

**592 Kingsland Road,
London, E8 4AR
Heritage Statement**

Client: Shafqat R Choudhry

AB Heritage Project No:60537

Date:27/11/2018

GLHER Data Licence Number: 14397

592 Kingsland Road, London

Heritage Statement

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CONTENTS

1.	Introduction.....	4
1.1	Project Background	4
1.2	Statutory Designations.....	4
1.3	Site Location & Description.....	4
1.4	Proposed Development	4
2.	Aims & Methodology	5
2.1	Aims.....	5
2.2	Consultation.....	5
2.3	Data Collation	6
2.4	Assessment of the Cultural Heritage Resource	7
2.5	Impact Assessment Criteria.....	8
2.6	Limitations	9
3.	Heritage Review of Site.....	10
3.1	Historic Development of Site	10
3.2	Current Condition of 592 Kingsland Road	13
3.3	Current Setting of 592 Kingsland Road & Kingsland Conservation Area.....	19
3.4	Significance of 592 Kingsland Road	22
4.	Impact Assessment & Recommendations	23
4.1	Predicted Impact of Proposed Development	23
4.2	Outline Recommendations	24
4.3	Conclusion.....	25
5.	References	26
5.1	Documentary & Cartographic Sources	26
5.2	Online Sources	26
5.3	Correspondence	27

FIGURES

- Figure 1. Site Location Plan
 Figure 2. Cultural Heritage Features Map

PLATES

- Plate 1. Plan the Parish of Hackney by W. Merrington, 1823 (Hackney Archives)
 Plate 2. Map of the Rectory of West Hackney in the County of Middlesex, 1843 (Hackney Archives)
 Plate 3. First Edition Ordnance Survey map, 1870 (Hackney Archives)
 Plate 4. Drainage plans from 1896
 Plate 5. Drainage Plan, 1931 (Hackney Archives)
 Plate 6. Goad Insurance Plan 1961 (Hackney Archives)

PHOTOS

- Photo 1. 592 & 590 Kingsland Road
 Photo 2. North wing of 592 Kingsland Road
 Photo 3. Rear elevation of 592 Kingsland Road
 Photo 4. Close up of cracks in brickwork on rear elevation
 Photo 5. Stairs into first floor lobby
 Photo 6. Floorboards at the top of the steps in the lobby
 Photo 7. First floor lobby looking east to the rear of the building
 Photo 8. Historic length of skirting on internal wall
 Photo 9. First Floor lobby looking west towards front of the building
 Photo 10. Bathroom in Flat 6
 Photo 11. Bathroom in Flat 5
 Photo 12. Dalston Junction crossroads
 Photo 13. Nos. 594-598 & the former Crown & Castle Public House
 Photo 14. Nos. 592-590 (left) & Nos. 574-586 (right)
 Photo 15. View from rear of 592 Kingsland Road

APPENDICES

- Appendix 1 Planning Policy 29
 Appendix 2 Cultural Heritage Gazetteer 33

1. INTRODUCTION

1.1 Project Background

- 1.1.1 AB Heritage has been commissioned by Shafqat R Choudhry to produce a Heritage Statement to cover a proposed development at the Grade II Listed 592 Kingsland Road (NHLE: 1226776).
- 1.1.2 This report will form part of a Listed Building Consent Application (Application Ref. No 2018/2891) in response to a letter from Historic England (Letter Ref. L00961008).

1.2 Statutory Designations

- 1.2.1 The building is one of a pair, nos. 590 & 592 Kingsland Road [**AB 18**], which are Grade II listed. It was first listed on 4th February 1975. The National Heritage List for England (NHLE) records the listing as:

'18th century pair, each 3 storeys, 2 windows in main block. Pinkish brick with cornice band and stone-coped parapet. Fairly high pitched hipped slated roof with central stack and wall. Gauged flat red brick arches to sash windows. Set-back 1-bay north wing with round 1st floor window and attic lunette; further 1-storey north extension' (NHLE 2018).

- 1.2.2 The site is located within Kingsland Conservation Area [**AB 45**], which was designated in 1998, and centres on the Kingsland Road (which follows the line of Ermine Street, a Roman road linking London with York).

1.3 Site Location & Description

- 1.3.1 The site is located at 592 Kingsland Road, London, E8 4AR; approximate NGR TQ 33542, 84756.
- 1.3.2 The building comprises one of a pair of buildings at the end of a terrace. This terrace is situated behind the modern street frontage of Kingsland Road, which is formed by shops and cafes.
- 1.3.3 The site is bounded by no. 590 Kingsland Road to the south; by no. 594 Kingsland Road to the north; by modern shop frontage and Kingsland Road to the west; and by Dalston Junction Overground Station and modern apartment blocks to the east.

1.4 Proposed Development

- 1.4.1 This application refers specifically to the rebuilding of the north wall of the property, which is structurally unstable and currently held together with temporary metal structural supports.
- 1.4.2 The proposal seeks to reconstruct the north wall from the first floor up to the roof and c. 1m (or a suitable / stable point) of the return on the front and rear façades using existing cleaned up brick or reclaimed stock. Further details of the proposal are discussed in Section 4.1.
-

2. AIMS & METHODOLOGY

2.1 Aims

- 2.1.1 NPPF 128 requires local planning authorities to request descriptions on the significance of any heritage assets affected by a proposal, including any contribution made by their setting. This states that:

'The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.'

- 2.1.2 The aim of this report is to facilitate such a process by understanding the historical development of the application site and the likely impact upon any surviving heritage assets resulting from the proposed development, devising appropriate mitigation responses where necessary.

2.2 Consultation

- 2.2.1 A letter from Kathy Clark (Inspector of Historic Buildings and Areas; Historic England), dated 24th August 2018, noted that:

'The National Planning Policy Framework 2018 states that an applicant should be required to describe the significance of any heritage affected (para.189) and that any harm or loss, such as demolition of a substantial element, should require clear and convincing justification (para.194)'

- 2.2.2 Based on this Kathy requested that a heritage appraisal, including details of mitigating any impact, be submitted as part of the supporting documentation for the Listed Building Consent Application (Application No 2018/2891).
- 2.2.3 Comments regarding planning applications from the Kingsland Conservation Areas Advisory Committee (KCAAC), meeting on Monday 3rd September 2018 and published on the Hackney Society website, noted no objections to the proposal. Their comments were:

'2018/2891 592 Kingsland Road E8 4AH Demolition and rebuild of north flank wall of No. 592 Kingsland Road at first and second floor level.

We have no objection. We are pleased to see that the applicant has retained a specialist builder to produce a method statement. We would ask the Listed Buildings Officer to ensure that the company that actually carries out the work is equally competent.' (Hackney Society 2018).

- 2.2.4 Comments from the Listed Buildings Officer following the submission of an early version of this document requested additional information in relation to 'the surviving internal elements and the potential impact of the works such as the impact on the surviving floor, ceilings, and stairs. All of which considerable elements will be lost'. These comments have been addressed in Sections 3.2 and 4.1 of this report.
-

2.3 Data Collation

2.3.1 The assessment has been carried out, in regard to the collation of baseline information, in line with the Chartered Institute for Archaeologists' Standard and Guidance for Historic Environment Desk-Based Assessment (January 2017) and the Archaeological Investigation and Recording of Standing Buildings and Structures (December 2014).

2.3.2 This assessment includes relevant information contained in various statutory requirements, national, regional and local planning policies and professional good practice guidance, including:

- Ancient Monuments and Archaeological Areas Act, 1979
- Planning (Listed Buildings and Conservation Areas) Act, 1990
- The National Planning Policy Framework, 2012

2.3.3 The Greater London Historic Environment Record (GLHER) is the primary source of information concerning the current state of archaeological and architectural knowledge in this area. The HER Commercial dataset search reference number for this project is 14397. For reporting purposes, the HER information has been re-numbered with AB numbers, which can be viewed in Appendix 1.

2.3.4 This information was supported by examination of data from a wide range of other sources, principally:

- Heritage Gateway for information from the Historic England National Monuments Record or local HER;
- Pastscape and other research resources, including the National Archives;
- The Historic England website professional pages, particularly the National Heritage List for England;
- Site visits were undertaken on 26th September and 21st November 2018. During the site visit, an inspection of the flanking wall was made, and external areas of the building, significant architectural details, fixtures and fittings were noted and digitally photographed.
- Additional relevant documentary resources at Hackney Archives were accessed on the 26th September 2018, and online historic sources.

2.3.5 Information from these sources was used to understand:

- Information on statutory and non-statutory designated sites
 - Readily accessible information on the proposed development site's history from readily available historic maps and photographs
-

- Any information on the proposed development site contained in published and unpublished archaeological and historical sources, including any previous archaeological investigations undertaken within the study area
- A greater understanding of key cultural heritage issues of the proposed development site and surrounding area, developed through the onsite walkover, including information on areas of past impact within the proposed development site boundary
- The impact of the proposed development on the known and potential cultural heritage resource, resulting in the formulation of a mitigation strategy, where required, which appropriately targets any future works to those required to gain planning consent.

2.4 Assessment of the Cultural Heritage Resource

2.4.1 The importance of identified cultural heritage resources is determined by reference to existing designations (Table 1, below).

Table 1: Assessing the Importance of a Cultural Heritage Site

SCALE OF SITE IMPORTANCE	
NATIONAL	The highest status of site, e.g. Scheduled Monuments (or undesignated assets of schedulable quality and importance). Grade I and Grade II* Listed Buildings. Other listed buildings that can be shown to have exceptional qualities in their fabric or historical associations not adequately reflected in the listing grade. Conservation Areas containing very important buildings. Undesignated structures of clear national importance. Extremely well preserved historic landscape, whether inscribed or not, with exceptional coherence, time depth, or other critical factor(s).
REGIONAL	Grade II Listed Buildings or other designated or undesignated archaeological sites (in addition to those listed above), or assets of a reasonably defined extent and significance, or reasonable evidence of occupation / settlement, ritual, industrial activity etc. Examples may include areas containing buildings that contribute significantly to its historic character, burial sites, deserted medieval villages, Roman roads and dense scatter of finds.
LOCAL	Evidence of human activity more limited in historic value than the examples above, or compromised by poor preservation and/or survival of context associations, though which still have the potential to contribute to local research objectives. Examples include sites such as 'locally designated' buildings or undesignated structures / buildings of limited historic merit, out-of-situ archaeological findspots / ephemeral archaeological evidence and historic field systems and boundaries etc.
NEGLIGIBLE	Assets with very little or no surviving archaeological interest. Examples include destroyed antiquities, structures of almost no architectural / historic merit, buildings of an intrusive character or relatively modern / common landscape features such as quarries, drains and ponds etc.
UNKNOWN	Insufficient information exists to assess the importance of a feature (e.g. unidentified features on aerial photographs).

2.4.2 For some types of finds or remains there is no consistent value and the importance may vary, for example Grade II Listed Buildings and Conservation Areas. For this reason, adjustments are occasionally made, where appropriate, based on professional judgement.

2.5 Impact Assessment Criteria

- 2.5.1 The magnitude of impact upon the archaeological and heritage resource, which can be considered in terms of direct and indirect impacts, is determined by identifying the level of effect from the proposed development upon the baseline conditions of the site and the cultural heritage resource identified. The criteria for assessing the magnitude of impact are set out in Table 2 (below).
- 2.5.2 In certain cases, it is not possible to confirm the magnitude of impact upon a cultural heritage resource, especially where anticipated buried deposits exist. Where possible a professional judgement as to the scale of such impacts is applied to enable the likely 'Significance of Effects' to be established; however, a magnitude level of 'uncertain' is included for situations where it is simply not appropriate to make such a judgement at this stage of works.

Table 2: Criteria for Determining Magnitude of Impact

IMPACT LEVEL	DEFINITION
HIGH	Changes to most or all of the key archaeological or key heritage baseline elements, or comprehensive changes to the setting of such key features that lead to total or almost complete alteration of a features physical structure, dramatic visual alteration to the setting of a heritage asset, or almost comprehensive variation to aspects such as noise, access, or visual amenity of the historic landscape.
MEDIUM	Changes to many key archaeological materials/historic elements, or their setting, such that the baseline resource is clearly modified. This includes considerable visual change to many key aspects of the historic landscape, noticeable differences in noise or sound quality, and considerable changes to use or access changes to key historic landscape elements
LOW	Detectable impacts which alter the baseline condition of an archaeological or heritage receptor to a slight degree – e.g. a small proportion of the surviving heritage resource is altered; slight alterations to the setting or structure, or limited changes to aspects such as noise levels, use or access that results in limited changes to historic landscape character.
NEGLIGIBLE	Barely distinguishable change from baseline conditions, where there would be very little appreciable effect on a known site, possibly because of distance from the development, method of construction or landscape or ecological planting, that are thought to have no long-term effect on the historic value of a resource.
UNCERTAIN	Extent / nature of the resource is unknown and the magnitude of change cannot be ascertained.

- 2.5.3 The overall Significance of Effects from the proposed development upon the Cultural Heritage Resource is determined by correlating the magnitude of Impact against value of the Cultural Heritage resource. Table 3 highlights the criteria for assessing the overall Significance of Effects. Where effects are moderate or above these are classified as significant.

Table 3: Significance of Effects

IMPORTANCE	MAGNITUDE			
	HIGH	MED	LOW	NEG
NATIONAL	Severe	Major	Mod	Minor
REGIONAL	Major	Mod	Minor	Not Sig.
LOCAL	Mod	Minor	Minor	Not Sig.
NEGLIGIBLE	Minor	Not Sig.	Not Sig.	Nt.

Not Sig. = Not Significant; Nt. = Neutral; Mod = Moderate; Ext. = Extensive

2.6 Limitations

- 2.6.1 It should be noted that the report has been prepared under the express instruction and solely for the use of Shafqat R Choudhry, and any associated parties they elect to share this information with. Measurements and distances referred to in the report should be taken as approximations only and should not be used for detailed design purposes.
- 2.6.2 All the work carried out in this report is based upon the professional knowledge and understanding of AB Heritage on current (October 2018) and relevant United Kingdom standards and codes, technology and legislation. Changes in these areas may occur in the future and cause changes to the conclusions, advice, recommendations or design given. AB Heritage does not accept responsibility for advising the client's or associated parties of the facts or implications of any such changes in the future.
- 2.6.3 This report has been prepared utilising factual information obtained from third party sources. AB Heritage takes no responsibility for the accuracy of such information. It should also be noted that this report represents an early stage of a phased approach to assessing the archaeological and cultural heritage resource of the application site to allow the development of an appropriate mitigation strategy, should this be required. It does not comprise mitigation of impacts in itself.

3. HERITAGE REVIEW OF SITE

3.1 Historic Development of Site

- 3.1.1 Dalston developed along the old Roman Road of Ermine Street [AB 48], now named Kingsland High Street, which eventually turns into Kingsland Road at the Kingsland Junction crossroads. Kingsland was once a medieval village [AB3] but much of the area's present built form dates back to the 19th century (e.g. [AB11, 20 & 22-30]), when the arrival of the railways [AB13] changed the village of Kingsland into the urban landscape of Dalston (Hackney Council 2010)
- 3.1.2 The NHLE listing for the building notes that it was built in the 18th century (NHLE 2018). The earliest map of showing the area in any detail is the Map of the Parish of Hackney by J. Rocque (available at Hackney Archives), surveyed in 1745, which clearly shows the junction of Kingsland Road with Dalston Lane. The area of the site is shown within a large field with no development within the site boundary. The surrounding area is generally rural in character with small clusters of settlement at Kingsland, focussed around what is now Dalston Junction; Dalston, c. 520m to the north-east of the site; and The Crossway, c.690m to the north-east of the site.
- 3.1.3 The Plan the Parish of Hackney by W. Merrington dated 1823, shows that by this time the area has begun to be developed. Buildings are shown lining Dalston Lane and parts of Kingsland Road. A grid of residential streets have been laid out parallel with Kingsland Road in the area previously shown as a field and a building is shown in the approximate location of the site. This building does not appear have the same footprint as the current building- instead it is shown with a protruding bay to the front façade, while the rear elevation is illustrated without the protruding bay. This front bay may actually represent nos. 590 and 592 with a symmetrical northern and southern wing set back from the main façade.

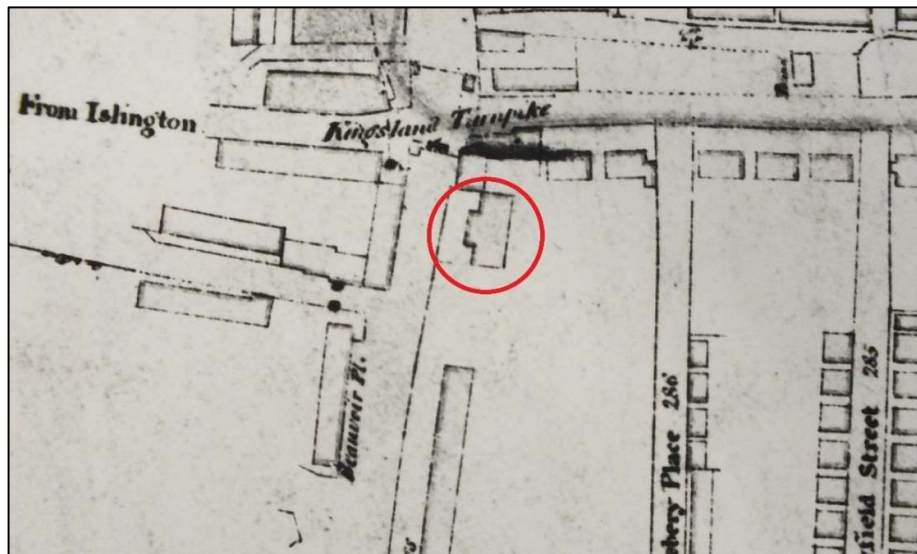


Plate 1. Plan the Parish of Hackney by W. Merrington, 1823 (Hackney Archives)

- 3.1.4 The tithe map of 1843 (Map of the Rectory of West Hackney in the County of Middlesex) supports the interpretation of a southern wing, as the building is represented more accurately in this map which includes the detail of the protruding bay on the rear elevation. No. 592 is situated within plot 417 on the tithe map, which, along with plot 418 (no.590), was recorded in the apportionment as 'not titheable'. Plots 419 and 420 to the south, are recorded as house and gardens, suggesting a residential character for the immediate area.

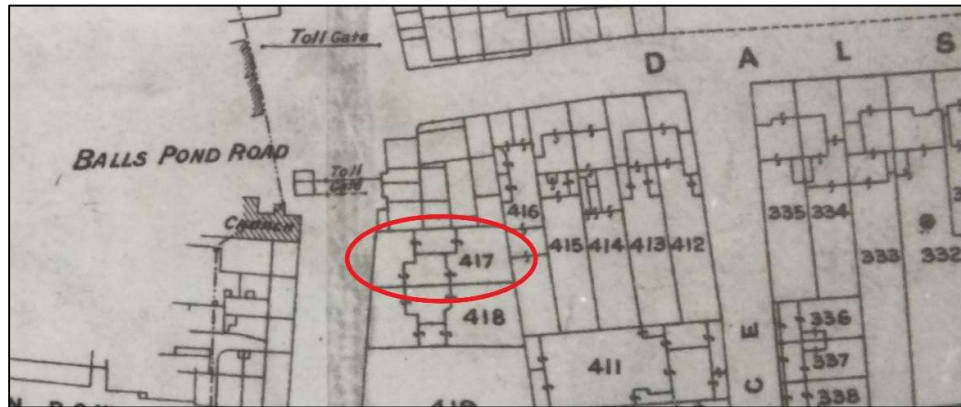


Plate 2. Map of the Rectory of West Hackney in the County of Middlesex, 1843 (Hackney Archives)

- 3.1.5 The first edition Ordnance Survey map surveyed in 1870 shows that the terrace has been extended southwards and changes have been made to the frontage along Kingsland Road so that the buildings extend to the western edge of the plot forming a uniform street frontage. An adjoining building set back from the street frontage has also been added to the north of no. 592, while the rear of no. 592 (and other buildings to the south) appears to be a garden plot. Dalston Junction station has been constructed to the east of the property.



Plate 3. First Edition Ordnance Survey map, 1870 (Hackney Archives)

- 3.1.6 Drainage plans from 1896 and 1931 provide additional evidence of the layout of the building. At this time, the street numbering was different to the current numbering system and no. 592 was known as no. 558. Based on the sequence of Ordnance Survey mapping, the current numbering system was introduced at some time between 1953 and 1971.
- 3.1.7 The plan from 1896 shows in more detail the changes shown on the Ordnance survey map of 1870. Shops have been added to the front of the building, while an extension has been added to the north with a staircase leading from the street to provide access into no. 592 (558 on plan) and a corridor created through the building (592) to enable access to no. 590 (556 on plan). This appears to be similar to the current the layout in the existing building (see Section 3.2, below).

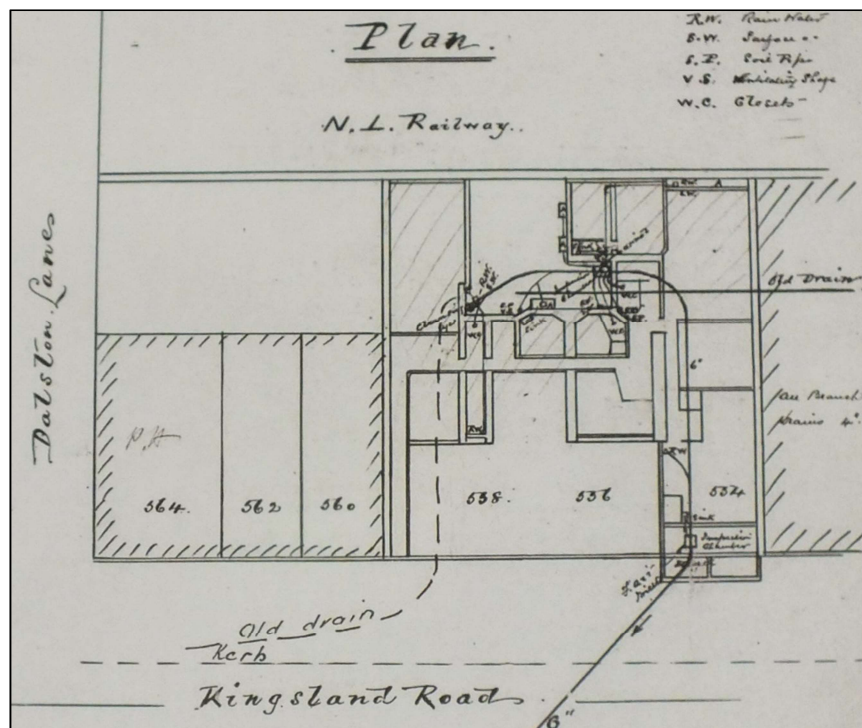


Plate 4. Drainage plans from 1896

- 3.1.8 Drainage plans from 1931 show a small extension added to the rear of no. 592 (Plate 5; circled in blue), which is similar to one shown on the Goad Insurance Plan of 1961 (Plate 6; circled in blue). However, this is no longer present on the building (see Section 3.2, below). It is possible that the removal of this extension was part of the same phase of building that inserted the fire door in the rear elevation at first floor level leading to the metal fire escape stairs.
- 3.1.9 The Goad plan shows that the single storey extension to the rear of 592 is made of timber, and since then it has been replaced with a similar structure in brick but no other significant changes appear to have been made within the site boundary. The plan notes that the first floor is used for costumes, so the conversion of the building into flats would have happened after this date.

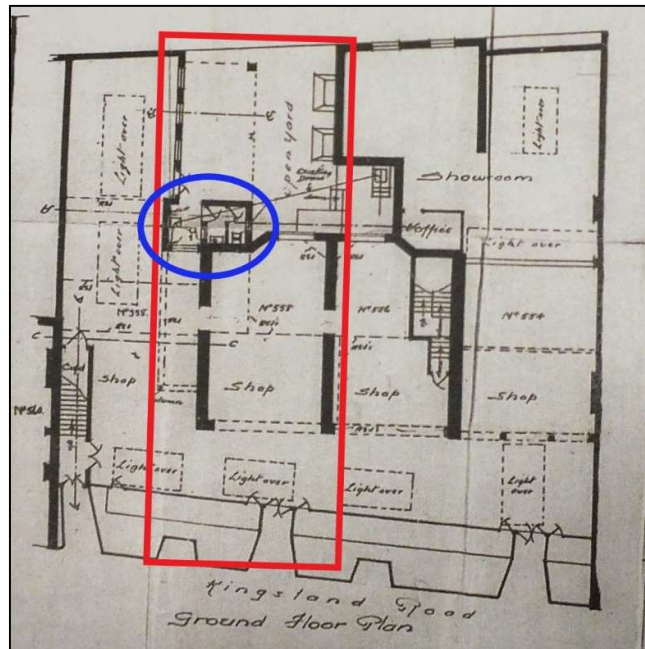


Plate 5. Drainage Plan, 1931 (Hackney Archives)

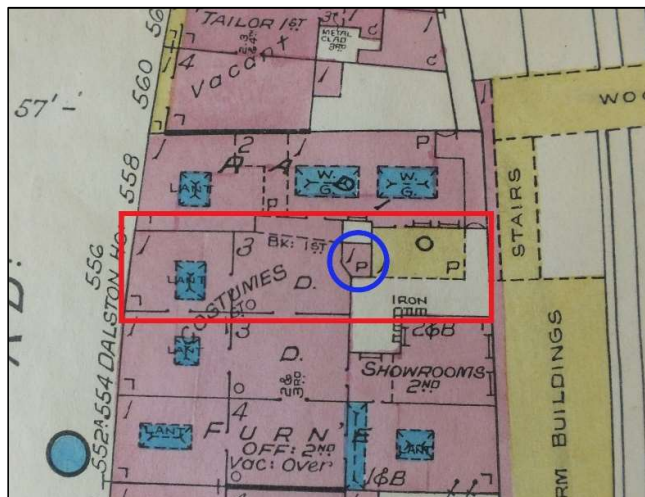


Plate 6. Goad Insurance Plan 1961 (Hackney Archives)

3.2 Current Condition of 592 Kingsland Road

- 3.2.1 Number 592 is part of a matching pair with the adjoining building (no. 590), which comprises a three-storey construction of brown brick with cornice band and a pitched roof set back from the façade. There are two single-pane sash windows on the first and second floor of the main block with gauged flat brick arch lintels built from contrasting red brick. On the northern elevation of no. 592 is a narrow single-bay north wing in matching brick with sloping roof, slightly set back from the main façade with round first floor window and attic lunette. The

northern wall of the north wing is currently supported by metal bracing tied into the main structure, which can be seen from street level (Photos 1 & 2).

- 3.2.2 Access into no. 592 is gained via a doorway to the left of Cassino Shoes (Photo 1, far left), which leads to a staircase and with a perpendicular corridor at first floor level. The corridor continues through building 592 with several doorways leading to separate residential dwellings (flats 5 & 6).



Photo 1. 592 & 590 Kingsland Road



Photo 2. North wing of 592 Kingsland Road

- 3.2.3 The rear elevation (Photo 3) has a protruding bay across the centre of the two buildings, incorporating the chimney stack. The brick window lintels on the rear elevation are of similar gauged flat arch type to the front façade but are constructed in matching brown brick rather

than contrasting. The window on the second floor is not a sash window and appears to have been replaced with a top awning window. Similarly, the attic lunette on the north wing does not match the window on the front façade, instead it appears to be formed of two square windows set behind the window alcove.

- 3.2.4 The brickwork on the rear elevation shows signs of repair with yellow brick (Photos 3 & 4), including around the fire door, which appears to be a later insertion. A metal plate above the second-floor window indicates a previous structural problem that required the installation of a structural tie. A large crack has opened at the northern end of the rear elevation in line with the fire door and window above (Photo 4). This crack continues down towards ground level. The northern wall currently tied into the structure with temporary structural ties and an external metal prop.
- 3.2.5 Modern additions to the rear elevation also include a large metal ventilation shaft, an air conditioning unit and plastic drain pipes (Photo 3). There is no extension at ground floor level as shown on plans from 1931 and 1961 (Plates 5 & 6, above). To the rear of 592 is a single storey flat-roofed extension, adjoined to the rear of no. 594.

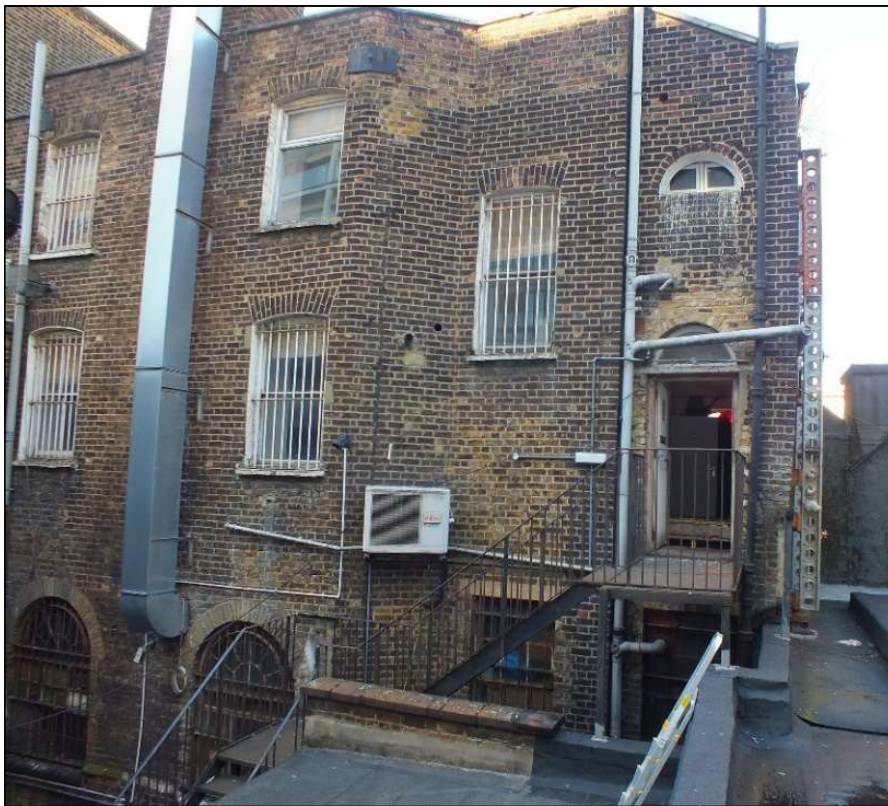


Photo 3. Rear elevation of 592 Kingsland Road



Photo 4. Close up of cracks in brickwork on rear elevation

- 3.2.6 Access to the interior is gained via an L-shaped corridor with two sets of steps leading behind the shop at no. 594. The top set of stairs (Photo 5) are timber and lead to the lobby area at first floor level which provides access to the front doors of Flats 5 & 6 and also leads to the fire exit in the rear return of the northern flanking wall (proposed for re-building). These steps are unlikely to be part of the original fabric but could date to the mid-late 19th century when the shop fronts were added.



Photo 5. Stairs into first floor lobby

- 3.2.7 The floor of the lobby is boarded over but closer inspection revealed two different widths of floorboards (Photo 6) underneath: several narrower planks secured with screws are located nearest the steps, possibly associated with the conversion of the flats / insertion of the steps;

and wider planks of darker wood, secured with traditional floor board nails, located nearer the main building, which could be older.



Photo 6. Floorboards at the top of the steps in the lobby

3.2.8 The lobby does not appear to retain much historical character. All the doors and door frames appear to be modern, presumably installed during the conversion to flats (post-1961). The window above the fire door at the rear echoes the shape of the original opening on the first floor but is a modern safety window with wire reinforcement (Photo 7). The ceiling has been coated in textured plasterwork, is patched in places and is crossed by pipework and wiring and modern lighting. The walls are starting to crack but are otherwise plain with no historical features and display safety signage and a fire extinguisher. The rods associated with the structural supports cross through this area. The only visible historic feature is a length of skirting board on the internal wall between the rear wall and the front door of flat no. 6, which is wider than the modern skirting elsewhere in the lobby and slightly bowed (Photo 8). This length of timber also appears to have been cut off to accommodate the front door to flat no. 6, suggesting it pre-dates the conversion.



Photo 7. First floor lobby looking east to the rear of the building



Photo 8. Historic length of skirting on internal wall

- 3.2.9 The area by the front window is currently in use for storage by a tenant (Photo 9) and access to the front window was predominantly obscured; however, it appears that the opening of the window is original but the window itself is in a poor state of repair. The glazing bars are falling off on the exterior and the glass itself appears to be glued to the interior wall, rather than set into a frame. It was not possible to gain visual access to the skirting boards in this area.



Photo 9. First Floor lobby looking west towards front of the building

- 3.2.10 At second floor level, the northern part of the building is divided into two parts; each of which comprises the bathroom of the associated flat. An inspection of the bathroom in flat no. 6 revealed no internal historical features (Photo 10). The walls are currently tiled from floor to ceiling and the floor is also tiled. Downlighters have been inserted into the ceiling. The window is not original, instead a squared casement window has been inserted behind the semi-circular opening, which is visible from the rear of the building.



Photo 10. Bathroom in Flat 6

3.2.11 Flat 5 was not accessible at the time of the site visit, however, an assessment of photographs taken of behalf of the client indicate that the bathroom in flat 5 is equally devoid of historical features with the exception of the front window, which appears to retain its original form. The glazed semi-circular frame is set into a rectangular timber frame with a hinged opening panel secured by a turn button latch (Photo 11).



Photo 11. Bathroom in Flat 5

3.3 Current Setting of 592 Kingsland Road & Kingsland Conservation Area

3.3.1 The site is located in the north of the Kingsland Conservation Area [AB45], in the character area described in the appraisal as 'The Dalston Town Centre Fringe Zone', which is noted as having:

'many important listed and landmark buildings set back from the main road with projecting shopfronts, although the quality of the shopfronts are not of the highest standard' (Hackney Council 1998).

3.3.2 However, the appraisal does not specifically mention no. 592 Kingsland Road.

- 3.3.3 The site is situated near the Dalston Junction crossroads, a busy intersection with modern street furniture- including traffic lights, road signage and advertisement. Kingsland Road is busy with vehicular traffic, contributing both visual and noise intrusion into the setting. The road itself is thought to follow a Roman road **[AB48]** but no surviving features are apparent on the modern route, other than the linear layout, typical of Roman roads.
- 3.3.4 Two locally listed buildings; Nos.1 & 2 Kingsland High Street **[AB34 & 39]** are situated on the opposite side of the junction (white buildings on left and right of photograph 12).



Photo 12. Dalston Junction crossroads

- 3.3.5 The building is set back behind the street frontage of Kingsland Road, which is characterised by plate glass windows and modern shopfronts of shops and cafes.
- 3.3.6 To the north of the site is no. 594, a single storey building with modern shop front adjacent to a pair of four-storey buildings of mid- 19th century date (Photo 13). On the corner of the junction with Dalston Lane is the former Crown and Castle public house (now a diner), which is described in the Conservation Area appraisal as:
- ‘a good example of a strong robust building holding a landmark position well within the townscape’ (ibid.).
- 3.3.7 The ground floor has illuminated modern signage, while the first and second storeys of the façade facing Kingsland Road are completely obscured by a large advertisement panel (Photos 12 & 13).



Photo 13. Nos. 594-598 & the former Crown & Castle Public House

3.3.8 To the south of the site is a mid-19th century terrace, fronted by modern shopfronts. While these are neither statutorily Listed nor locally listed, the terrace is included in the Conservation Area appraisal as retaining many original features including sash windows and margin lights, but it is also describes nos. 574-576 as having a ‘serious structural failure’ (Hackney Council 1998), which has presumably been rectified in the intervening 20 years. Further to the south, the eastern side of Kingsland Road is lined with Listed Buildings 560-568 [AB21], 546-558 [AB17], 540-544 [AB37] and 526-532 [AB16] Kingsland Road, which are also set back behind modern shopfronts similar to those at 590-592. There are no Listed or locally listed buildings on the west side of Kingsland Road opposite the site.

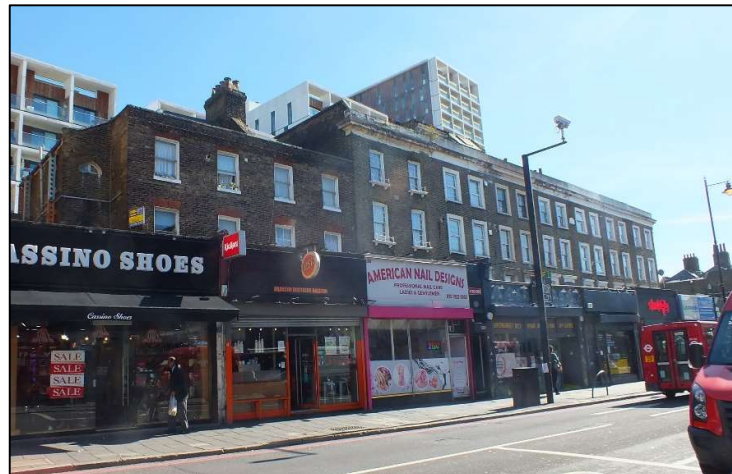


Photo 14. Nos. 592-590 (left) & Nos. 574-586 (right)

3.3.9 To the rear (east) of the property are a row of modern high-rise apartment blocks of varying height (Photos 13, 14 & 15), which were part of the Dalston Junction station redevelopment constructed in 2014 (McAslan 2018).



Photo 15. View from rear of 592 Kingsland Road

3.4 Significance of 592 Kingsland Road

- 3.4.1 As a Grade II Listed Building that has been compromised in preservation (both structurally and in terms of internal layout), 592 Kingsland Road is considered to be a heritage asset of Local Importance (in line with Table 1).
- 3.4.2 As one of many historic buildings along Kingsland Road, no. 592 contributes to the understanding of the architectural development of the area from the small medieval hamlet of Kingsland **[AB3]** to the sprawling urban area now covered by Dalston.
- 3.4.3 The building is neither dominant nor prominent in its setting, nor it is considered to be of significant architectural or aesthetic or communal value; rather it gains its heritage importance from its group value along with the other Listed, locally listed and undesignated buildings in the wider area.
- 3.4.4 Overall No. 592 is considered to make a Low contribution to the group value of the historic building stock and general understanding of the historic development of the Dalston area.
- 3.4.5 No. 592 Kingsland Road contributes to the general character of the Kingsland Conservation Area **[AB45]**, which is characterised by a variety of building stock from the 18th century onwards. However, the building is situated behind a modern shop front with a backdrop of modern high-rise apartment blocks and constitutes a very small part of the Conservation Area. It does not occupy a focal point or comprise a key feature of the Conservation Area and is not mentioned in the Conservation Area appraisal.
- 3.4.6 As with its group value, No. 592 is considered to make a Low contribution to the character of the Conservation Area.

4. IMPACT ASSESSMENT & RECOMMENDATIONS

4.1 Predicted Impact of Proposed Development

4.1.1 The rebuilding of the northern wall from first floor to roof level will directly impact the Listed Building. The aim of this phase of works is to remove the damaged brickwork and reinstate the wall back to its existing form, solely to consolidate the building to maintain its overall structural stability and ensure its survival while also taking opportunities to enhance the Listed Building by replacing intrusive features (such as uPVC downpipes etc.).

4.1.2 There will be some changes to parts of the historic fabric, which are likely to result in both adverse and beneficial impacts. External works include:

- Installation of temporary shoring (already in place) and scaffolding, may have a localised adverse impact upon the historic fabric but are necessary for any works to the building;
- Removal of original brickwork, to be taken down by hand and all salvaged brickwork set aside for reuse, resulting in a temporary medium adverse impact;
- Reinstatement of external brickwork to match existing with reused or matching brick stock and matching lime mortar, resulting in a medium - high beneficial impact;
- Removal and reinstatement of original window openings front and rear, considered to have a negligible impact;
- Removal and reinstatement of original second floor front window, considered to have a negligible impact;
- Replacement of rear window to match original timber front attic lunette, resulting in a medium beneficial impact;
- Replacement of uPVC guttering and down pipes with cast iron, resulting in a medium beneficial impact;
- Replacement of uPVC fascia boards with timber boards, resulting in a medium beneficial impact; and
- Investigation of roofline with a view to reinstating the original roof/fascia/gutter arrangement (if possible) to avoid ingress of water in future, resulting in a medium beneficial impact.

4.1.3 Internal works within the stairwell (lobby) include:

- Allowance for new timber joint end connections to the floor structure. Although this affects historic fabric, these may have decayed beyond repair and are not visible. Their replacement (where necessary) will improve the structural stability of the whole building without detracting from the historic character of the building and is considered to be a medium beneficial impact;

- Allowance for new timber floorboards, where necessary, resulting in a low adverse impact since only a small part of the asset is affected and not all existing timbers are historic;
- Allowance for new skirting boards to match existing, is generally considered to have a negligible impact since most are modern and of no historic interest;
- Retention of the single length of historic skirting, which is located on the internal wall and should remain unaffected by the scheme, resulting in no impact;
- Installation of plasterboard ceilings with skim coat, will remove the existing ceiling but will also improve the overall appearance by removing the modern textured finish and patched areas so considered to have a low beneficial impact;
- Plaster finish to walls, will remove the existing finish (which displays no historic features) but will improve the appearance of the existing cracked and patched walls so is considered to have a low beneficial impact; and
- Allowance for new light fittings and power sockets (to match existing), considered to have a negligible impact.

4.1.4 Rebuilding the wall will enable the removal of the temporary structural support system (shoring), which is visible from street level on Kingsland Road (see Photos 1 & 2) and provide an opportunity to enhance the building by the removal of intrusive elements such as uPVC drainpipes, and areas of mis-matched brickwork from previous phases of repair in the rear elevation (Photos 3 & 4).

4.1.5 In this case, the overall impact to the fabric is considered to be beneficial, since there are significant structural problems on the northern side of the building and any adverse impacts should be weighed against the continued survival of the building. The reconstruction of the wall will prevent further degradation to the structure and ensure the future survival of the Listed Building as a whole, in addition to reinstating a homogeneous appearance to the north-eastern corner of the rear wall and removing the intrusive temporary structural ties.

4.1.6 The consolidation of the Listed Building (and removal of intrusive structural supports) resulting from the reconstruction of the northern wall is also considered to have a Low Beneficial impact upon the Kingsland Conservation Area and other surrounding Listed and locally listed buildings through the retention of historic building stock in the area.

4.1.7 Overall, the proposal is considered to result in a *Minor Beneficial Significance of Effects*.

4.2 Outline Recommendations

4.2.1 It is recommended that reused bricks from the existing wall be used in its reconstruction, where possible. Where this is unfeasible, it is recommended that reclaimed historic bricks or matching reproduction bricks be used.

4.2.2 The applicant should seek opportunities to enhance the heritage significance of the building through reinstatement of original features (e.g. replacing intrusive windows to match the original attic lunette) and the retention of historic fabric, where possible (i.e. the length of historic skirting and older floor boards noted during the site visit).

- 4.2.3 Mechanisms should also be put in place to ensure that existing historic fabric is not damaged during the proposed works to the building.
- 4.2.4 In accordance with the advice provided by the Kingsland Conservation Areas Advisory Committee (Section 2.2.3, above), it is recommended that the proposed building works be undertaken by a specialist builder with previous experience in repairs to historic buildings.

4.3 Conclusion

- 4.3.1 Reconstruction of the northern wall will prevent further degradation to the structure and ensure the future survival of the Listed Building as a whole, in addition to reinstating a homogenous appearance to the north-eastern corner of the rear wall and removing the intrusive temporary structural ties. Such work is likely to be considered a Medium beneficial impact to the Listed Building.
- 4.3.2 The consolidation of the Listed Building (and removal of intrusive structural supports) resulting from the reconstruction of the northern wall is also considered to have a Low Beneficial impact upon the Kingsland Conservation Area and other surrounding Listed and locally listed buildings through the retention of historic building stock in the area.
- 4.3.3 Overall, the proposal is considered to result in a Minor Beneficial Significance of Effects.

5. REFERENCES

5.1 Documentary & Cartographic Sources

- Goad insurance Plan, Sheet E6, 1961 (Hackney Archives)
- Historic England, 2015, Photographing Historic Buildings Notes 2015
- Merrington's Plan of Hackney, 1823 (Hackney Archives: AP 447)
- Ordnance Survey map, Sheet VII:7 1870, 1894, 1912, 1938 (Hackney Archives)
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- Tithe Map: Map of the Rectory of West Hackney in the County of Middlesex, 1843 (Hackney Archives)
- Ward, L. LCC Bomb Damage Maps 1939-1945, London; Thames Hudson

5.2 Online Sources

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<http://www.legislation.gov.uk/ukpga/1979/46/contents>
- Chartered Institute for Archaeologists Standard and Guidance for Historic Environment Desk Based Assessment http://www.archaeologists.net/sites/default/files/node-files/CIfAS&GDBA_2.pdf
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- National Planning Policy Framework
https://www.gov.uk/government/uploads/system/uploads/attachment_data/file/6077/2116950.pdf
- Planning (Listed Buildings and Conservation Areas) Act, 1990
http://www.legislation.gov.uk/ukpga/1990/9/pdfs/ukpga_19900009_en.pdf

5.3 Correspondence

- Letter from Kathy Clark (Inspector of Historic Buildings and Areas; Historic England) to Nick Bovaird (Planning Dept; Hackney Council) dated 24th August 2018.
- Email Correspondence from Nick Bovaird (Planning Dept; Hackney Council) to Ronnie Campbell (Chartered Building Surveyor; London Building Surveyors Ltd.) on 2nd November 2018 containing Listed Building Officer's comments.

Appendices

Appendix 1 Planning Policy

Introduction

The following section highlights the key planning and legislative framework relevant to this project, including legislative framework, national planning policy and relevant sector guidance.

Statutory Protection for Heritage Assets

Current legislation, in the form of the Ancient Monuments and Archaeological Areas Act 1979, provides for the legal protection of important and well-preserved archaeological sites and monuments through their addition to a list, or 'schedule' of archaeological monuments by the Secretary of State for Digital, Culture, Media and Sport. This necessitates the granting of formal Scheduled Monument Consent for any work undertaken within the designated area of a Scheduled Monument.

Likewise, structures are afforded legal protection in the form of their addition to 'lists' of buildings of special architectural or historical interest. The listing of buildings is carried out by the Department of Digital, Culture, Media and Sport under the Planning (Listed Buildings and Conservation Areas) Act, 1990. The main purpose of the legislation is to protect buildings and their surroundings from changes that would materially alter the special historic or architectural value of the building or its setting. This necessitates the granting of formal Listed Building Consent for all works undertaken to or within the designated curtilage of a Listed Building. This legislation also allows for the creation and protection of Conservation Areas by local planning authorities to protect areas and groupings of historical significance.

The categories of assets with some form of legal protection have been extended in recent years, and now include Registered Parks and Gardens, and Historic Battlefields. While designation as a UNESCO World Heritage Site is not a statutory designation under English planning law, such a designation is regarded as a material consideration in planning decisions, and World Heritage Sites are in practice protected from development that could affect any aspect of their significance including settings within the Site and a buffer zone around it.

National Planning Policy

The NPPF sets out government policy on the historic environment, which covers all elements, whether designated or not, that are identified as 'having a degree of significance meriting consideration in planning decisions, because of its heritage interest'.

One of the over-arching aims is to 'Conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generations'. To achieve this, local planning authorities can request that the applicant describe "the significance of any heritage assets affected, including any contribution made by their setting".

The level of detail required in the assessment should be "proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance". It goes on to say that "where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation."

A key policy within the NPPF is that “when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be.

With regard to non-designated heritage assets specific policy is provided in that a balanced judgement will be required having due regard to the scale of any harm or loss and the significance of the heritage asset affected.

Paragraph 132 states that ‘Significance can be harmed or lost through alteration or destruction of a heritage asset or development within its setting. Substantial harm to or loss of a Grade II listed building, park or garden should be exceptional, while substantial harm to or loss of designated heritage assets of the highest significance, should be wholly exceptional’.

Paragraphs 133 & 134 explain that ‘where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss.

It also advises that where a proposal involve less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use. In weighing applications that affect directly or indirectly non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Regional Planning Policy: The London Plan 2016

Policy 7.8: Heritage Assets and Archaeology

This policy states that development should incorporate measures that identify, record, interpret, protect, and where possible, present the site’s heritage assets, whether designated or non-designated.

Based on this policy, planning decisions involving heritage assets will be assessed on the level of identification, value, conservation, restoration, re-use and incorporation of the asset in the proposed plans. The significance of heritage assets and their settings should be conserved by proposals which are sympathetic to the form, scale, materials and architectural detail of the asset.

Any development which will cause substantial harm or loss of a designated heritage asset will only be accepted in exceptional circumstances. The importance of the development will be assessed proportionately in terms of public benefit against the impact on, and the importance of the asset.

Local Planning Policy: Hackney Local Plan

Hackney’s existing local plan comprises two aspects related to the site, these are:

- the Core Strategy (adopted November 2010); and
- the Development Management Local Plan (adopted July 2015);

Relevant information from these two documents will be discussed below.

Core Strategy

Core Strategy Policy 25: Historic Environment

All development should make a positive contribution to the character of Hackney's historic and built environment. This includes identifying, conserving and enhancing the historic significance of the borough's designated heritage assets, their setting and where appropriate the wider historic environment.

Development Management Local Plan

Policy DM28 – Managing the Historic Environment

A - Conservation Areas

Development in or adjacent to the Borough's Conservation Areas shall preserve or enhance the character and appearance of the respective Area. The Council will only grant planning permission to demolish or substantially demolish non-listed buildings in conservation areas where:

- I. the proposal would preserve or enhance the character or appearance of the conservation area;*
- II. there are satisfactory proposals for redevelopment or treatment of the site which must proceed after demolition.*

Harm or loss of such a building in a conservation area should comply with section E of this policy.

Alterations and extensions in conservation areas should:

- III. Not upset the scale or proportions of buildings or adversely affect the character, appearance or setting of neighbouring buildings;*
- IV. Preserve (or, where missing, reinstate) characteristic features such as doors, windows, roof details (e.g. chimneys, chimney pots, roof line and pitch) and party wall upstands even where these elements may be redundant;*
- V. Not harm the architectural integrity of a building or the unity and significance of a group of buildings or terrace.*

Proposals for alterations and extensions that would be highly visible must comply with the remainder of (iii), (iv) and (v) above.

B - Listed Buildings

Proposals for development, including change of use, that involve any alterations to a listed building or within its curtilage shall:

- I. Not lead to substantial harm to or total loss of the significance of the building and should harmonise with the period, style, materials and detailing of the building;*
-

- II. *Retain and repair existing features and fabric, or, if missing, replace them in a sympathetic manner;*
- III. *Not harm the structural integrity or stability of the building or that of adjoining buildings or structures;*
- IV. *Respect and preserve the integrity of the original plan form where extensions are proposed, relate sensitively to the original building and not adversely affect the internal or external appearance or character of the building, curtilage or its setting; and*
- V. *Retain roof structures of intrinsic architectural or historic interest.*

C - Other Heritage Assets

Hackney will seek to ensure the protection and enhancement of other heritage assets including London Squares, Registered Parks and Gardens of Special Historic Interest, and locally listed and designated assets. Development proposals should not be detrimental to the appearance and character of such Assets, and where relevant the wider historic environment.

E - Harm to or Total Loss of a Designated Heritage Asset

Where a proposal will lead to substantial harm to or total loss of significance of a designated heritage asset, it must be demonstrated that efforts to retain or restore the significance of the heritage asset have been explored and that the public benefits of redevelopment, including securing its optimum viable use, outweighs the adverse impact on the significance of the designated heritage asset.

Appendix 2 Cultural Heritage Gazetteer

This gazetteer incorporates all archaeological and historical sites identified on the Greater London Historic Environment Record (GLHER), and other sources within the 250m study area.

Abbreviations

CA – Conservation Area

LB – Listed Building

LLB – Locally Listed Building

APA - Archaeological Priority Area

MLO – GLHER monument prefix

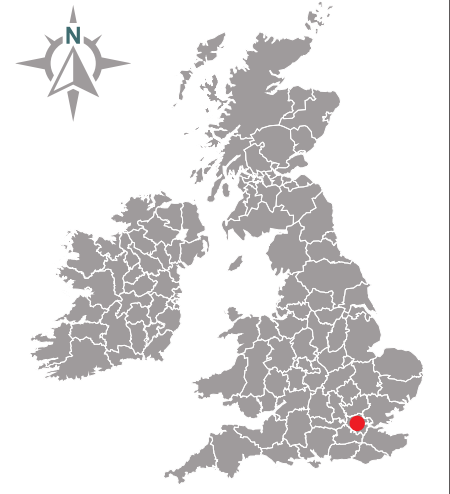
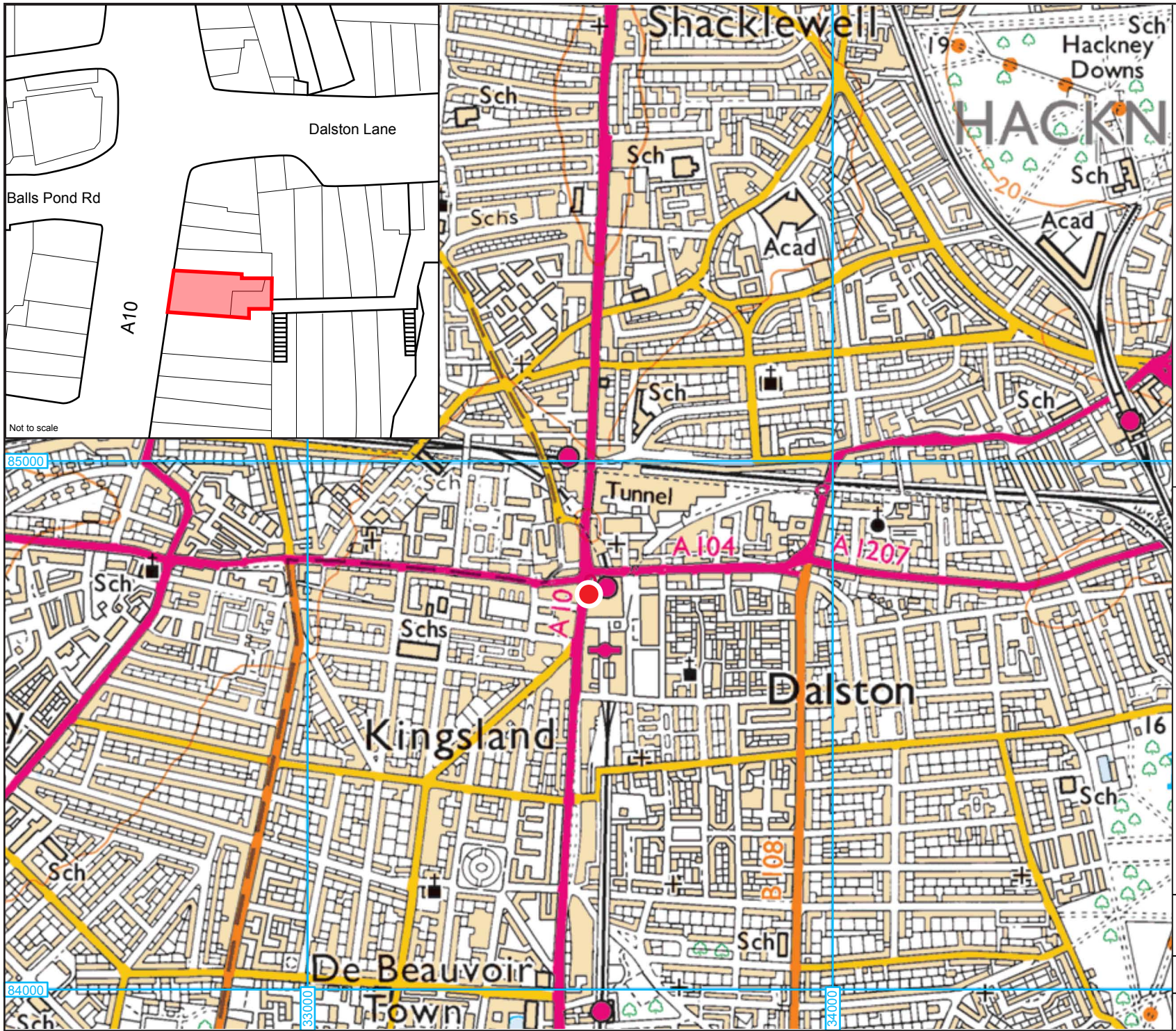
DLO – GLHER designation prefix

AB NO.	PERIOD	TYPE	NAME	DESIGNATION	REFERENCE
1	PREHISTORIC (PALAEOLITHIC)	FINDSPOT	KINGSLAND		MLO12120
2	MEDIEVAL TO MODERN	ROAD	DALSTON LANE, DALSTON, HACKNEY {POSSIBLE MEDIEVAL ROAD}		MLO1608
3	MEDIEVAL TO MODERN	VILLAGE	KINGSLAND HIGH STREET, KINGSLAND, HACKNEY {POSSIBLE MEDIEVAL VILLAGE}		MLO10918
4	MEDIEVAL TO POST MEDIEVAL	CHAPEL; CEMETERY?	KINGSLAND RD		MLO55646
5	MEDIEVAL TO POST MEDIEVAL	LEPER HOSPITAL	KINGSLAND ROAD/BALLS POND ROAD, KINGSLAND, HACKNEY/ISLINGTON {SITE OF A MEDIEVAL LEPER HOSPITAL}		MLO12094
6	POST MEDIEVAL	DUMP	1-5 KINGSLAND GREEN		MLO58949
7	POST MEDIEVAL	SOAKAWAY; WELL; DRAIN; WALL; POST HOLE; PIT	3-23 BENTLEY RD		MLO74021; MLO74022; MLO74023; MLO74024
8	POST MEDIEVAL	CHAPEL; NONCONFORMIST CHAPEL	47A BALLS POND RD		MLO26323
9	POST MEDIEVAL	TERRACED HOUSE; TERRACE	71 BALLS POND ROAD	GRADE II LB	DLO18427

AB NO.	PERIOD	TYPE	NAME	DESIGNATION	REFERENCE
10	POST MEDIEVAL	CHURCH	CHURCH OF HOLY TRINITY	GRADE II LB	DLO18714
11	POST MEDIEVAL	SHOP	DALSTON LANE (NOS 2 AND 2A), E8 {SITE OF 19TH CENTURY SHOP BUILDINGS}		MLO101166
12	POST MEDIEVAL	MARKET GARDEN; BURIED SOIL; WALL; CELLAR; DOORWAY	DALSTON LANE (NOS 25-27), DALSTON, HACKNEY {18TH-19TH CENTURY STRUCTURES}		MLO106765
13	POST MEDIEVAL	RAILWAY STATION; RAILWAY CUTTING; COVERED WAY; RAILWAY BRIDGE	DALSTON LANE, [NORTH LONDON LINE: DALSTON WESTERN CURVE], E8 {19TH CENTURY STATION FACADE, BRIDGE, CUTTING WALLS AND COVERED WAY}		MLO101164
14	POST MEDIEVAL	PUBLIC HOUSE	KINGSLAND HIGH STREET (NO 18), [THE KING'S ARMS], E8 {SITE OF 19TH CENTURY PUBLIC HOUSE}		MLO101167
15	POST MEDIEVAL	CONGREGATIONAL CHAPEL; CEMETERY; CHAPEL; SUNDAY SCHOOL; SCHOOL; RAILINGS; STEPS	MABERLY CHAPEL AND ATTACHED SCHOOL BUILDING	GRADE II LB	DLO18777
16	POST MEDIEVAL	HOUSE; SHOP	NOS 526 TO 532 (EVEN) KINGSLAND ROAD, E8	GRADE II LB	DLO18868
17	POST MEDIEVAL	BUILDING; WAREHOUSE	NOS 546 TO 558 (EVEN) KINGSLAND ROAD E8	GRADE II LB	DLO18869
18	POST MEDIEVAL	HOUSE	NOS 590 & 592 KINGSLAND ROAD, E8	GRADE II LB	DLO18528
19	POST MEDIEVAL	BOLLARD	POST AT OUTER CORNER OF NUMBER 20	GRADE II LB	DLO18405
20	POST MEDIEVAL	TERRACED HOUSE	ROSEBERRY PLACE (NOS 5-13), E8 {19TH CENTURY TERRACE}		MLO101165
21	POST MEDIEVAL TO MODERN	HOUSE; SHOP	560-568 KINGSLAND ROAD (EAST SIDE), E8	GRADE II LB	DLO18538
22	POST MEDIEVAL TO MODERN	INDUSTRIAL BUILDING	ASHWIN STREET (NOS 18-22) [THE PRINT HOUSE], DALSTON, HACKNEY, E8 {19TH CENTURY INDUSTRIAL BUILDING}	LLB	MLO106184
23	POST MEDIEVAL TO MODERN	TERRACED HOUSE; SHOP	BALLS POND ROAD (NO 1), KINGSLAND, HACKNEY, N1 {VICTORIAN TERRACED HOUSE}	LLB	MLO106211

AB NO.	PERIOD	TYPE	NAME	DESIGNATION	REFERENCE
24	POST MEDIEVAL TO MODERN	TERRACED HOUSE; CORNICE; SHOP	BALLS POND ROAD (NO 13-17), KINGSLAND, HACKNEY, N1 {19TH CENTURY TERRACED HOUSES}	LLB	MLO106354
25	POST MEDIEVAL TO MODERN	TERRACED HOUSE; BALCONY	BALLS POND ROAD (NO 57-63), KINGSLAND, HACKNEY, N1 {VICTORIAN TERRACE}	LLB	MLO106214
26	POST MEDIEVAL TO MODERN	TERRACED HOUSE; CORNICE; SHOP	BALLS POND ROAD (NO 9), KINGSLAND, HACKNEY, N1 {19TH CENTURY TERRACED HOUSE}	LLB	MLO106353
27	POST MEDIEVAL TO MODERN	SEMI DETACHED HOUSE; PORCH	BALLS POND ROAD (NOS 31-33), KINGSLAND, HACKNEY, N1 {19TH CENTURY SEMI DETACHED HOUSES}	LLB	MLO106212
28	POST MEDIEVAL TO MODERN	SEMI DETACHED HOUSE; RAILING	BALLS POND ROAD (NOS 35-37), KINGSLAND, HACKNEY, N1 {19TH CENTURY SEMI DETACHED HOUSES}	LLB	MLO108033
29	POST MEDIEVAL TO MODERN	TERRACED HOUSE	BALLS POND ROAD (NOS 43-47), KINGSLAND, HACKNEY, N1 {VICTORIAN TERRACE}	LLB	MLO106213
30	POST MEDIEVAL TO MODERN	INFANT SCHOOL; JUNIOR SCHOOL	BEECHWOOD ROAD, [HOLY TRINITY JUNIOR SCHOOL], DALSTON, HACKNEY, E8 {SITE OF A 19TH CENTURY SCHOOL}		MLO83957
31	POST MEDIEVAL TO MODERN	TERRACED HOUSE; SHOP	DALSTON LANE (NOS 16-18), DALSTON, HACKNEY, E8 {PART OF A TERRACE}	LLB	MLO106182
32	POST MEDIEVAL TO MODERN	TERRACED HOUSE; BRACKET; SHOP	DALSTON LANE (NOS 20-22), DALSTON, HACKNEY, E8 {PART OF A TERRACE}	LLB	MLO108012
33	POST MEDIEVAL TO MODERN	WELL; PIT; RUBBISH PIT; STABLE; THEATRE; CIRCUS (RECREATIONAL); CINEMA; AUCTION HOUSE; NIGHTCLUB	DALSTON LANE, NO 12, DALSTON, HACKNEY {SITE OF DALSTON THEATRE}		MLO98740
34	POST MEDIEVAL TO MODERN	COMMERCIAL OFFICE; BULLSEYE WINDOW	KINGSLAND HIGH STREET (NO 1), KINGSLAND, HACKNEY, E8 {19TH CENTURY COMMERCIAL BUILDING}	LLB	MLO106185
35	POST MEDIEVAL TO MODERN	SHOP	KINGSLAND HIGH STREET (NOS 10-16, 20-34 AND 25-31), E8 {SITE OF 19TH/20TH CENTURY SHOPS}		MLO101168

AB NO.	PERIOD	TYPE	NAME	DESIGNATION	REFERENCE
36	POST MEDIEVAL TO MODERN	TERRACE; PARAPET; CORNICE; ARCHITRAVE	KINGSLAND ROAD (NO 457-477) [BEAUVOIR TERRACE], KINGSLAND, HACKNEY, E8 {VICTORIAN TERRACED HOUSES}	LLB	MLO106371
37	POST MEDIEVAL TO MODERN	HOUSE; SHOP	NOS 540 TO 544 (EVEN) KINGSLAND ROAD E8	GRADE II LB	DLO18527
38	MODERN	ENGINE HOUSE; FACTORY	[SPRINGFIELD HOUSE] DALSTON, HACKNEY {ENGLINE HOUSE}		MLO107011
39	MODERN	COMMERCIAL OFFICE	KINGSLAND HIGH STREET (NO 2), KINGSLAND, HACKNEY, E8 {1914 COMMERCIAL BUILDING}	LLB	MLO106186
40	MODERN	CINEMA; SHOP; NIGHTCLUB; SNOOKER HALL	KINGSLAND ROAD (NOS 570-572), E8 {SITE OF EARLY 20TH CENTURY CINEMA}		MLO101171
41	MODERN	BUILDING; RESTAURANT; PIE AND MASH SHOP; GAS LAMP	F COOKE'S EEL, PIE AND MASH SHOP	GRADE II LB	DLO18741
42	UNKNOWN	CULTIVATION SOIL	1-5 KINGSLAND GREEN		MLO58948
43	UNKNOWN	PIT	1-5 KINGSLAND RD		MLO58945
44	UNKNOWN	DEPOSIT UNCLASSIFIED	3-23 BENTLEY RD		MLO74020
45	N/A	DESIGNATED AREA	KINGSLAND CONSERVATION AREA	CONSERVATION AREA	
46	N/A	DESIGNATED AREA	KINGSLAND MEDIEVAL HAMLET	APA	DLO35613
47	N/A	DESIGNATED AREA	KINGSLAND LEPER HOSPITAL	TIER II APA	DLO38401
48	N/A	DESIGNATED AREA	ROMAN ROAD ERMINE STREET (KINGSLAND ROAD)	TIER II APA	DLO38404



KEY

- Site Location
- Site Boundary (inset)

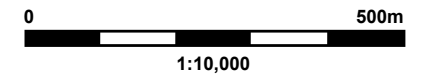


Figure 1: Site Location

Project: 592 Kingsland Road, Dalston

Date: 08/10/18

Job No: 60537



KEY

- Site Boundary
- Search Area (250m)
- Monument
- Monument (Line)
- Monument (Poly)
- Listed Building
- Locally Listed Building
- ★ Archaeological Event (Point)
- Conservation area

AB 46 – 48 not shown

0 200m

Figure 2: Cultural Heritage Features Map

Project: 592 Kingsland Road, Dalston

Date: 08/80/18 | Job No: 60537



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