered stone stair observed from the ground floor of the south bay
(feature 108)*

4.3.12 The outline of the segmental arched opening positioned to the south of the east frontage is visible and retains three top-light timber casement windows (feature 110) which provide some evidence of the possible, original designs of the opening.



Plate L - Timber top light casement windows to the segmental arched openings to the ground floor of the east elevation viewed from the interior of the central bay

- 4.3.13 A renewed metal casement window is present in the west elevation.
- 4.3.14 The main entrance door from Bailey Lane in the east leads into a small entrance hall and stair to the first floor. The stairwell is enclosed along its northern side by a brick partition wall. A small, four-panel timber painted door of 19th Century character (feature 109) is positioned to the rear of the entrance door within the partition wall. This leads into a small cupboard area which is set at a slightly lower ground level. This area appears to have been altered, the brickwork dividing walls appearing modern and it is suspected from the pattern of external openings, that this doorway would have provided direct internal access into the central and northern bays of the ground floor from the principal entrance front onto Bailey Lane. Evidence of a former access within the opposing side of the partition wall was not observed due to modern tile finishes within the WC area.
- 4.3.15 The main staircase (feature 108) is a straight flight with winder and small half landing and consists of a wide, cantilevered stone treads built into the angled south wall and part of the west wall where the staircase winds around. The half landing area would have been served by the blocked window observed to the west elevation (feature 105,

confer 4.2.35). The staircase rises through a plastered round arch feature spanning the external south wall and the internal brick partition wall. The plastered underside of the second-floor stair is visible within the stairwell.

4.3.16 *First Floor (See Appendix 3 Plates B33 – B47 and C26 – C37)* – The first floor is accessed from the main stair and from a later door opening created by altering an original window opening within the west elevation; this doorway previously connecting to a mezzanine floor level within the former, enclosing warehouse. Floor finishes to the first-floor area comprised timber boards, which were covered in a bathroom and kitchen area by modern lino finishes. The main staircase leads onto a small landing area from which the second, narrow timber staircase to the second floor continues directly; this staircase being positioned within the angled, south west corner of the building. At the top of the main stair, positioned within the west elevation are two windows set within moulded timber architraves and set under round arched heads (feature 115).

4.3.17 The landing is enclosed to the north by an original partition wall which is aligned with the partition wall between the south and central bays at ground floor. An opening, framed with an original moulded timber architrave, within the partition wall leads into a second landing/hallway area from which a small bathroom is accessed to the right (east) and a modern door opening to the north, aligned with the original, leads into a large, open room comprising the extent of the remaining central and north bays.



Plate M – Renewed fireplace to the centre of the north elevation of the main first floor room

4.3.18 The large room is served by four sash windows to both the east and west elevations and has a modern fireplace inserted centrally within the north external wall; a strip of the original tile hearth (feature 113) protrudes from below the modern hearth indicating it has been covered over, rather than removed. The room also retains extensive sections of a moulded plaster cornice (feature 112) which has an ogee and torus type double mould. The cornice spreads onto the ceiling and extends around the perimeter and along original partition wall alignments; the type of mould and its spread being typical of the mid to later Victorian era (Yorke, 2012).



Plate N - Plaster cornice detail to the first floor (feature 112)

- 4.3.19 A modern folding partition wall has been inserted east to west along the line of the partition wall between the north and central bays at ground floor level.
- 4.3.20 The positioning of the original ogee moulded wide plaster cornice identifies that this folding partition follows the line of an original partition with the cornice being complete to either side. This provides evidence that the main first floor space has been altered to create an adaptable larger space.
- 4.3.21 The partition wall aligns with pattress plates observed to the east and west elevations respectively and indicates that the building has been subject to previous structural repair. A second beam, boxed in to match the partition wall extends east to west across ceiling between the third and fourth sash windows which is aligned with a second pattress plate observed to the east and west elevations.
- 4.3.22 Further alteration to enlarge the main space is evidenced within the north east corner of the room where the plaster cornice runs either side of a north south aligned joist which is carried on the modern folding partition and the north external wall,

positioned to the right (east of the chimney breast). This evidences that the most north bay of the first floor was further subdivided with a small, separate room positioned to the east and served by the two most northerly positioned sliding sash windows viewed to the east elevation, see Plate O below.



Plate O - Plaster cornice work to the north east corner of the main room to the first floor

- 4.3.23 The route of the moulded cornice defines the original extent of the main room to the south with the partition walls to the second landing area and kitchen area dissecting the cornice and clearly being later insertions to the space.
- 4.3.24 The small WC area accessed from the secondary landing reveals a chimney breast (feature 114) within the south partition wall which identifies the position of a second fireplace; this being aligned with the remains of the chimney breast observed to the central bay of the ground floor (*Confer* 4.3.9).
- 4.3.25 A third, presumably structural member spans the length of space on a north south alignment carried from a left of central position within the north external wall to the chimney breast observed within the small WC. No external patten plate to correspond to the terminus of the beam on the north elevation was observed to the exterior.



Plate P - View south towards later partition walls inserted to create kitchen area (left) and small WC (centre) and second landing area (right) at first floor level. Boxed in structural elements are positioned below the ceiling level.

- 4.3.26 The kitchen area is accessed via a doorway directly to the east of the primary landing area. An opening within the south wall, which appears to be of brick construction and which is likely an original partition wall, has been made to form a pantry/store area within the south east corner of the building; this space being enclosed to the west by the partition wall of the smaller, secondary staircase to the second floor. The kitchen area retains sections of the original moulded plaster cornice along the south wall, above the later opening and the along the external east wall which confirm that this space formed part of a larger first floor room.
- 4.3.27 A canted stone pillar is present within the north east corner of the pantry/store area extending the full height of the first-floor space. This pillar was not observed at ground floor or second floor level and its function is unknown.



Plate Q – Canted stone pillar to small storeroom adjacent to first floor kitchen

- 4.3.28 *Second Floor (See Appendix 3 Plates B48 – B50 and C38 – C46)* – The second floor is accessed via a narrow timber dog-leg with winder staircase (feature 116) positioned within the angled south west corner of the building. The staircase comprises a closed string type, this being more typical of later Victorian designs (Yorke, 2012) with the turned, vase balusters c500mm tall of the balustrade concealed by behind plywood boarding applied to both the inner and outer sides. The stair has a plain, square, timber newel post with a ball finial at first floor landing level, the simplicity in form contrasting to the elegant detail of the balusters and suggests the newel post is likely a replacement.
- 4.3.29 The staircase leads to a small landing area which mirrors the landing area of the first floor directly below. Similar to the first floor, two window openings set within moulded timber architraves and set under round arch heads light the landing area, these windows being aligned with the first-floor windows below.
- 4.3.30 Floor coverings to the second floor comprises narrow timber boards throughout.



Plate R - Timber vase balusters to second floor staircase (feature 116)

- 4.3.31 To the north of the landing, a door opening with a modern timber door leads into a single large room of similar proportions or the corresponding first-floor room contained within the north and central bays. A chimney breast set centrally within the north external wall remains and is aligned with the remains of the fireplaces observed at first and ground level.
- 4.3.32 A second chimney breast concealed behind modern plaster board partition is present within the opposing south wall; this chimney breast aligned with that to the first floor WC area and ground floor shower room (*Confer* 4.3.26).
- 4.3.33 The room is served by five sliding sash windows positioned within the west elevation. No openings are present to the east elevation, this elevation having a lower eaves and therefore a reduced head height to the eastern half of the room. The eastern internal wall is finished with horizontal timber boarding. This is likely a later finish applied to the external wall, possibly for additional insulation or to conceal defective or decaying areas of plasterwork cheaply and quickly as part of the use of the building for ancillary

warehouse storage.



Plate S - North elevation of the second-floor room with chimney breast serving the first floor and timber boarding applied to the external east elevation

4.3.34 The room retains a tall skirting board along north and west internal elevations (feature 118) with the skirting to the east and south elevations being smaller and therefore a later alteration, likely installed when the timber board were applied to the east elevation and the south elevation partially concealed behind modern stud work.



Plate T - Skirting to the north and west walls of the main second floor room (feature 118)

4.3.35 The skirting has a ogee type series of narrow mouldings to its top edge and extends across the front of the chimney breast suggesting that a fireplace has not been present

to this elevation; it is unknown whether the opposing south chimney breast contained a fireplace however it is expected that the room would have originally been served by an open fireplace for heat.

- 4.3.36 A hole within the sloping east roof slope, close to a metal frame rooflight reveals the original/early lathe and plaster construction of the ceiling suggesting it has not been renewed.
- 4.3.37 Within the landing area, decorative plaster cornice work (feature 119) which matches that present to the first-floor rooms is present to the ceiling directly above the staircase with a partition wall inserted to the east dissecting the cornice and suggesting the landing area was originally larger and that it has been subject to reconfiguration. This is further attested by the presence of the modern partition walls within the south east corner of the second floor which have been installed to create three, small storage spaces.



Plate U - Original architrave to east internal partition wall from second floor landing area

- 4.3.38 However, an original moulded architrave (feature 117) to a door opening within a partition wall which encloses the landing area to the east indicates that this section of partition formed part of the original second floor configuration. This door opening leads into a small space from which a further door opening within an assumed modern

partition wall, aligned north to south, leads to a small storage area served by the two roof lights observed within the east facing roof slope (*Confer* 4.2.6).

- 4.3.39 *Cellar (Appendix 3 Plates B26 – B29 and C5 – C9)* – The building has two small cellar areas, the larger of the two being located directly beneath the north bay. This area is accessed externally from a cellar hatch opening within the external ground in front of the north west corner of the building. The original access (feature 120) comprised stone steps flanked by stone slabs laid at declining sloped angle however a change in brickwork coursing approximately 1.5m above the cellar floor level suggests the original entrance has been altered and made shorter with the extent of the original steps terminated short and a temporary timber ladder inserted in front of the steps to provide a later means of access. The brickwork to the lower section of the access looks older and more worn and may relate to the earlier building, the Old Black public house, known to have been present to the south of this part of the extant building.
- 4.3.40 Entry into the main space of the cellar is through a wide segmental arch opening with double course brick heads sitting on a timber lintel. The opening has rounded brick jambs which is indicative of ease of movement into in the space.



Plate V - Segmental arch opening into main cellar and altered stepped access (feature 120)

- 4.3.41 The cellar space is enclosed by brick walls constructed in an English garden wall bond and mirrors the extent of the ground floor room above in floor area. The floor covering comprises concrete. Renewed timber floor joists running north to south and resting on the north external wall and the internal dividing wall to the south carry a renewed timber ply floor to the ground floor north bay room.
- 4.3.42 To the north wall, aligned with the former fireplace observed at ground floor level is a shallow chimney breast with segmental brick arched aperture (feature 121), of similar proportions to that noted within the dividing internal wall between the northern and the central bay (*Confer* 4.3.9, feature 107). The aperture is likely structural rather than functional, there being no evidence of the opening serving as a fireplace.



Plate W - Segmental arch aperture to north wall of cellar under the north bay (feature 121)

- 4.3.43 A second small cellar area is located beneath the entrance hall and stone stair case in the south bay, this space is accessed via a small square hatch positioned just above ground floor level within an internal partition wall, likely original although observations of the brickwork from within the cellar area suggest it has been rebuilt

or altered. Two Stone steps also remain aligned with the hatch opening and the timber architrave of a door frame (feature 122) evidence alteration to the original means of access to this secondary, cellar space has occurred.



Plate X - Altered access into the cellar area below the main stair well with remains of timber door frame (feature 122)

- 4.3.44 The area comprises a loosely T shape plan form, the vertical element of the 'T' aligned north to south. The space is enclosed by red brick walls with changes in brick size, texture and coursing indicative of several phases of alteration and it is possible the extent of the space has been reduced in size and the configuration altered. This is further supported by the presence of metal beams inserted within the east wall.
- 4.3.45 The area has a lower head height than the larger cellar space to the north which is likely related to the sloping topography of the Site generally. The area also extends partly under the footway to Bailey Lane which may relate to an earlier arrangement however it is unclear from historic mapping that this area of the building footprint was developed with buildings prior to the erection of the extant building.



Plate Y - Remains of stone steps (left) and changes in brickwork (feature 122)

5 HISTORIC DEVELOPMENT

5.1 Features of Historic or Architectural Interest

5.1.1 A number of features have been identified during the survey phase of the work that help to verify the date of origin, the former use and the phases of the building's development. These have been described above and are summarised below and are identified on the drawn record (See drawing references ST16524-006 – 009 and ST16524-0012 - 013):

Feature No.	Feature Description
100	Stone Dog Statue and inscription to tympanum of pedimented entrance in east elevation
101	Wide round arch windows to ground floor of east elevation
102	Stone and brick pedimented main entrance to east elevation
103	Angled south elevatio
104	Joint in brickwork to north east corner of the north elevation below the kneeler
105	Blocked window to first floor of the west elevation
106	Chimney breast to internal north elevation of north bay (Ground floor)
107	Aperture to south side of internal dividing wall between north and central bay (Ground floor)
108	Cantilevered stone staircase to south bay (Ground and first floor)
109	Four panel-door to cupboard to north of main entrance (Ground floor)
110	Timber casement top lights to arched entrance visible within south bay (Ground floor)
111	Arched recess within south bay (Ground floor)
112	Moulded plaster cornice to first floor rooms
113	Remains of tiled hearth to fireplace within north elevation
114	Chimney breast to first floor WC
115	Moulded timber interior architrave to paired round arch openings to west of first floor landing
116	Timber stair and baluster to second floor
117	Timber architrave to doorway to east of landing area
118	Skirting board to second floor main room
119	Moulded cornice above second floor stair well
120	Entrance to main cellar area under north bay
121	Brick aperture with segmental arch head to north elevation of main cellar area
122	Stone step and door frame to small, secondary cellar area within south bay

5.2 Development of the Building

- 5.2.1 The earliest structure/s at the former Grunwergs site are of early 19th Century origins when development within the wider site boundary is depicted on Fairbanks 1803 map. Reference to J & Riley Carr, or certainly an earlier derivation of the company referred to as Carr, Woodhouse and Carr is recorded as being present within the wider site area by 1828 when the business is recorded at Bailey Lane within an 1828 trade Directory.
- 5.2.2 Buildings on the site of the former offices and showroom building are first recorded on Fairbanks 1822 survey which depicts the presence of the 'Old Black Boy' public house within the central part of the extant building and an enclosed yard area, with distinctive angled wall to the south. A similar arrangement is shown on the 1853 Ordnance Survey map which also depicts the presence of court housing to the north of the Old Black Boy public house.
- 5.2.3 The extant building was erected/reconfigured sometime between 1872, when last reference to the Old Black Boy public House is noted, the date of publication of the 1890 Ordnance Survey Map which appears to show the absorption of the extant building to the south east corner of the wider Bailey Lane Works. This 1872-1890 date of origin/re-configuration is supported by both the external architectural arrangement of the building which retains typical later 19th Century decorative features such as one over vertical sliding sash windows and terracotta and stone banding details, and remaining architectural and decorative features observed to the interior, notably to the first floor which has overall experienced less change, including the moulded cornice and balusters to the timber stair to the second floor which are typical of the mid to late Victorian period (Hall, 2007 and Yorke, 2012).
- 5.2.4 Observations of the exterior and the internal arrangement of the ground, first and second floor areas suggest that the east and west elevations represent a contemporary phase of construction/reconfiguration perhaps of an earlier structure with some evidence to the exterior of north elevation (feature 104) and access to the cellar area (feature 120) suggesting that the north bay, or at least the north elevation and the north cellar area possibly incorporates part of the earlier buildings noted to have occupied part of the extant building footprint on the 1853 Ordnance Survey. Certainly the southern elevation is reflective of the earlier arrangement of buildings and structures noted on historic mapping to have occupied the footprint with it the distinctive angled trajectory (feature 103) which is clearly depicted as early as 1822 on Fairbanks survey. This distinctive angle is incorporated into the extant building and

evidences that the expansion of the J and Riley Carr business occurred in successive phases southwards, there being no reason to suspect this angle in the construction of the extant building had ownership extended further south into the former court housing.

- 5.2.5 Evidence of the Old Black Boy public house or adjacent court housing may be retained at cellar level and in part of the north elevation. The external access way to the cellar (feature 120) in the north west corner of the extant building shows evidence of alteration with the remains of a stone stair and flanking, sloping stone copings terminated short with new brickwork sections built above. These stone steps, the sloping stone copings and the surrounding brickwork which appears older, may relate to the original entrance to the cellar area of the former public house or other building, with the stone copings possibly used to allow the easy rolling of beer barrels into the cellar area. Whilst, the main cellar space below the north bay of the extant building appears to be contemporary with the main building earlier brickwork may exist at lower level.
- 5.2.6 To the west and south elevation, the fabric of the building displays evidence of phases of change which from historic mapping comprises the extension of the extant building or the erection of new structures/buildings directly abutting. To the south elevation, the render panel to the ground and first floor likely conceals where a former building was abutted. No evidence of internal connection between the ground or first floor of the extant building to a former structure was observed however, this suggesting the structures were accessed independently.
- 5.2.7 To the west elevation, the central bay presents evidence of a former addition in the remains of the shallow brick piers to the central bay. These piers depict the width of a former addition, which appears to have been a single storey in scale with a flat roof as no interference with the first floor windows, other than where a door has been created to connect to the modern mezzanine of the later enclosing warehouse, were observed to suggest evidence of a larger scale addition. This addition was likely removed and part of the west wall of the extant building rebuilt in a modern bond pattern prior to the erection of the recently demolished large-scale warehouse addition which encased the ground and floor of the west and north elevations.
- 5.2.8 The ground floor of the building has experienced a greater degree of alteration however the original use of this space as showrooms remains discernible through the external arrangement of the ground floor openings to the east elevation, notably the

three large, wide, round arch openings to the centre of the ground floor which would have served as windows to the showroom to advertise and promote the products being made by the company.

- 5.2.9 The original pattern of circulation through the ground floor is harder to understand within the extant arrangement however it is thought from evidence of alteration observed to the interior cupboard to the north of the main entrance that direct access from the main entrance, deliberately and prominently announced by the stone pediment to the east elevation, would have also provided ground floor access into the adjacent showroom area with a former door opening between the entrance hall and the extant WC area likely blocked up or the interior partition walls to create the cupboard being new fabric.
- 5.2.10 It is also likely that former door opening(s) between the extant WC area and the smaller offices within the central bay would have been present to the east and/or west of the extant internal dividing wall or that the space originally was open, possibly in part to the east and the partition walls are later. The section of wall where the arched recess (feature 111) is located does appear original retaining evidence of a chimney breast which suggest the areas would have been heated by fireplaces originally which have subsequently been infilled/removed. The ground floor access to the west elevation off the north bay, whilst original to the building is not believed to have been the primary means of entry into the showroom area.
- 5.2.11 To the first and second floors, the level of intervention undertaken is less and the original floor plan and pattern of circulation to each floor is clearly legible. An understanding of the original configuration of the rooms to the first floor is offered by the remains of the decorative moulded plaster cornice (feature 112) which clearly depicts the original size of the main first floor room and evidence that the modern sliding partition wall inserted between the north and central bays respects the line of an original partition wall. The arrangement of the cornice also evidences that the north bay was further subdivided with a smaller room to the north east corner.
- 5.2.12 In addition, the extent of the cornice to the central bays allows an understanding of scale of the main first floor space with the later partition walls dissecting the decorative detailing.
- 5.2.13 Similar to the ground floor rooms, the remains of the modern replacement fireplace to the north wall and the chimney breast observed within the later WC area provide

evidence that this space was heated. From this, and from the decorative plaster cornice it can be interpreted that the first floor likely functioned as the offices for the business with the smaller space within the north bay possibly being the managers office.

- 5.2.14 The level of intervention to the second floor is further reduced and the remains of decorative features including the moulded cornice above the stairwell (feature 119) and the skirting board (feature 118) to the main, larger room offer an understanding of their likely function as offices, although the plainer staircase (feature 116) leading to this floor suggest that the offices to this level were for less important employees and were unlikely to accommodate important visitors to the business.

6 CONCLUSION

- 6.1.2 The building recording has satisfied the aims set out in Section 2 above. Detailed observations of all external elevations and the interior of the building have been discussed and photographed to allow, where possible, an appreciation of the historic development of the building and an understanding of how the interior spaces may have been originally configured and their original intended function.
- 6.1.3 The building represents investment in a new, purpose built/re-built, architecturally fashionable building reflecting the success of the J and Riley business and the steel industry in Sheffield generally in the late 19th Century (Hey, 1998).
- 6.1.4 The exact date of the building's construction/adaption is not known however analysis of historic mapping and available secondary sources provides a date of construction of between 1872 and 1890 which is supported by the architectural character and decoration of the both the interior and exterior.
- 6.1.5 Whilst it is known that earlier buildings and structures of early 19th Century origin occupied the site of the extant of the building, observations of the main structure suggest that the majority of the extant building is of a contemporary phase of construction with only part of the north elevation appearing to relate to an earlier building as evidenced through changes in brickwork coursing and a straight joint in the brickwork between the east front façade and the north elevation at kneeler level.
- 6.1.6 In addition, visual assessment of the fabric suggests that the entrance to the cellar area under the north bay of the building may have formed part of the Old Black Boy public house or other building shown to have been present on the site by 1822 and 1853 respectively, where the narrow, steep stone steps and sloping stone copings and surrounding brickwork show signs of earlier construction and subsequent alteration.
- 6.1.7 To the interior, the most significant alteration and loss of features is to the ground floor however evidence remains to the exterior and part of the interior whereby the original intended use of the space as a showroom can be understood.
- 6.1.8 Remaining decorative features to the interior are limited to the moulded cornice to the first and second floor, remnants of original skirting board to the second floor and a cantilever staircase typical of the late Victorian era.
- 6.1.9 The approved scheme retains the east frontage of the former showroom and offices of J and Riley Carr, this elevation being of the most architectural and historic interest

and being locally distinguishable as result of pointer dog stone statue positioned prominently above the original main entrance. The north, west and south elevations and the interior of the building will be permanently preserved in this record as a result of the programme of archaeological building recording undertaken in line with Historic England Guidance and condition 3 of the associated planning approval (Application Ref: 18/02170/FUL).

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Cartographic Sources

1850 - 1851 Ordnance Survey Map (Yorkshire 294), 6 inch to 1 mile

1853 Ordnance Survey Map, 25 inch to 1 mile scale

1890 Ordnance Survey Map (Sheffield Central Division CCXCIV.7.15), 25 inch to 1 mile scale

1889-1892 Ordnance Survey Map (Yorkshire CCXCIV.7 [Sheffield]) 6 inch to 1 mile

1901-1903 Ordnance Survey Map (Revised) (Yorkshire CCXCIV.7 [Sheffield]). 6 inch to 1 mile

1935 Ordnance Survey Map (Revised) (Yorkshire CCXCIV.7 [Sheffield]), 6 inch to 1 mile

APPENDICES

Appendix 1

Approved Written Scheme of Investigation



WATKIN JONES GROUP

**STEEL WORKS HOUSE: FORMER J RILEY CARR OFFICES AND SHOWROOM
BUILDING, BAILEY LANE, SHEFFIELD CITY CENTRE**

BUILDING RECORDING WRITTEN SCHEME OF INVESTIGATION

FEBRUARY 2019 (Revised May 2019)

DATE ISSUED: FEBRUARY 2019 (Revised May 2019)
JOB NUMBER: ST16524
REPORT NUMBER: 004 (Rev A)

WATKIN JONES GROUP

**STEEL WORKS HOUSE: FORMER J RILEY CARR OFFICES AND SHOWROOM, BAILEY
LANE, SHEFFIELD CITY CENTRE**

BUILDING RECORDING WRITTEN SCHEME OF INVESTIGATION

PREPARED BY:

L Goring Principal Heritage Consultant



APPROVED BY:

D Hodgkinson Technical Director



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ENERGY AND CLIMATE CHANGE
ENVIRONMENT AND SUSTAINABILITY
INFRASTRUCTURE AND UTILITIES
LAND AND PROPERTY
MINING AND MINERAL PROCESSING
MINERAL ESTATES
WASTE RESOURCE MANAGEMENT

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APPENDICES

Appendix 1 Historic Maps

FIGURES

ST16524/003 Site Location

1 INTRODUCTION

- 1.1.1 Wardell Armstrong LLP has been commissioned by Watkin Jones Group (hereafter referred to as 'the client') to prepare a Written Scheme of Investigation (WSI) for the preparation of an archaeological building recording of the former J Riley Carr offices and showroom, Bailey Lane, Sheffield (Centred on NGR: SK 34974 87381). The building forms part of the former Grunwergs site which is located between Rockingham Street and Bailey Lane within Sheffield City Centre, see Figure 1.
- 1.1.2 The archaeological building recording is required to ensure that any archaeological building remains, are investigated and a proper understanding of their nature, date, extent and significance gained, prior to any works being undertaken which result in the loss or damage of those remains, and that knowledge gained is disseminated to building upon the archaeological record of the area.
- 1.1.3 The proposed redevelopment at the Site entails a multi-storey, mixed-use scheme incorporating student accommodation. The approved scheme seeks the retention and sustainable re-use of the façade of the former office and showroom building providing accessible accommodation in this much-compromised part of the city. The works at the Site have been granted conditional planning permission by Sheffield City Council (Application Reference 18/02170/FUL) on the 5th September 2018.
- 1.1.4 Planning condition 3 of the above approval states that:

No development, including any demolition and groundworks, shall take place until the applicant, or their agent or successor in title, has submitted a Written Scheme of Investigation (WSI) that sets out a strategy for archaeological investigation and this has been approved in writing by the Local Planning Authority. The WSI shall include:

- *The programme and method of site investigation and recording;*
- *The requirement to seek preservation in situ of identified features of importance;*
- *The programme for post-investigation assessment;*
- *The provision to be made for analysis and reporting;*
- *The provision to be made for publication and dissemination of the results;*
- *The provision to be made for deposition of the archive created;*
- *Nomination of a competent person/persons or organisation to undertake the works;*

- *The timetable for completion of all site investigation and post investigation Works.*

Thereafter the development shall only take place in accordance with the approved WSI and the development shall not be brought into use until the Local Planning Authority have confirmed in writing that the requirements of the WSI have been fulfilled or alternative timescales agreed.

- 1.1.5 Initial consultation with the Planning Archaeologist (email dated 2nd November 2018) confirmed that a separate WSI should be prepared for archaeological building recording of the former Riley and Carr offices and showroom, the remaining historic building on site, as part of the works to discharge this condition.
- 1.1.6 This WSI provides a methodology for an archaeological building recording in accordance with Historic England guidance 'Understanding Historic Buildings: A Guide to Good Recording Practice' (2016) and conforms to the guidelines and standards laid down in the following documents:
- *Standard and guidance for the archaeological investigation and recording of standing buildings or structures*, Chartered Institute for Archaeologists: Reading (CIFA 2014a).

2 BACKGROUND

2.1 Location

- 2.1.1 The 0.4ha Site occupies a rectangular plot located between Rockingham Street and Bailey Lane within Sheffield City Centre. It is currently occupied by multi-phase commercial warehouse, predominantly modern but with historic fabric within its eastern elevation to Bailey Lane which is thought to have been utilised as the offices and showroom of Riley Carr, who historically operated at the site.

2.2 Historical and Archaeological Background

- 2.2.1 A Heritage Statement to accompany the full planning application was prepared by Stephen Levrant Heritage Architecture (2018) and an Archaeological Desk Based Assessment (DBA) of the site was prepared by Wardell Armstrong (2018). The heritage statement and the DBA include information on the historic development of the Site, including the former Riley and Carr offices and show room. The pertinent key points have been summarised below.
- 2.2.2 The rapid development of Sheffield occurred between 1821 and 1851 as the population doubled during this period to reach 83,000. The subsequent Ordnance Survey map of 1853 shows the impact of this expansion on the Site with the land between Rockingham Street and Bailey Lane densely packed with a mix of terraced back-to-back and courtyard housing, as well as small-scale industrial works.
- 2.2.3 The Site continued to evolve during the 19th Century and was crossed by the now lost roads of Carr Lane and Woodhouse Lane. The streets enclosing the proposed developed site were densely lined with back-to-back and courtyard housing as well as workshops by the mid-C19th and remained in this form until the end of the century. Notably the Old Black Boy public house was shown fronting Bailey Lane in 1822 and 1850.
- 2.2.4 Industrial growth and development continued into and throughout the 19th Century with a range of industrial buildings erected to accommodate the growing steel and cutlery producers. Machine shops, furnaces and mills were typically utilitarian in character demanding little architectural contribution. Greater opportunity for architectural expression was presented in the offices, warehouses and larger cutlery works (Harman & Harper); as is demonstrated in the architecture of the former offices and showroom to the Riley Carr works fronting Bailey Lane, with its stone pediment

and fascia above the main entrance, stone banding and sills and brick arched shop/office windows to the ground floor.

- 2.2.5 The building is the single surviving historic building on the site representing part of the late 19th Century phase of development. The building has historic associations with the local steel and metal industries, particularly J & Riley Carr Ltd who were established in 1820 and occupied the site in part until the mid-20th Century. The company were makers of saw files and machine knives and were seemingly successful with the expansion of the works clearly recorded on the early OS maps (See Appendix 1b).
- 2.2.6 A rapid review of the building carried by RCHME in 1998 verifies that the building appears to have been established between 1890 and 1901/03. Its construction would have incorporated the footprints of earlier buildings such as the Old Black Boy public house and other properties shown in historic mapping of 1822 (Wardell Armstrong, 2018).

3 AIMS AND OBJECTIVES

3.1 General Aims

3.1.1 The purpose of the archaeological building recording is to comply with saved policy BE22 Archaeological Sites and Monuments (1998 Unitary Development Plan) and with Policy G7 Development and Heritage Assets of the Pre-submission Draft City Policies (2013) indicative of the forthcoming new Sheffield Plan which both encourage appropriate recording of archaeological remains.

3.1.2 The general aims of the building recording are to:

- determine the plan, form, character and date of origin for the building;
- understand the fabric of the building and how it has may have been adapted or altered;
- enable understanding of the function of the building and how this has changed over time;
- record the elevations of the building to an appropriate standard;
- provide historic context of the building;
- disseminate the results of the building recording through an appropriate level of reporting; and
- ensure an accurate and comprehensive record as part of the archive to be disseminated to the south Yorkshire HER.

3.1.3 The formal record created will lead to the production of an archive that will be formally deposited with Sheffield Archives, along with a copy of the final report; the final report will also be deposited with the South Yorkshire Sites & Monuments Record/Historic Environment Record.”

4 METHOD STATEMENT

- 4.1.1 A scheme for archaeological building recording has been designed in order to satisfy the stated objectives of the project as set out under Section 3.
- 4.1.2 The historic building recording will comprise a Level 2/3 survey as described in 'Understanding Historic Buildings – A Guide to Good Recording Practice' (Historic England 2016).
- 4.1.3 It will be undertaken by a Contractor employed by the client prior to the proposed redevelopment at the Site.
- 4.1.4 It is noted that the building will have to be cleared of all stored contents prior to survey such that internal elevations and rooms can be properly recorded.
- 4.1.5 The building recording will comprise the production of a drawn, photographic and written record.

4.2 Drawn Record

- 4.2.1 A baseline drawn record for the east facing façade of the building to be retained already exists (Survey Solutions Drawing Ref: 20730cv-03). Existing floorplans will need to be produced if not available for the building to accord with Historic England's *Understanding Historic Buildings* (2016). The drawn record should comprise:
- *Measured drawings to show the form of any architectural decoration (for example the moulding profiles of door surrounds, beams, mullions and cornices) or small-scale functional detail not easily captured by photography. A measured detail drawing is particularly valuable when the feature in question is an aid to dating;*
 - *Measured elevations, where these are necessary to an understanding of the building's design, development or function;*
 - *One long section and at least one cross section through the main building range, to clarify structural & spatial relationships; and*
 - *A plan or plans identifying the location and direction of accompanying photographs.*
- 4.2.2 The measured plans will be annotated in the field, and these annotations will be added electronically to any existing plans and included within the final report.

4.2.3 All drawings will use drawing conventions set out in Historic England (2016) *Understanding Historic Buildings: A Guide to Good Recording Practice*; drawings will also be appropriately annotated, to aid interpretation.

4.3 Photographic Record

4.3.1 The photographic survey will include items 1, 2, 4, 5, 6, and 7 from Historic England's *Understanding Historic Buildings* (2016):

- *A general view or views of the building (in its wider setting or landscape if 2 (below) is also to be adopted);*
- *The building's external appearance. Typically, a series of oblique views will show all external elevations of the building and give an overall impression of its size and shape. Where individual elevations include complex historical information, it may also be appropriate to take views at right-angles to the plane of the elevation;*
- *The overall appearance of the principal rooms and circulation areas. The approach will be similar to that outlined in above;*
- *Any external or internal detail, structural or decorative, which is relevant to the buildings design, development and use with scale where appropriate;*
- *Any machinery or other plant, or evidence for its former existence; and*
- *Any dates or other inscriptions.*

4.3.2 All photographs will be on black and white film; where colour is an aspect that needs to be recorded, e.g. decoration, 35mm colour slide photography will be used. Photographs are to be taken with 35mm or Medium Format cameras; perspective control will be used, where appropriate. Digital photography can only be used to supplement the photographic record; it must not form any part of the primary archive.

4.3.3 A photographic register detailing (as a minimum) location and direction of each shot will be completed.

4.3.4 The location and direction of each photograph will be noted on site and floor plans of the building.

4.4 Written Record

4.4.1 In accordance with a Level 3 survey, the written record will include items 1, 3, 6, 7, 8, 9, 11, 12 and 13 from Historic England's *Understanding Historic Buildings* (2016):

- *The precise location of the building as an address and in the form of a National Grid reference;*
- *The date when the record was made, the name(s) of the recorder(s) and the location of any archive material;*
- *A longer summary statement that summarise the building's form, function, date and sequence of development. The names of architects, builders, patrons and owners should be given if known. Its purpose is to describe the building when no fuller record is necessary. Alternatively, it may serve as an introduction to the more detailed body of a record that may follow, for users who may need a summary of the report's findings;*
- *An introduction briefly setting out the circumstance in which the record was made, its objectives, methods, scope and limitations, and any constraints. Where appropriate the brief for the work or project design should be stated or appended;*
- *Acknowledgements to all those who have made a significant contribution to the making of the record, or who have given permission for copyright items to be reproduced;*
- *A discussion of the published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence (map regression) and a critical evaluation of previous records of the building, where they exist;*
- *An account of the building's overall form (structure, materials, layout) and of its successive phases of development, together with the evidence supporting the analysis;*
- *An account of the buildings past and present uses and the uses of its parts with the evidence for these interpretations. An analysis of the circulation pattern or decorative or liturgical scheme. An account of any fixtures, fittings, plant or machinery associated with the building, and their purpose; and*

- *Any evidence for the former existence of demolished structures or removed plant associated with the building.*

4.4.2 In addition, the written record will include item 5, 18 and 23 from Historic England's *Understanding Historic Buildings* (2016):

- *A contents list and a list of illustrations or figures;*
- *Copies of historic maps, drawings, views or photographs illustrating the development of the building (with permission of owners or copyright holders where relevant); and*
- *Full bibliographic and other references, or a list of the sources consulted.*

4.4.3 Previous research on the historic development of the site which includes the former offices and show room building, will be consulted by the contractor in order to collate the previous information gathered including plans and documents relevant to the Site. Other documentary sources will be examined for information about the building, occupants, and past activities undertaken on Site. Several journals and other secondary sources will also be studied for pertinent information.

4.4.4 Overall, the report will include:

- a site location plan, related to the national grid;
- the dates on which the project was undertaken;
- a concise, non-technical summary of the results;
- a description of the methodology employed;
- a description of the historical background of the building and the Site;
- plans showing the location of the building subject to the historic building recording;
- copies of any historic building plans, photographs and illustrations obtained during the preparation of the written record;
- plans, sections and elevations of the historic building at an appropriate scale, showing structural detail and phasing information;
- written description of the building, including its development and past use;

- annotation of the location of any lost buildings, structures or features identified through the written record;
- a selection of the record photographs used as illustrations within the report, a complete set of scanned black and white photographs and any colour slides (excluding any duplications), along with the photographic record plans, will be appended to the digital report, referenced as necessary; and
- the project OASIS reference number.

4.4.5 Copies will be made of all readily-available pictorial and photographic images showing the building subject to the building recording, and a selection of the images will be included in the report.

4.4.6 Upon completion of the report, a draft will be supplied to the client for comment in the first instance. Once approved by the client, a copy of the report will be forwarded to Dinah Saich, Principal Archaeologist at South Yorkshire Archaeology Service.

4.4.7 The final report will be made available within approximately 10 days of the completion of the survey work.

4.5 Archive Preparation and Deposition

4.5.1 The appointed Contractor will support the Online Access to the Index of Archaeological Investigations (OASIS) project. This project aims to provide an online index and access to the extensive and expanding body of grey literature created as a result of developer-funded archaeological fieldwork. As a result, details of the results of this study should be made available by the appointed Contractor as a part of this national project.

4.5.2 A fully indexed field archive will be compiled, consisting of all primary written documents, plans, sections, photographic negatives and a complete set of labelled photographic prints (minimum size 6" x 4" or equivalent for Medium format). Labelling is to be in indelible ink on the back of the print and should include: film and frame number; date recorded and photographers name; name and address of feature/building; national grid reference. Photographic prints are to be mounted in appropriate archive-stable sleeves.

4.5.3 The archive, including a copy of the final report, will be compiled, indexed and then offered for donation to Sheffield Archives. The contractor will either arrange for

copyright on the deposited material to be assigned to Archives, or will licence Archives to use the material, in perpetuity; this licence will allow Archives to reproduce material, including for use by third parties, with the copyright owner suitably acknowledged. Following deposition, a copy of the acceptance letter (or equivalent) from the archive will be copied to SYAS.

- 4.5.4 Donation of the archive will be undertaken within 6 months of completion of the final report.

4.6 Monitoring

- 4.6.1 The appointed Contractor should ensure internal monitoring to ensure compliance with the WSI.
- 4.6.2 South Yorkshire Archaeology Service (SYAS) will be responsible for monitoring work on behalf of the LPA; SYAS will be given a minimum of one week's notice of the commencement of site work in order that arrangements for monitoring can be made.
- 4.6.3 Any alterations to the agreed project design, found to be necessary, are to be discussed with and agreed by the LPA monitor before implementation.

4.7 Dissemination

- 4.7.1 The project will be registered with the Online AccesS to the Index of archaeological investigationS (OASIS), where a digital copy of the report will be made available.
- 4.7.2 Two copies of the report, one hard copy and one digital copy, will be deposited with the South Yorkshire Historic Environment Record via the Historic Environment Record Officer.

4.8 Health and Safety

- 4.8.1 The appointed Contractor will conduct the work in compliance with the Health and Safety at Work Act 1974.
- 4.8.2 The appointed Contractor will maintain a Health and Safety Policy and have available appropriate expertise in Health and Safety advice. Site staff should have an appropriate level of training to enable them to carry out fieldwork safely.
- 4.8.3 The appointed Contractor will abide by the client's health and safety methodology as well as producing their own internal risk assessment document. All contracted staff will assist the client in maintaining the Site in a safe condition. Hazards will be

appropriately identified and managed.

- 4.8.4 A risk assessment will be undertaken by the appointed Contractor prior to commencement of fieldwork, and where appropriate a COSHH assessment will also be undertaken. Once on Site, these documents will be assessed and any variations will be documented and added to the appropriate document. These will be re-evaluated as necessary periodically during the course of the evaluation to make sure that they remain consistent to the Site-specific risks.
- 4.8.5 The appointed contractor will be required to be inducted and sign these documents on first arrival to Site to show that they have read and understood the contents and any variations to the documents will be communicated as required.
- 4.8.6 During the fieldwork appropriate safety clothing will be worn by appointed Contractor staff at all times. The client will be requested to provide details of their own risk assessment before fieldwork commences. If there is conflict between the client's risk assessment and that of the appointed Contractor, then the clients will take priority, unless it is perceived to be placing the field team at greater risk.

4.9 Staffing

- 4.9.1 The appointed contractor will ensure the standards and codes of conduct of the Chartered Institute for Archaeologists will be adhered to at all times.
- 4.9.2 The appointed Contractor will keep the client informed on the progress of work.
- 4.9.3 The work will be carried out by appropriately qualified and experienced staff. Details of staff to be used and their relevant experience should be discussed and agreed with SYAS prior to work being carried out.

5 REFERENCES

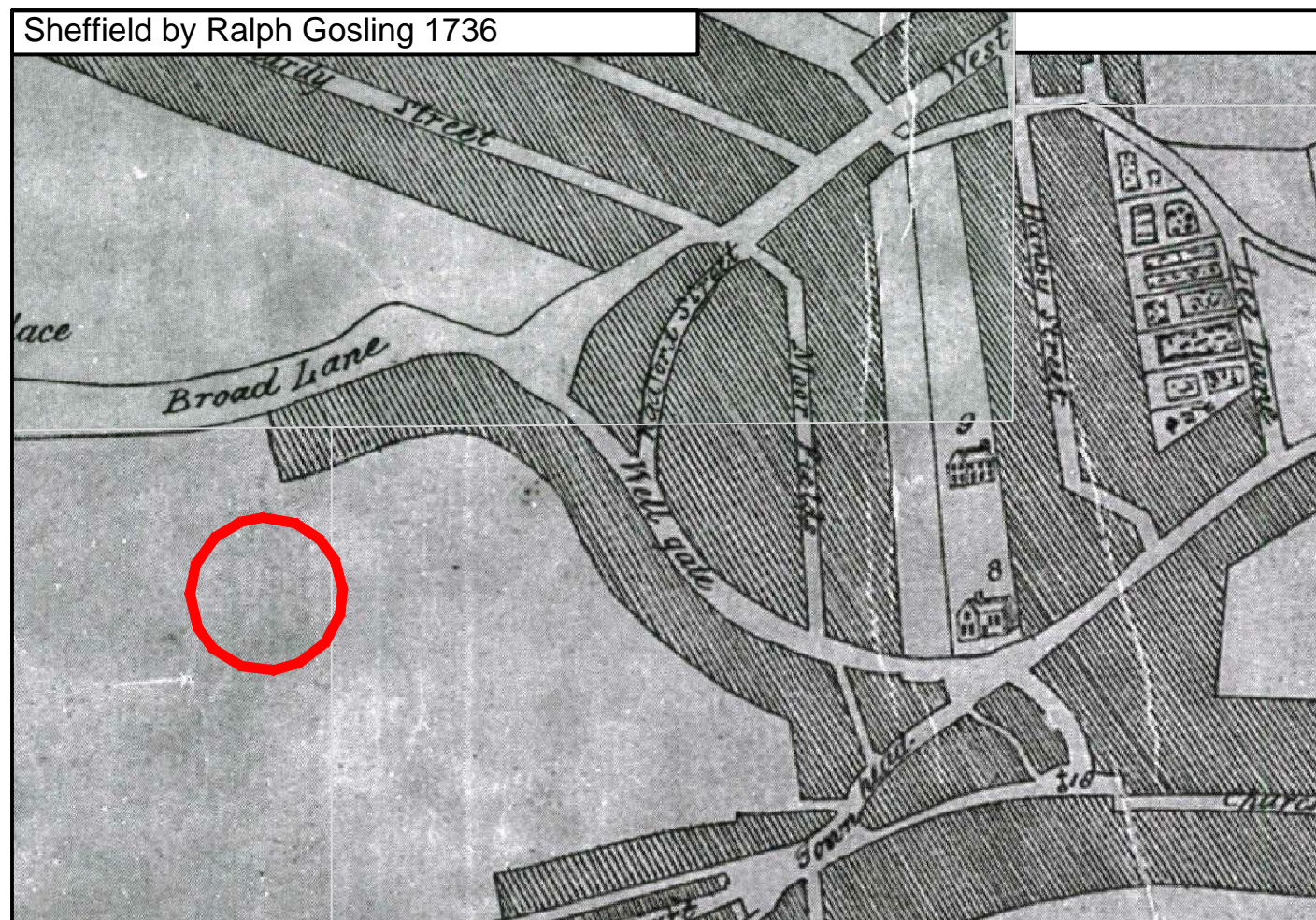
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APPENDICES

APPENDIX 1

HISTORIC MAPS

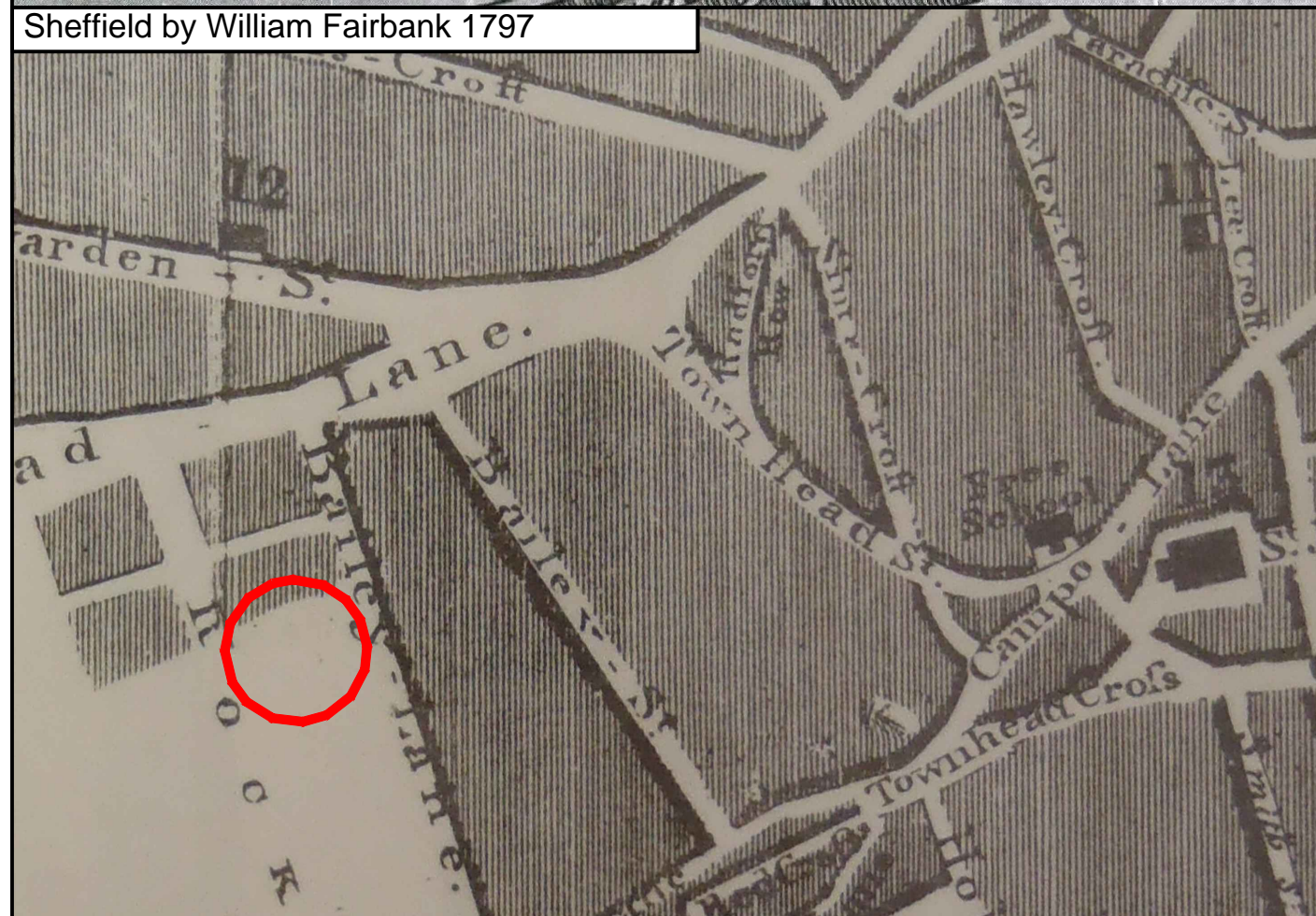
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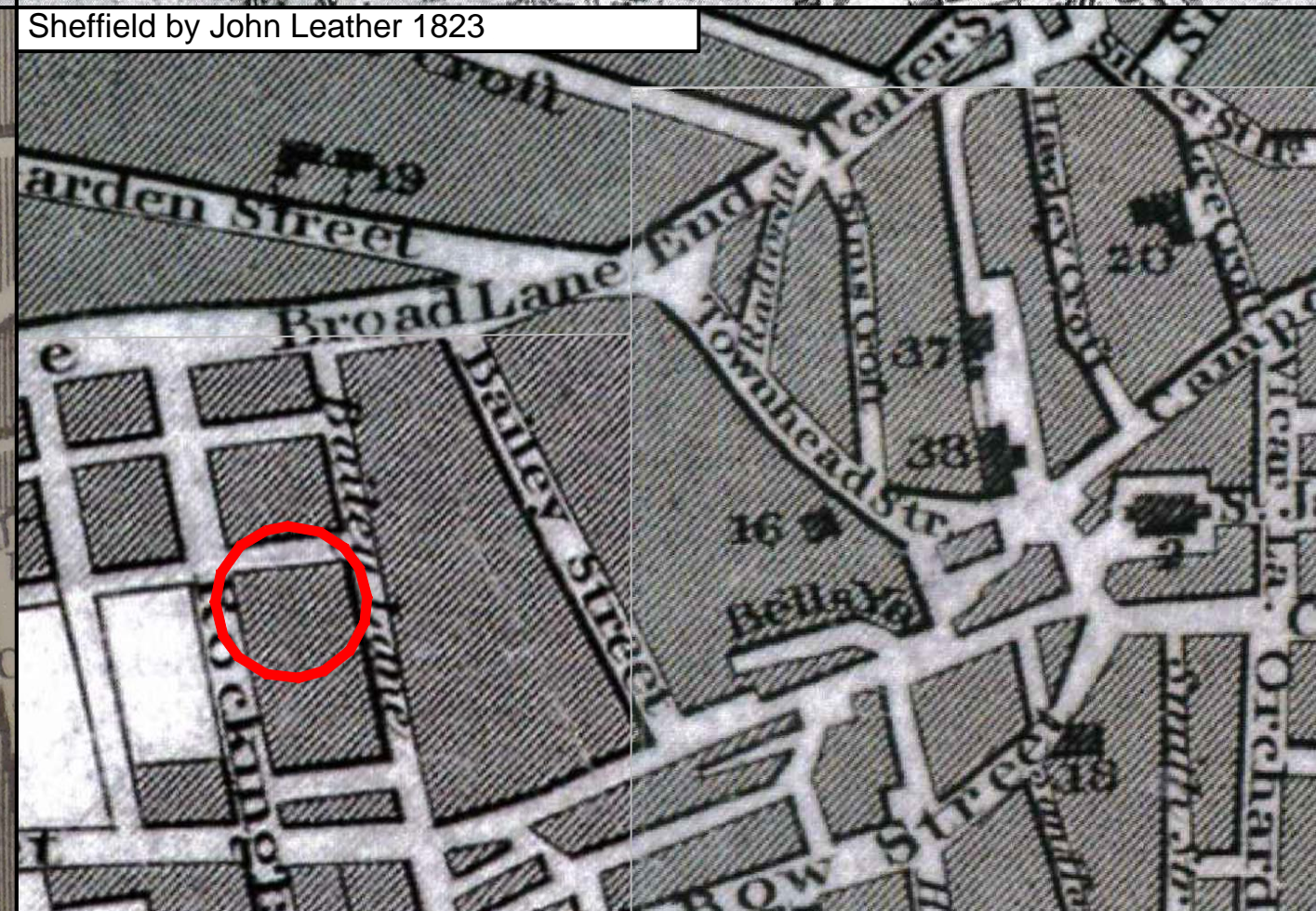
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Sheffield by William Fairbank 1797



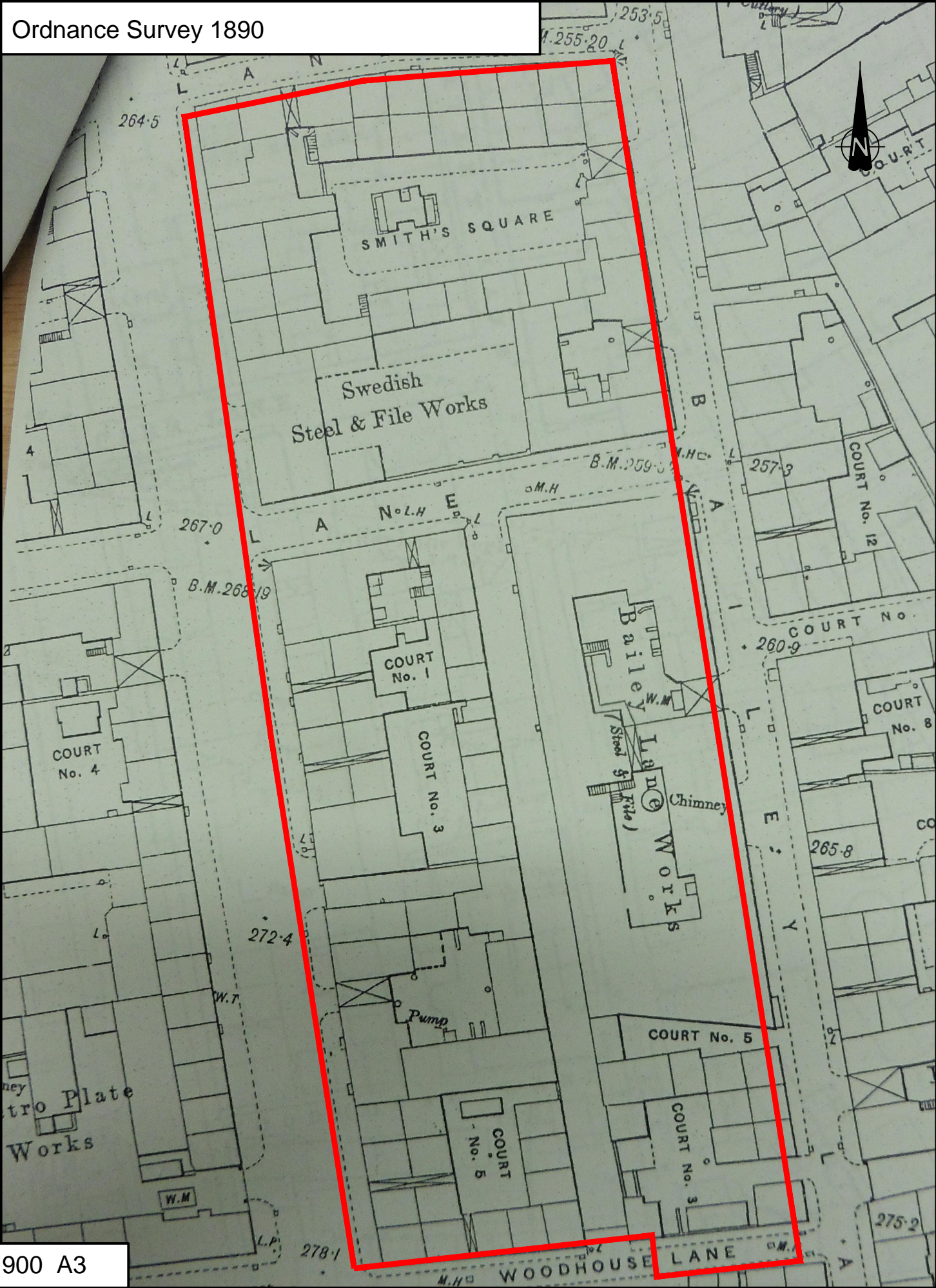
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Ordnance Survey 1853

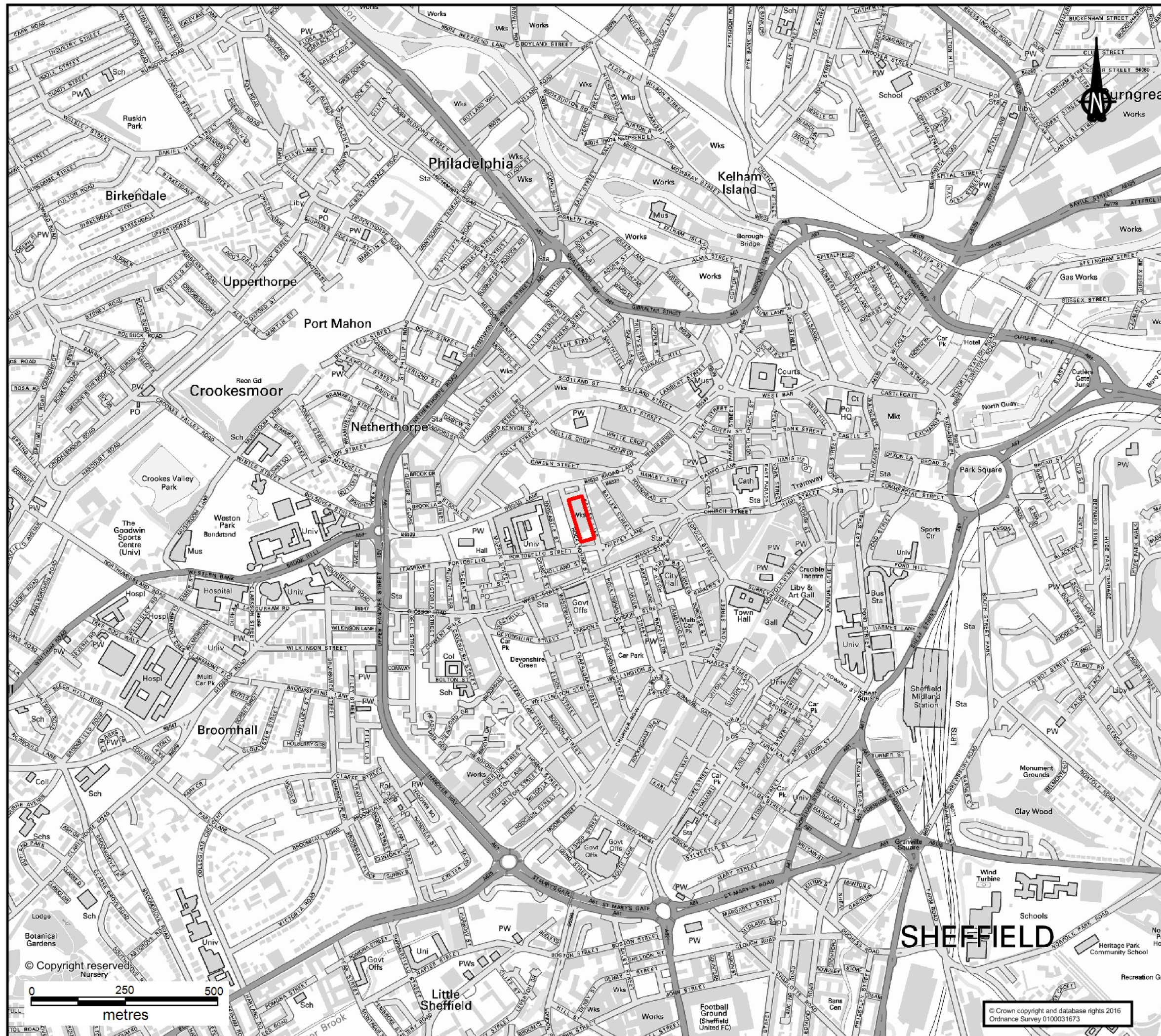


Ordnance Survey 1890



Scale: 1:900 A3

FIGURES



KEY



Site Boundary

REVISION	DETAILS	DATE	DRAWN	CHKD	APPD

CLIENT

Watkin Jones Group

PROJECT

Grunwergs Phase 2

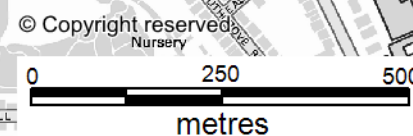
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Site Location

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<input type="checkbox"/> NEWCASTLE-UPON-TYNE	TEL 0191 232 0943	<input type="checkbox"/> LEIGH	TEL 01942 260101
<input type="checkbox"/> WEST-BROMWICH	TEL 0121 580 0508	<input type="checkbox"/> SHEFFIELD	TEL 0114 245 6244
<input type="checkbox"/> LONDON	TEL 020 7287 2872	<input type="checkbox"/> EDINBURGH	TEL 0131 555 3311
		<input type="checkbox"/> TAUNTON	TEL 01262 703100



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STOKE-ON-TRENT

Sir Henry Doulton House
Forge Lane
Etruria
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BIRMINGHAM

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CARDIFF

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CARLISLE

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Burgh Road Industrial Estate
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Cumbria
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14 Links Place
Edinburgh
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2 West Regent Street
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Newcastle Upon Tyne
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Newton Chambers Road
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Wheal Jane Earth Science Park
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Regency Hotel Office Tower
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050040
Tel: +7(727) 334 1310

MOSCOW

21/5 Kuznetskiy Most St.
Moscow
Russia
Tel: +7(495) 626 07 67

Appendix 2

Plate Index Table

APPENDIX 2 PLATE INDEX TABLE

Primary Photographic Record (Black and White)			
Plate Ref (See Location and floor plans)	Description	Location	Direction of Plate
B1	South Elevation: Gable Apex	External South	NE
B2	South Elevation	External South	N
B3	East Elevation	External East	NW
B4	East Elevation: Main Entrance	External East	SW
B5	East Elevation: Ground floor round arch openings	External East	SW
B6	East Elevation: Ground floor openings	External East	SW
B7	East Elevation: Iron pier between segmental arch openings	External East	SW
B8	East Elevation: Smaller round arch openings	External East	SW
B9	East Elevation: Main Entrance	External East	NW
B10	East Elevation: Segmental arch openings	External East	NW
B11	East Elevation: Rounded and chamfered jambs to main entrance	External East	NW
B12	East Elevation: Decorative pediment to main entrance	External East	NW
B13	East Elevation: Pointer Dog Statue and inscription to the tympanum of the entrance pediment	External East	W
B14	East Elevation: First floor windows	External East	NW
B15	East Elevation: Decorative brick and terracotta banding courses	External East	SW
B16	North Elevation	External North	S
B17	North Elevation and West Elevation	External North	SE
B18	North Elevation: End chimney stack	External North	SW
B19	West Elevation: Axial chimney stack	External South	NE
B20	West Elevation: Infilled window opening to first floor	External West	SE
B21	West Elevation: Altered ground floor opening	External West	NE
B22	Part West Elevation and South Elevation	External West	NE
B23	West Elevation	External West	NE
B24	West Elevation	External West	SE
B25	West Elevation: Ground floor door opening	External West	E

Primary Photographic Record (Black and White)			
Plate Ref (See Location and floor plans)	Description	Location	Direction of Plate
B26	Cellar Area: Access ladder	Main Cellar (north)	W
B27	Cellar Area: Earlier stone steps to access	Main Cellar (north)	W
B28	Cellar Area: Segmental brick arch head above entrance	Main Cellar (north)	W
B29	Cellar Area: Segmental brick arch above aperture to north elevation	Main Cellar (north)	NW
B30	Top lights to segmental arch openings to the ground floor of the east elevation	Ground floor interior (South bay)	NE
B31	Metal casement window to ground floor north elevation	Ground floor interior (North bay)	N
B32	Typical glazing bar detail to metal casement windows to the ground floor	Ground floor interior (North bay)	W
B33	Typical sash window to first floor	First floor, main room	SE
B34	Inserted concertina partition to the first floor	First floor, main room	SE
B35	Typical sash window to second floor	Second floor, main room	SW
B36	Typical architrave detail to all first and second floor sash windows	First floor, main room	W
B37	Remains of moulded plaster cornice to first floor	First floor, main room	SE
B38	Floor covering and altered skirting board to first floor	First floor, main room	SE
B39	Moulded plaster cornice detail to first floor	First floor, main room	SE
B40	Moulded plaster cornice detail to the first floor	First floor, main room	NW
B41	Moulded plaster cornice detail to the first floor	First floor, main room	SE
B42	Renewed fireplace to the first-floor north wall	First floor, main room	N

Primary Photographic Record (Black and White)			
Plate Ref (See Location and floor plans)	Description	Location	Direction of Plate
B43	Remains of tiled hearth to renewed first floor fireplace	First floor, main room	N
B44	Closed String to staircase to second floor	First floor landing	SW
B45	Timber vase shaped balusters to second floor staircase	First floor landing	W
B46	Riser, treads and skirting to second floor staircase	First floor landing	S
B47	Riser, treads and skirting to second floor staircase	First Floor landing	S
B48	Second Floor: Chimney breast to north wall	Second floor	N
B49	Second Floor: Skirting board detail to north and part east wall of the main second floor room	Second floor	NE
B50	Second Floor: Section of exposed lath and plaster work to the underside of the sloping ceiling to the main room	Second floor	E

Secondary Photographic Record (Colour)			
Plate Reference	Description	Location	Direction of Plate
C1	Part South and East Elevation	External East	NW
C2	East Elevation: Stone detail to segmental arch openings to ground floor	External East	W
C3	East Elevation: Stone and brickwork detailing to main entrance	External east	SW
C4	East Elevation: Stone detailing to main entrance	External East	W
C5	Brick aperture to north wall of north cellar area	Cellar area under north bay	NE
C6	Entrance to north cellar area	Cellar area under north bay	W

Secondary Photographic Record (Colour)			
Plate Reference	Description	Location	Direction of Plate
C7	Entrance to south cellar area (below main staircase)	Cellar area under north bay	W
C8	South cellar area	Cellar area under south bay (part)	W
C9	Remains of steps to south cellar area	Ground floor interior (south bay)	NW
C10	Infilled openings to the east elevation (north bay)	Ground floor interior (north bay)	NE
C11	Remains of fireplace to north wall (north bay)	Ground floor interior (north bay)	N
C12	Altered and new windows to the west and north walls of the north bay	Ground floor interior (north bay)	NW
C13	Aperture to the internal dividing wall of the central bay	Ground floor interior (central bay)	N
C14	Later internal subdivisions to central bay	Ground floor interior (central bay)	NE
C15	Infilled openings to east elevation	Ground floor interior (central bay)	NE
C16	Remains of window-sill to infilled openings to the east elevation	Ground floor interior (central bay)	SE
C17	Underside of main stair visible to the south bay	Ground floor interior (south bay)	E
C18	Underside of main stair visible to the south bay	Ground floor interior (south bay)	E
C19	Arched recess to the south bay	Ground floor interior (south bay)	SW

Secondary Photographic Record (Colour)			
Plate Reference	Description	Location	Direction of Plate
C20	Entrance to cellar area below the south bay	Ground floor interior (south bay)	E
C21	Interior of cupboard area to the north of main entrance	Ground floor interior (main entrance hall, south bay)	N
C22	Renewed main entrance door to the east elevation	Ground floor interior (main entrance hall, south bay)	E
C23	Four panel-door to the cupboard area to the north of the main entrance	Ground floor interior (main entrance hall, south bay)	NE
C24	Main stone staircase	Ground floor interior (south bay)	W
C25	Main stone staircase with arch detail	Ground floor interior (south bay)	W
C26	Original architrave and door opening to first-floor landing	First floor interior (landing area, south bay))	N
C27	Paired round arch openings to the first-floor landing area (west elevation)	First floor interior (landing area, south bay)	W
C28	Staircase to second floor with part of later plywood boarding removed to reveal original timber balusters	First Floor interior (landing area, south bay)	SW
C29	Kitchen area	First floor interior (South bay)	NE
C30	Remains of moulded plaster cornice to the kitchen area	First floor interior (south bay)	W

Secondary Photographic Record (Colour)			
Plate Reference	Description	Location	Direction of Plate
C31	Canted pier to the store area to the south of the kitchen	First floor interior (south bay)	NE
C32	Main first floor room	First floor interior (central and north bays)	NE
C33	Main first floor room	First floor interior (central and north bays)	S
C34	Remains of tiled hearth to renewed fireplace within north wall	First floor interior (north bay)	N
C35	Archway above main staircase	First floor interior (Main stair well, south bay)	E
C36	Closed string to the staircase to the second floor	First floor interior (Main stair well, south bay)	E
C37	Staircase to the second floor	First floor interior (first floor landing area, south bay)	SE
C38	Original architrave and door opening to second-floor landing	Second floor landing area (south bay)	E
C39	Kitchen and storeroom to the second floor	Second floor (south bay)	SE
C40	Second floor kitchen area	Second floor (south bay)	S
C41	Opening between second floor storerooms	Second floor (south bay)	E

Secondary Photographic Record (Colour)			
Plate Reference	Description	Location	Direction of Plate
C42	Second floor storerooms	Second floor (south bay)	N
C43	Cracked plaster work to the interior of the south end elevation	Second floor (south bay)	S
C44	Remains or moulded plaster cornice to the second-floor landing area	Second floor landing area (south bay)	S
C45	Main second floor room	Second floor (central and north bays)	N
C46	Windows openings to the west elevation of the second floor	Second floor (central and north bays)	SW
C47	Exterior of the paired round arch sash window openings to the first and second floor landing areas	External west	E
C48	Exterior of typical sash window opening to the first and second floors	External West	E

Appendix 3

Plates (Copy of Primary Photographic Record and Supplementary Colour Photographs)



Plate B1 - South Elevation: Gable Apex



Plate B2 - South Elevation



Plate B3 - East Elevation



Plate B4 - East Elevation: Main Entrance



Plate B5 - East Elevation: Ground floor round arch openings



Plate B6 - East Elevation: Ground floor openings



Plate B7 - East Elevation: Iron pier between segmental arch openings



Plate B8 - East Elevation: Smaller round arch openings



Plate B9 - East Elevation: Main Entrance



Plate B10 - East Elevation: Segmental arch openings



Plate B11 - East Elevation: Rounded and chamfered jambs to main entrance



Plate B12 - East Elevation: Decorative pediment to main entrance



Plate B13 - East Elevation: Pointer Dog Statue and inscription to the tympanum of the entrance pediment



Plate B14 - East Elevation: First floor windows



Plate B15 - East Elevation: Decorative brick and terracotta banding courses



Plate B16 - North Elevation



Plate B17 - North Elevation and West Elevation



Plate B18 - North Elevation: End chimney stack



Plate B19 - West Elevation: Axial chimney stack



Plate B20 - West Elevation: Infilled window opening to first floor



Plate B21 - West Elevation: Altered ground floor opening



Plate B22 - Part West Elevation and South Elevation



Plate B23 - West Elevation



Plate B24 - West Elevation



Plate B25 - West Elevation: Ground floor door opening



Plate B26 - Cellar Area: Access ladder



Plate B27 - Cellar Area: Earlier stone steps to access

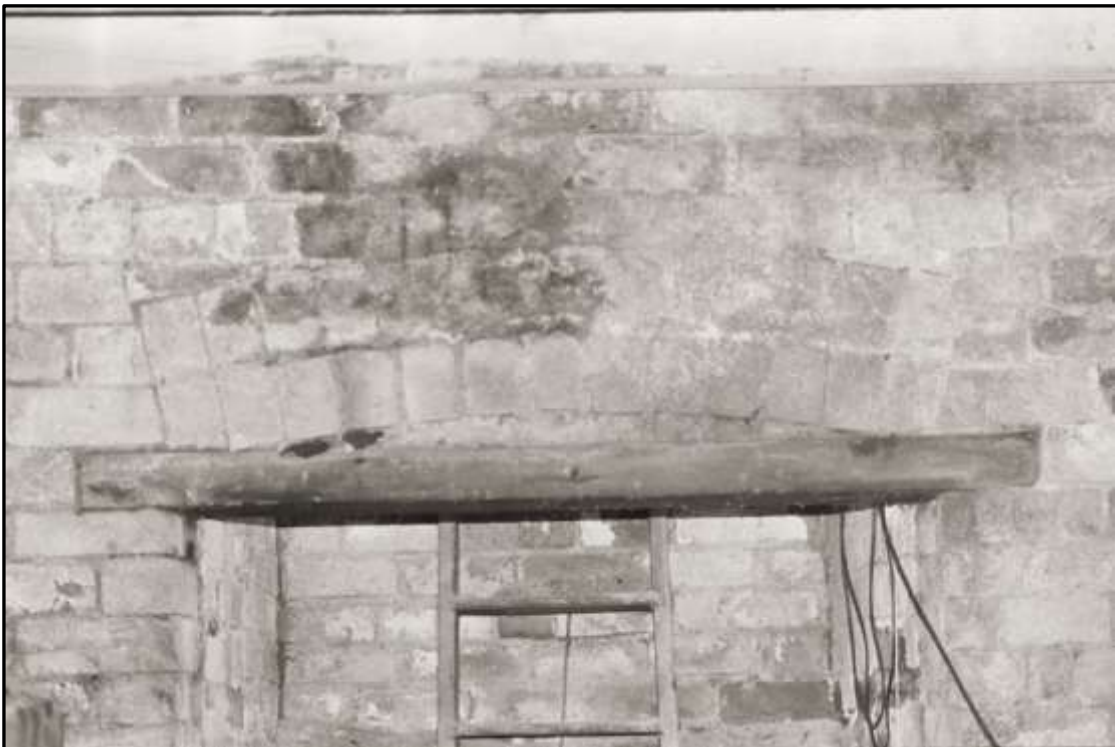


Plate B28 - Cellar Area: Segmental brick arch head above entrance



Plate B29 - Cellar Area: Segmental brick arch above aperture to north elevation



Plate B30 - Top lights to segmental arch openings to the ground floor of the east elevation

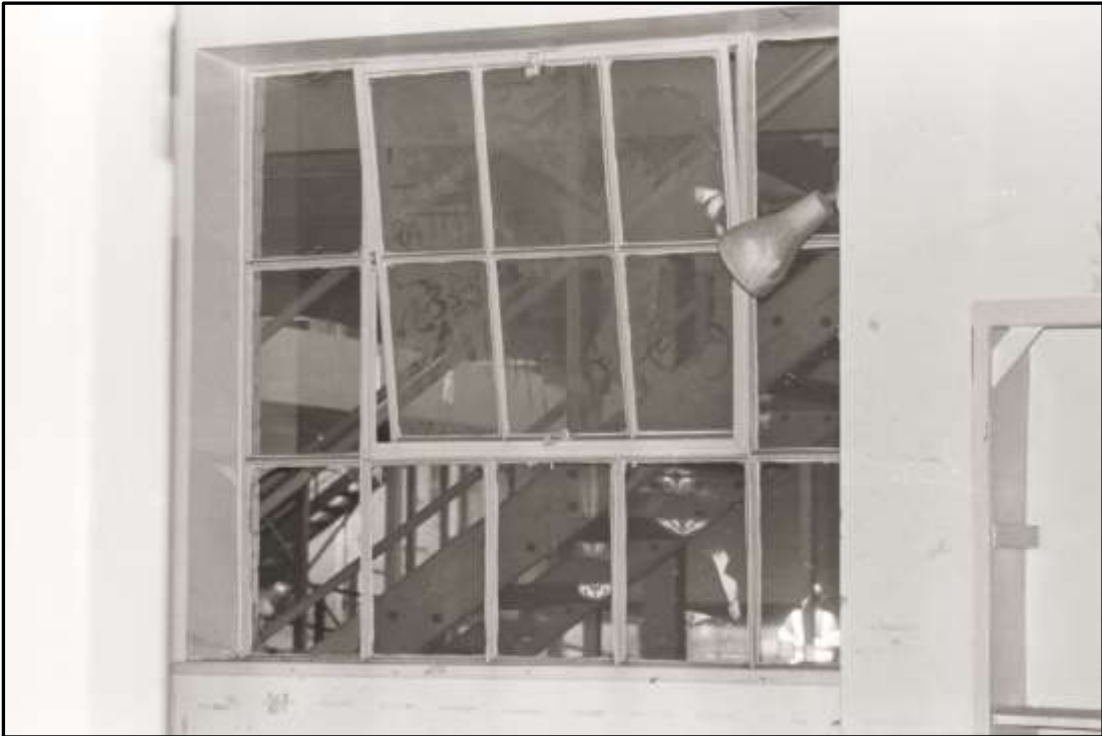


Plate B31 - Metal casement window to ground floor north elevation

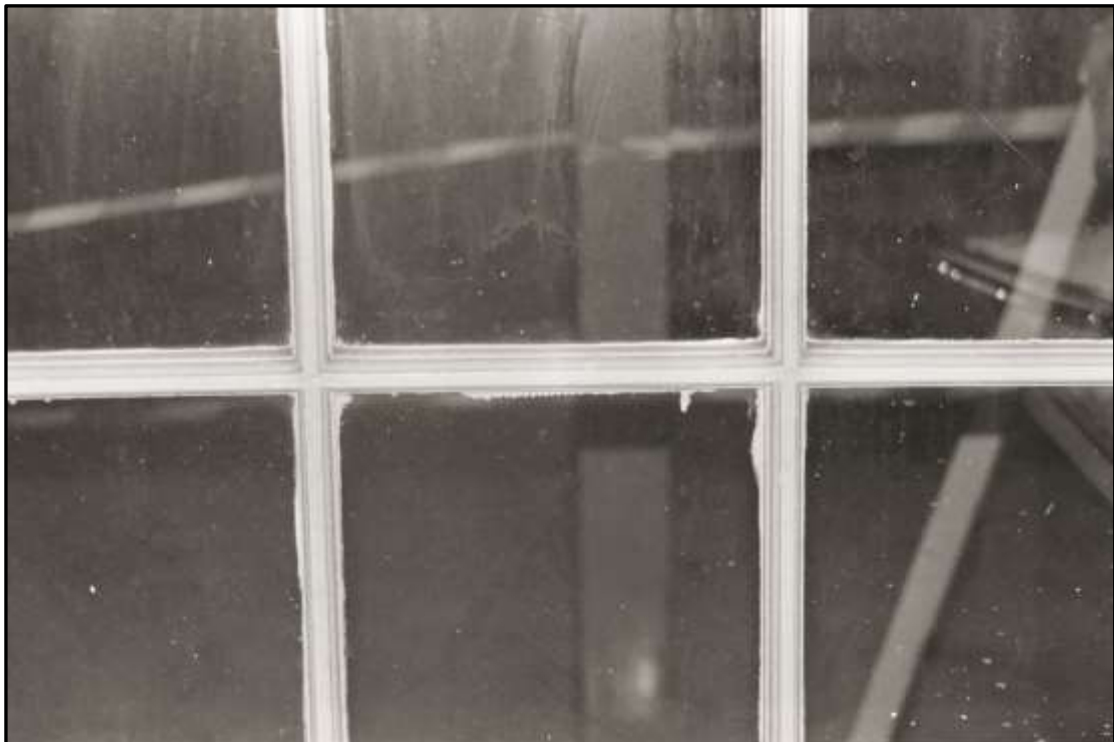


Plate B32 - Typical glazing bar detail to metal casement windows to the ground floor



Plate B33 - Typical sash window to first floor



Plate B34 - Inserted concertina partition to the first floor



Plate B35 - Typical sash window to second floor



Plate B36 - Typical architrave detail to all first and second floor sash windows

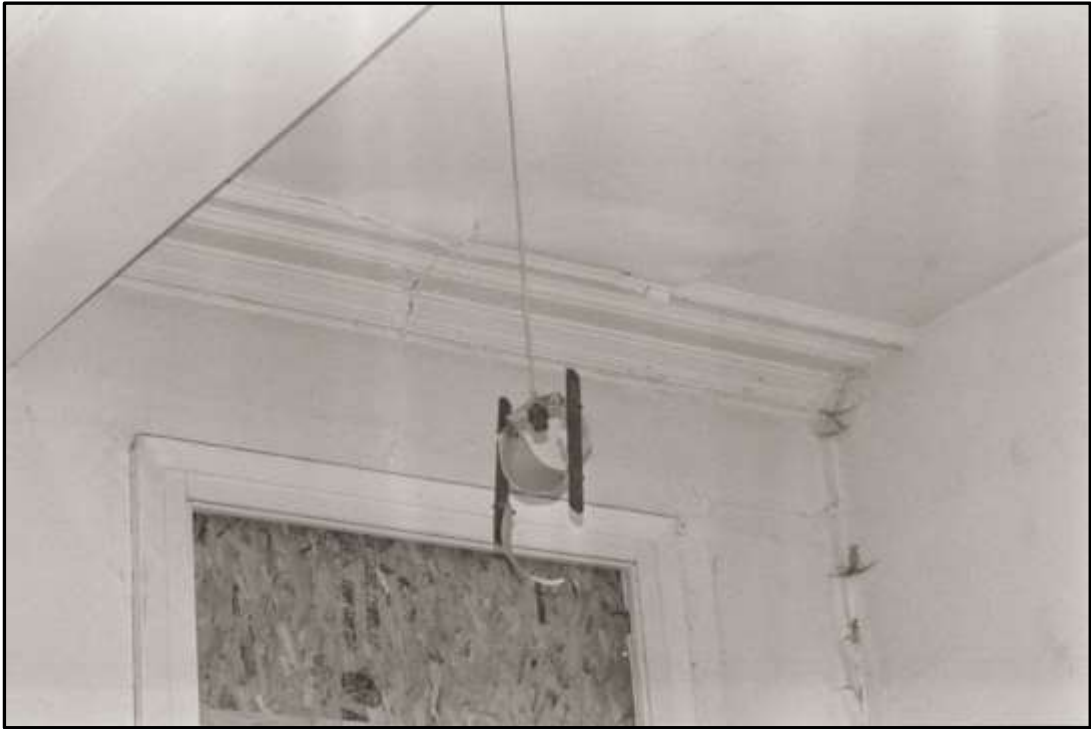


Plate B37 - Remains of moulded plaster cornice to first floor



Plate B38 - Floor covering and altered skirting board to first floor



Plate B39 - Moulded plaster cornice detail to first floor

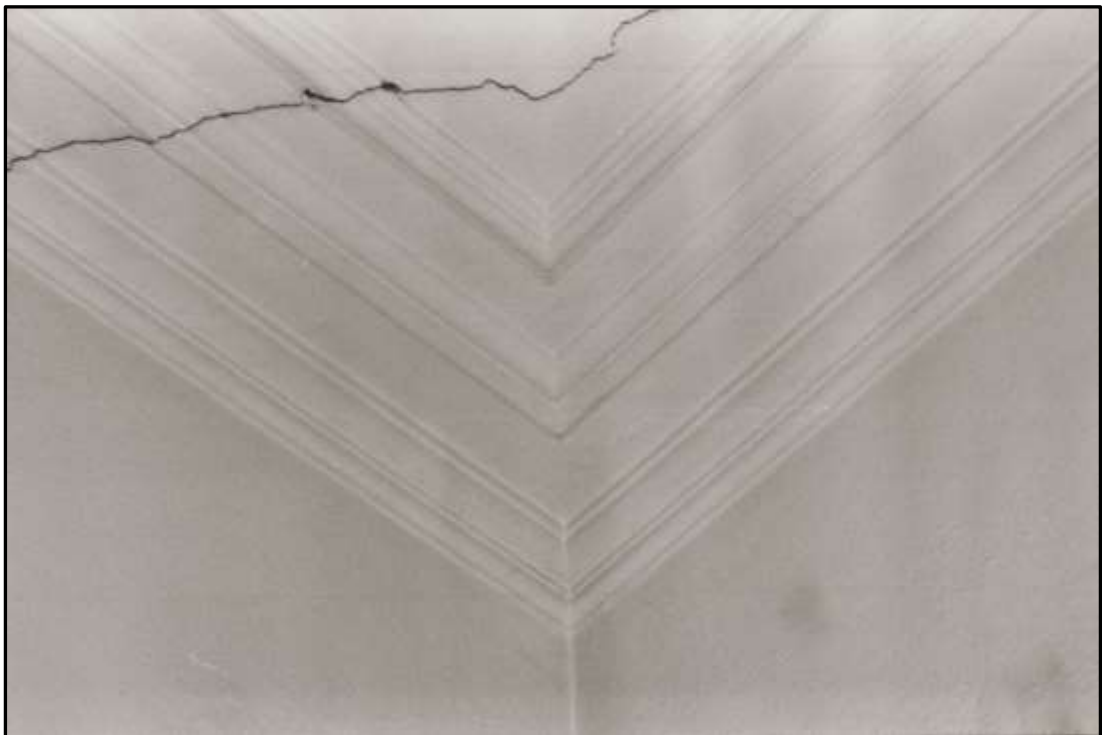


Plate B40 - Moulded plaster cornice detail to the first floor



Plate B41 - Moulded plaster cornice detail to the first floor



Plate B42 - Renewed fireplace to the first-floor north wall

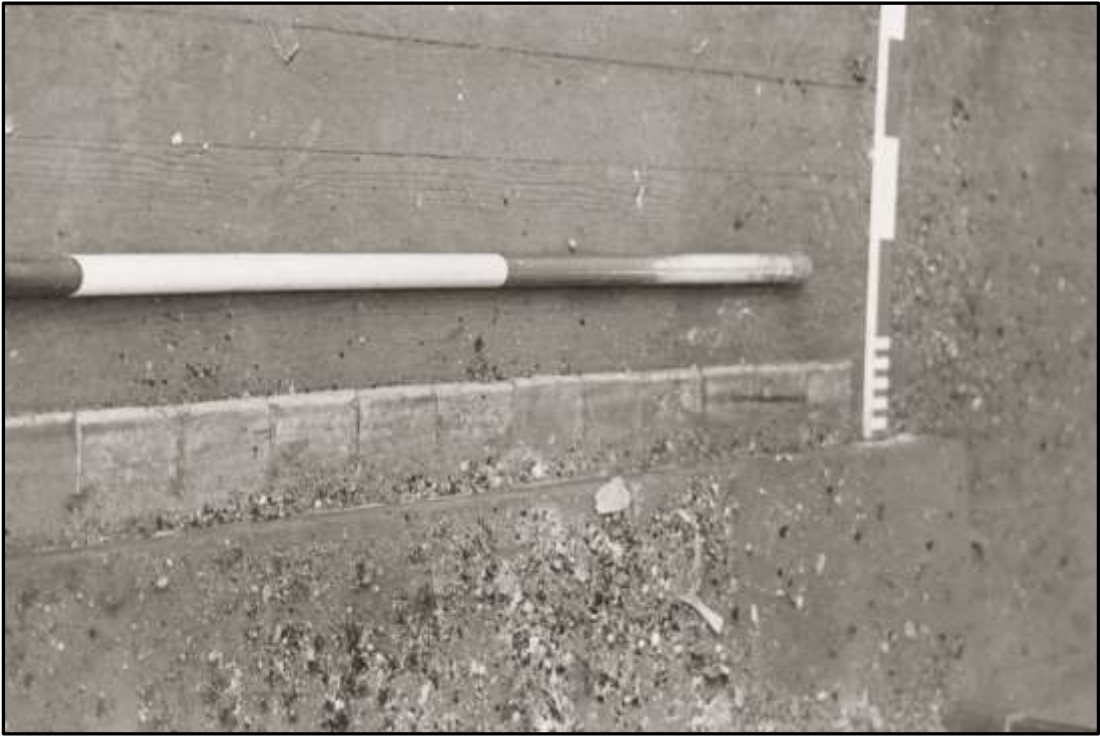


Plate B43 - Remains of tiled hearth to renewed first floor fireplace



Plate B44 - Closed String to staircase to second floor



Plate B45 - Timber vase shaped balusters to second floor staircase

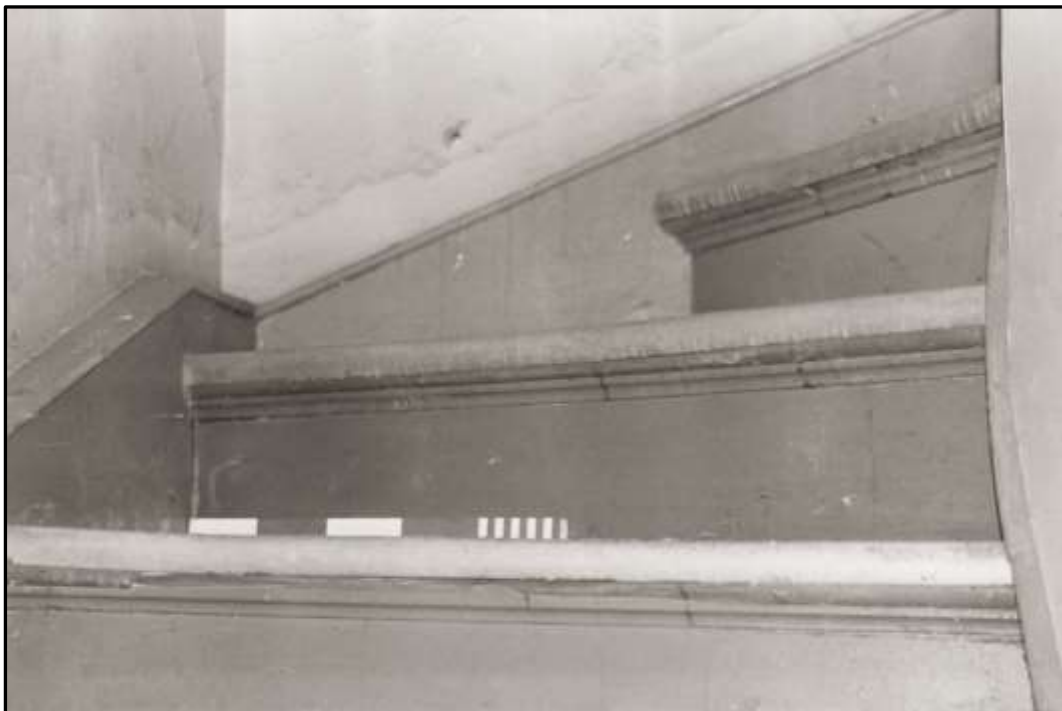


Plate B46 - Riser, treads and skirting to second floor staircase

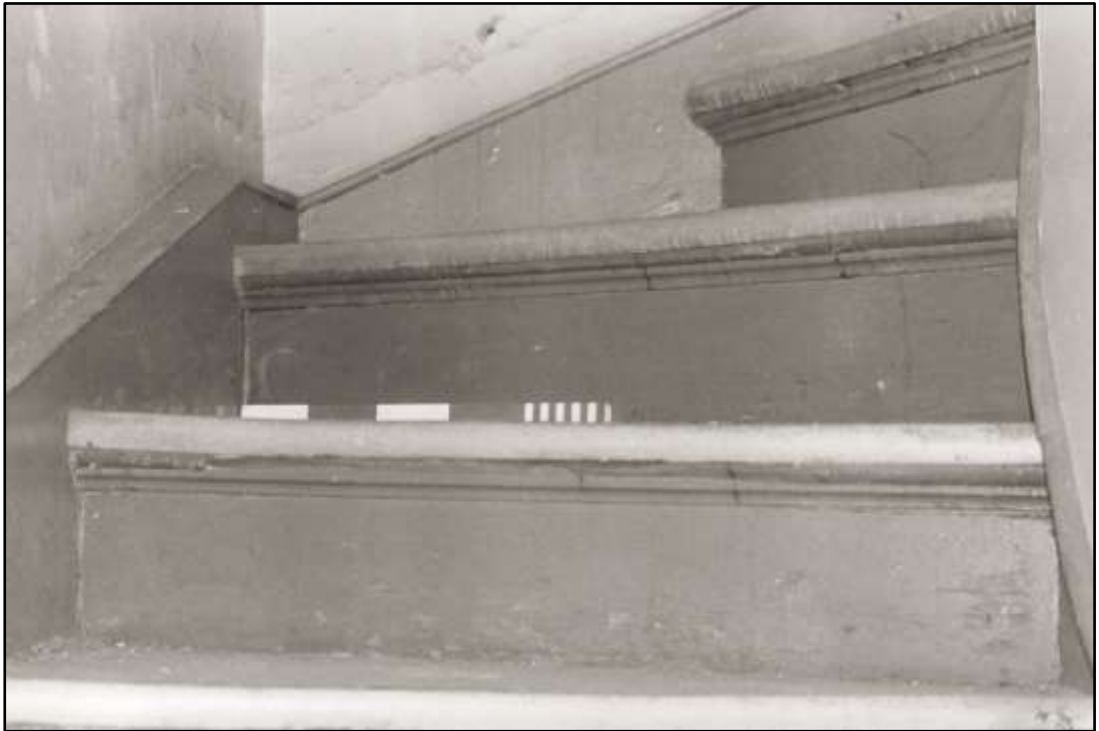


Plate B47 - Riser, treads and skirting to second floor staircase



Plate B48 - Second Floor: Chimney breast to north wall



Plate B49 - Second Floor: Skirting board detail to north and part east wall of the main second floor room



Plate B50 - Second Floor: Section of exposed lath and plaster work to the underside of the sloping ceiling to the main room



Plate C1 - Part South and East Elevation



Plate C2 - East Elevation: Stone detail to segmental arch openings to ground floor



Plate C3 - East Elevation: Stone and brickwork detailing to main entrance



Plate C4 - East Elevation: Stone detailing to main entrance



Plate C5 - Brick aperture to north wall of north cellar area



Plate C6 - Entrance to north cellar area



Plate C7 - Entrance to south cellar area (below main staircase)



Plate C8 - South cellar area



Plate C9 - Remains of steps to south cellar area



Plate C10 - Infilled openings to the east elevation (north bay)



Plate C11 - Remains of fireplace to north wall (north bay)



Plate C12 - Altered and new windows to the west and north walls of the north bay



Plate C13 - Aperture to the internal dividing wall of the central bay



Plate C14 - Later internal subdivisions to central bay



Plate C15 - Infilled openings to east elevation



Plate C16 - Remains of window-sill to infilled openings to the east elevation



Plate C17 - Underside of main stair visible to the south bay



Plate C18 - Underside of main stair visible to the south bay



Plate C19 - Arched recess to the south bay



Plate C20 - Entrance to cellar area below the south bay



Plate C21 - Interior of cupboard area to the north of main entrance



Plate C22 - Renewed main entrance door to the east elevation



Plate C23 - Four panel-door to the cupboard area to the north of the main entrance



Plate C24 - Main stone staircase



Plate C25 - Main stone staircase with arch detail



Plate C26 - Original architrave and door opening to first-floor landing



Plate C27 - Paired round arch openings to the first-floor landing area (west elevation)



Plate C28 - Staircase to second floor with part of later plywood boarding removed to reveal original timber balusters



Plate C29 - Kitchen area



Plate C30 - Remains of moulded plaster cornice to the kitchen area



Plate C31 - Canted pier to the store area to the south of the kitchen



Plate C32 - Main first floor room



Plate C33 - Main first floor room



Plate C34 - Remains of tiled hearth to renewed fireplace within north wall



Plate C35 - Archway above main staircase



Plate C36 - Closed string to the staircase to the second floor



Plate C37 - Staircase to the second floor



Plate C38 - Original architrave and door opening to second-floor landing



Plate C39 - Kitchen and storeroom to the second floor



Plate C40 - Second floor kitchen area

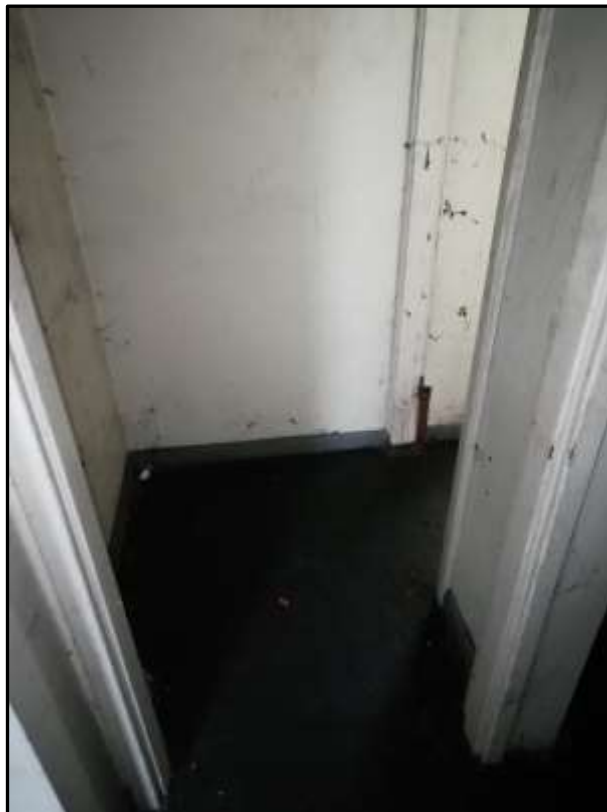


Plate C41 - Opening between second floor storerooms



Plate C42 - Second floor storerooms



Plate C43 - Cracked plaster work to the interior of the south end elevation



Plate C44 - Remains of moulded plaster cornice to the second-floor landing area



Plate C45 - Main second floor room



Plate C46 - Windows openings to the west elevation of the second floor



*Plate C47 - Exterior of the paired round arch sash window openings to the first and second floor
landing areas*

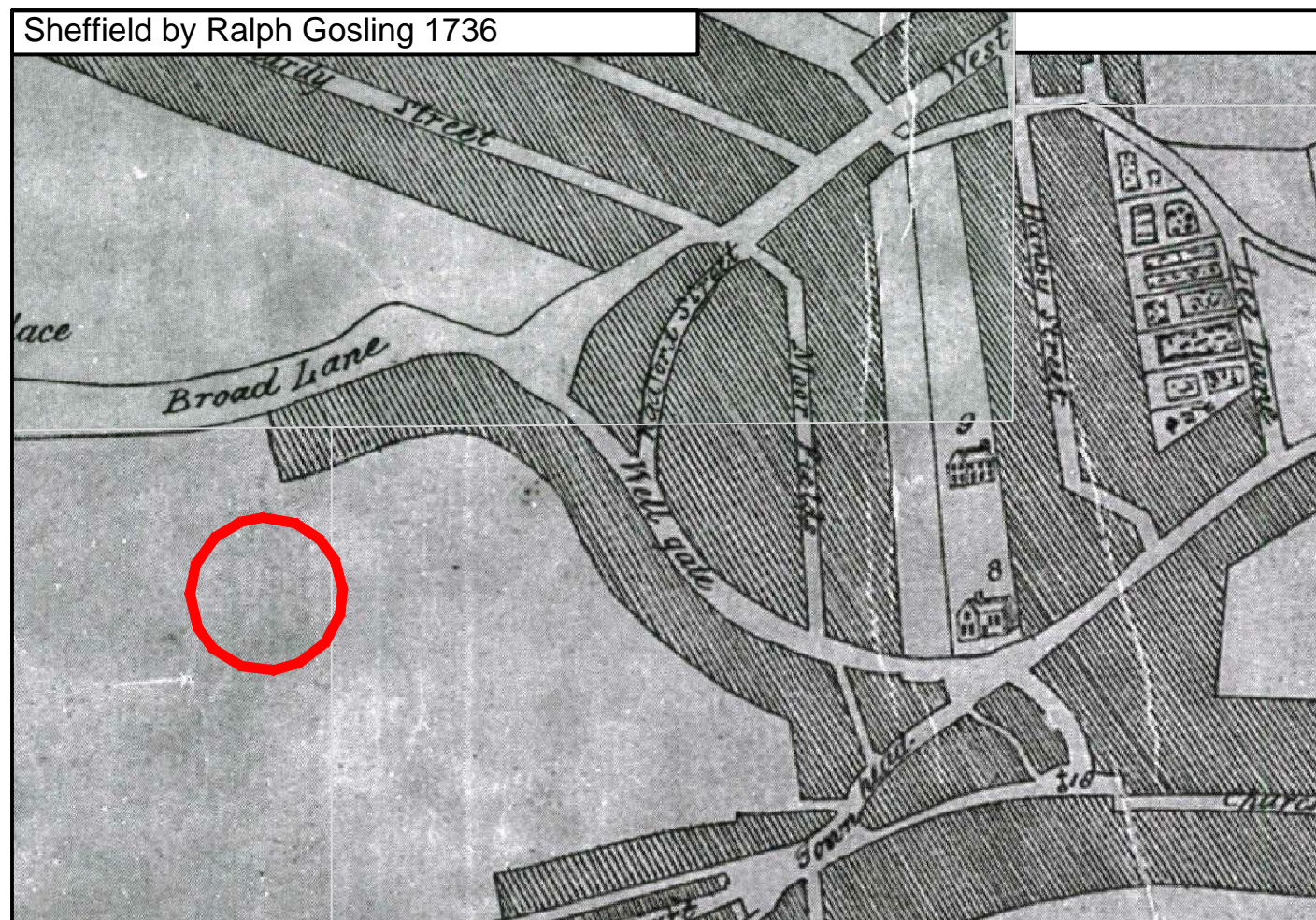


Plate C48 - Exterior of typical sash window opening to the first and second floors

Appendix 4

Pre-Ordnance Survey Historic Maps

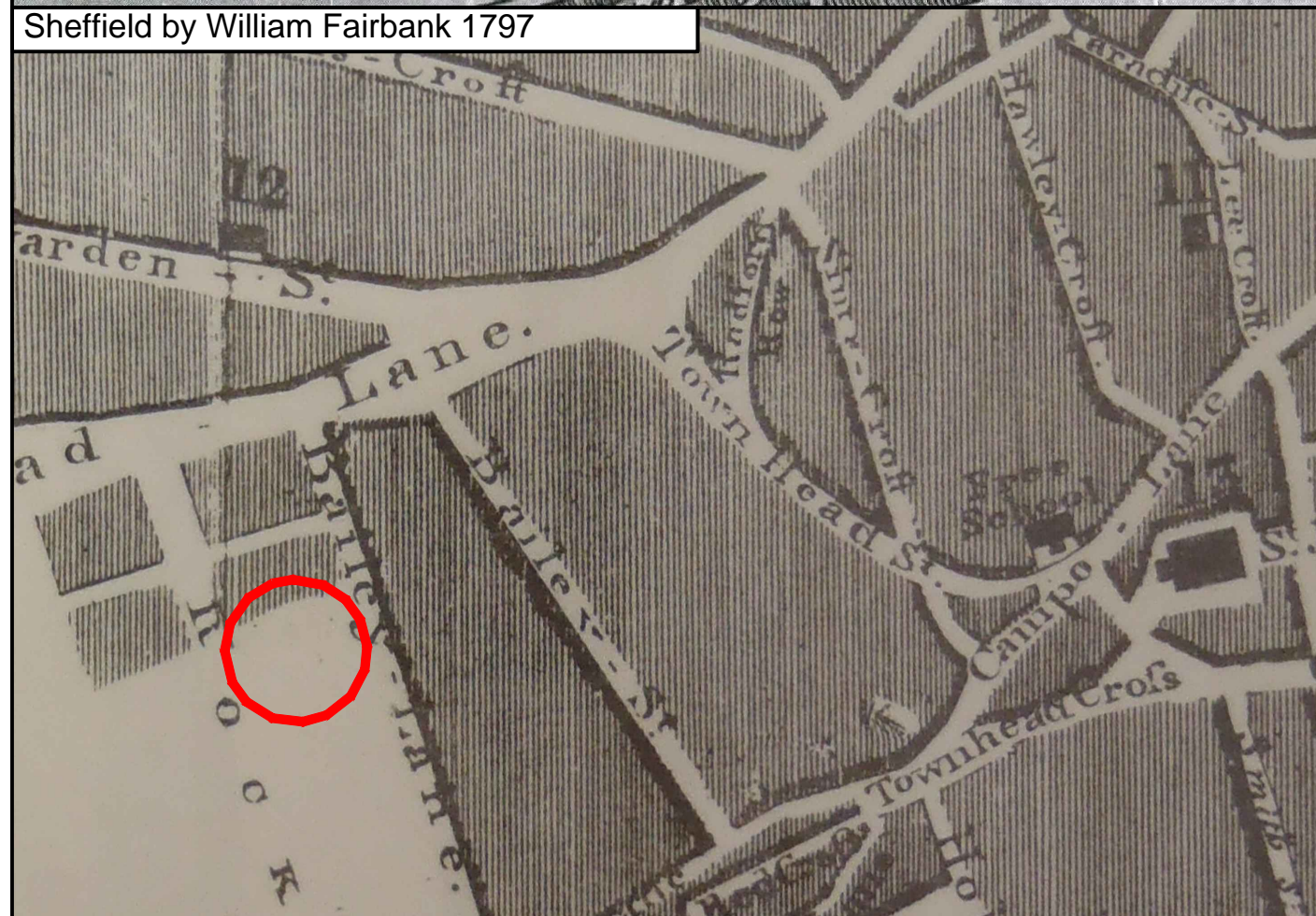
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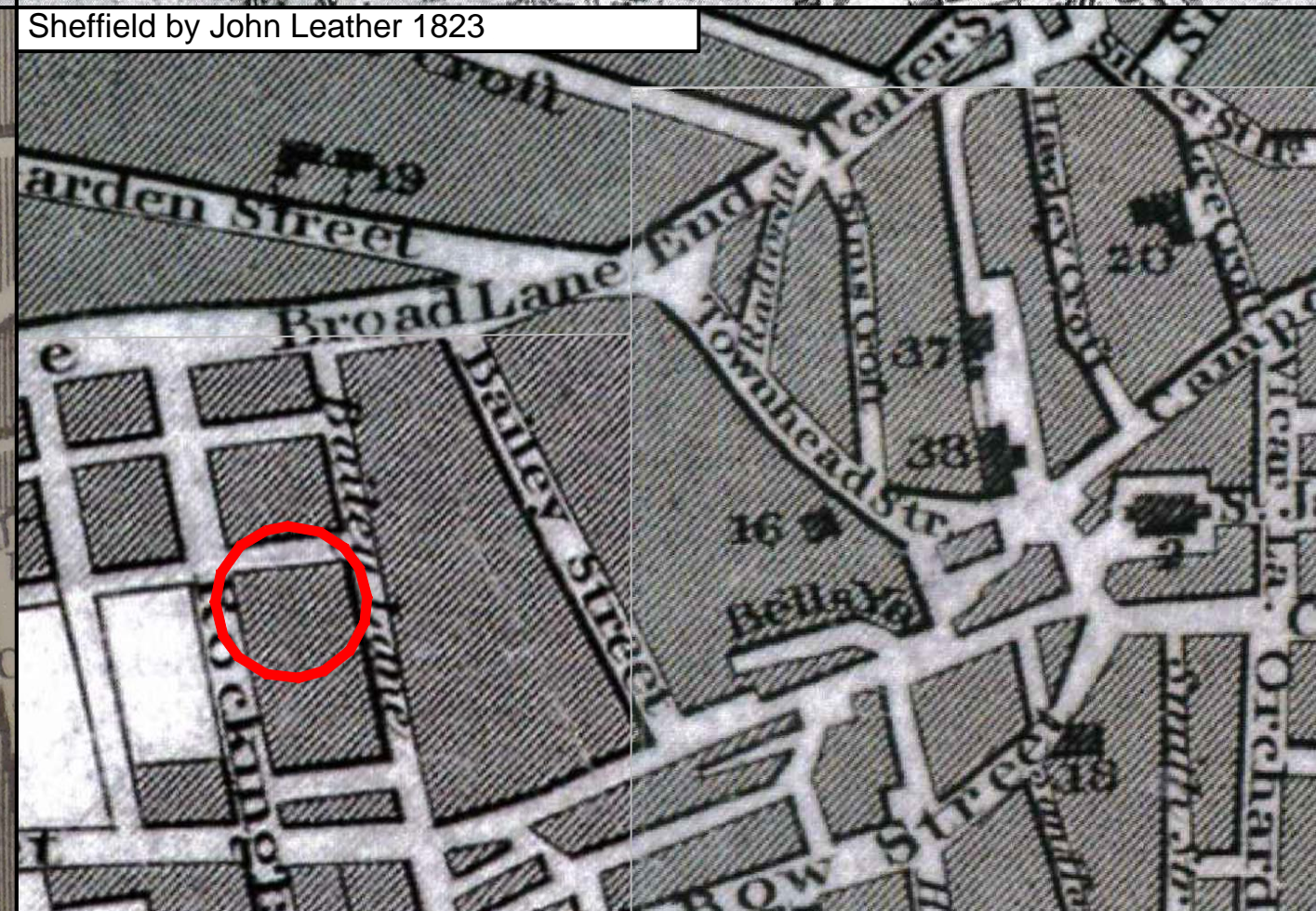
Sheffield by William Fairbank 1771



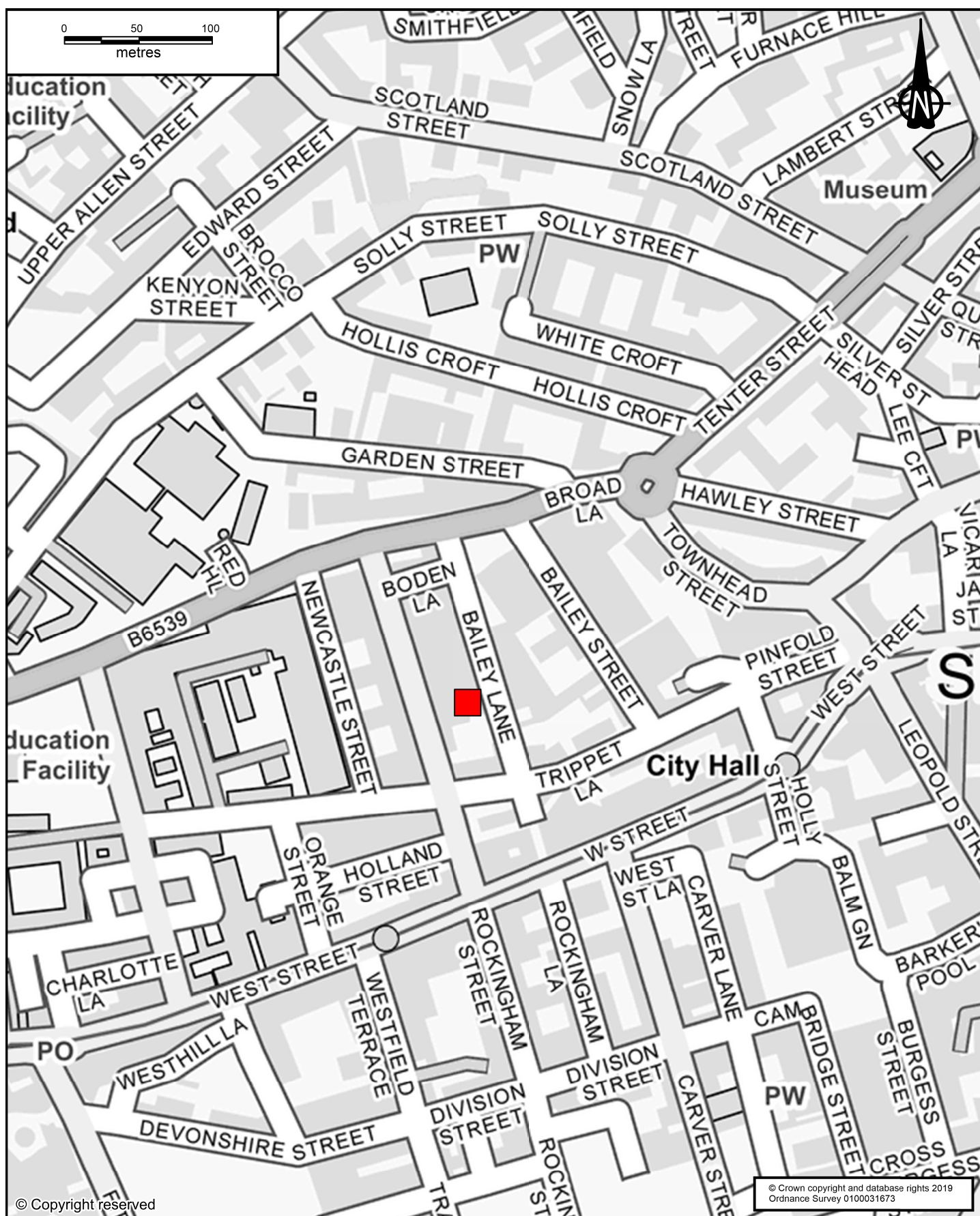
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Sheffield by John Leather 1823



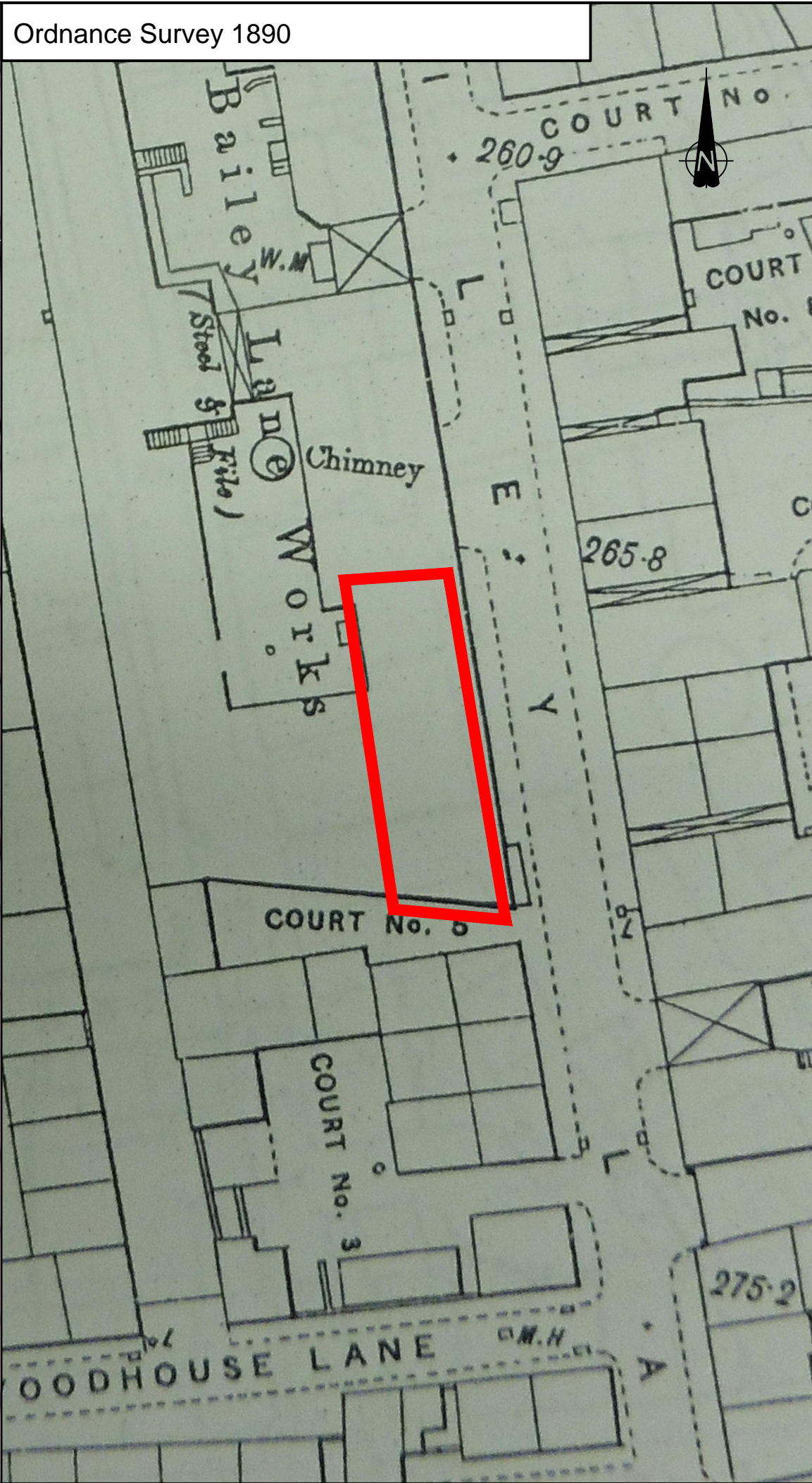
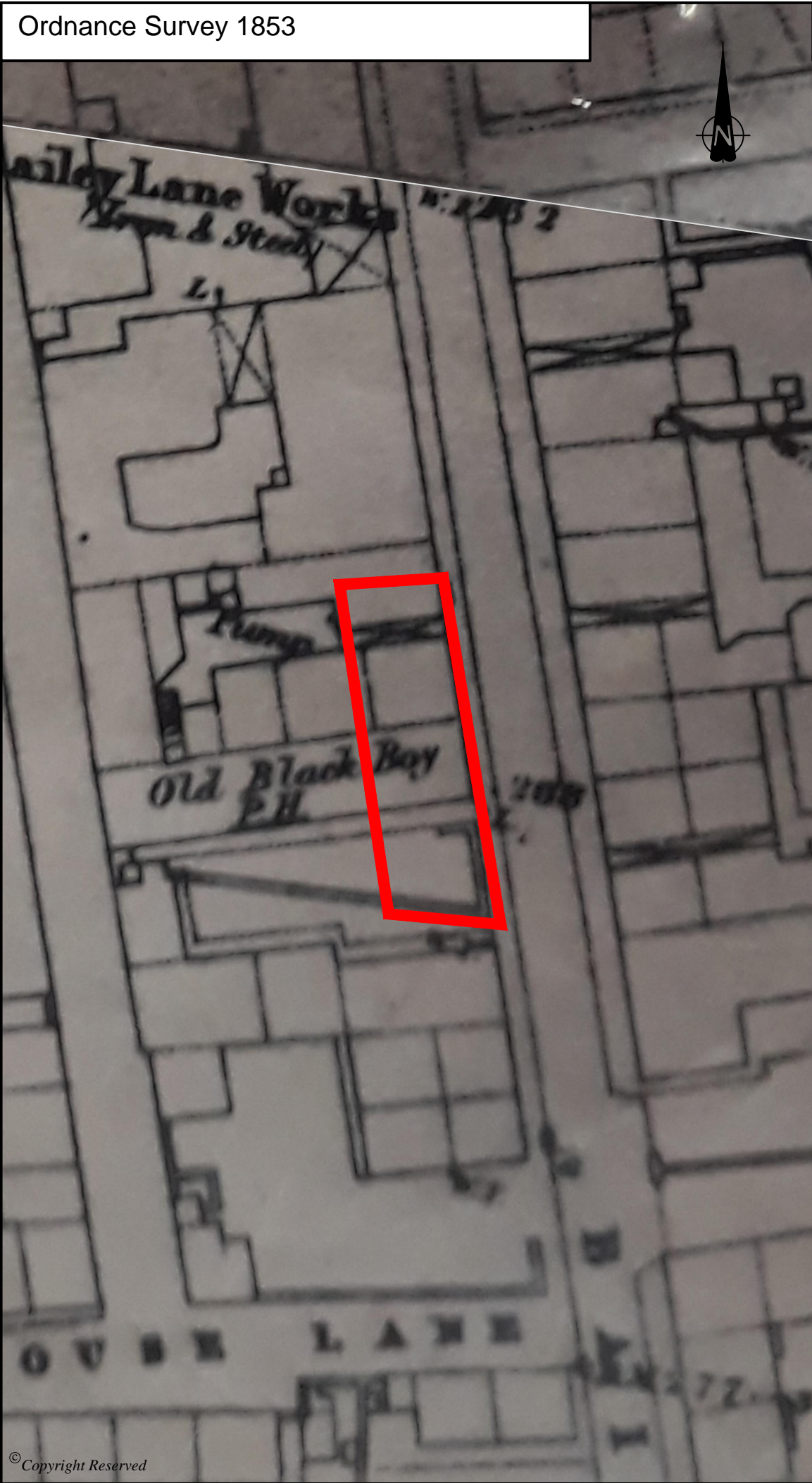
FIGURES



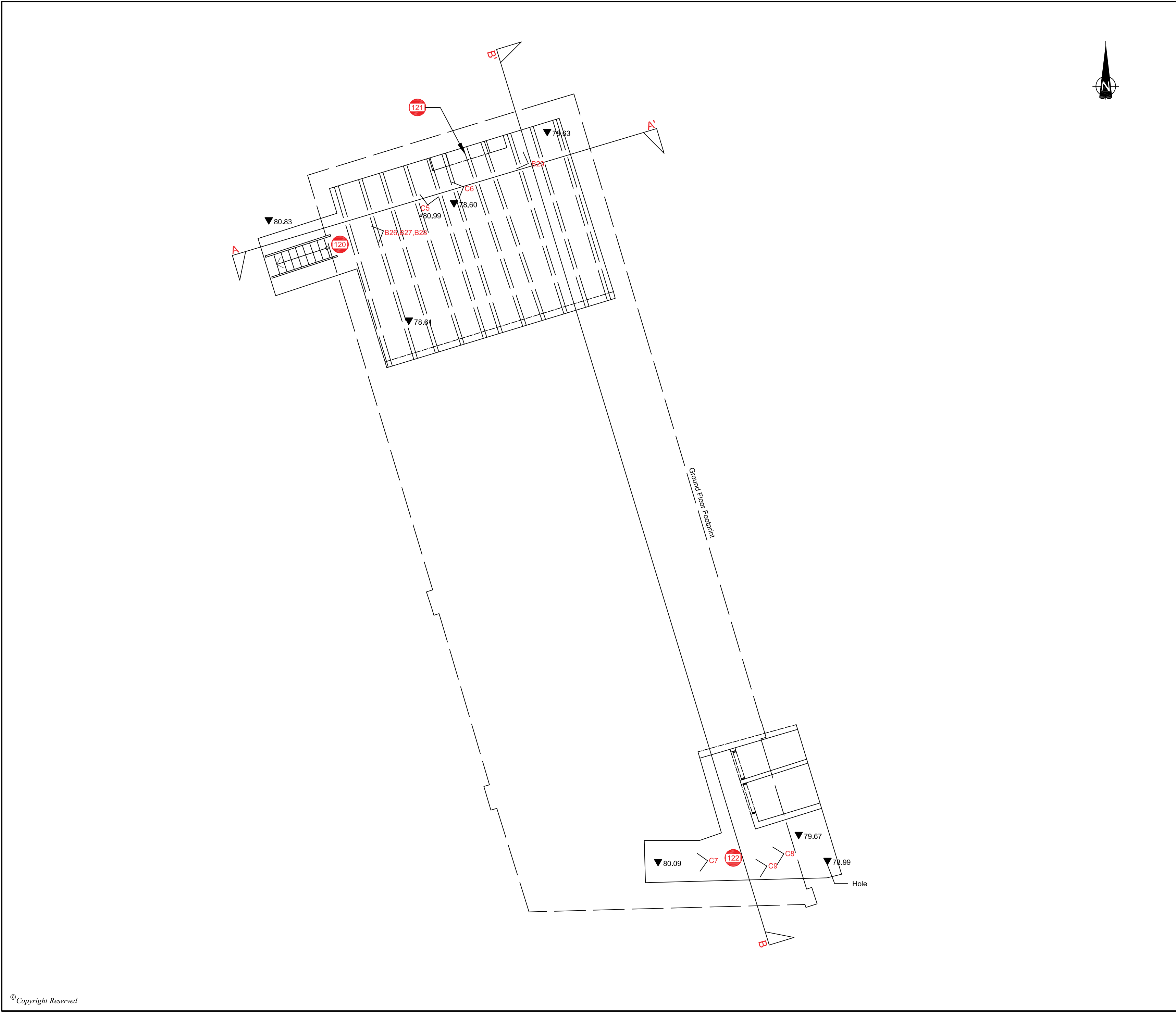
Ordnance Survey 1853

Ordnance Survey 1890

DO NOT SCALE FROM THIS DRAWING



REVISION	DETAILS	DATE	DRN	CHKD	APPD
CLIENT					
Watkin Jones Group					
PROJECT					
Steel Works House					
DRAWING TITLE					
Historic Ordnance Survey					
DRG No.		ST16524/005		REV	
DRG SIZE		SCALE		DATE	
A3		1:500 @ A3		Dec 2019	
DRAWN BY		CHECKED BY		APPROVED BY	
CLD		CLD		CM	
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KEY

- (107) Feature of historic / architectural interest
- B1 / C1 Plate reference
- < Direction of plate
- — Beam
- ▼80.09 Surface Level
- 80.99 Beam Level

P0	Preliminary Issue	05-12-19	GP	LG	Draft
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REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
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CLIENT	Watkin Jones Group
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PROJECT	Steel Works House
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DRAWING TITLE	Cellars Floor Plan
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DRG No.	ST16524-006	REV	A
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DRG SIZE	A2	SCALE	1:50@A2	DATE	17-12-2019
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DRAWN BY	GP	CHECKED BY	LG	APPROVED BY	CM
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KEY

- 107 Feature of historic / architectural interest
- B1 / C1 Plate reference
- < Direction of plate

P0	Preliminary Issue	05-12-19	GP	LG	Draft
REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
CLIENT					
Watkin Jones Group					
PROJECT					
Steel Works House					
DRAWING TITLE					
Ground Floor Floor Plan					
DRG No.	ST16524-007	REV	A		
DRG SIZE	A2	SCALE	1:50@A2	DATE	17-12-2019
DRAWN BY	GP	CHECKED BY	LG	APPROVED BY	CM



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KEY

- 107 Feature of historic / architectural interest
- B1 / C1 Plate reference
- < Direction of plate

P0	Preliminary Issue	05-12-19	GP	LG	Draft
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REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
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CLIENT	Watkin Jones Group
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PROJECT	Steel Works House
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DRAWING TITLE	Ground Floor Floor Plan
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DRG No.	ST16524-007	REV	A
DRG SIZE	A2	SCALE	1:50@A2
DRAWN BY	GP	CHECKED BY	LG
		APPROVED BY	CM



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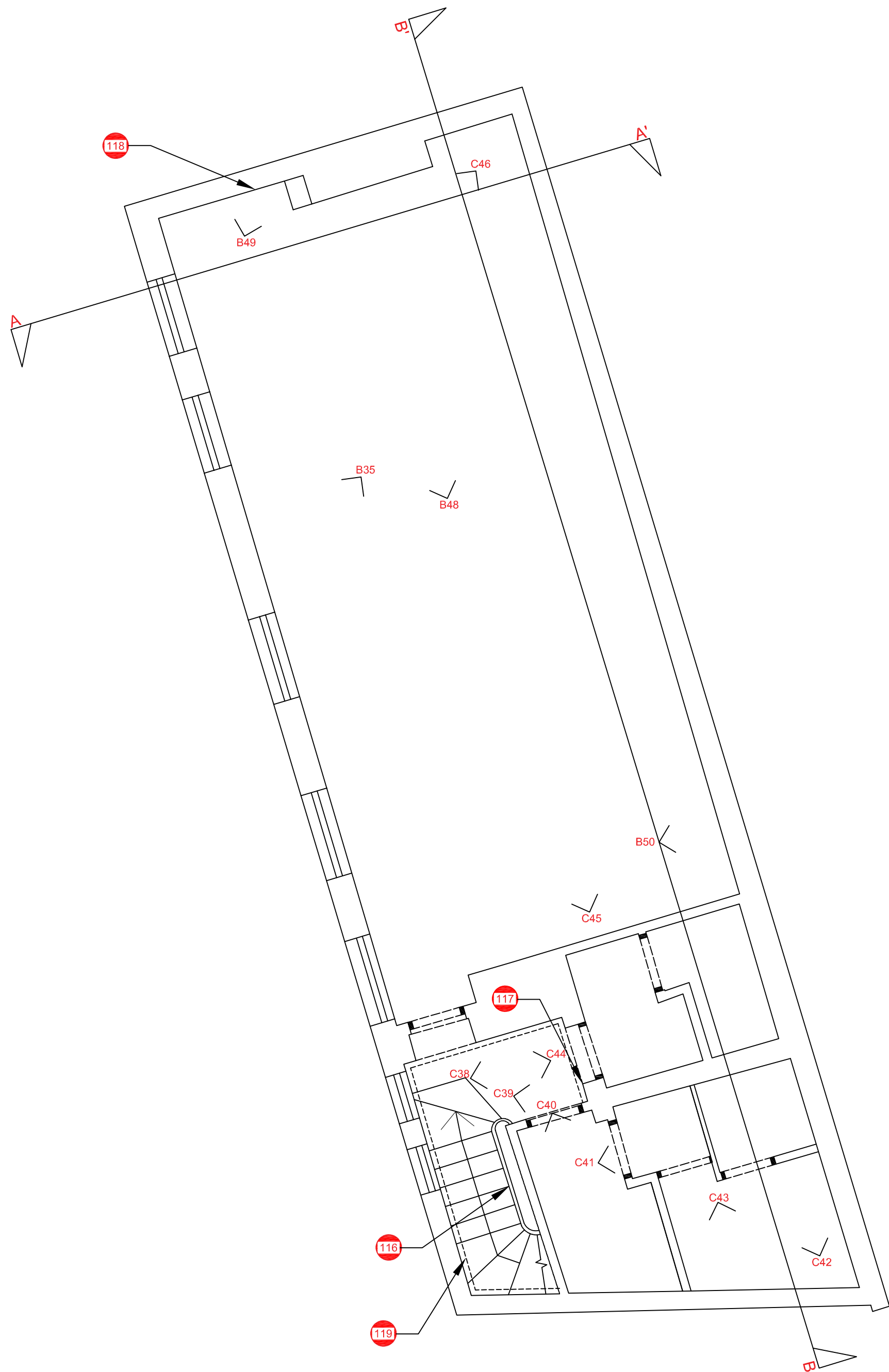
Beam

DRG No.		REV
ST16524-008		A
DRG SIZE	SCALE	DATE
A2	1:50@A2	17-12-2019
DRAWN BY	CHECKED BY	APPROVED BY
GP	LG	CM



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KEY

- 107 Feature of historic / architectural interest
- B1 / C1 Plate reference
- < Direction of plate

P0	Preliminary Issue	05-12-19	GP	LG	Draft
REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D

CLIENT	Watkin Jones Group
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PROJECT	Steel Works House
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DRAWING TITLE	Second Floor Floor Plan
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DRG No.	ST16524-009	REV	A
DRG SIZE	A2	SCALE	1:50@A2
DATE	17-12-2019	APPROVED BY	CM
DRAWN BY	GP	CHECKED BY	LG



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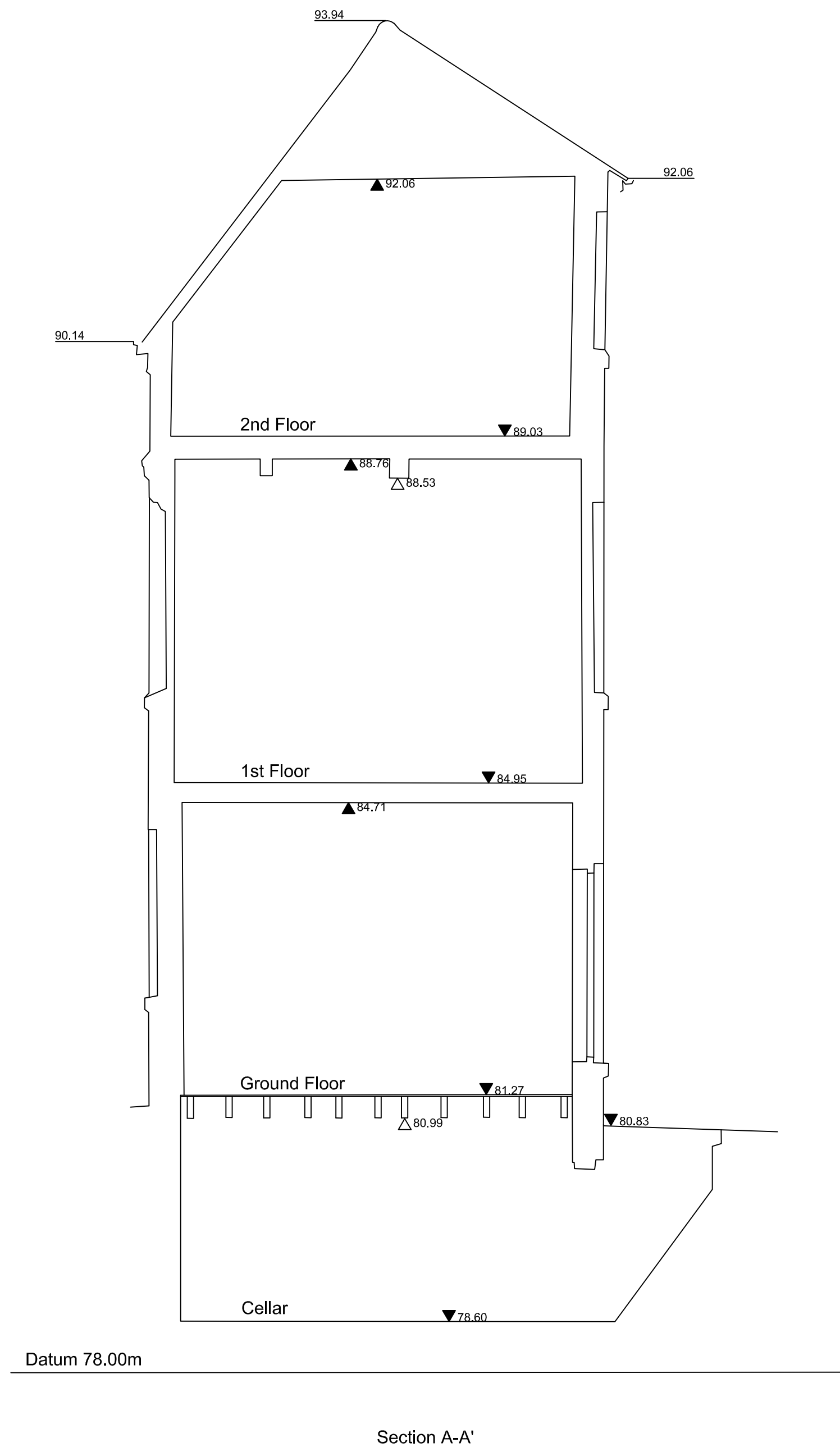
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KEY

▼ 80.09 Floor / Surface Level

▲ 92.06 Ceiling Level

△ 88.53 Beam Level

P0	Preliminary Issue			05-12-19	GP	LG	Draft
REVISION	DETAILS			DATE	DRAWN	CHKD	APPRD
CLIENT							
Watkin Jones Group							
PROJECT							
Steel Works House							
DRAWING TITLE							
Cross Section A - A'							
DRG No. ST16524-010				REV A			
DRG SIZE A2		SCALE 1:50@A2		DATE 17-12-2019			
DRAWN BY GP		CHECKED BY LG		APPROVED BY CM			
<div><div><div>wardell armstrong</div></div></div>				<div><div>■ STOKE ON TRENT TEL 01782 276700 WWW.WARDELL-ARMSTRONGS.COM</div><div><div><div><input type="checkbox"/> BIRMINGHAM</div><div><input type="checkbox"/> BOLTON</div><div><input type="checkbox"/> CARDIFF</div><div><input type="checkbox"/> CARLISLE</div><div><input type="checkbox"/> EDINBURGH</div></div><div><div><input type="checkbox"/> GLASGOW</div><div><input type="checkbox"/> LEEDS</div><div><input type="checkbox"/> LONDON</div><div><input type="checkbox"/> MANCHESTER</div><div><input type="checkbox"/> NEWCASTLE UPON TYNE</div></div></div></div>			

REVISION	DETAILS	DATE	DRAWN	CHK'D	APP'D
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[illegible]

Watkin Jones Group

PROJECT

Steel Works House

DRAWING TITLE

Cross Section
A - A'

DRG No.	ST16524-010	REV	A
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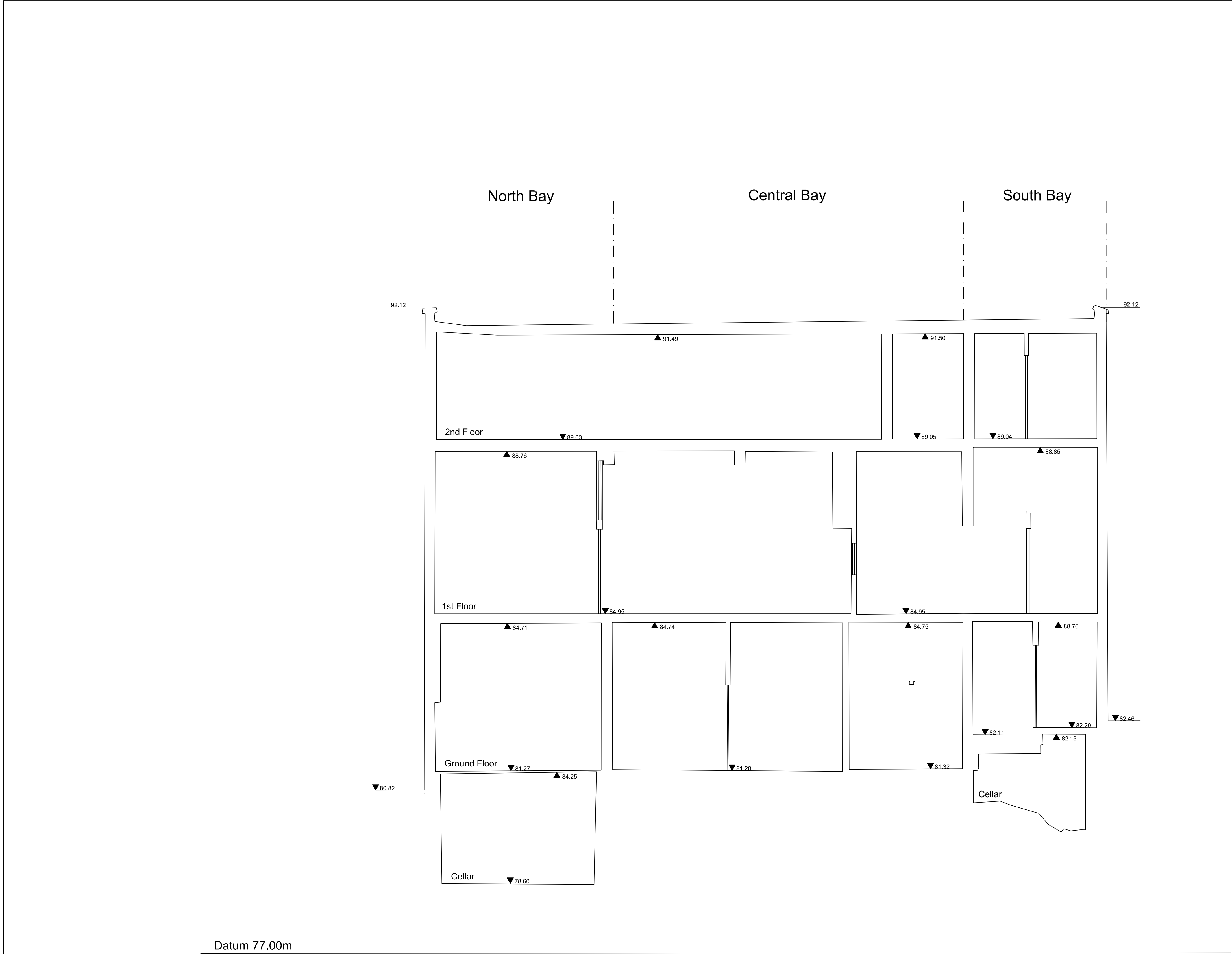
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Section B-B'

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KEY

- ▼ 80.09 Floor / Surface Level
- ▲ 88.85 Ceiling Level

P0	Preliminary Issue	05-12-19	GP	LG	CM
REVISION	DETAILS	DATE	DRAWN	CHECKED	APPROVED
CLIENT					
Watkin Jones Group					
PROJECT					
Steel Works House					
DRAWING TITLE					
Long Section B - B'					
DRG No.		ST16524-011		REV	
				A	
DRG SIZE		SCALE		DATE	
A1		1:50@A1		17/12/2019	
DRAWN BY		CHECKED BY		APPROVED BY	
GP		LG		CM	

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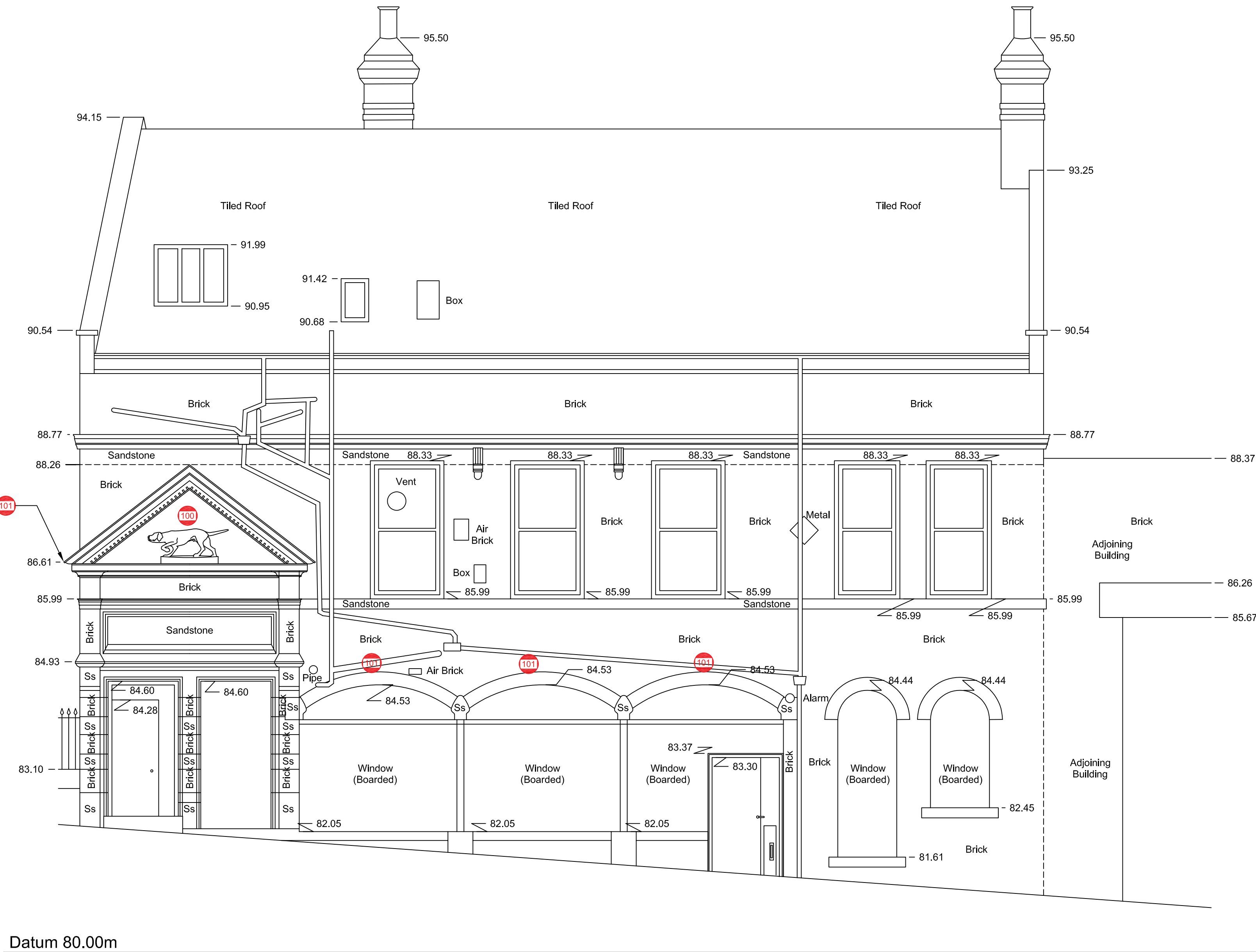
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KEY

100 Feature of historic / architectural interest

NOTE

Drawing provided by the client.

Drawing details:
Survey Solution 20730cv-03 / 18-02-2019

P0	Preliminary Issue	26-12-19	GP	LG	CM
REVISION	DETAILS	DATE	DRAWN	CHECKED	APPROVED
CLIENT					
Watkin Jones Group					
PROJECT					
Steel Works House					
DRAWING TITLE					
East Elevation					
DRG No. ST16524-012			REV A		
DRG SIZE A1		SCALE 1:50@A1		DATE 17/12/2019	
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KEY

▼80.09

Floor / Surface Level

107

Feature of historic / architectural interest

P0	Preliminary Issue	05-12-19	GP	LG	CM
REVISION	DETAILS	DATE	DRAWN	CHECKED	APPROVED
CLIENT					
Watkin Jones Group					
PROJECT					
Steel Works House					
DRAWING TITLE					
West Elevation					
DRG No.		ST16524-013		REV	
				A	
DRG SIZE		SCALE		DATE	
A1		1:50@A1		17/12/2019	
DRAWN BY		CHECKED BY		APPROVED BY	
GP		LG		CM	

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