



**Doubleton Farmhouse,  
Penshurst  
Heritage Statement**

Client: MR & MRS LAYTON  
AB Heritage Project No:60660  
Date:15/03/2019

## Doubleton Farmhouse, Penshurst Heritage Statement

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## 1. INTRODUCTION

### 1.1 Project Background

1.1.1 AB Heritage have been commissioned by Emma and Matthew Layton to produce a Heritage Statement covering proposed development works at the Grade II Listed property of Doubleton Farmhouse, Penshurst, Kent (Figure 1).

1.1.2 The development proposals (see Figure 2) are for:

- Internal works to Doubleton Farmhouse, to alter the layout;
- Full demolition of an outbuilding to the immediate west of the main house;
- The demolition and re-building of an outbuilding in the far south-east of the plot;
- The addition of a building with associated gate and hard-standing in the far south-east of the plot;
- The construction of a new two-storey annex to the immediate west of the main house; and
- Drainage works in the existing basement.

1.1.3 This Heritage Statement has been commissioned following pre-planning advice sought by Mr and Mrs Layton in November 2018. Sevenoaks District Council (SDC) advised that a better understanding of the significance of affected walls and layouts on the ground and first floors was required in order to assess the impact of the proposals (SDC, 2018). Further details of the advice given regarding heritage can be found in Section 2.2.

### 1.2 Statutory Designations

1.2.1 Doubleton Farmhouse is a Grade II Listed Building that was first Listed on 16<sup>th</sup> January 1975. The National Heritage List for England (NHLE) listing describes the property as follows:

*C16 timber framed building with later recasing. 2 storeys, 4 windows. High pitched tiled roof with ridge stack. Tile hung 1st floor, brick ground floor. C19 and modern windows. Lean-to front left extension (possibly formerly back of house). Mid C19 back extensions. Much exposed timber inside. (NHLE List Entry Number: 1243269).*

1.2.2 Doubleton Farmhouse originally formed part of Doubleton Farm, a c. 16<sup>th</sup> century farmstead that no longer survives (HER Number TQ 54 SW 312 - MKE80803).

1.2.3 According to Historic England (HE) guidance, buildings and other structures that pre-date July 1948 and are within the curtilage of a listed building are to be treated as part of the listed building. This would include the two existing outbuildings within the plot of the property (HE, 2018).

### 1.3 Site Location & Description

- 1.3.1 The site is located at Doubleton Farmhouse, Doubleton Lane, Penshurst, Kent, TN11 8JA. The property is centred approximately on NGR TQ 52008 44203 (Figure 1).
- 1.3.2 The size of the plot containing Doubleton Farmhouse is approximately 0.4ha. This contains the property itself amongst landscaped lawns and gardens, along with two outbuildings (one located immediately to the west of the farmhouse and one in the south-east corner of the plot c. 50m from the farmhouse).
- 1.3.3 The site is bounded on its south and west sides by Doubleton Lane. To the north of the site is a further plot containing a tennis court, while further north and to the east are fields.
- 1.3.4 The nearest large settlement is Penshurst, with its centre located c. 730m south-west of site.

### 1.4 Proposed Development

- 1.4.1 The current design proposals for the site comprise:

#### GROUND FLOOR (Fig. 4)

- Create a doorway through the north-west wall of the Drawing Room;
- Create a doorway in the west wall of the WC attached to the north of the Boot Room;
- Remove the dividing wall between the Boot Room and the attached WC;
- Infilling of the existing doorway between the Drawing Room and the Boot Room; and
- The insertion of two French windows on the north wall of the Drawing Room.

#### FIRST FLOOR (Fig. 6)

- Reconfiguration of Bedroom 3 and adjacent Shower Room to create an en-suite for Bedroom 3. This includes demolition / construction of various internal partitions; and
- Reconfiguration of Bedroom 5 & 6 and cupboard to create a Studio / Dressing Room and adjacent Wet Room. This includes demolition / construction of various internal partitions.

#### ATTIC (Fig. 8)

- Construction of new walls in Bedroom 7 to create a reconfigured bedroom with en-suite and dedicated storage space.

#### EXISTING OUTBUILDINGS (Fig. 2)

- The total demolition of the existing outbuilding immediately west of the main house and its replacement with a two-storey annexe, connected to the main house via a covered walkway; and
- The demolition of the existing outbuilding at the far south-east corner of the site and its reconstruction to provide a studio / workshop space.

NEW GARAGE AREA (Fig. 2)

- The construction of a building to provide garage and outdoor storage space; and
- The provision of hard-standing and a metal gate providing access from Doubleton Lane.

## 2. AIMS & METHODOLOGY

### 2.1 Aims

2.1.1 NPPF Section 189 requires local planning authorities to request descriptions on the significance of any heritage assets affected by a proposal, including any contribution made by their setting. This states that:

*'The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance.'*

2.1.2 The aim of this report is to facilitate such a process by understanding the historical development of the application site and the likely impact upon any surviving heritage assets resulting from the proposed development, devising appropriate mitigation responses where necessary.

### 2.2 Consultation

2.2.1 Mr and Mrs Layton sought pre-application advice from Sevenoaks District Council in November 2018, including a meeting and a report. The main concerns raised were:

- That the potential impacts of the proposed internal alterations could not be fully appreciated without a better understanding of the significance of affected walls and layouts on the ground floor and first floor;
- Potential impacts on settings associated with the new annexe building to the west of the house; and
- A need to confirm that there would be no harm to the neighbouring property of Doubleton Cottage to the west of the site associated with the construction of the annexe.

2.2.2 It should be noted that the Case Officer advised the roof design and massing of the building should respect the existing Farmhouse building. This is an issue for the designing architect.

2.2.3 Paul Cooke (Assistant Heritage Consultant, AB Heritage) contacted Rebecca Lamb (Conservation Officer, SDC) by email on the 25<sup>th</sup> January 2019, to discuss the scope and focus of this document; at the time of writing, no response had been received.

### 2.3 Data Collation

2.3.1 The assessment has been carried out in regard to the collation of baseline information, in line with the Chartered Institute for Archaeologists' Standard and Guidance for Historic Environment Desk-Based Assessment (January 2017) and the Archaeological Investigation and Recording of Standing Buildings and Structures (December 2014).

2.3.2 This assessment includes relevant information contained in various statutory requirements, national, regional and local planning policies and professional good practice guidance, including:

- Ancient Monuments and Archaeological Areas Act, 1979
- Planning (Listed Buildings and Conservation Areas) Act, 1990
- The National Planning Policy Framework, 2012

2.3.3 The Kent Historic Environment Record (HER) is the primary source of information concerning the current state of archaeological and architectural knowledge in this area. Data was ordered based on a 250m search radius, which was considered the most appropriate for this assessment, based on the pre-application planning advice (see Section 2.2).

2.3.4 This information was supported by examination of data from a wide range of other sources, principally:

- Heritage Gateway for information on local and non-designated heritage assets;
- Pastscape and other research resources, including the National Archives;
- The Historic England website professional pages, particularly the National Heritage List for England;
- A site visit, which was undertaken on 6<sup>th</sup> February 2019. During the site visit, an inspection of the building was made, and principal areas of the building, significant architectural details, fixtures and fittings were noted and digitally photographed.
- Additional relevant documentary resources at the Kent History and Library Centre (KHLIC) were accessed on the 6<sup>th</sup> February 2019.

2.3.5 Information from these sources was used to understand:

- Information on statutory and non-statutory designated sites
- Readily accessible information on the proposed development site's history from available historic maps and photographs
- Any information on the proposed development site contained in published and unpublished sources, including any previous archaeological or heritage investigations undertaken within the study area
- A greater understanding of key cultural heritage issues of the proposed development site and surrounding area, developed through the onsite walkover, including information on areas of past impact within the proposed development site boundary
- The impact of the proposed development on the known and potential cultural heritage resource, resulting in the formulation of a mitigation strategy, where required, which appropriately targets any future works to those required to gain planning consent.

## 2.4 Assessment of the Cultural Heritage Resource

2.4.1 The importance of identified cultural heritage resources is determined by reference to existing designations (Table 1, below).

**Table 1: Assessing the Importance of a Cultural Heritage Site**

SCALE OF SITE IMPORTANCE	
<b>NATIONAL</b>	The highest status of site, e.g. Scheduled Monuments (or undesignated assets of schedulable quality and importance). Grade I and Grade II* Listed Buildings. Other listed buildings that can be shown to have exceptional qualities in their fabric or historical associations not adequately reflected in the listing grade. Conservation Areas containing very important buildings. Undesignated structures of clear national importance. Extremely well-preserved historic landscape, whether inscribed or not, with exceptional coherence, time depth, or other critical factor(s).
<b>REGIONAL</b>	Grade II Listed Buildings or other designated or undesignated archaeological sites (in addition to those listed above), or assets of a reasonably defined extent and significance, or reasonable evidence of occupation / settlement, ritual, industrial activity etc. Examples may include areas containing buildings that contribute significantly to its historic character, burial sites, deserted medieval villages, Roman roads and dense scatter of finds.
<b>LOCAL</b>	Evidence of human activity more limited in historic value than the examples above or compromised by poor preservation and/or survival of context associations, though which still have the potential to contribute to local research objectives. Examples include sites such as 'locally designated' buildings or undesignated structures / buildings of limited historic merit, out-of-situ archaeological findspots / ephemeral archaeological evidence and historic field systems and boundaries etc.
<b>NEGLIGIBLE</b>	Assets with very little or no surviving archaeological interest. Examples include destroyed antiquities, structures of almost no architectural / historic merit, buildings of an intrusive character or relatively modern / common landscape features such as quarries, drains and ponds etc.
<b>UNKNOWN</b>	Insufficient information exists to assess the importance of a feature (e.g. unidentified features on aerial photographs).

2.4.2 For some types of finds or remains there is no consistent value and the importance may vary, for example Grade II Listed Buildings and Conservation Areas. For this reason, adjustments are occasionally made, where appropriate, based on professional judgement.

## 2.5 Impact Assessment Criteria

2.5.1 The magnitude of impact upon the archaeological and heritage resource, which can be considered in terms of direct and indirect impacts, is determined by identifying the level of effect from the proposed development upon the baseline conditions of the site and the cultural heritage resource identified. The criteria for assessing the magnitude of impact are set out in Table 2 (below).

2.5.2 In certain cases, it is not possible to confirm the magnitude of impact upon a cultural heritage resource, especially where anticipated buried deposits exist. Where possible a professional judgement as to the scale of such impacts is applied to enable the likely 'Significance of Effects' to be established; however, a magnitude level of 'uncertain' is included for situations where it is simply not appropriate to make such a judgement at this stage of works.

**Table 2: Criteria for Determining Magnitude of Impact**

IMPACT LEVEL	DEFINITION
<b>HIGH</b>	Changes to most or all of the key archaeological or key heritage baseline elements, or comprehensive changes to the setting of such key features that lead to total or almost complete alteration of a features physical structure, dramatic visual alteration to the setting of a heritage asset, or almost comprehensive variation to aspects such as noise, access, or visual amenity of the historic landscape.
<b>MEDIUM</b>	Changes to many key archaeological materials/historic elements, or their setting, such that the baseline resource is clearly modified. This includes considerable visual change to many key aspects of the historic landscape, noticeable differences in noise or sound quality, and considerable changes to use or access changes to key historic landscape elements
<b>LOW</b>	Detectable impacts which alter the baseline condition of an archaeological or heritage receptor to a slight degree – e.g. a small proportion of the surviving heritage resource is altered; slight alterations to the setting or structure, or limited changes to aspects such as noise levels, use or access that results in limited changes to historic landscape character.
<b>NEGLIGIBLE</b>	Barely distinguishable change from baseline conditions, where there would be very little appreciable effect on a known site, possibly because of distance from the development, method of construction or landscape or ecological planting, that are thought to have no long-term effect on the historic value of a resource.
<b>UNCERTAIN</b>	Extent / nature of the resource is unknown, and the magnitude of change cannot be ascertained.

2.5.3 The overall Significance of Effects from the proposed development upon the Cultural Heritage Resource is determined by correlating the magnitude of Impact against value of the Cultural Heritage resource. Table 3 highlights the criteria for assessing the overall Significance of Effects. Where effects are moderate or above these are classified as significant.

**Table 3: Significance of Effects**

IMPORTANCE	MAGNITUDE			
	HIGH	MED	LOW	NEG
<b>NATIONAL</b>	Severe	Major	Mod	Minor
<b>REGIONAL</b>	Major	Mod	Minor	Not Sig.
<b>LOCAL</b>	Mod	Minor	Minor	Not Sig.
<b>NEGLIGIBLE</b>	Minor	Not Sig.	Not Sig.	Nt.

Not Sig. = Not Significant; Nt. = Neutral; Mod = Moderate; Ext. = Extensive

## 2.6 Limitations

2.6.1 It should be noted that the report has been prepared under the express instruction and solely for the use of Emma and Matthew Layton, and any associated parties they elect to share this

information with. Measurements and distances referred to in the report should be taken as approximations only and should not be used for detailed design purposes.

- 2.6.2 All the work carried out in this report is based upon the professional knowledge and understanding of AB Heritage on current (February 2019) and relevant United Kingdom standards and codes, technology and legislation. Changes in these areas may occur in the future and cause changes to the conclusions, advice, recommendations or design given. AB Heritage does not accept responsibility for advising the client's or associated parties of the facts or implications of any such changes in the future.
- 2.6.3 This report has been prepared utilising factual information obtained from third party sources. AB Heritage takes no responsibility for the accuracy of such information. It should also be noted that this report represents an early stage of a phased approach to assessing the archaeological and cultural heritage resource of the application site to allow the development of an appropriate mitigation strategy, should this be required. It does not comprise mitigation of impacts in itself.
- 2.6.4 The following conclusions are based on non-intrusive analysis of the property. Any conclusions drawn were based on visual assessment and interpretation.



### 3. HERITAGE REVIEW OF SITE

- 3.1.1 The NHLE Listing entry describes the building as a 16<sup>th</sup> century timber-framed building (NHLE List Entry Number: 1243269).
- 3.1.2 The site is depicted on the 1736 estate map 'Survey and Map of Red-Leaf, together with Great and Little Doubleton' by Richard Taylor (Plate 1). This map shows buildings, along with fields and their uses.
- 3.1.3 One of the buildings shown is in the location of Doubleton Farmhouse (circled in red), within a series of arable fields.



Plate 1: 1736 Estate Map showing Doubleton Farmhouse (KHLC, 2019)

- 3.1.4 The Penshurst Tithe award (Plate 2), dated to 1838, depicts the site in more detail. The farmhouse can be seen to exist as part of a farmyard complex 'Doubletons Farm', within a landscape of fields. A building depicted on the map could be the in the same location as the current outbuilding at the south-east corner of the plot.
- 3.1.5 The farm is listed on the tithe award as being owned by a William Wells and occupied by William Foster. The fields are listed as a mixture of mostly pasture and arable (Kent Archaeological Society, 2019).



Plate 2: 1837 Penshurst tithe award map (KHLC, 2019)

- 3.1.6 The 1871 25-inch publication Ordnance Survey (OS) map (Plate 3) again shows the site and its surroundings in clear detail. The main body of the house has been extended from the earlier Tithe Map of 1837 (Plate 2), including a further extension to the south elevation and to the north-eastern elevation; albeit the northern elevation of the property still does not mirror the current layout.
- 3.1.7 Two small protrusions can be seen in the northern and eastern elevations of the house, which are no longer present. In the south-east corner of the plot, a building can be seen in the location of the existing outbuilding.



**Plate 3: 1871 25" OS map (NLS, 2019)**

- 3.1.8 The 1897 publication 25" OS map (Plate 4) shows that the main building of Doubleton Farmhouse appears to have roughly the same layout as in 1871. The protrusions in the northern and eastern elevations on Plate 3 are still depicted, while a protrusion from the southern elevation is visible in the location of the modern front door. This may correlate with the steps to the door currently located here.
- 3.1.9 To the west of the house the existing outbuilding, immediately adjacent to the main property, can now be seen to have been constructed. The field to the north of the plot containing the property is now indicated as an orchard, while a pump ('P') is indicated east of the house.

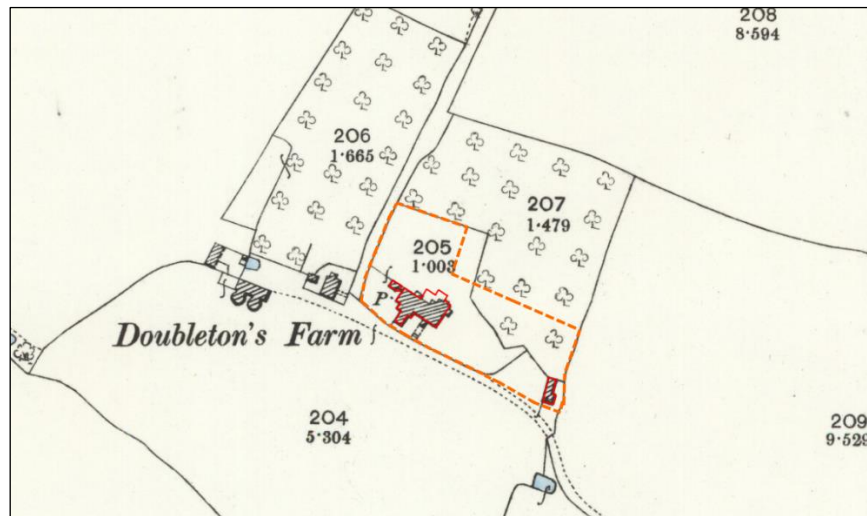


Plate 4: 1897 25" OS map (NLS, 2019)

3.1.10 The 1909 publication 25" OS map (Plate 5) shows an extension / re-build of the northern wing of the house, which largely correlates with the existing outline of the northern wing of the building (except for the current porch roof above the rear entrance; see Photo 2). The previous protrusion from the northern elevation can now be seen to have been removed.

3.1.11 Aside from the depiction of some shrubs or trees in the probable garden area to the south-west of the main house, no other changes to the buildings or plot are visible.

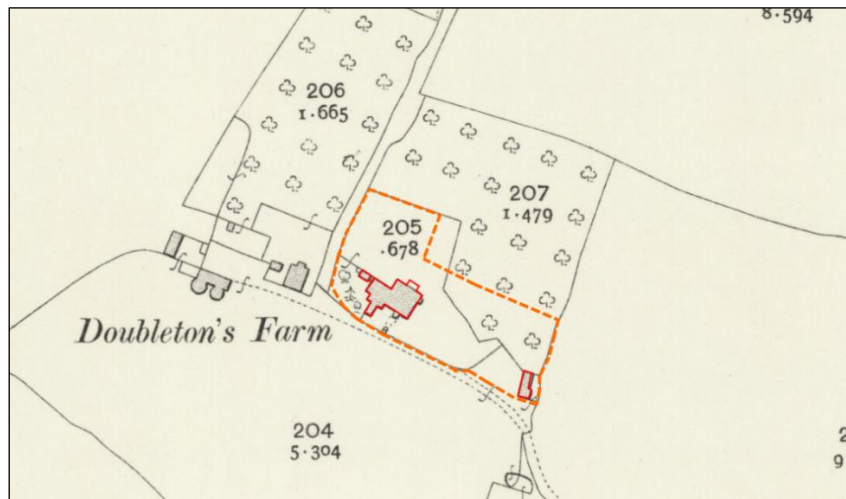


Plate 5: 1909 25" OS map (NLS, 2019)

3.1.12 The 1939 publication OS map (not depicted) shows the buildings and plots in the same configuration, although a small building and sub-division appear in the orchard to the north of the property (NLS, 2019).

3.1.13 At some point after 1939 the small protrusion from the eastern elevation is removed. In more recent years Mr & Mrs Layton also had interior works done, c. 12 years ago, which involved remodelling the internal layout (Mrs Layton, *Pers. Comm.* 2019).

## 4. SITE VISIT

### 4.1 Introduction

4.1.1 A site visit was conducted by Paul Cooke (Assistant Heritage Consultant, AB Heritage) on the 6<sup>th</sup> February 2019. This was to gain a better understanding of the likely heritage impacts of the proposed work to the ground and first floors. Mrs Layton provided information regarding the previous work done and the proposed alterations.

### 4.2 Doubleton Farmhouse Exterior & Western Outbuilding

4.2.1 Photos 1 is a general site shot showing how Doubleton Farmhouse looks presently. In the main the walls are painted brick, with a red-tile roof. The half of the building with a tile covered gable end represents the main body of the original farmhouse, which is of timber framed construction and clad in brick, while the predominately white painted section with French doors represents a c.19<sup>th</sup> century onwards extension.



**Photo 1: General Site Shot of Doubleton Farmhouse (East Elevation)**

#### West Detached Outbuilding

- 4.2.2 To the west of the farmhouse is a detached outbuilding proposed for demolition (see Fig 2). The construction of this is brick with a pitched red tile roof (Photos 2 - 4).
- 4.2.3 The interior is white painted brick and open to the rafters in the large store, the small store and the WC have ceilings (Photo 3).
- 4.2.4 Dating to the last quarter of the 19<sup>th</sup> century, the building contained no features of architectural or historic value.





**Photo 2: View of the western outbuilding from the north**



**Photo 3. Interior of small store in western outbuilding**



Photo 4: Western outbuilding to left of photo

### 4.3 Doubleton Farmhouse Interior

#### GROUND FLOOR

##### Drawing Room

- 4.3.1 Proposals in this room are for new French windows in the north wall, and creation of a new doorway and some infilling along the west wall (Fig 4).
- 4.3.2 Photo 5 shows the existing drawing room. The existing French Doors shown will be replaced, while a new door to the Boot Room / WC will be created roughly in the location where the picture above the sofa is.



Photo 5. Drawing Room showing French Doors and location of proposed door to Boot Room

### Boot Room and WC

- 4.3.3 The proposal for these rooms includes for the infilling of the access to the Drawing Room, removal of the wall dividing the WC from the Boot Room (shown directly ahead in Photo 6), and a new access in the west wall of the existing WC to the proposed extension.
- 4.3.4 Photo 6 shows the Boot Room with the WC through the door (Fig 4).



**Photo 6. Boot Room and WC**

## **FIRST FLOOR**

### Bedrooms 5 & 6

- 4.3.5 Proposals in these rooms are for the reconfiguration of the bedrooms and the cupboard of bedroom 5 to create a Studio / Dressing Room and adjacent Wet Room. This includes demolition / construction of various internal partitions (Fig 6).
- 4.3.6 Photo 7 shows Bedroom 5 looking east with exposed, non-original timbers and plaster, and modern ceiling with spotlights. Photo 8 is a shot in Bedroom 5 looking along the passage past Bedroom 4, showing the original chimney breast.





**Photo 7. Bedroom 5 looking East**



**Photo 8. Bedroom 5 with the original chimney breast at the right of shot**

### Bedroom 3

- 4.3.7 Proposals here are for reconfiguration of Bedroom 3 and adjacent Shower Room to create an en-suite for Bedroom 3. This includes demolition / construction of internal partitions (Fig. 6).
- 4.3.8 Photo 9 shows Bedroom 3. This room is in the 19<sup>th</sup> century extension, and this is reflected by the lack of timbers and the skirting shown in the photo. The location of the proposed access to the proposed Wet Room is where the framed picture is





**Photo 9. Bedroom 3 SE corner. Proposed access at framed picture**

**ATTIC**

- 4.3.9 Proposals in the Attic are for the construction of new walls to create a Bedroom with en-suite and dedicated storage space (Fig. 8).
- 4.3.10 Photo 10 shows the existing attic space. This photo shows what are likely to be the original rafters and side purlins of the 16<sup>th</sup> century hall, as well a modern centrally placed stair head.



**Photo 10: Existing Attic space**

#### 4.4 South East Outbuilding

- 4.4.1 Proposals for the South East Outbuilding are for the partial demolition of the existing structure to provide a studio / workshop space (Fig. 2).
- 4.4.2 Photo 11 shows the western elevation of the outbuilding located in the south-east corner of the plot. This building can be seen to be of mixed brick and timber construction, including a brick floor, with a tiled roof (Photos 11 - 13).



**Photo 11: South East Outbuilding (West elevation)**



**Photo 12. South East Outbuilding (South elevation)**

- 4.4.3 Photo 13 shows the interior of the structure. It can be seen that the brickwork is modern, while the rafters in the roof also appear to be modern. This building is probably of very late 19<sup>th</sup> or even 20<sup>th</sup> century date and has probably been a workshop / garage.



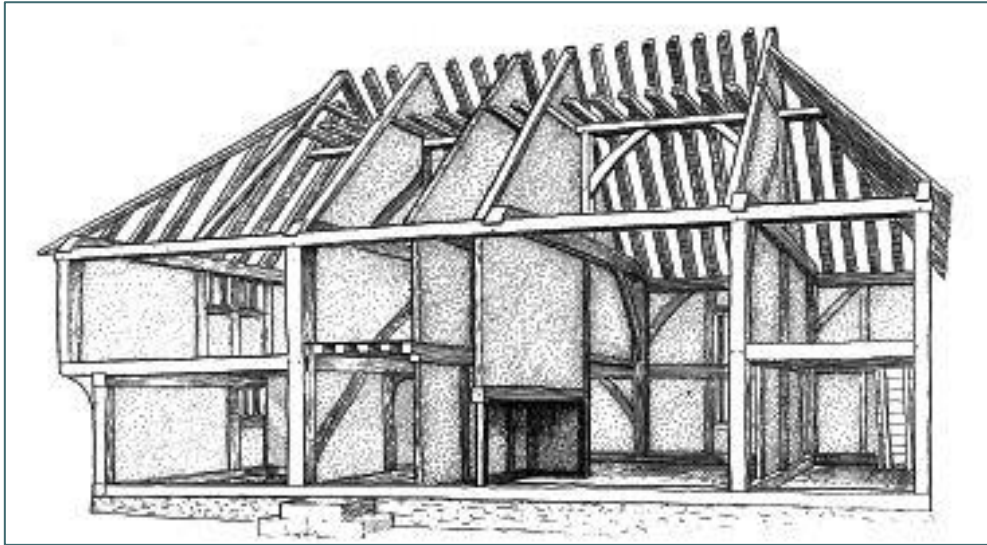
Photo 13. Showing interior of SE Outbuilding. Note modern brick, panels and rafters

## 4.5 Provisional Phasing of Doubleton Farmhouse

### Phase One (16<sup>th</sup> Century)

- 4.5.1 The earliest part of the existing building was a 16<sup>th</sup> century timber framed hall. This presently comprises the Drawing Room, Study and Living Room. In its original form the building would have contained a Central Hall open to the roof. This would have been accessed by a cross passage, which would have also provided access to a private parlour at the east end of the building; the parlour may not have been open to the roof but may have had a floor above.
- 4.5.2 West of the Central Hall would have been a public space comprising a pantry for dried goods and a buttery for wet or dairy. This end of the building may have had a kitchen and possibly a passage to the west end, to avoid footfall through the main hall at inappropriate times.
- 4.5.3 The hearth would have been in the Central Hall and positioned along the wall between the hall and the buttery / pantry. The fireplace in the existing Study would have been the original hearth of this 16<sup>th</sup> century house.
- 4.5.4 The 16<sup>th</sup> century hall would have had accommodation space above the parlour for the landowner, and possibly accommodation for servants or extended family above the pantry / buttery. Plate 6 is a cut away of a similar hall house from North Cray Kent, which illustrates the likely layout of Phase 1 at Doubleton Farmhouse. In terms of heritage value, Phase One is considered to be the most significant, both architecturally and evidentially.





**Plate 6. Cut away example of Hall House (Copyright Weald & Downland Museum)**

**Phase Two** (c. mid-19<sup>th</sup> to early 20<sup>th</sup> century)

- 4.5.5 Phase Two is marked by the extension of the southern and western elevations. These include a southern extension to the existing Drawing Room. It is possible that the Boot Room was also added at this time, as indicated on a map of 1837 (Plate 3). The south extension of the Drawing Room has a curious addition in the form of a self-contained structure with its own external entrance, currently in use as storage space.
- 4.5.6 By the early 20<sup>th</sup> century, as shown on Plate 5, the original hall had been enlarged with a brick built double-pile extension. This extension has provided the house with a NE facing aspect, looking across open fields. This is marked by the French Doors in an exterior bay (Photo 1). The brick cladding to the timber framed hall probably occurred at this time, if it was not done by 1837.
- 4.5.7 The detached West Outbuilding dates from this phase. In terms of heritage value, Phase Two is considered to be of more limited significance, both architecturally and evidentially.

**Phase Three** (c. 21<sup>st</sup> century)

- 4.5.8 The current owners have carried out internal works over recent years, which modified the existing layout on the first floor, as well as inserting a WC in the Boot Room. This phase is considered to have no heritage value.

## 5. HERITAGE SIGNIFICANCE OF DOUBLETON FARMHOUSE

### 5.1 Significance of Doubleton Farmhouse

- 5.1.1 Doubleton Farmhouse is Grade II Listed Building considered to be a heritage asset of **Regional Importance**. This is because the house is 'a Heritage Asset of a reasonably defined extent and significance' (in line with Table 1). The original 16<sup>th</sup> century hall building has been partially obscured by the later addition of 19<sup>th</sup> century extensions and brick cladding, and more recently by works to create a modern / functional living space.
- 5.1.2 Doubleton House derives heritage importance, in the main, from the survival of historic fabric and some architectural details from the original 16<sup>th</sup> century building, in particular the timber framed structure and the remaining legibility of the planform and elevations. The house also has evidential value that contributes to the heritage importance. Despite later brick cladding and extensions, parts of Doubleton Farmhouse represent a surviving example of a late medieval residence for a wealthy landowner.
- 5.1.3 It is considered that the setting of the heritage asset also contributes positively to its heritage importance. The farmhouse historically was sited in a rural location amongst a working farm. Since the 19<sup>th</sup> century, the setting of Doubleton Farmhouse has altered significantly, with the loss of the farm buildings being a key change; the extensions and additions to the Farmhouse itself have also affected the traditional setting.
- 5.1.4 With regards to the outbuildings, these structures are considered to hold little to no heritage value, with what little contribution they have to the overall heritage importance of Doubleton Farmhouse deriving primarily through their historic connection to the wider development during the 19<sup>th</sup> and 20<sup>th</sup> centuries.

## 6. IMPACT ASSESSMENT

### 6.1 Introduction

- 6.1.1 Based on the pre-application planning advice, the main focus of this assessment has been on the development of Doubleton Farmhouse and the likely heritage impacts of the proposed internal work to the ground and first floors.
- 6.1.2 An assessment of the setting has also been conducted, in order to understand the likely impact to the setting of Doubleton Farmhouse from the proposed annexe, of which clarifications were requested by the Conservation Officer.
- 6.1.3 The two outbuildings have also been assessed, due to their Curtilage Listing.

### 6.2 Internal works

#### Basement

- 6.2.1 It is proposed to create a small drain channel beneath the existing floor around the perimeter of the existing basement. This channel will feed a sump excavated to take moisture. These works are considered to have **No Impact** to the significance of the heritage asset.

#### Ground Floor

- 6.2.2 The proposed design is for the following changes to the ground floor of Doubleton Farmhouse, and are shown on Figure 4:
- Create a doorway through the north-west wall of the Drawing Room;
  - Create a doorway in the west wall of the WC attached to the north of the Boot Room;
  - Remove the dividing wall between the Boot Room and the attached WC;
  - The insertion of two French windows on the north wall of the Drawing Room; and
  - Infilling of the existing double doorway between the Drawing Room and the Boot Room.
- 6.2.3 Of the proposals at the ground floor level, works in the Drawing Room are potentially the most intrusive. The Drawing Room is the westernmost room of the original 16<sup>th</sup> century timber-framed Hall House. The location of the proposed new doorway in the north-west wall would result in a loss of historic fabric at the original exterior wall of the building. Furthermore, this would also create an access point where traditionally no such access would have been; albeit the previous addition of the Boot Room will obscure the proposed doorway from exterior view.
- 6.2.4 The existing double doorway in the west wall of the Drawing Room may represent an original access to the western end of the original Hall House. This doorway is located along the same line as similar openings in the Phase One Hall House, including the doors to the existing Study and Living Room. Infilling of the double door in the Drawing Room may result in a loss of the legibility of the earliest phase of Doubleton Farmhouse, albeit a legible feature that is now obscured from external view by the Boot Room.

- 6.2.5 The creation of a new doorway in the existing Boot Room WC, to allow access to the new annexe, would result in a new line of circulation in the building, leading to a new and different way of experiencing and understanding the western part of the existing building. It would also result in the loss of some of the fabric of the existing building – though this would be the later Phase Two fabric.
- 6.2.6 In line with Table 2 it is considered that the proposals for a new doorway and the infilling of the existing doorway in the Drawing Room would result in a Low Direct Adverse Magnitude of Impacts, as the work comprise ‘a detectable impact to the baseline condition, and small proportion of the loss of the surviving heritage resource’.
- 6.2.7 The proposed doorway in the Boot Room WC is also considered to result in a Low Direct Adverse Magnitude of Impacts in line with Table 2, due to changes to access and use that results in ‘limited changes to the historic character of the heritage asset’.
- 6.2.8 In line with Table 3, the overall changes result in a **Minor Direct Adverse Significance of Effects**.
- 6.2.9 The removal of the dividing wall in the Boot Room WC and the swapping out of the French Windows in the Drawing Room are considered to be Neutral. This is because the dividing wall in the Boot Room WC is a very recent development carried out by the present owners, and the French windows are a swap for existing examples.

#### First Floor & Attic

- 6.2.1 The proposed design is for the following changes to the first floor of Doubleton Farmhouse, and are shown on Figure 6:
- Reconfiguration of Bedrooms 5 & 6 and cupboard to create a Studio / Dressing Room and adjacent Wet Room. This includes demolition / construction of internal partitions;
  - Reconfiguration of Bedroom 3 and adjacent Shower Room to create an en-suite for Bedroom 3. This includes demolition / construction of various internal partitions; and
  - Construction of new walls in Bedroom 7 to create a reconfigured bedroom with en-suite and dedicated storage space.
- 6.2.2 The proposals for Bedrooms 5 & 6 on the first floor and Bedroom 3 in the attic will require the demolition of internal partition walls. While these walls have been constructed with exposed timbers, in keeping with this part of the building, these walls are modern insertions and are not structurally integral with the original building.
- 6.2.3 The work proposed at Bedroom 3 is a similar, but this part of the house is within the 19<sup>th</sup> century extension and hold less heritage importance than the original hall.
- 6.2.4 In line with Table 2, these works are considered to present a Negligible Direct Adverse Magnitude of Impact to the layout of Doubleton Farmhouse, because they will comprise a ‘barely distinguishable change from the baseline condition of the heritage asset’. This results in a Significance of Effect, in line with Table 3 that is **Not Significant**.

### 6.3 External works

6.3.1 Proposals for works beyond the main house are for:

- The demolition of the existing detached outbuilding immediately west of the main house;
- The construction of a two-storey annexe joined to the main house by a covered walk way. The annexe will be roofed in red tile and the construction will be of brick painted white; and
- The demolition of the existing outbuilding at the far south-east corner of the site.

6.3.2 The west outbuilding is considered to be of little heritage value in its own right. It was constructed during Phase Two of Doubleton's Farmhouse development and is not demonstrably associated with the early Hall House Phase One works.

6.3.3 The outbuilding in the south-east corner of site, whilst demonstrably slightly earlier than the detached west outbuilding, probably represents a late 19<sup>th</sup> or possibly 20<sup>th</sup> century garage and / or workshop. At best these buildings can be considered to have a heritage importance of Local value (Table 1), as they are associated with the development of Doubleton Farmhouse. It is proposed to replace this building with a building of better quality, and constructed from traditional vernacular materials.

6.3.4 The total loss of the detached west outbuilding can be considered, in line with Table two to be a High Direct Adverse Magnitude of Impacts to the Locally valuable heritage asset. In line with Table 3, this would result in a **Moderate Adverse Significance of Effect**. In NPPF terms, this would constitute Significant Harm.

6.3.5 The partial loss of the south east outbuilding can be considered, in line with Table two to be a Medium Direct Adverse Magnitude of Impacts to the Locally valuable heritage asset. This is because the partial demolition would result in 'considerable visual change to many key aspects of the heritage asset'. In line with Table 3, this would result in a **Minor Adverse Significance of Effect**.

6.3.6 The proposed new annexe will have a larger floor plan than the western outbuilding it will replace, and will be taller, containing two floors. It will also be connected to the west end of the covered house by a covered walkway. Figure 9 shows the proposed annexe alongside the existing building. It can be seen in Figure 9 that the annexe will be roofed to match the existing building and the brick work will also be painted to match. This represents a strong degree of sympathy of design between the existing and the proposed.

6.3.7 Figure 9 shows that the annex will have a ridge line noticeably lower than the existing building, while there are no chimneys proposed that would add to the existing skyline. The annexe also shares a long axis in keeping with that of Doubleton Farmhouse. Overall the design is of a high quality, and very strongly echoes the traditional aspects of the original building, while bringing some subtle modern design elements.

6.3.8 In line with Table 2, the work to join the proposed annexe to the ground and first floors of the existing building will result in some slight changes to the historic fabric. In line with Table 2, this is considered to be a Low Direct Adverse Magnitude of Impact to the historic fabric,



representing 'changes to a small proportion of the surviving heritage resource'. In line with Table 3, this is a **Minor Direct Adverse Significance of Effect**.

- 6.3.9 In line with Table 2, the new annexe is considered to have a Low Indirect Adverse Magnitude of Impact which would result in changes to a small proportion of the setting of Doubleton Farmhouse at the busier western end of the overall setting. The fact that a detached outbuilding already occupies the site of the proposed annexe reduces from the overall Magnitude of Impact and, in line with Table 3, this results in a **Minor Indirect Adverse Significance of Effect** to the setting of Doubleton Farmhouse.

#### Doubleton Cottage – Setting Impact

- 6.3.10 The setting of Doubleton Cottage, as a separate residence located c. 25 m beyond the western boundary of Doubleton Farmhouse, is screened from the proposed new annexe by the density of vegetation at the boundary. Furthermore, the proposed annexe does not include for a west facing window at the first-floor level, thus negating the possibility of overlooking Doubleton Cottage.
- 6.3.11 Overall, it is considered that the new annexe will have **No Impact** on the setting of Doubleton Cottage.

#### Summary

- 6.3.12 The proposed works at Doubleton Farmhouse include a series of alterations focussed on the western end of the Grade II Listed Building. These include the provision of new doorways to link to a proposed new two storey annexe, and some reconfiguration of the modern layout of first floor bedrooms.
- 6.3.13 The most potentially harmful aspects of the development include the new doorways in the Drawing Room and the Boot Room / WC. These developments would result in the loss of historic fabric and some legibility of the house, especially to the more historically important remains of the 16<sup>th</sup> century hall house. Overall these changes would result in a **Minor Direct Adverse Significance of Effect** to Doubleton Farmhouse.
- 6.3.14 While not holding a level of heritage value equal to that of the main house, the outbuildings to be demolished do retain some heritage value by association, both being classified as having local importance. The total loss of the western outbuilding is considered to be a **Moderate Direct Adverse Significance of Effect** to the outbuilding. The demolition of the south east outbuilding is considered to be less harmful, having a **Minor Adverse Significance of Effect**.
- 6.3.15 The construction of the new two storey annexe is considered to have a **Minor Indirect Adverse Significance of Effect** to the setting of Doubleton Farmhouse.
- 6.3.16 There is considered to be **No Impact** to the setting of Doubleton Cottage associated with the proposed works.

## **7. OUTLINE RECOMMENDATIONS & SUMMARY**

### **7.1 Outline Recommendations**

- 7.1.1 It is considered that, should the current design proposal be approved, Doubleton Farmhouse and the affected outbuildings be recorded by a Level 3 Historic Building Recording Survey, prior to the commencement of the development. This will ensure that a strong record of the house and its outbuildings is made and including a thorough understanding of the development of Doubleton Farmhouse up to the present day.
- 7.1.2 The final decision regarding further heritage investigation rests with the LPA.

### **7.2 Summary**

- 7.2.1 AB Heritage have been commissioned by Mr & Mrs Layton to provide a Heritage Statement for proposed development works associated with the construction of a new annexe at Doubleton Farmhouse. This will involve some demolition of existing buildings and some reconfiguration inside the existing house.
- 7.2.2 Doubleton Farmhouse is a Grade II Listed buildings, considered to be of Regional Importance based on its age, condition and setting.
- 7.2.3 The overall predicted Significance of Effect to the changes proposed range from Moderate Direct Adverse effects on the total demolition of the detached west outbuilding, through to Minor Direct Adverse effects to the fabric and legibility of the western end of the existing house.
- 7.2.4 It is considered that the new annexe will cause a Minor Indirect Adverse Significance of Effect to the setting of Doubleton Farmhouse. No impact to the setting of the nearby Doubleton Cottage is predicted.
- 7.2.5 It is recommended that Doubleton Farmhouse including the affected outbuildings be subject to a Level 3 Historic Building Recording Survey to ensure that the house is fully recorded, and the development of the heritage asset is properly understood, prior to the commencement of the development work.
- 7.2.6 All recommendations are subject to approval by the Local Planning Authority.

## 8. REFERENCES

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### 8.2 Online Sources

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- Planning (Listed Buildings and Conservation Areas) Act 1990.  
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[https://www.sevenoaks.gov.uk/downloads/file/304/the\\_allocations\\_and\\_development\\_management\\_plan\\_adopted\\_version\\_february\\_2015](https://www.sevenoaks.gov.uk/downloads/file/304/the_allocations_and_development_management_plan_adopted_version_february_2015)

### **8.3 Correspondence**

- Discussion between Mrs Layton and Paul Cooke (Assistant Heritage Consultant, AB Heritage) during site visit, 6<sup>th</sup> February 2019.

## Appendices

## Appendix 1 Planning Policy

### Introduction

The following section highlights the key planning and legislative framework relevant to this project, including legislative framework, national planning policy and relevant sector guidance.

### Statutory Protection for Heritage Assets

Current legislation, in the form of the Ancient Monuments and Archaeological Areas Act 1979, provides for the legal protection of important and well-preserved archaeological sites and monuments through their addition to a list, or 'schedule' of archaeological monuments by the Secretary of State for Digital, Culture, Media and Sport. This necessitates the granting of formal Scheduled Monument Consent for any work undertaken within the designated area of a Scheduled Monument.

Likewise, structures are afforded legal protection in the form of their addition to 'lists' of buildings of special architectural or historical interest. The listing of buildings is carried out by the Department of Digital, Culture, Media and Sport under the Planning (Listed Buildings and Conservation Areas) Act, 1990. The main purpose of the legislation is to protect buildings and their surroundings from changes that would materially alter the special historic or architectural value of the building or its setting. This necessitates the granting of formal Listed Building Consent for all works undertaken to or within the designated curtilage of a Listed Building. This legislation also allows for the creation and protection of Conservation Areas by local planning authorities to protect areas and groupings of historical significance.

The categories of assets with some form of legal protection have been extended in recent years, and now include Registered Parks and Gardens, and Historic Battlefields. While designation as a UNESCO World Heritage Site is not a statutory designation under English planning law, such a designation is regarded as a material consideration in planning decisions, and World Heritage Sites are in practice protected from development that could affect any aspect of their significance including settings within the Site and a buffer zone around it.

### National Planning Policy

The NPPF sets out government policy on the historic environment, with heritage assets being defined as ranging from *'sites and buildings of local historic value to those of the highest significance, such as World Heritage Sites which are internationally recognised to be of Outstanding Universal Value'* (Paragraph 184).

Paragraph 184 goes on to state that *'These assets are an irreplaceable resource and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations'*.

To achieve this, Paragraph 189 states that *'local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance'*.

It goes on to say that *'Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require*

*developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation’.*

*Paragraph 190 describes how ‘Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal’.*

*A key policy within the NPPF is that ‘When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance’.*

*Paragraph 194 states that ‘Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:*

- a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;*
- b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional’.*

*Paragraph 195 explains that ‘Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:*

- a) the nature of the heritage asset prevents all reasonable uses of the site; and*
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and*
- d) the harm or loss is outweighed by the benefit of bringing the site back into use’.*

*Paragraph 196 also advises that ‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use’.*

*With regard to non-designated heritage assets specific policy is provided in Paragraph 197 that ‘a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset. a balanced judgement will be required having due regard to the scale of any harm or loss and the significance of the heritage asset affected’.*

*Finally, Paragraph 199 advises that ‘Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a*

*manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible<sup>64</sup>. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted’.*

## **Local Planning Policy**

### Sevenoaks District Council – Core Strategy Development Plan

The Sevenoaks District Council Core Strategy Development Plan guides development policies and ensures they remain consistent with the National Planning Policy Framework (NPPF). The Core Strategy was adopted on 22<sup>nd</sup> February 2011 forms the current Local Plan for the area up to 2026, although a new Local Plan is currently being prepared.

The Core Strategy 2011 has an over-arching ‘Spatial Vision’, which is shaped by a number of identified key issues and challenges, of which number three is relevant to built heritage:

- 3. Conserving and enhancing the high quality of the natural and built environment. Sevenoaks has a legacy of high quality landscapes and historic features, which need to be protected.*

To deliver this, part of the Spatial Vision is to *ensure that the District’s historic heritage is protected.* (Key Issue 3).

In order to support this, the following policy is of relevance to cultural heritage:

#### *Policy SP 1: Design of New Development and Conservation (abridged)*

*All new development should be designed to a high quality and should respond to the distinctive local character of the area in which it is situated. Account should be taken of guidance adopted by the Council in the form of Kent Design, local Character Area Assessments, Conservation Area Appraisals and Management Plans, Village Design Statements and Parish Plans. In rural areas account should be taken of guidance in the Countryside Assessment and AONB Management Plans.*

*The District’s heritage assets and their settings, including listed buildings, conservation areas, archaeological remains, ancient monuments, historic parks and gardens, historic buildings, landscapes and outstanding views will be protected and enhanced.*

### Sevenoaks District Council - Allocations and Development Management Plan 2015

The Sevenoaks District Council adopted their current Allocations and Development Management Plan (ADMP) on the 17th February 2015. The document is intended to *act as a tool to implement and build on the strategic vision of the Core Strategy and plays an important role in shaping the future of the District up to 2026.*

As part of Sevenoaks District Councils commitment to Sustainable Communities and Development Principles, Policy SC1 provides guidance in consideration of planning proposals, including those affecting cultural heritage:

#### *Policy SC 1 - Presumption in Favour of Sustainable Development (abridged)*

*When considering development proposals the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy*



*Framework. The Council will work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area. Planning applications that accord with the policies in the Local Plan will be approved without delay, unless material considerations indicate otherwise.*

*Where appropriate to the proposed development, proposals should have regard to:*

- d) the conservation and enhancement of the Districts cultural heritage;*

Section 2 of the ADMP details the District Council approach to the Environment in considering development proposals.

Paragraph 2.15 states that: *Heritage Assets are an irreplaceable resource and they should be conserved and enhanced in a manner appropriate to their significance. Any harm or loss will require a clear and convincing justification. Substantial harm to or loss of heritage assets of the highest significance, such as scheduled monuments, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, will be wholly exceptional. The Spatial Vision of the Core Strategy sets out that the high quality natural built and historic environment will be conserved and enhanced. Core Strategy Policy SP1 Design of New Development and Conservation states that the District's heritage assets and their settings will be protected and enhanced.*

With regards to the alteration of Listed Buildings, paragraph 2.19 states; *The repair, renovation, alteration and extension of a Listed Building should not be at the expense of its intrinsic value. It is important to guard against unnecessary change or over-restoration. In any change, materials should be sympathetic to those used in the original building. In particular the District Council will resist applications that result in the loss of traditional features that could be preserved.*

To support these principles, the following policy is of relevance to cultural heritage:

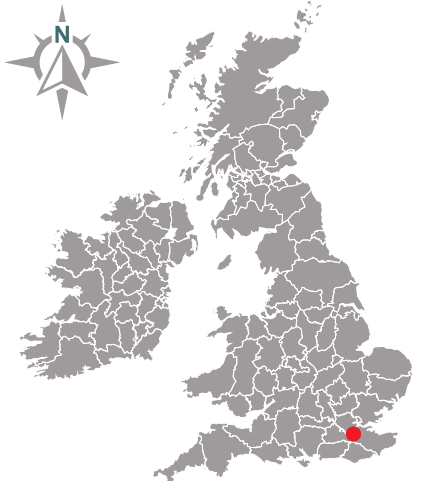
*Policy EN4 - Heritage Assets*

*Proposals that affect a Heritage Asset, or its setting, will be permitted where the development conserves or enhances the character, appearance and setting of the asset.*

*Applications will be assessed with reference to the following:*

- a) the historic and/or architectural significance of the asset;*
- b) the prominence of its location and setting; and*
- c) the historic and/or architectural significance of any elements to be lost or replaced.*

*Where the application is located within, or would affect, an area or suspected area of archaeological importance an archaeological assessment must be provided to ensure that provision is made for the preservation of important archaeological remains/findings. Preference will be given to preservation in situ unless it can be shown that recording of remains, assessment, analysis report and deposition of archive is more appropriate.*



**KEY**

 Site Boundary



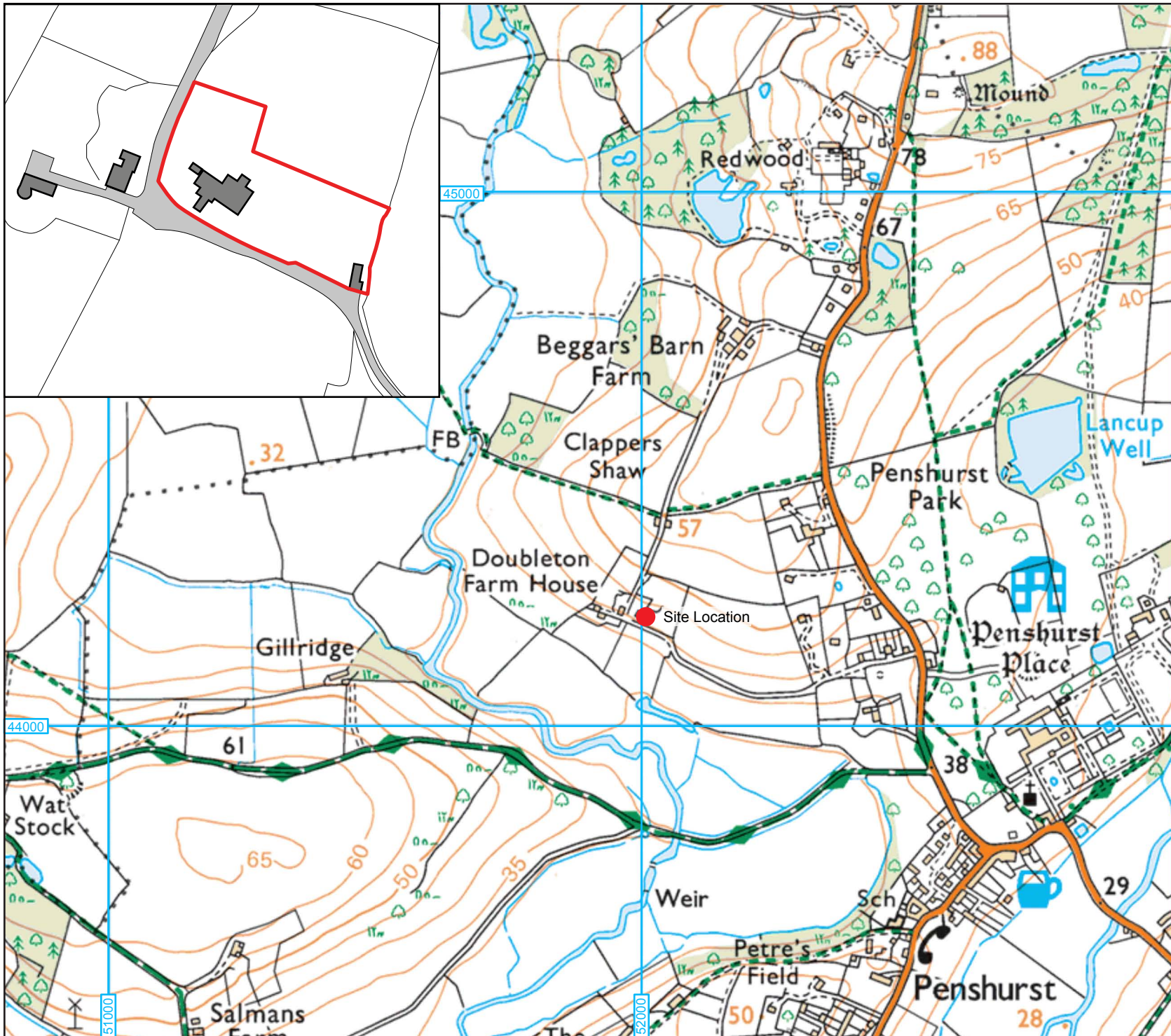
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Figure 1: Site Location

Project: Doubleton Farmhouse, Penshurst

Date: 05/02/19

Job No: 60660





Figured dimensions only are to be taken from this drawing. All dimensions are in millimeters unless otherwise stated. All dimensions shall be checked on site prior to works commencing. Any discrepancies shall be reported to AV Architects.

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REV	DESCRIPTION	DATE	DRAWN BY
A1	DRAWN	08.08.18	NCE
A2	REVISED	18.09.18	FDC
A3	PRE-APP	08.10.18	FDC
A4	MEETING WITH CLIENTS	09.01.19	FDC
P1	PLANNING APPLICATION	06.02.19	FDC

ORANGE DOTTED LINE IS OUTLINE OF EXISTING BUILDINGS TO BE DEMOLISHED



**PLANNING**

Project number **18007**

Client

**MR & MRS LAYTON**

Project and Location

**PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.**

Stage

**STAGE A**

Drawing title

**PROPOSED SITE PLAN**

Scale @ A1

**1:200**

Drawing number

**005**

**AV Architects**  
51 St. Marys Road,  
Tonbridge, Kent  
TN9 2LE

Telephone 01732 366223  
Email info@architectsav.co.uk  
Website www.architectsav.co.uk

Revision Date drawn Drawn by

**P1** 08.08.18 **NCE**

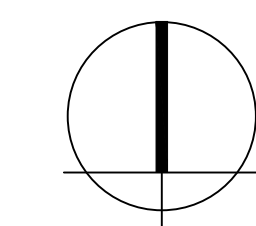
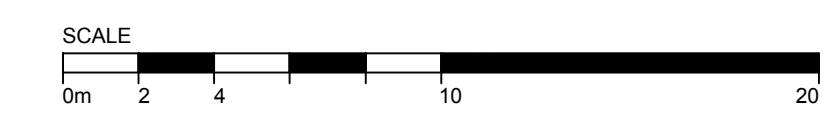
Date checked Checked by

08.08.18 **EBD**

Cad reference

18007-proposed site and gar.dwg

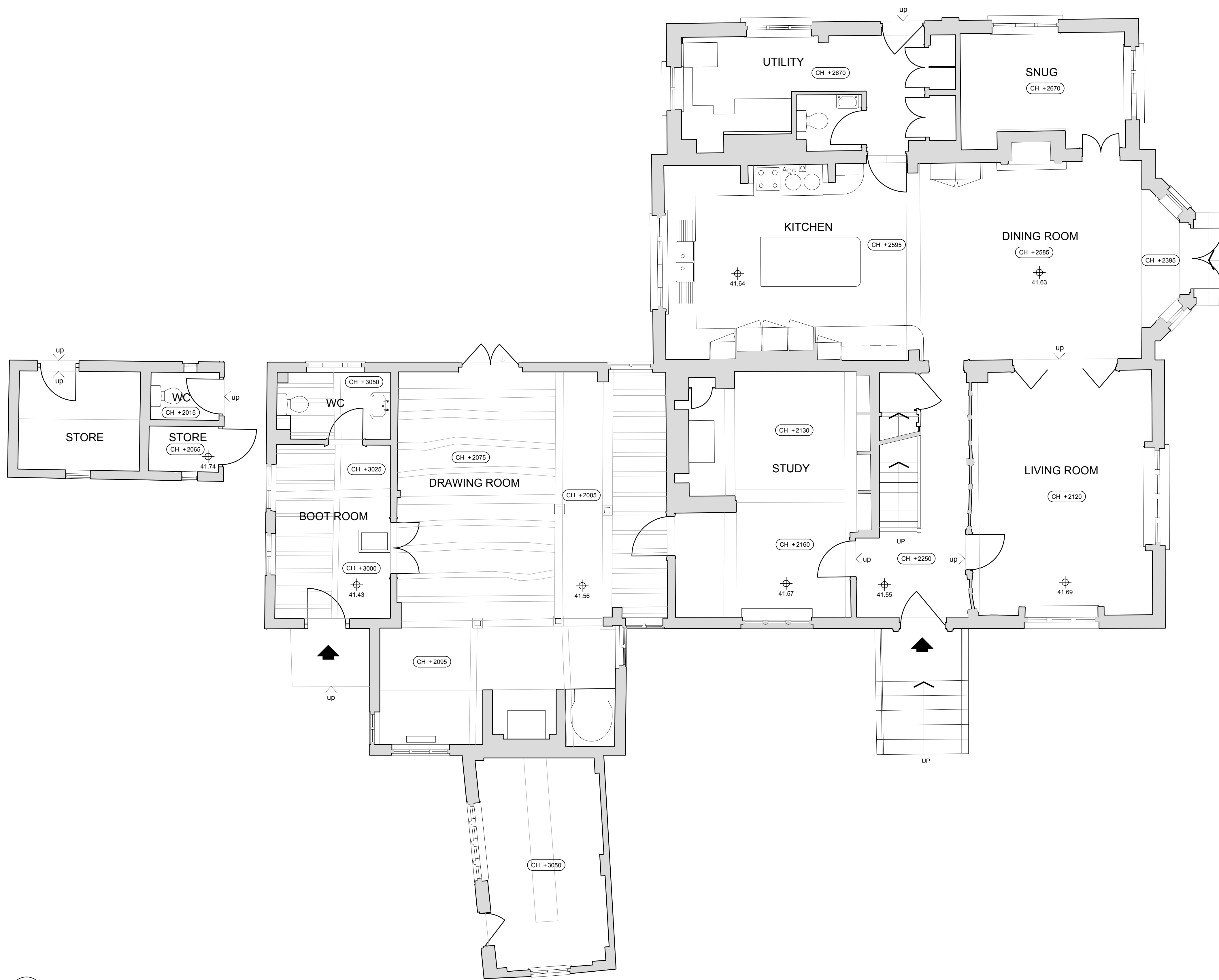
**1** **PLAN**  
PROPOSED SITE PLAN SCALE 1:200



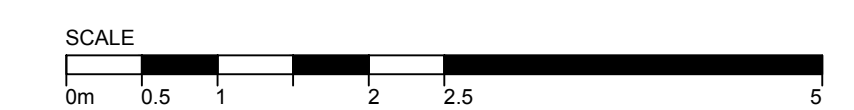
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REV	DESCRIPTION	DATE	DRAWN BY
A1	DRAWN	25.04.18	FDC
A2	PRE-APP	08.10.18	FDC



**PLANNING**



Project number **18007**

Client

**MR & MRS LAYTON**

Project and Location

**PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.**

Stage

**STAGE A**

Drawing title

**EXISTING GROUND FLOOR PLAN**

Scale @ A1

1:50 **AV Architects**  
51 St. Marys Road,  
Tonbridge, Kent  
TN9 2LE

Drawing number

**011** Telephone 01732 366223  
Email info@architectsav.co.uk  
Website www.architectsav.co.uk

Revision Date drawn Drawn by

**A2** 25.04.18 CADSUR

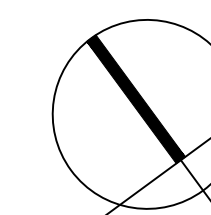
Date checked Checked by

25.04.18 NCE

Cad reference

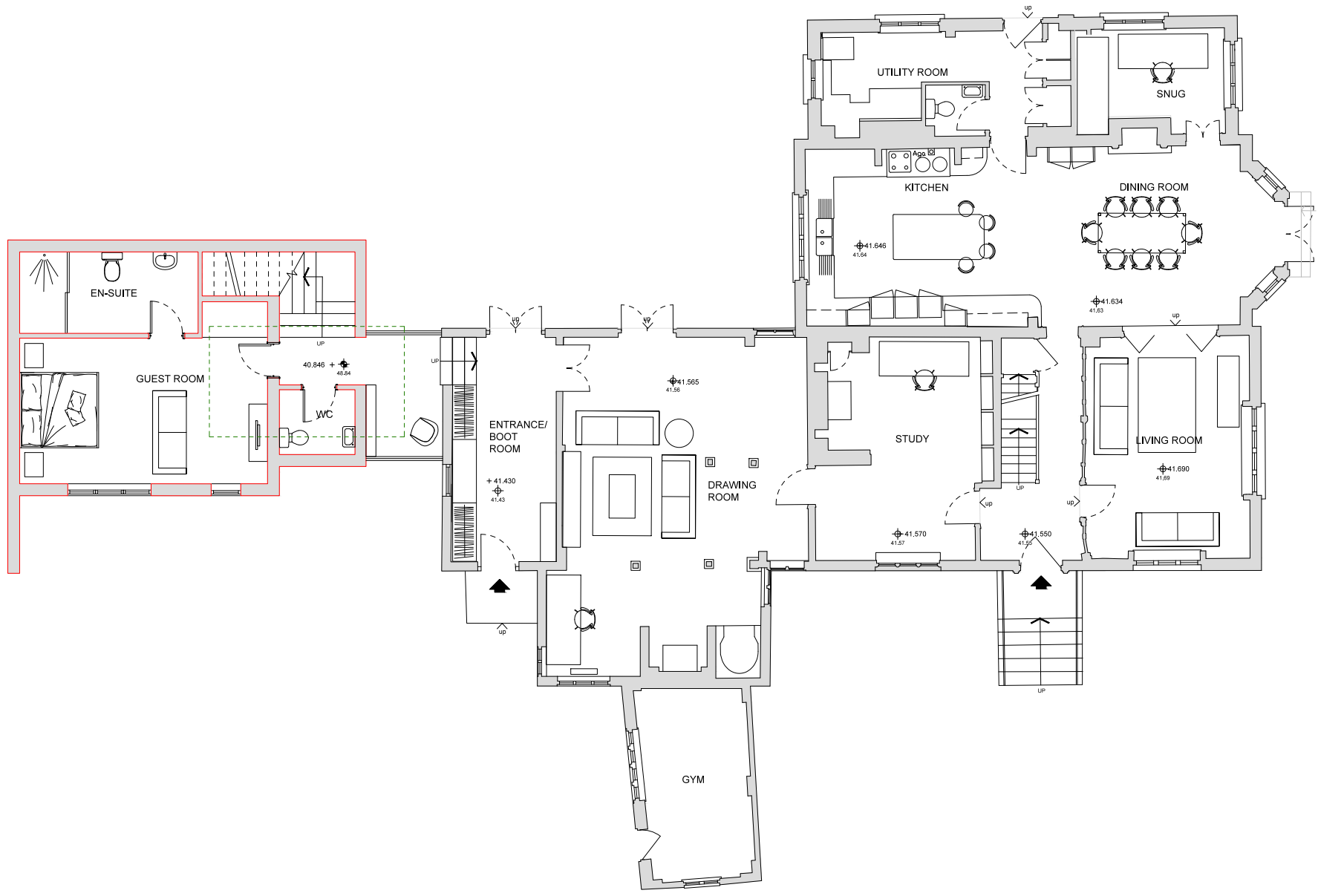
18007-existing.dwg

**1** PLAN  
EXISTING GROUND FLOOR PLAN SCALE 1:50



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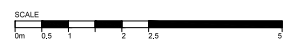


REV	DESCRIPTION	DATE	DRAWN BY
A1	first meeting with clients	04.05.18	FDC
A2	REVISED AFTER FIRST MEETING	09.05.18	FDC
A3	REVISED AFTER MAIL SENT	17.05.18	FDC
A4	REVISED AFTER MAIL SENT	24.05.18	FDC
A5	REVISED AFTER MAIL SENT	29.06.18	FDC
A6	REVISED AFTER MEETING	22.06.18	FDC
A7	REVISED AFTER MEETING	23.07.18	FDC
A8	REVISED AFTER MEETING	20.08.18	FDC
A9	PRE-APP	08.10.18	FDC
A10	MEETING WITH CLIENTS	08.11.18	FDC

GREEN DOTTED LINE IS OUTLINE OF EXISTING BUILDINGS TO BE DEMOLISHED



**PLANNING**



Project number **18007**  
Client

**MR & MRS LAYTON**

Project and Location

**PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.**

Stage

**STAGE A - ARCHITECTURAL DESIGN**

Drawing title

**PROPOSED GROUND FLOOR PLAN**

Scale @ A1

**1:50**  
**AV Architects**  
51 St. Marys Road,  
Tonbridge, Kent  
TN9 2LE

Drawing number

**021**  
Telephone 01732 388223  
Email info@architectsav.co.uk  
Website www.architectsav.co.uk

Revision Date drawn Drawn by

A10 24.05.18 FDC

Date checked Checked by

24.05.18 NCE

Cad reference

18007-proposed.dwg

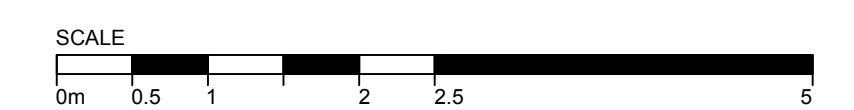
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REV	DESCRIPTION	DATE	DRAWN BY
A1	DRAWN	25.04.18	FDC
A2	PRE-APP	08.10.18	FDC



**PLANNING**



Project number **18007**

Client

**MR & MRS LAYTON**

Project and Location

**PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.**

Stage

**STAGE A**

Drawing title

**EXISTING FIRST FLOOR PLAN**

Scale @ A1

**1:50**

Drawing number

**012**

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Website www.architectsav.co.uk

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**A2** 25.04.18 CADSUR

Date checked Checked by

25.04.18 NCE

Cad reference

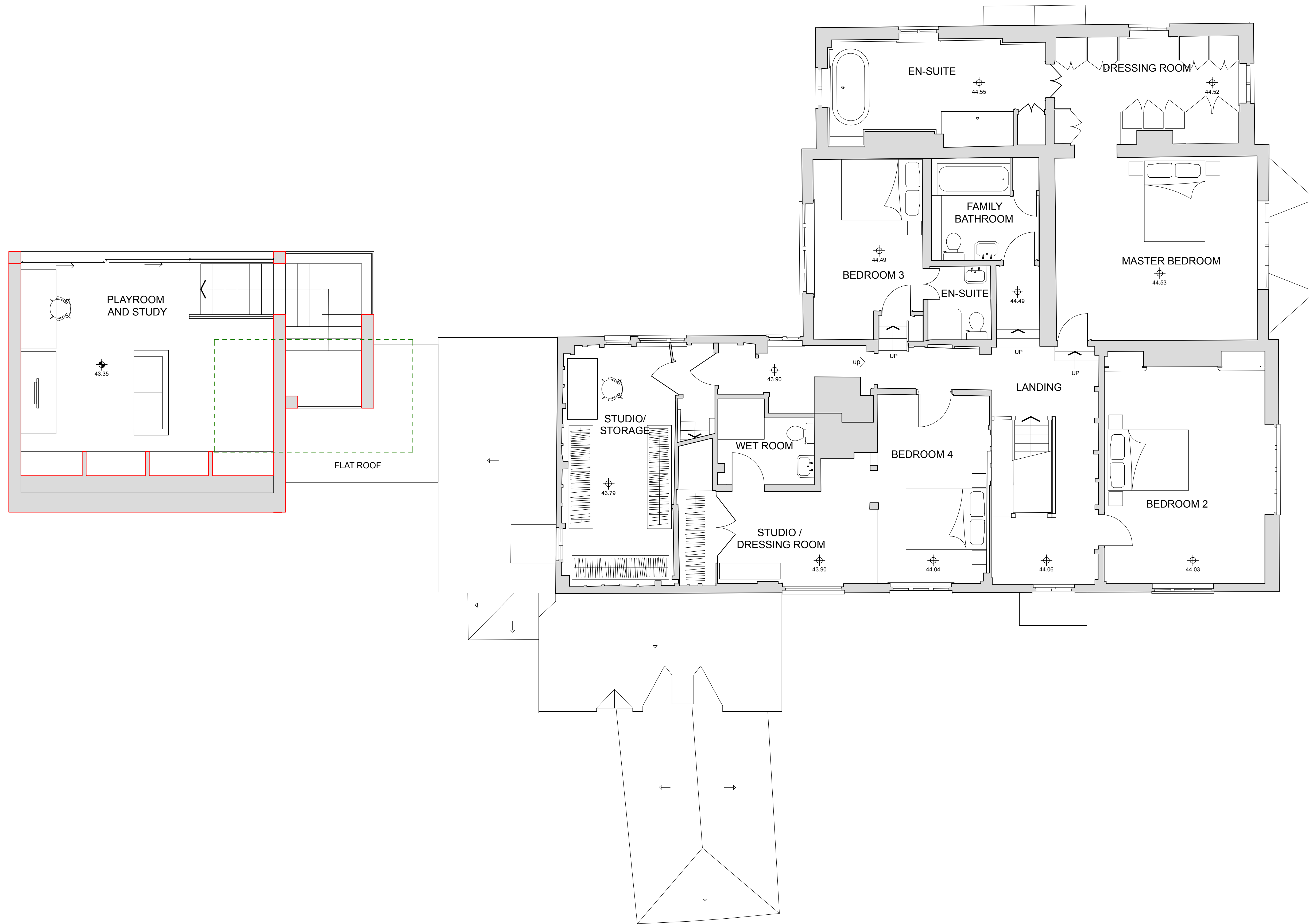
18007-existing.dwg

**1 PLAN**  
EXISTING FIRST FLOOR PLAN SCALE 1:50



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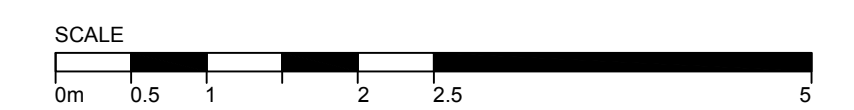
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REV	DESCRIPTION	DATE	DRAWN BY
A1	DRAWN	18.06.18	NCE
A2	REVISED AFTER MEETING	22.06.18	FDC
A3	REVISED AFTER MAIL SENT	23.07.18	FDC
A4	REVISED AFTER MEETING	29.08.18	FDC
A5	PRE-APP	08.10.18	FDC
A6	MEETING WITH CLIENTS	09.01.19	FDC
P1	PLANNING APPLICATION	06.02.19	FDC

GREEN DOTTED LINE IS OUTLINE OF EXISTING BUILDINGS TO BE DEMOLISHED

**PLANNING**



Project number **18007**

Client

**MR & MRS LAYTON**

Project and Location

**PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.**

Stage

**PLANNING APPLICATION**

Drawing title

**PROPOSED FIRST FLOOR PLAN**

Scale @ A1

1:50

Drawing number

**022**

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Revision Date drawn Drawn by

P1 25.04.18 CADSUR

Date checked Checked by

25.04.18 NCE

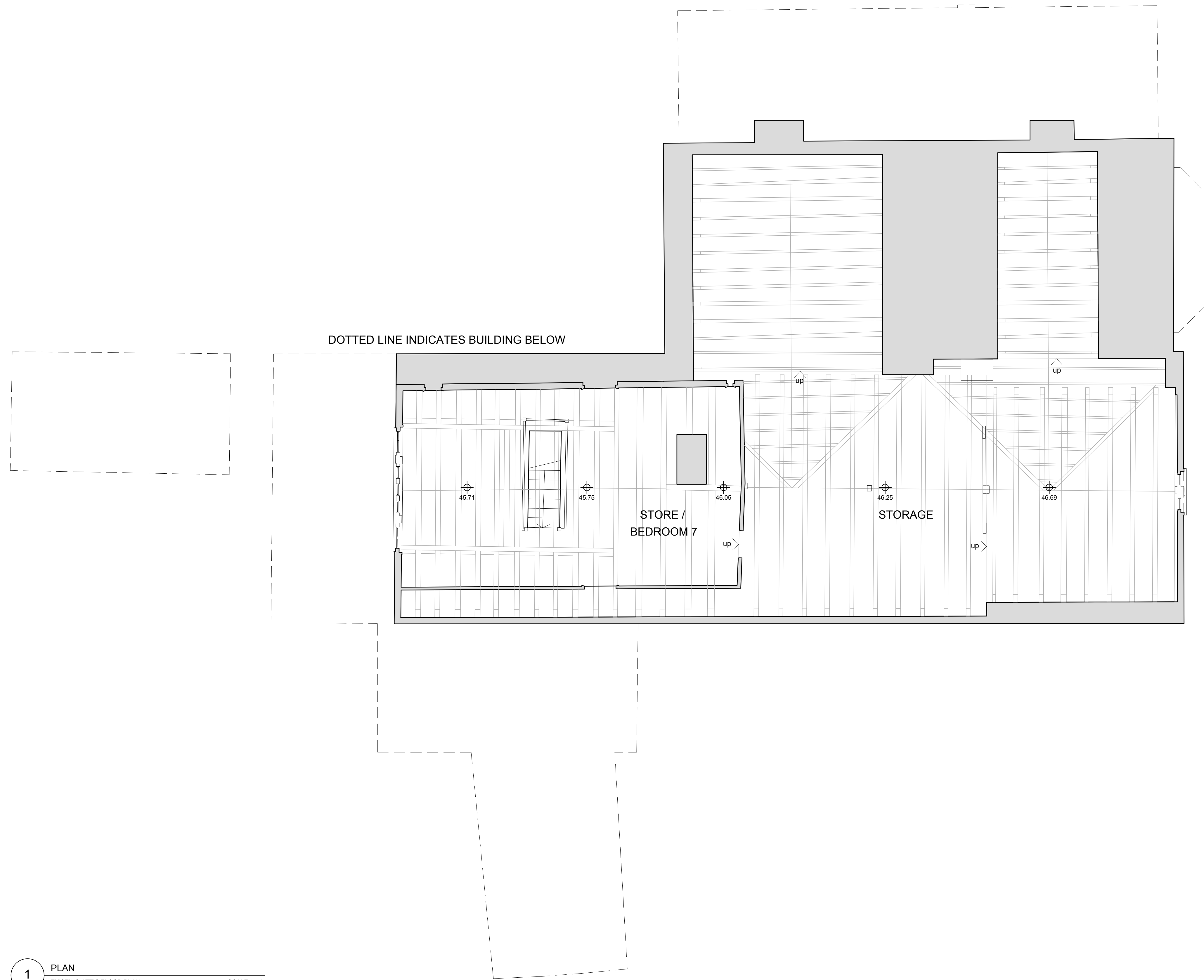
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18007-proposed.dwg

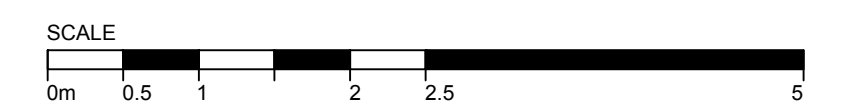
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REV	DESCRIPTION	DATE	DRAWN BY
A1	DRAWN	25.04.18	FDC
A2	PRE-APP	08.10.18	FDC



**PLANNING**



Project number **18007**

Client

**MR & MRS LAYTON**

Project and Location

**PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.**

Stage

**STAGE A**

Drawing title

**EXISTING ATTIC PLAN**

Scale @ A1

**1:50**

Drawing number

**013**

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Email info@architectsav.co.uk

Website www.architectsav.co.uk

Revision Date drawn Drawn by

**A2** 25.04.18 CADSUR

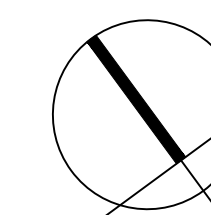
Date checked Checked by

25.04.18 NCE

Cad reference

18007-existing.dwg

**1** PLAN  
EXISTING ATTIC FLOOR PLAN  
SCALE 1:50



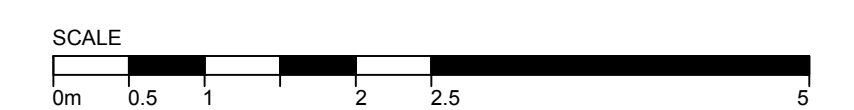
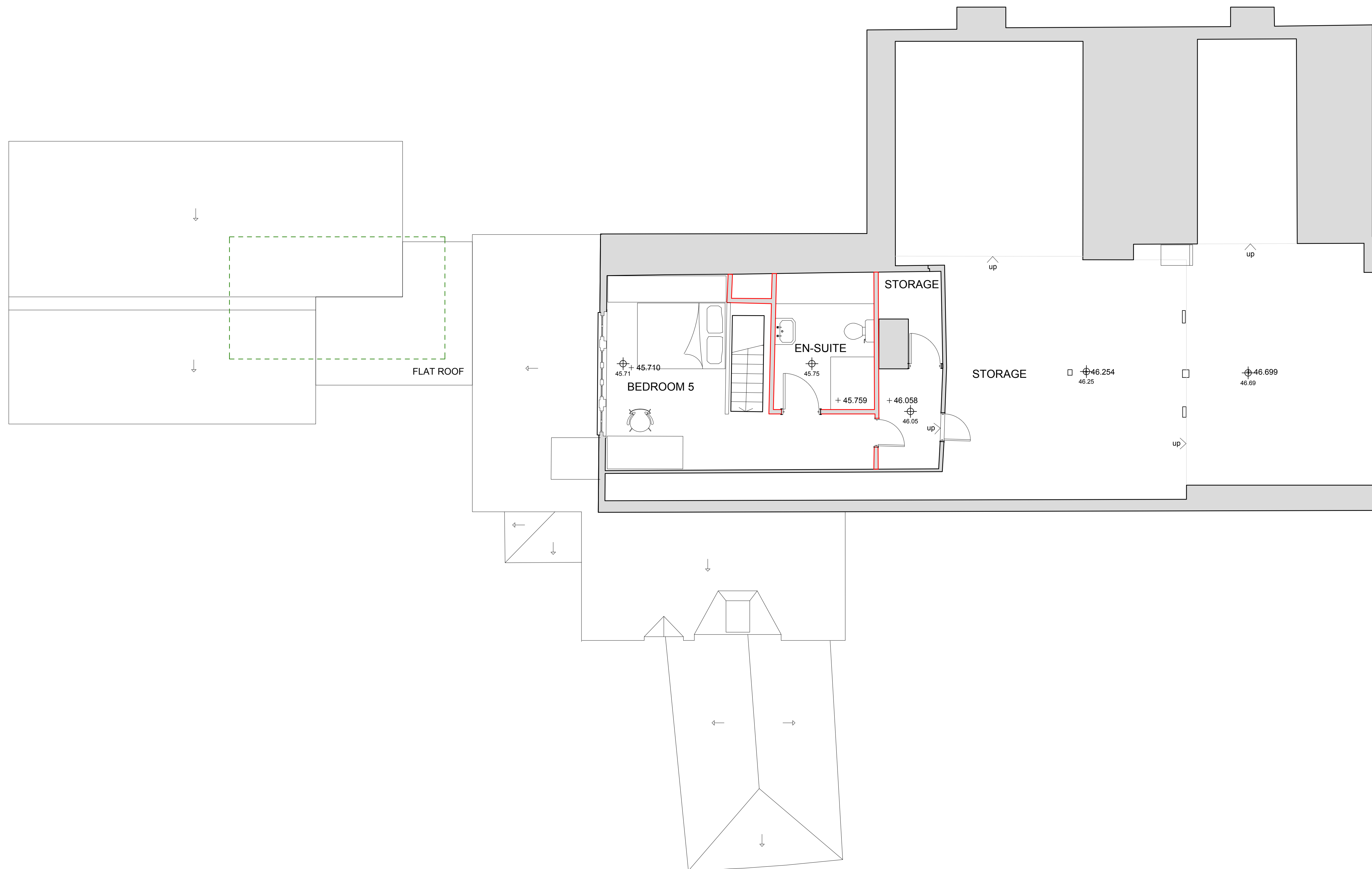


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A1	DRAWN	18.06.18	NCE
A2	REVISED AFTER MEETING	22.06.18	FDC
A3	REVISED AFTER MAIL SENT	23.07.18	FDC
A4	REVISED AFTER MEETING	29.08.18	FDC
A5	PRE-APP	08.10.18	FDC
A6	MEETING WITH CLIENTS	09.01.19	FDC

--- GREEN DOTTED LINE IS OUTLINE OF EXISTING BUILDINGS TO BE DEMOLISHED



Project number 18007

Client

MR & MRS LAYTON

Project and Location

PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.

Stage

STAGE A - ARCHITECTURAL DESIGN

Drawing title

PROPOSED ATTIC PLAN

Scale @ A1

1:50

Drawing number

023

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Revision Date drawn Drawn by

A6 25.04.18 CADSUR

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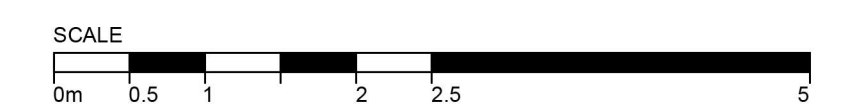
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A2	REVISED AFTER MEETING	22.06.18	FDC
A3	REVISED AFTER MAIL SENT	23.07.18	FDC
A4	REVISED AFTER MEETING	29.08.18	FDC
A5	PRE-APP	08.10.18	FDC
A6	MEETING WITH CLIENTS	09.01.19	FDC
P1	PLANNING APPLICATION	06.02.19	FDC

ORANGE DOTTED LINE IS OUTLINE OF EXISTING BUILDINGS TO BE DEMOLISHED

**LEGEND**

- 1 EXISTING ROOF TO BE RETAINED
- 2 EXISTING CHIMNEY TO BE RETAINED
- 3 EXISTING HUNG TILES WALL CLADDING
- 4 EXISTING WHITE PAINTED BRICKWORK
- 5 NEW WHITE PAINTED BRICKWORK TO MATCH EXISTING
- 6 POWER COATED ALUMINIUM DOUBLE GLAZED CASEMENT WINDOW
- 7 POWER COATED ALUMINIUM DOUBLE GLAZED FRENCH DOOR
- 8 POWER COATED ALUMINIUM DOUBLE GLAZED SLIDING DOORS
- 9 POWER COATED ALUMINIUM DOUBLE GLAZED FIXED WINDOW
- 10 RECLAIMED PEG KENT TILES TO ROOF TO MATCH EXISTING
- 11 ENTRANCE DOOR
- 12 PREWEATHERED VMZINC PIGMENTO BLUE
- 13 NEW ZING DOWN PIPE
- 14 DARK GREY RENDER TO END OF EXTENSION

**PLANNING**



Project number 18007

Client MR & MRS LAYTON

Project and Location

PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.

Stage

PLANNING APPLICATION

Drawing title

PROPOSED SW AND SE ELEVATIONS

Scale @ A1

1:50

Drawing number

**026**

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P1 25.04.18 FDC

Date checked Checked by

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1 ELEVATION  
SOUTH WEST ELEVATION  
SCALE 1:50



2 ELEVATION  
SOUTH EAST ELEVATION  
SCALE 1:50



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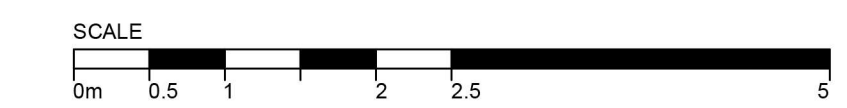
REV	DESCRIPTION	DATE	DRAWN BY
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A3	REVISED AFTER MAIL SENT	23.07.18	FDC
A4	REVISED AFTER MEETING	29.08.18	FDC
A5	PRE-APP	08.10.18	FDC
A6	MEETING WITH CLIENTS	09.01.19	FDC
P1	PLANNING APPLICATION	06.02.19	FDC

ORANGE DOTTED LINE IS OUTLINE OF EXISTING BUILDINGS TO BE DEMOLISHED

**LEGEND**

- 1 EXISTING ROOF TO BE RETAINED
- 2 EXISTING CHIMNEY TO BE RETAINED
- 3 EXISTING HUNG TILES WALL CLADDING
- 4 EXISTING WHITE PAINTED BRICKWORK
- 5 NEW WHITE PAINTED BRICKWORK TO MATCH EXISTING
- 6 POWER COATED ALUMINIUM DOUBLE GLAZED CASEMENT WINDOW
- 7 POWER COATED ALUMINIUM DOUBLE GLAZED FRENCH DOOR
- 8 POWER COATED ALUMINIUM DOUBLE GLAZED SLIDING DOORS
- 9 POWER COATED ALUMINIUM DOUBLE GLAZED FIXED WINDOW
- 10 RECLAIMED PEG KENT TILES TO ROOF TO MATCH EXISTING
- 11 ENTRANCE DOOR
- 12 PREWEATHERED VMZINC PIGMENTO BLUE
- 13 NEW ZING DOWN PIPE
- 14 DARK GREY RENDER TO END OF EXTENSION

**PLANNING**



Project number 18007

Client

MR & MRS LAYTON

Project and Location

PROPOSED EXTENSION  
DOUBLETON FARMHOUSE, PENHURST,  
KENT, TN11 8JA.

Stage

PLANNING APPLICATION

Drawing title

PROPOSED ELEVATIONS

Scale @ A1

1:50

Drawing number

**027**

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1 ELEVATION  
NORTH EAST ELEVATION  
SCALE 1:50



2 ELEVATION  
NORTH WEST ELEVATION  
SCALE 1:50





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