

**Overdale, Le Carrefour a Cendre,
St Peter, Jersey**

Historic Building Survey

**On Behalf of:
Style Homes Ltd**



**By
Sam Driscoll (BA, MA, PIFA) &
Paul Martin (BSc, AIFA)**

ABSOLUTE ARCHAEOLOGY



Absolute Archaeology, 51 St Mary's Gardens, Hilperton Marsh, Trowbridge, Wiltshire, BA14 7PH

paul.martin@absolutearchaeology.co.uk

sam.driscoll@absolutearchaeology.co.uk

www.absolutearchaeology.co.uk

**OVERDALE, LE CARREFOUR A CENDRE,
ST PETER, JERSEY**

HISTORIC BUILDING REPORT

OCTOBER 2008

Summary

Location: Overdale, Le Carrefour a Cendre, St Peter, Jersey
UTM: 5965 5325 (Based on the Universal Transverse Mercator Grid Zone 30 Central Meridian 3°W International Spheroid/European datum).
Report: Historic Building Survey
Client: Mr S Romeril, Style Homes Limited, Fondmort Group Ltd c/o Style Group of Companies, La Rue Fondon, St Peter, Jersey.

Abstract

Absolute Archaeology were commissioned by the above to carry out an historic building survey of the property known as Overdale, Le Carrefour a Cendre, St Peter, Jersey. The survey was carried out on the 6th October 2008 for a period of five days.

The survey consisted of detailed drawn plans of the ground and upper storeys, a full photographic record and documentary and cartographic research. Cartographic evidence confirmed the existence of the building by the latter half of the 18th century, however it is possible that the core structure may date to an earlier period and was perhaps originally constructed for use as a barn or similar facility.

The main structure was identified as a rectangular building with access from the north. The property underwent a period of substantial change during the late 19th century, in which it was converted to a 'double fronted' property with the facade moved to the south facing wall and a shop facility extended to the north. At this time outbuildings were added to the west of the property to provide utility rooms which enabled the main building to accommodate the principle reception/living areas.

Several basic brick built buildings were identified in the grounds to the south of house, illustrating a series of 19th/20th century additions to the property to increase workspace/storage facilities.

The house was occupied until the late 20th/early 21st century and shows little sign of any further alterations in this period.

Contents

1. Introduction	
1.1 The Project	4
1.2 Location and Site	4
2. Methodology	
2.1 Project Brief and Date Collection	5
2.2 Record and Archive	5
3. Results	
3.1 Overview and Dimensions	7
4. Fabric Summary	9
5. Historic Summary	
5.1 Documentary	11
5.2 Cartographic	12
5.3 Summary	12
6. Observations	
6.1 Phasing	12
7. Conclusion	14
8. Sources Consulted	15

List of Figures

- Figure 1: Site Location
- Figure 2: Overdale, Ground Floor Plan-Latest Phase
- Figure 3: Overdale, Ground Floor-Early Phase
- Figure 4: Overdale, Upper Storey Plan-Latest Phase
- Figure 5: Overdale, Upper Storey-Early Phase
- Figure 6: Overdale, South Facing Elevation
- Figure 7: Overdale, Partial North Facing Elevation
- Figure 8: Duke of Richmond 1796 Map, Detail-Le Carrefour a Cendre

List of Plates

- Plate 1. North facing facade, Overdale, Le Carrefour a Cendre.
- Plate 2. South facing elevation, Overdale, Le Carrefour a Cendre.
- Plate 3. East facing wall of outbuilding 'b'.
- Plate 4. West facing outer wall of outbuilding 'c'.
- Plate 5. East facing wall of outbuilding 'd'.
- Plate 6. Recessed sash window, Room 1
- Plate 7. Recessed sash window with deep sill/seat, Room 3.
- Plate 8. Bricked up window, rear wall of Room 3.
- Plate 9. Pitched brick base 'f'.
- Plate 10. Jersey Panelling, Room 1.
- Plate 11. Central Beam. Room 1.
- Plate 12. Floor boards and joists, Room 1.
- Plate 13. Reclaimed boards, Room 7.

1. INTRODUCTION

1.1 The Project

1.1.1 This report presents an historical evaluation of the cottage known as Overdale, Le Carrefour a Cendre, St Peter, Jersey. The report was commissioned by Mr S Romeril on behalf of the developer, Style Homes Ltd (Fondmort Group Ltd c/o Style Group of Companies, La Rue Fondon, St Peter, Jersey), in order to satisfy condition 9 of Planning Application P/2007/1602 to record the structure prior to demolition ahead of redevelopment of the land (Planning Approved).

1.1.2 Inspection of the buildings and preparation of this report has been carried out by Paul Martin, BSc, AIFA and Sam Driscoll, MA, PIFA.

1.2 Location and Site (Figure 1)

1.2.1 The site is situated in Le Carrefour a Cendre, to the north of the village of St Peter, on the fork of the road between La Grande Route Des Augerez and La Route Des Hetre in the Vingtaine Des Augerez. The site is located in a pastoral setting and is surrounded by a mixture of farmland and rural residential properties.

1.2.2 Overdale is a two storey detached property, with associated outbuildings (Plates 1 & 2). The cottage is situated to the northern end of a neglected garden area. The property has undergone several phases of development, resulting in an irregular shaped build with the form dictated by the outline of the roads to the east and west of the structure. The main build takes a pentagonal form, with a line of single storey outbuildings including kitchen, utility/wash room and toilet added to the west flank, following the route of La Grande Route Des Augerez. A ruined detached brick build is located to the south of the property (Plates 3-5). The land associated with the site is defined by a partially demolished random coursed granite wall standing to height of around 1.7m.

1.2.3 The evaluation focuses on the property known as Overdale, with a ground plan detailing the location and nature of the associated outbuildings that

were apparent to the archaeologists at the time of the survey. As it was beyond the scope of this study to carry out ground clearance ahead of the evaluation, it should be noted that the possibility of additional outbuildings should not be ruled out and it is deemed highly likely by the archaeologists that further structures will be encountered during works to develop the site.

2. METHODOLOGY

2.1. Project Brief and Data Collection

2.1.1 The survey was carried out following consultation with the Mr J Gladwin, Senior Planner and Ms J Fawdry, Historic Buildings Officer, States of Jersey Planning Department. The evaluation adheres to the IFA '*Standard and Guidance for the archaeological investigation and recording of standing buildings and structures*', 2001.

2.1.2 The evaluation was undertaken by Paul Martin BSc, AIFA and Sam Driscoll BA, MA, PIFA over a period of five days. The investigation comprised detailed scaled plans of the ground and upper storeys of the property and all accessible outbuildings. The survey was carried using standard measuring techniques, with an EDM employed to record external elevations. All original measured drawings show detail at a scale of 1:50.

2.1.3 A full digital photographic record was compiled, detailing the interior and exterior of the main property, external and internal features of all accessible outbuildings and general location shots.

2.1.4 A review of cartographic and documentary archives was undertaken with the assistance of the Société Jersiaise, to determine the nature and ownership of the property.

2.1.5 No material samples were retained.

2.1.6 A detailed fabric analysis of the property was not undertaken by a representative of Absolute Archaeology on this occasion.

2.1.7 Additional Desk Based Assessment was not carried out as it was deemed to be beyond the scope of this project at the current time.

2.2 Record and Archive

- 2.2.1 The measured survey has been digitised using CorelDrawx3. Significant features identified by the archaeologists have been added and annotated as appropriate. Important events in the construction history of the property identified as a result of the measured survey are shown where appropriate.
- 2.2.2 A full account of features and forms identified as a result of the survey will be detailed in the text. This will included a basic summary of building material as appropriate.
- 2.2.3 The report is intended as a survey of the property known as Overdale and associated outbuildings as they are currently observed. However, basic chronological building phases were identified as a result of the above and will be detailed where deemed significant to the development, history and use of the site.
- 2.2.4 The final archive will comprise a written report, including annotated plans and elevations presenting in paper format. The full photographic record and digital copy of the report will be backed up on Gold CDR. A copy of the above will be forwarded to the client and to the States of Jersey Planning Department. The resultant archive will be deposited with the Jersey Heritage Trust.

3. RESULTS

3. Overview and Dimensions (Figures 2 & 3).

3.1.1 All structures detailed in this survey are planned to be demolished to accommodate the approved redevelopment of the site currently occupied by the property known as Overdale and associated structures.

3.1.2 The main property comprises a two storey build, with the upper floors split between two levels. The property is orientated E-W and for the purpose of the report the front of the property will refer to the north facing, late 19th/early 20th facade (Figure 7). The structural core of the property comprises a two storey rectangular construction measuring 10.9m x 6m. This is supplemented by a two storey extension to the front of the property. The irregular shape is dictated by the direction of La Grande Route Des Augerez and has been designed to maximise the potential of the land available between the fork in the road. As a result the west flank of the property is formed by an NE-SW sloping wall set at 118° from the orientation of the main structure. This measures 3.5m in depth and 9m in length along the facade. The rear of the extension is keyed in to the main structure and respects the overall width of 10.9m.

3.1.3 The rear of the property has nine 19th century plain wood framed sash windows, with the upper and lower sash segmented into six panes. With the exception of Room 3, all windows are set into an internal recess to floor level (Plate 6-7). The recess is finished with a moulded wooden surround in Room 1 and a plain wooden surround in Rooms 10 and 11. The two windows in Room 3 would appear to have originally mirrored the style of those in Room 1, but have since had the recess partially filled in creating two deep set window sills/seats. The moulded surround remains in situ, but has been trimmed to compliment the altered design.

The windows to the front of the property illustrate the purpose of the extension, which appears to have housed a general store. In Room 6, two fixed wooden framed display windows are set into recesses flanking the door. The windows are segmented into 12 panes which correspond to wooden runs for supporting display shelves. The rear wall of the room retains the original shelving to ceiling height. On the exterior of the property the hinges that once held shutters to secure the windows remain in situ. The single window in Room 5 retains the same style as the display windows in Room 6,

maintaining the architectural integrity of the extension. Rooms 13 to 15 have basic wooden framed hinged windows with three to four panes. The upper story facade windows are set at floor level due the low ceiling dictated by the steep pitch of the roof. Room 15 has a second four segment, wooden framed hinged window set into the west wall. All ground level facade windows have visible cast concrete lintels.

Although no access was gained to the roof/attic space, two wooden framed windows were noted from the exterior, set into the east and west flank of the property, corresponding to the period in which the house was extended and the roof replaced in the late 19th/ early 20th century.

- 3.1.4 Five bricked up windows were identified during the course of the survey (Plate 8). Three located at ground floor level in Rooms 2a, 3 and 4 (Figure 2) and two in the upper storey, in Rooms 12 & 13 (Figure 3). Windows identified in rooms 2a, 3 and 4 are associated with the earliest phase of the building, having been bricked up during the construction of the 19th/20th century extension. The bricked up window in Room 5 is set into the east flank of the extension.
- 3.1.5 Several one storey outbuildings have been extended from the west flank of the main building, with access knocked through from Room 3. The western extension respects the direction of La Grande Route Des Augerez and comprises one store room and two utility rooms keyed into the fabric of the outer wall of the cottage. Three simple rectangular structures used as store areas and one toilet have been added to the south of the extension. The rear of all the utility buildings is formed by the granite wall marking the boundary of the site. The utilities extend 5m NE- SW of the main structure, with a maximum width of 4.1m. The southern flank of Room 9 comprises built in utilities in the form of a furnace and cast iron basin for laundry and a large open fireplace.
- 3.1.6 Two detached brick built structures stand in the grounds to the south of the cottage. Both utilise the granite boundary wall as part of their structure and both are in a partially demolished state. The larger of the two measures 8.2m x 3m and runs parallel to the La Route Des Hetre. The second measures 4.7m x 2.2m and is orientated at a right angle to the boundary wall, following La Grande Route Des Augerez.

- 3.1.7 Evidence of a pitched brick base survives to the south of the cottage, running parallel to the main structure (Plate 9). As the feature appears to have been disturbed by recent groundwork activity only partial records were obtained. The most substantially surviving area being the E-W edge, measuring >2.2m. The base runs parallel to the main structure.
- 3.1.8 The current property has a steep pitched, slate roof, added in the late 19th/early 20th century to consolidate the core structure and northern extension.

4. FABRIC SUMMARY

- 4.1.1 A detailed fabric analysis was not undertaken. Materials were noted only where visible without the need to remove building/facing fabric.
- 4.1.2 Access to the main fabric of the property was limited at the time of the survey due to the all structural walls being obscured by internal render and panelling and thick external render, the removal of which was deemed beyond the scope of this survey.

Where visible, the original construction appears to comprise a solid granite build of squared random coursing enclosing Rooms 1-4 (Ground Floor) and Rooms 10-12 (Upper Storey). To the stonework to the rear of the property is now obscured by a thick cream/grey render. The render has been decorated with an incised pattern, creating a limestone ashlar effect with simplified Gibbs Style pattern surrounding the windows (Figure 6). The extension to the front of the property comprises a granite build with red brick incorporated to aid the architectural alterations that accompanied the construction. The east and west flank and facade of the property are covered with a thin light grey patchy rusticated render.

- 4.1.3 To the rear of the property the red brick porch extension is finished with the thick cream patterned render described above, with Gibbs Style decoration around the windows and main door, incorporating it into the current design.
- 4.1.4 The interior of the property is currently divided into 15 rooms mainly using 'Jersey Panelling', a series of interlocked tongue and groove vertical pine timbers creating thin partitions (Plate 10) . This method became popular on the island towards the late 19th century and is seen throughout the cottage on the ground floor and upper storeys. Vertical pine panels are also used throughout to line/insulate the interior walls. The exception being Room 15 in which the walls have been rendered with smooth cement.

- 4.1.5 Rooms 1 (extending through Room 4), 3, 10 and 12 exhibit a single support beam of Elm or Oak encased in pine, bracing the width of main building (Plate 11). A reused beam can also be seen Room 5. An exposed section of one of the beams as visible in Room 4 would indicate a late 18th/early 19th date, corresponding with the earliest documented date for the property.
- 4.1.6 The floor boards and joists on both ground and upper levels comprise thin sawn pine timber and are a 19th/20th addition to the house (Plate 12). These are apparent in rooms 1-4 (Ground Floor) and 10-15 (Upper Storey). Ground floor joists are levelled on mixed stacks of granite rubble, brick and broken tile standing to height of approximately 150mm above current ground level. The ground floor surface in Rooms 5 and 6 comprises a level concrete base. In addition, Room 5 has a linear hard wearing area of red brick forming a track between the front door and the doorway between Rooms 4 and 5.
- 4.1.7 Room 7, extending from the west flank of the main building comprises a granite store room created by enclosing the original outer wall of the property and the granite boundary wall following La Grande Route Des Augerez. The ceiling comprises reused moulded wooden boards supported on horizontal beams. The form and style of the boards suggests that they are of 18th century origin and have clearly been reclaimed (Plate 13). The floor surface comprises a level concrete base.
- 4.1.8 Rooms 8 and 9 form a continuation of the above, enclosing the boundary wall and squared random coursed granite facade with a corrugated iron pitched roof. Floor surfaces throughout comprise a level concrete base.
- 4.1.9 Outbuildings 'a', 'b' and 'c' are constructed using a basic single leaf stretcher bond to enclose three small areas between the granite facade of Rooms 8 and 9 and the outer boundary wall of the property. All three exhibit a level concrete base.
- 4.1.10 Outbuilding 'd' comprises a single leaf, red brick stretcher bond construction incorporating reused granite building material. The building is keyed into the granite boundary wall to the west. 17 courses remain to height of 1.3m, standing on a level concrete base.
- 4.1.11 Outbuilding 'e' comprises a single leaf, red brick structure abutting the boundary wall to the east of the property. The construction is a basic stretcher bond, surviving to a height of 20 courses, built on a base of random

coursed granite, visible to five courses. The brickwork is finished with a stopped bond, forming a doorway measuring 2m in width in the west facing wall. The interior walls show evidence of a thick cement render. One small wooden framed window with glass panes survives in the west facing wall of the building.

- 4.1.12 Platform 'f' comprises a pitched red brick base, edged with bull-nose bricks. The extent and form of the feature is unknown due the partially demolished and overgrown state.

5 HISTORIC SUMMARY

5.1 Documentary

- 5.1.1 Records held by the Jersey Archive and the Société Jersiaise were consulted in relation to the ownership and nature of the property known as Overdale. The following is intended as a summary of results.

- 5.1.2 Legal papers documenting the ownership and sale of the property could only be traced as far back as 1845.

11th Jan 1845 George Hamon sold a property assumed to be Overdale to Jean-Frederic Le Mottée and Mrs Jean-Rachel Le Marquand. The name 'Overdale' is not associated with the property at this time.

10th Sept 1864 Jean-Frederic Le Mottée and Mrs Jean-Rachel le Marquand sold the property to Jean Becquet. Again the name Overdale is not associated with the sale.

7th Dec 1889 Jean Becquet sold to Philip John Le Marquand. The property then passed to Lilian Jane Le Marquand, eldest daughter and principle heir to Philip John Le Marquand.

26th July 1919 Lilian Jane Le Marquand sold to John Du Val.

1927 John Du Val sold Overdale to Ernest Le Gresley. The property passed to Mr F J Le Gresley & Mrs M L Boleat.

Aug 2008 Purchased by Fondmort Ltd.

5.2 Cartographic

5.2.1 The earliest source consulted was the Duke of Richmond 1796 map (Figure 8). The site known as Overdale is clearly shown as a single rectangular building, occupying the same location and orientation as the main structure identified in the above survey. La Grande Route Des Augerez and La Route Des Hetre are also shown to occupy the same orientation, framing the building to the east and west.

5.3 Summary

The cartographic evidence identifies a rectangular building on the current site by the latter half of the 18th century. The lack of documentary evidence for a property by the name Overdale in this early period may suggest that the property was not known by this name until later, however it is clear that both records correspond to the same structure and appear to confirm that the property was in existence by the late 18th.

6 OBSERVATIONS

6.1 Phasing

6.1.1 The following is intended as a summary of potential phases of the property based on available evidence within the scope of this survey.

6.1.2 The structural core of the property comprises a rectangular building, representing the earliest visible phase of the property currently known as Overdale (Figures 4 & 5). Cartographic evidence places the earliest recordable date of the building to the late 18th century. Three bricked up windows were identified set into the north facing wall at ground level and a further two are suggested for the upper storey as shown in plans 4 and 5. The evidence illustrates that this was once an external wall and probably formed the original facade of the property. The location of one original doorway was identified, now forming the opening between Rooms 4 and 5. A further may remain in the opening between Rooms 3 and 6. The windows set into the south facing wall appear to compliment the earliest phase of the building and roughly match the form and size of the bricked up windows identified in Rooms 3 and 12.

None of the original internal divisions were identified during the course of the survey, so the early layout cannot be determined. However, the plan revealed a substantial thickening of the fabric of the wall of the west flank and it is suggested by the archaeologists that this area houses a bricked up Inglenook style fireplace and would have formed the principle kitchen/utility area during the earliest phase of occupation.

The property has undergone substantial alteration in order to adapt the living space to accommodate a shop facility. It is suggested that this occurred at some time in the latter half of the 19th century, when a two storey extension was added to the north facing wall of the property. The shop front became the main aspect of the building, fronting onto the road, while the facade was moved to the rear of the property, where alterations were made to create a 'double fronted' style house. The living area is now entered from the south, where Jersey partitions have been used to create a hallway leading to a single flight of stairs giving separate access the original rooms and extension.

At this time the single storey extensions to the west flank of the property to house the utility areas allowed the transformation of Rooms 1 and 3 into more formal reception/living spaces. The Inglenook style fireplace has been bricked up in room 3 and replaced by a regency style fireplace. At this time Rooms 7, 8 and 9 became a store, kitchen and laundry area, with a replacement range added to the south wall of Room 9.

It is suggested that the various brick built outbuildings were added throughout the 20th century to increase workspace/store areas as required, however the form and nature of platform 'f' suggests that it may belong to 19th century activity.

- 6.1.3 The property has not changed significantly since the Victorian period and retains the same layout and living arrangements. Although electricity was supplied to the main rooms in the 20th century there is no evidence of water having been supplied to the property. Utility room 'c' contained the demolished remains of a modern ceramic toilet, however no plumbing was identified. It is suggested therefore that the previous occupant continued to draw water from a well in the grounds, the location of which has not been identified as a result of this survey.

7. CONCLUSION

- 7.1 The property currently known as Overdale can be documented to the latter half of the 18th century, however an earlier date for structure is plausible. The form and style of the core structure may even suggest that the building represents an early barn conversion. It is suggested by the archaeologists that earlier associated structures may be identified in the grounds during the development of the site.
- 7.2 Analysis of the current layout and style of the property confirms that Overdale underwent significant alterations in the late Victorian period, most likely coinciding with the ownership of Philip John Le Marquand and subsequently Lilian Jane Le Marquand by inheritance and clearly represents a period of increased wealth associated with the residence. As shown, the basic rectangular structure was extended to the north to incorporate a shop facility and a grand facade created to the south to enable a vista of the grounds. The building was converted to a 'double fronted' style property with rooms defined with Jersey partitions. The main rooms to the east and west of the newly created porch and hallway appear to have been converted to accommodate fashionable living areas, while the western extension incorporating external access enabling the separation of the utilities from the main house. The existing northern entrance to the property was retained to enable internal access to the shop facility
- 7.2 Nine owners have been identified for the property, from George Hamon, pre 1845 until the purchase by Fondmort Ltd in 2008. Records suggest that in this time the property was frequently offered for rent. No documentary evidence can be obtained for the ownership and nature of the property prior to 1845.
- 7.3 The structure continued in use as a residence with little alteration to the external structure and internal living arrangement into the late 20th/early 21st century.

8. Sources Consulted

La Cour Royale de l'Isle de Jersey: La Nouvelle Liste.

Register of Protected Buildings and Sites of Architectural, Archaeological and Historical Importance in Jersey. 1999.

Schedule of Areas of Archaeological Potential (Island Plan 2002).

Stevens, J. 1980. *Old Jersey Houses and Those Who Lived In Them, Vol 1. 1500-1700.* Chichester: Phillimore

Stevens, J. 1997. *Old Jersey Houses and Those Who Lived In Them, Vol 2. 1700 Onwards.* London: Phillimore.

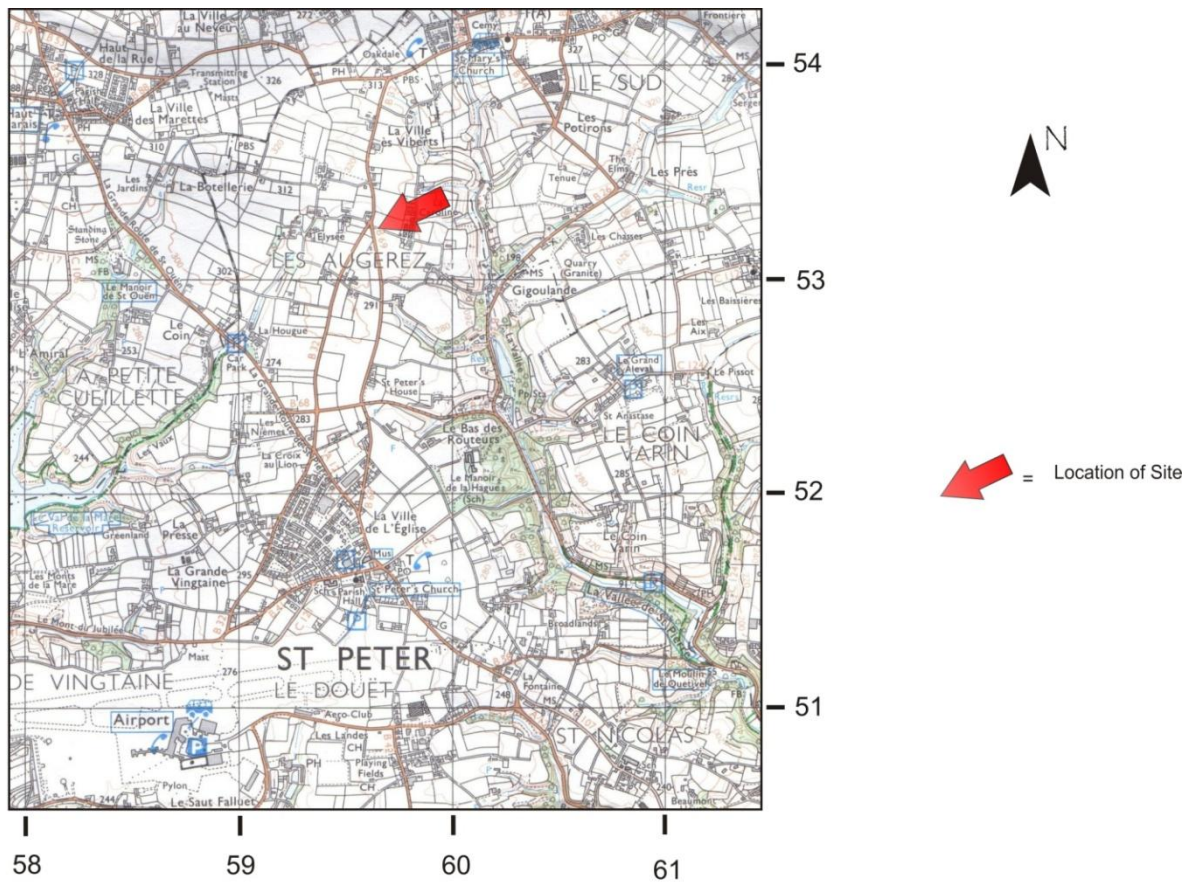
Stevens, C., Arthur, J. and Stevens, J. 1986. *Jersey Place Names – A Corpus of Jersey Toponymy.* Jersey: Société Jersiaise.

Syvret, M. and Stevens, J. 1998. *Balleine's History of Jersey.* West Sussex: Phillimore and Co Ltd.

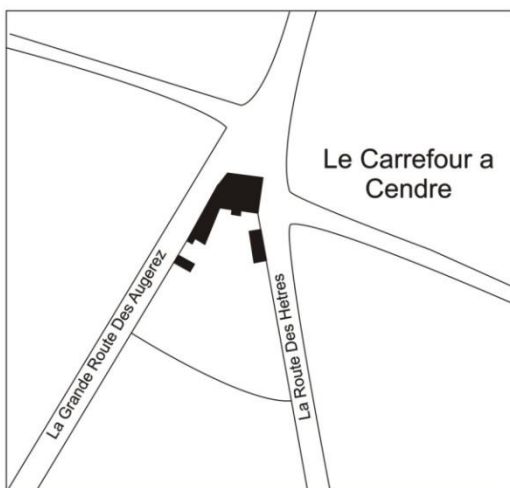
British Geological Survey. *Jersey: Description of 1:25000 Channel Islands Sheet 2.* 1989.

FIGURES

**Figure 1. Site Location-Overdale Le Carrefour a Cendre & Detail of Site
Based on UTM 5965 5325**



Distance represents 1 Kilometre
(0.6214 Miles)



Reproduced from the 1981 Ordnance Survey 1 : 25 000 map
with the permission of the Controller of Her Majesty's Stationary
Office © Crown Copyright Absolute Archaeology
51, St Mary's Gardens, Hilperton Marsh, Trowbridge, BA14 7PH
Licence No 100048201

Detail Only. NOT TO SCALE

Figure 2. Overdale, Ground Floor Plan-Latest Phase (Extension Shown in Green)
Scale 1:150

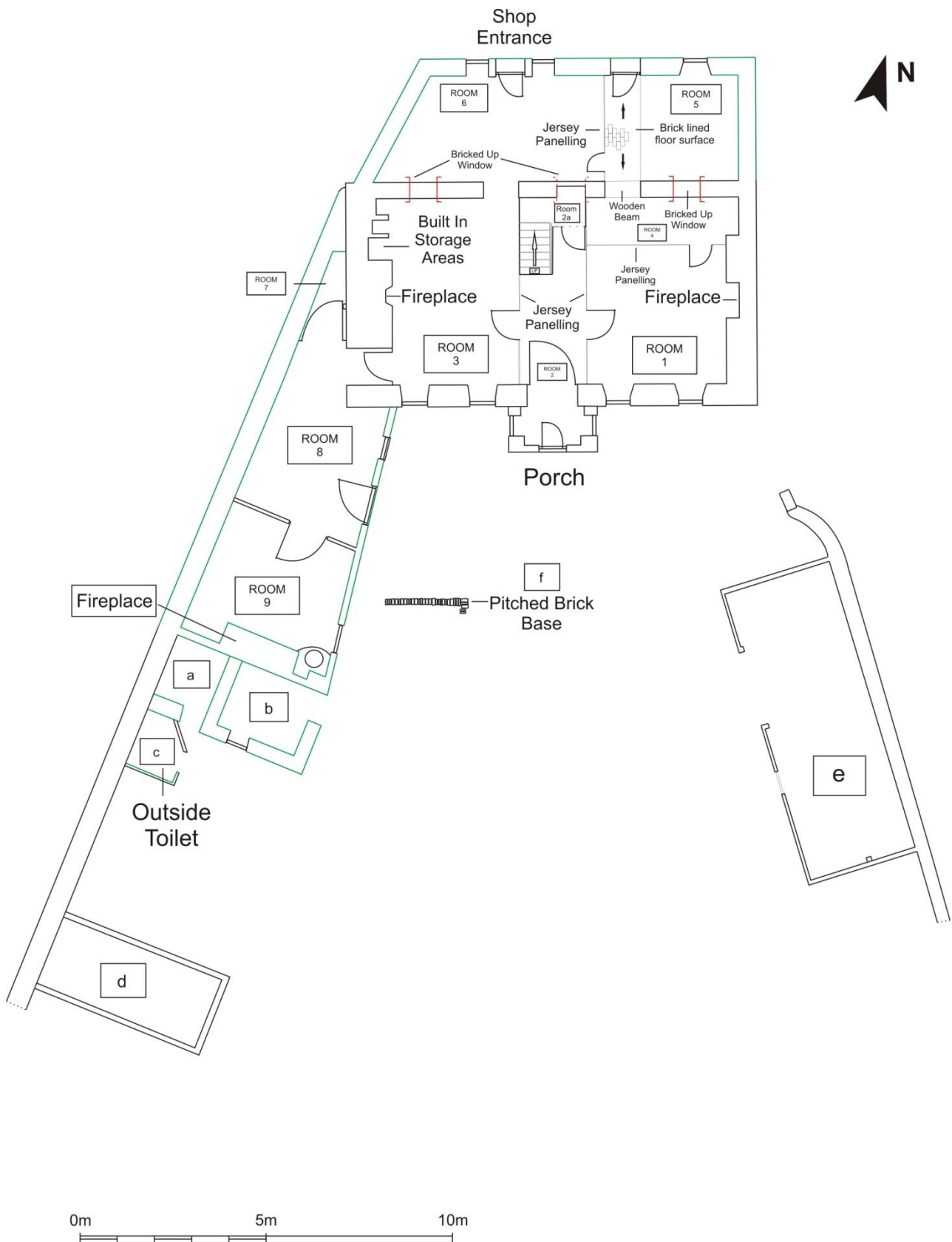
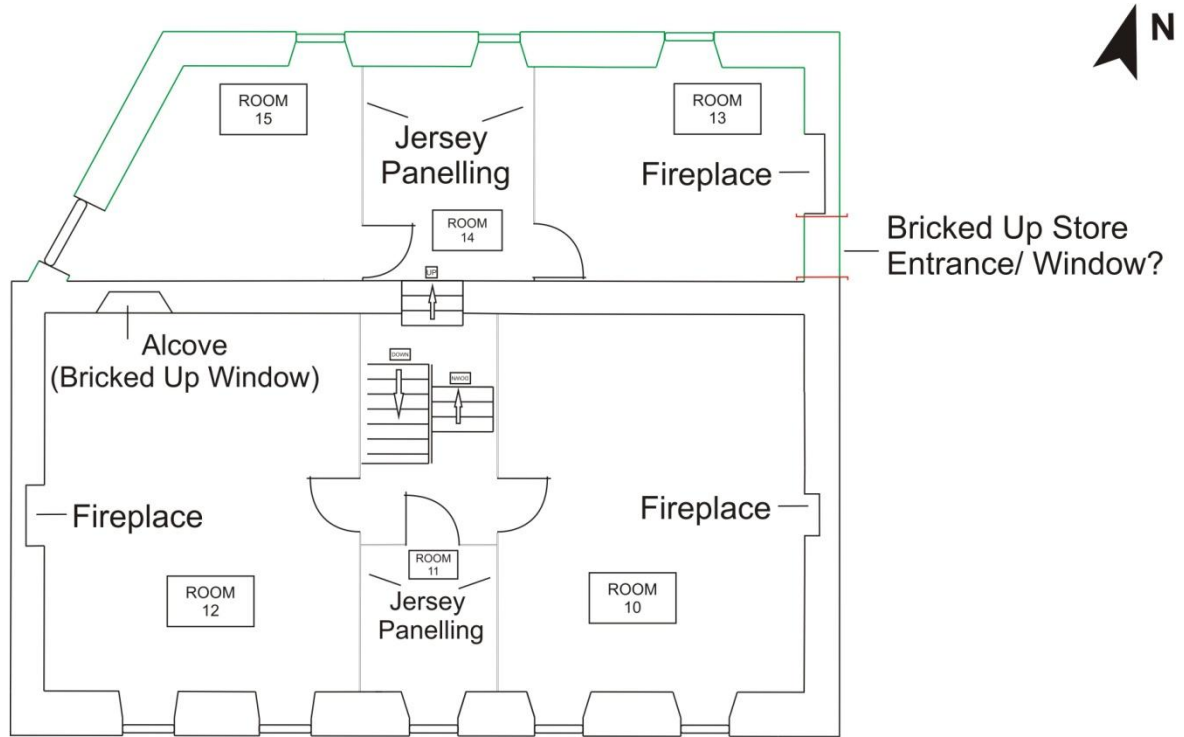


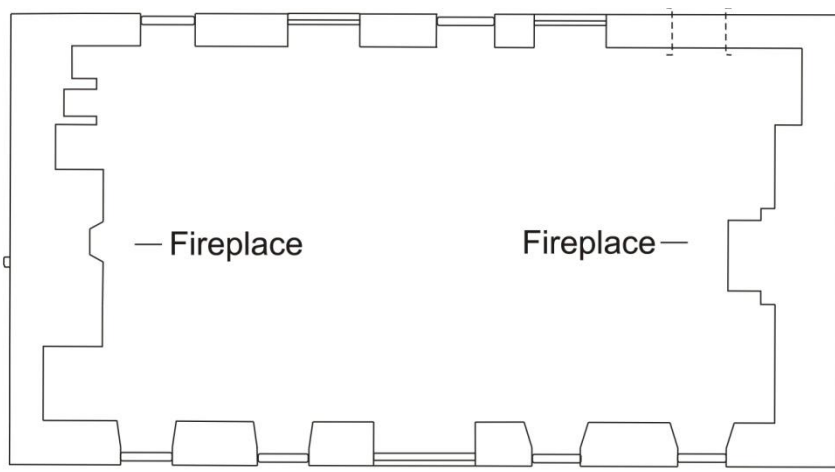
Figure 3. Overdale, Upper Storey Plan-Latest Phase (Extension Shown in Green)
Scale 1:100



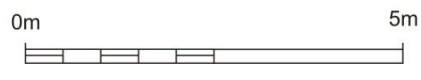
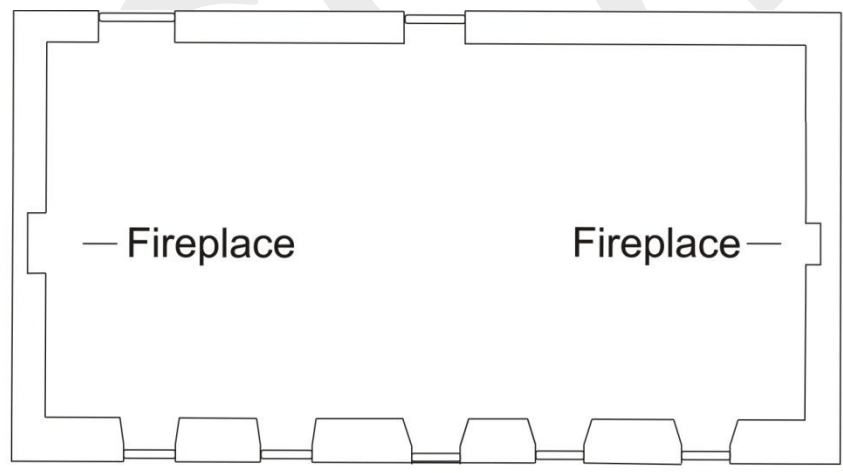
0m 5m



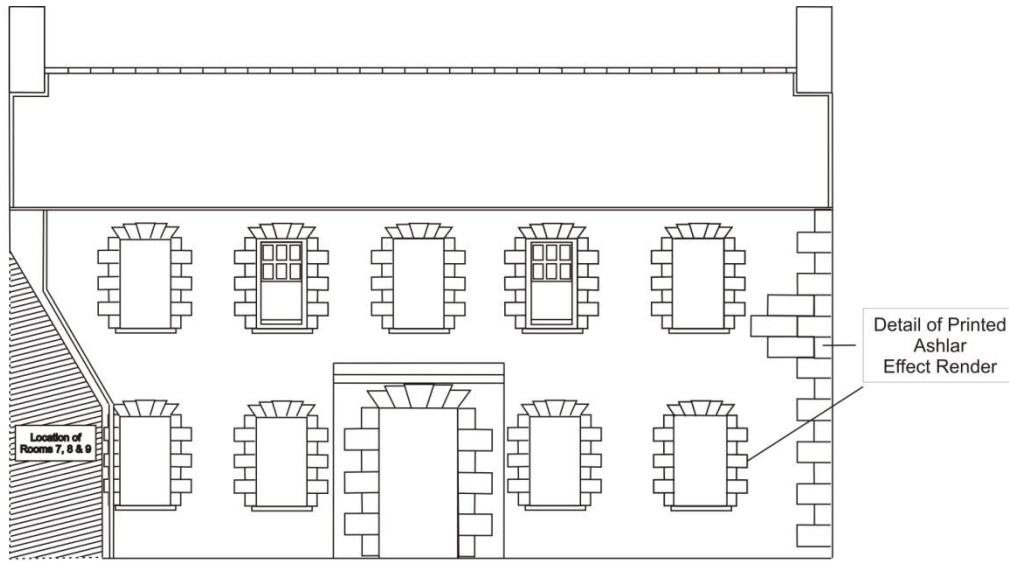
**Figure 4. Overdale, Ground Floor Plan-Early Phase
Scale 1:100**



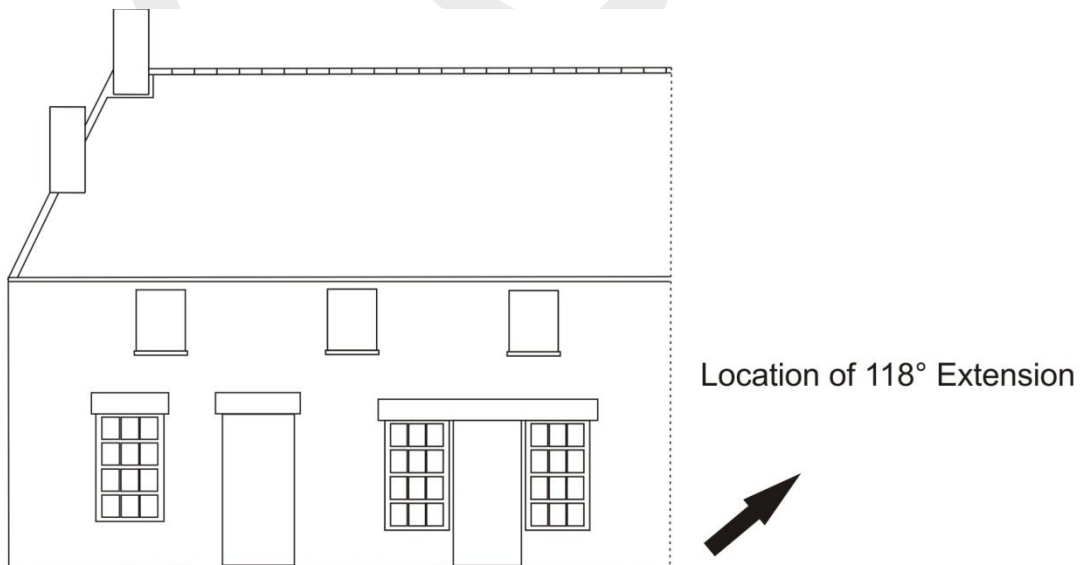
**Figure 5. Overdale, Upper Storey Plan
Scale 1:100**



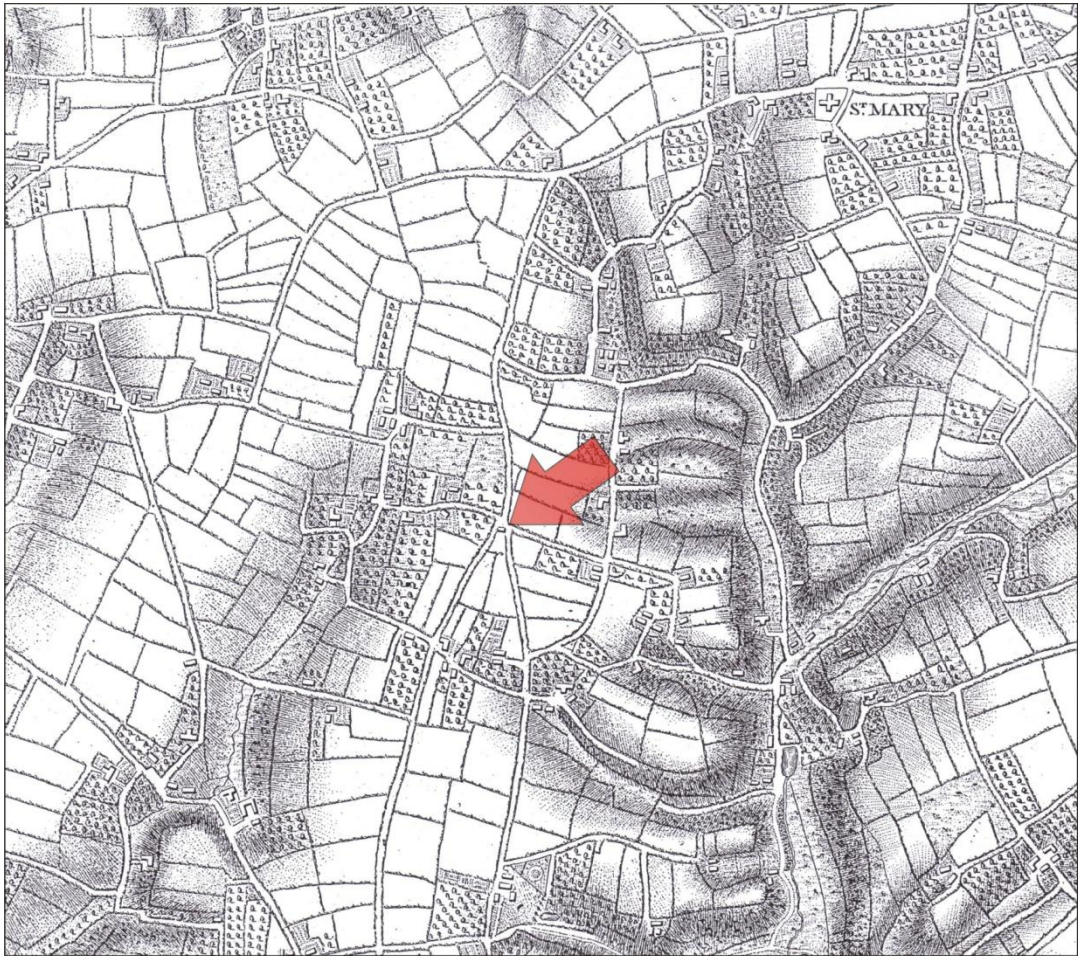
**Figure 6. Overdale, South Facing Elevation
Scale 1.100**



**Figure 7. Overdale, Partial North Facing Elevation
Scale 1:100**



**Figure 8. Duke of Richmond 1796 Map
Location of Site (Not To Scale)**



1796 Duke of Richmond Map
NOT TO SCALE: DETAIL ONLY

PLATES



Plate 1. North facing facade, Overdale, Le Carrefour a Cendre.



Plate 2. South facing elevation, Overdale, Le Carrefour a Cendre.

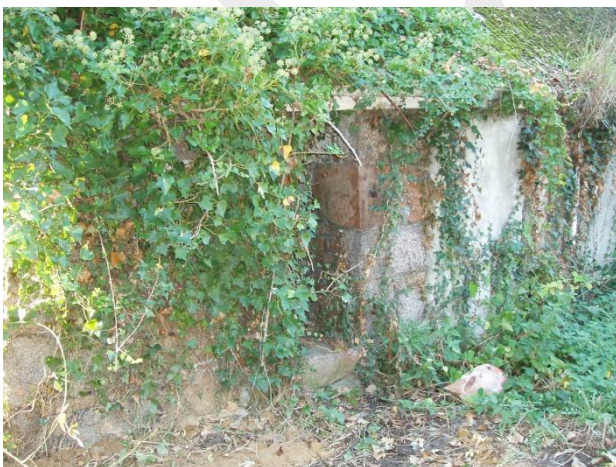


Plate 3. East facing wall of outbuilding 'b'.



Plate 4. West facing outer wall of outbuilding 'c'.



Plate 5. East facing wall of outbuilding 'd'.
(Scales: Vertical 1m. Horizontal 1m)



Plate 6. Recessed sash window, Room 1.
(2m Scale).



Plate 7. Recessed sash window with deep sill/seat, Room 3 (2m Scale)



Plate 8. Bricked up window, rear wall of Room 3 (2m Scale)

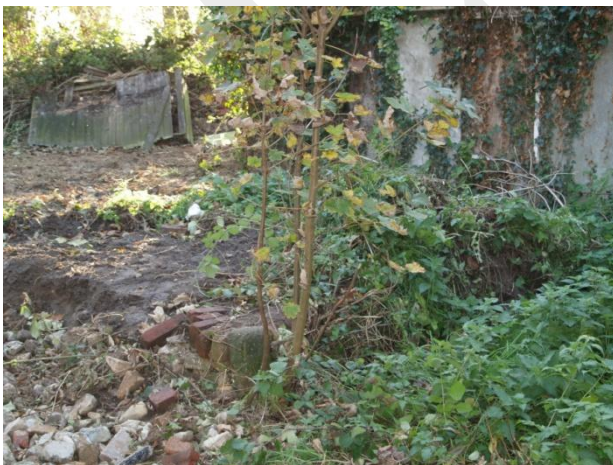


Plate 9. Pitched brick base 'f'.



Plate 10. Jersey Panelling, Room 1(2m Scale).



Plate 11. Central Beam. Room 1.



Plate 12. Floor boards and joists, Room 1.
(2m Scale)



Plate 13. Reclaimed boards, Room 7.

COPY