

# BANCROFT HERITAGE SERVICES

**HISTORIC BUILDING RECORDING:  
6 THE WHARF  
GREAT LINFORD  
MILTON KEYNES  
MK14 5AS**

NGR: SP 8549 4255

*on behalf of James Beechey*



AUGUST 2018

Ref: BHS/0078/GLW/1



## Site Data

<i>Project no / code:</i>	0078 / GLW		
<i>Project name:</i>	6 The Wharf, Great Linford, Milton Keynes MK14 5AS		
<i>OASIS ref:</i>	323559	<i>Event no:</i>	EMK 1360
<i>County:</i>	Buckinghamshire (historic county)		
<i>Village/Town:</i>	Great Linford		
<i>Civil Parish:</i>	Great Linford CP		
<i>NGR (to 8 figs):</i>	SP 8549 4255		
<i>Present use:</i>	House & garden		
<i>Planning proposal:</i>	Single Storey Side extension and Two Storey Rear Extension, Demolition of Existing Garage and Creation of New Vehicular Access		
<i>Local Planning Authority:</i>	Milton Keynes Council		
<i>Planning application ref:</i>	17/02617/FUL		
<i>Date of survey:</i>	12 July 2018		
<i>Client:</i>	James Beechey 6 The Wharf Great Linford Milton Keynes MK14 5AS		
<i>Contact name:</i>	James Beechey		

*Cover:* Cottage and outbuilding from south-west

Prepared by Bob Zeepvat BA FSA MCI fA

Bancroft Heritage Services  
61 Culbertson Lane, Blue Bridge, Milton Keynes MK13 0LL  
Tel: 07757 742877  
Email: bob@bancroftheritage.com  
Web: www.bancroftheritage.com

No part of this document is to be copied in any way without prior written consent.

Every effort is made to provide detailed and accurate information. However, the author cannot be held responsible for errors or inaccuracies within this report.

© Ordnance Survey maps reproduced with the sanction of the Controller of Her Majesty's Stationery Office.  
Bancroft Heritage Services, Licence No. 100055381

## CONTENTS

Summary .....	4
1. Introduction .....	4
2. Aims & Methods.....	7
3. Historical Background .....	8
4. Description .....	15
5. Conclusions .....	30
6. References.....	31
7. Archive .....	32

### Illustrations:

1. General location .....	3
2. Site location.....	5
3. Proposed development, ground floor plan .....	6
4. Linford Wharf: the warehouse and basin, c1910 .....	12
5. Linford Wharf in 1841, based on the Tithe map, ref. IR30/3/74.....	12
6. Extract from the Ordnance Survey First Edition 25" sheet, 1881 .....	13
7. Extract from the Ordnance Survey Second Edition 25" sheet, 1900.....	13
8. Extract from the Ordnance Survey Third Edition 25" sheet, 1925 .....	14
9. Extract from the Ordnance Survey 1:2500 sheet, 1970 .....	14
10. House, north and south elevations .....	18
11. House, east and west elevations.....	19
12. House and outbuilding, floor plans .....	20
13. Cottage, north elevation from north.....	21
14. Cottage, south elevation from south .....	21
15. Cottage, east elevation from east .....	22
16. Cottage, west elevation from west .....	22
17. Cottage, G1 hall looking north .....	23
18. Cottage, G1 hall looking west.....	23
19. Cottage, G2 living room looking south-east.....	23
20. Cottage, G2 living room looking north .....	24
21. Cottage, G3 kitchen looking south-east .....	24
22. Cottage, G3 kitchen looking south-west .....	24
23. Cottage, F1 landing looking west .....	25
24. Cottage, F1 landing looking east .....	25
25. Cottage, F1 landing and 'front' door, looking north.....	25
26. Cottage, F3 dressing room, looking east .....	25
27. Cottage, F2 bedroom, looking north-west .....	26
28. Cottage, F2 bedroom, looking east .....	26
29. Cottage, F4 bedroom, looking east .....	27
30. Outbuilding, north elevation from north .....	27
31. Outbuilding, east elevation from north-east.....	28
32. Outbuilding, south elevation from south .....	28
33. Outbuilding, west elevation from west.....	29
34. Outbuilding, OB1 looking south .....	29
35. Outbuilding, OB2 'garage' looking west.....	29
36. Photo locations.....	36

### Appendices:

1. Method Statement .....	33
2. List of Photographs.....	35
3. OASIS Record Sheet.....	37



Figure 1: General location (scale 1:25,000)

## Summary

*In July 2018 a programme of historic building recording was undertaken at 6 The Wharf, Great Linford, in advance of extensions to the existing cottage. The cottage, along with an adjoining outbuilding, was constructed in c.1816/17 by the Newport Pagnell Canal Company alongside the entrance lock to the canal – a branch off the Grand Junction Canal at Linford Wharf - to house their toll collector, who also acted as lock keeper. Following the closure of the Newport canal in 1864, the entrance lock was filled in, becoming part of the cottage garden, and the property was sold by auction in 1867, being purchased by Revd Uthwatt of Maid's Moreton, a relative of the family who then owned Linford Manor. Until at least the start of WW1, the cottage was let to a succession of tenants, either local agricultural workers or tradesmen working in Wolverton or Newport Pagnell.*

*The two-storey cottage is constructed of brick, beneath a slated roof, with chimney stacks at each end. Set into the side of the entrance lock to the canal, only the upper floor is visible to the north, with its central 'front' entrance. To the south, both storeys are visible, with a central ground-floor entrance. Apart from a flat-roofed, single-storey brick extension added to its west end, probably in the 1960s, the cottage largely retains its original external appearance, though windows have been replaced with modern UPVC casements and the original living room window has been opened out and replaced with a rectangular UPVC bay window, beneath a flat roof. Internally, the cottage retains its three original fireplaces, quarry tiled floors and many other features. The interior layout also appears largely unchanged, though how the cottage fulfilled its original function as a point of collection for canal tolls remains uncertain.*

*To the south of the cottage, the present single-storey outbuilding is constructed of brick, beneath a hipped gable slated roof with a single chimney stack. It was probably built at the end of the 19<sup>th</sup> century, replacing a larger structure on a different alignment, probably contemporary with the cottage. Internally, the outbuilding comprises two rooms, a workshop and a store. Apart from some recent internal decoration it appears largely unaltered. Its function remains uncertain.*

## 1 Introduction

1.1 In July 2018 *Bancroft Heritage Services* (BHS) carried out historic building recording of 6 The Wharf, Great Linford, Milton Keynes MK14 5AS. The project was commissioned by the owner, James Beechey, and was carried out under the terms of the *National Planning Policy Framework* (NPPF), as a condition of planning permission for development involving buildings on the site. The recording was carried out according to a method statement (Appendix 1), approved by the *MKC Senior Archaeological Officer*, archaeological advisor (AA) to the local planning authority (LPA), *Milton Keynes Council*. The relevant planning application reference is 17/02617/FUL.

### 1.2 *The Author*

**Bob Zeepvat** BA FSA MCIFA is an established archaeologist with extensive experience in managing archaeological projects; preparing initial assessments and carrying out a wide range of fieldwork for sites in both rural and urban environments; undertaking post-excavation, publication and presentation projects, and also survey and interpretation of a wide range of historic buildings and structures. He holds a first degree from the University of Leicester, and has been a validated Member of the Chartered Institute for Archaeologists since 1986. Bob has been involved in the management of archaeological projects since the late 1970s, notably as Senior Field Archaeologist for the *Milton Keynes Archaeology Unit* (1986-94), as Project Manager for *Hertfordshire Archaeological Trust* (1994-97), and as Manager and Historic Buildings Consultant for *Archaeological Services & Consultancy Ltd* (1998-2014).

### 1.3 **The Site**

#### 1.3.1 *Location & Description*

6 The Wharf is located in the civil parish of Great Linford, in the unitary authority area of Milton Keynes, centred on NGR SP 8549 4255 (Fig. 1). The property lies outside the historic centre of Great Linford village, to the north of the Grand Union Canal, east of Marsh Drive and south of the former LNWR Newport Pagnell branch line, now the 'Railway Walk', part of the new city's network of cycle routes.

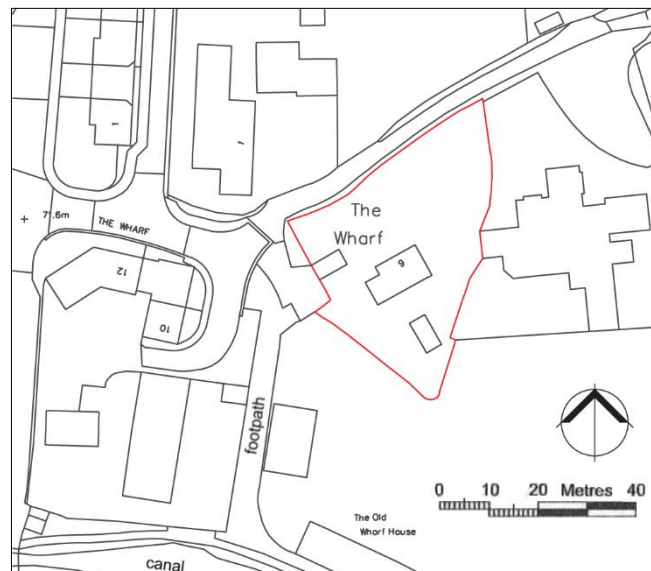
6 The Wharf occupies a triangular plot, bordered to the north by a narrow lane leading to the large modern property to the east, while to the south are the gardens of the *Old Wharf House*, a Grade II-listed former canal inn. The plot contains three structures; a small two-storey house just south of centre, an outbuilding to the south of that and a modern sectional concrete garage to the east, adjacent to the present road access (Fig. 2). The house and outbuilding, which are not listed, form the subject of this study.

#### 1.3.2 *Topography & Geology*

The site occupies a slight south-facing slope, at an elevation of c.70m AOD. Soils in the area belong to the Hanslope association (Soil Survey 1983, 411d), described as 'slowly permeable calcareous clayey soils. Some slowly permeable non-calcareous clayey soils. Slight risk of water erosion'. The underlying geology comprises Blisworth limestone and clay.

#### 1.3.3 *Proposed Development*

The proposed development will comprise construction of single-storey side and two-storey rear extensions, demolition of the existing garage and creation of new vehicular access (Fig. 3).



**Figure 2:** Site location (scale 1:1250)

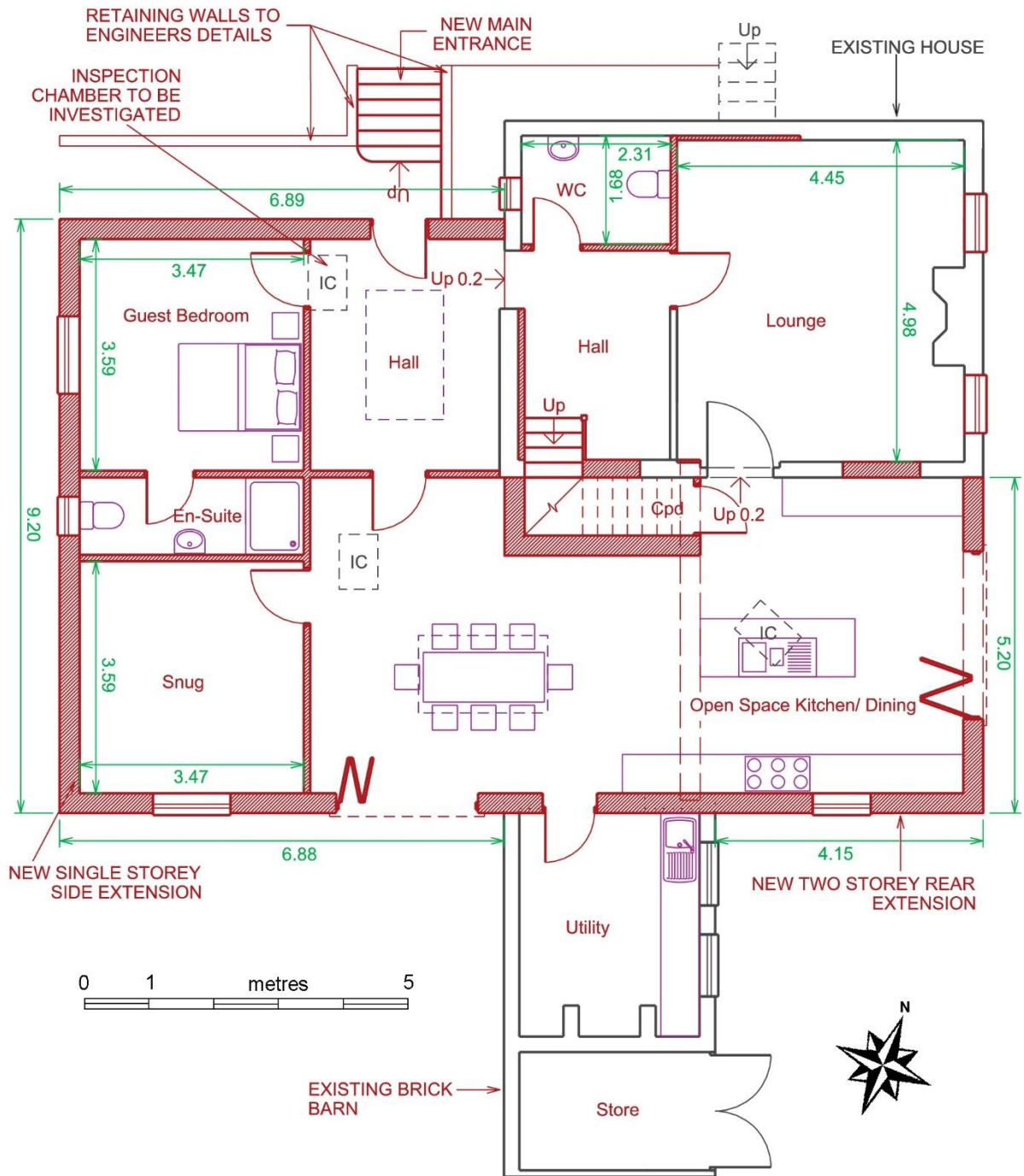


Figure 3: Proposed development, ground floor plan (scale 1:100)

## **2 Aims & Methods**

### **2.1 Aims**

As described in the method statement, the aims of the building recording were:

- To compile a detailed record of the structures concerned, prior to refurbishment, conversion or demolition;
- To ascertain the structural history and development of the buildings, within their local context.

### **2.2 Standards**

The work conforms to the method statement, to the Chartered Institute for Archaeologists' *Code of Conduct* (CIfA 2014a), relevant CIfA *Standard & Guidance Notes* (CIfA 2014b-d) and to current Historic England guidelines (HE 2006, 2015).

### **2.3 Methods**

The work was carried out according to the method statement, which described:

- A programme of historic building recording to Historic England Level 2 (HE 2006).

### **2.4 Constraints**

No constraints were encountered during the survey.



## 3 Historical Background

### 3.1 Introduction

The following section provides a summary of the readily available historical background to the site and its environs. This section has been compiled with information from the Local Studies Library, Central Milton Keynes, a range of published secondary sources (listed in Section 7) and the internet.

### 3.2 Medieval (1066-c1500)

The earliest archaeological date for the village of Great Linford suggests that the settlement was established in the late Saxon period (Croft & Mynard 1993, 93). The name *Linford* means 'lime tree ford', presumably indicating a crossing of the river Great Ouse, which forms the northern boundary of the parish and separates Great Linford from the adjoining parish of Little Linford.

The present village plan, which had developed by the late 12<sup>th</sup> century, comprises a single street (the High Street) with greens at each end. The southern green, which survives in a slightly reduced form, was encompassed by village development by the 14<sup>th</sup> century. Much of this area was excavated during the 1970s by the former Milton Keynes Archaeology Unit (Mynard & Zeevat 1992). At the other end of the village the green was originally surrounded by dwellings and outbuildings, with the manor house and church to the west and north-west respectively. To the east of the High Street and parallel to it ran a back lane, along which were further village crofts, most of which were excavated (*ibid.*) and have since been redeveloped.

### 3.3 Post-Medieval (c1500-1900)

By the mid-17<sup>th</sup> century much of the land surrounding the village had been enclosed, and areas of existing housing to the south and east of the village were cleared. In the late 17<sup>th</sup> century the area round the north green was cleared and landscaped to become the park for a new manor house, constructed on the east side of the former green by Sir William Pritchard in 1688-89 (Woodfield 1986, 49). Pritchard was also responsible for the construction of the almshouses and schoolhouse on the north side of the former green, adjacent to the church (*ibid.*, 51).

The Grand Junction Canal, constructed in the late 18<sup>th</sup> century and opened in 1800, passed to the north and east of the village, cutting through the grounds of the manor. At the point where it crossed the road linking the village with the main road from Stony Stratford to Newport Pagnell a basin and wharf were established to the north of the canal, the entrance to the basin being spanned by a hump-backed towpath bridge. The earliest buildings here are believed to have been a warehouse, built alongside the basin (Fig. 4) and a public house, the *Wharf Inn*, alongside the Grand Junction, east of the wharf.

The Grand Junction Company explored the possibility of a branch canal from Great Linford to Newport Pagnell, but decided against it. However, local interest in a link to Newport was strong, and in 1814 the Newport Pagnell Canal Company was formed. The canal surveyor was Benjamin Bevan, who had been involved with the construction of the Grand Junction. In 1817 the branch canal, c.2km in length, was opened, falling by seven locks to a wharf on The Green in Newport Pagnell, the site of the present fire station. Commencing with an entrance lock at the north end of the basin at Linford Wharf, the canal ran eastwards for c.200m, swung to the north for about 100m then turned north-eastwards, continuing on that general alignment to Newport Pagnell.

The cottage which forms the subject of this study was constructed alongside the entrance lock to the east of the basin, to house a lock-keeper who was responsible for managing the operation of the wharf and collecting tolls. The wharf became the focus of a small community. Late 19<sup>th</sup> and early 20<sup>th</sup>-century maps (Figs 5-8) show the development of a large house (*Wharf House*) and outbuildings to the north of the wharf, a row of cottages north of the lock and another house and outbuildings to the west of the wharf.

The first Census of 1841 identifies the occupant of the lock cottage at that time as Henry Martyr (Faulkner [1993] names him incorrectly as 'Martyn'), with his wife and baby: his occupation is listed as 'carpenter'. Henry Martyr was born in Chertsey (Surrey) in 1813 and had married his wife, Elizabeth Yeomans, in 1838 at Hawley (Hants). They must have moved to Great Linford soon after as their first child, also Henry, was born in 1840 in Great Linford. By 1851 Henry Martyr is identified as 'lockkeeper [sic] and toll clerk', and had two more sons, Alfred (b.1843) and John (b.1851). In 1861 Martyr is described as 'lock carpenter' and has two more children: Elizabeth (b.1853) and Ann (b.1857).

A flavour of the life of the inhabitants at Linford Wharf is provided by two contemporary local newspaper reports, both concerning Henry Martyr:

*On 18 Jan 1854 at Newport Pagnell Petty Sessions, James Conquest of Great Linford was convicted of an assault on Henry Martyr on the 16th inst. Penalty & costs £1 3s or one month's imprisonment. Allowed time.*

*Bucks Herald, 28 March 1857: Unfounded Charge. Henry Martyr of Great Linford was brought up on the application of Sarah Hackett, requiring him to find sureties to keep the peace. The complainant's information was read, in which she stated that the defendant threatened to murder her with a fork, and that she was afraid he would do her some serious injury. Mr Bull appeared for the defendant, and called witnesses to speak to the transaction giving rise to the application, who disproved the allegations of the complainant, and the application was dismissed.*

The Newport Pagnell Canal was moderately successful, paying regular dividends to its proprietors for most of its existence, though like many similar enterprises it failed to produce the large profits promised by its promoters. In late 1845, proposals were made for a railway line from Wolverton to join the Bletchley-Bedford line at Ridgmont, using part of the canal route. The canal company offered to sell, but the scheme was withdrawn following opposition from the Grand Junction Company.

Though unsuccessful, this proposal was a hint of things to come. In 1862 a railway was again proposed from Wolverton to Newport Pagnell, using part of the canal route, with a possible extension to Olney and Wellingborough. Despite initial opposition from the Grand Junction and others this scheme was successful, receiving its Act in June 1863.

The canal closed on 8 September 1864 and the railway took over the section from Lock 3 to the basin at Newport Pagnell, paying the canal company £9000 for it. With the opening of the railway, the canal company no longer required the wharf and associated buildings at Linford. These were sold by auction at the Swan Hotel, Newport Pagnell, on 28<sup>th</sup> August 1867. There were seven lots, including the wharf, basin and warehouse, the inn, the lock cottage and garden and other adjoining plots of land.

All seven lots were purchased by Revd Uthwatt of Maids Moreton for £1400: a deposit of £140 was paid at the sale. A boundary dispute between Revd Uthwatt and the railway company arose subsequently regarding the wharf: this was eventually settled in Chancery in November 1868, at which time the sale was completed. The Revd Uthwatt was related to the Uthwatt family who owned the manor of Great Linford at that time.

With the closure of the canal, Henry Martyr's employment by the canal company ceased. He was awarded a £10 gratuity by the canal company for his service of over twenty-five years (Faulkner 1993, 190): unfortunately he and his family had to vacate the lock cottage and seek employment elsewhere. His service at Great Linford evidently stood him in good stead, as he subsequently became overseer for the Grand Junction canal at Grove, near Leighton Buzzard (Harrod's Directory, 1876). Henry Martyr died in May 1889, aged 76.

Following the closure of the Newport canal and the purchase of the former canal buildings at Linford by the Revd Uthwatt, the former lock cottage appears to have been let to a succession of tenants. Putting names to these tenants has proved extremely difficult: apart from the *Wharf Inn*, there is no consistency in naming the various properties at Linford Wharf in censuses between 1871 and 1911. Also, the census enumerators do not seem to have followed consistent routes around the village, thereby preventing identification of households by their relative location on the lists.

### 3.4 **Modern** (1900 – present)

Although the branch canal to Newport Pagnell had closed, it appears that the basin remained in use for some time after. A photograph, variously dated 1880 or 1910 (Fig. 4) shows Thomas Clayton's wide boat *Chess* moored in the basin, apparently waiting to load a cargo of crude tar from the Newport Pagnell gasworks (Faulkner 1993, 191). Above the basin on the east side of the warehouse is a distinctive projecting timber-framed canopy, apparently slate-clad, with a raised central section over a loading bay probably open to eaves-height. It is evident that not much trade was passing through the warehouse at the time: the boatman's wife has her washing on a line across the warehouse entrance. The towpath bridge spanning the entrance to the basin appears on other contemporary photographs. It is uncertain when the basin was filled in and the bridge removed. The inn appears to have ceased to trade in the mid-1930s, becoming a private house.

By the 1950s the wharf and warehouse was occupied by W.J. Cooper & Co. of Newport Pagnell, who used the site for the manufacture and repair of agricultural equipment. This establishment subsequently expanded to the area north of the wharf, where the *Wharf House* and its outbuildings were demolished and a large concrete-framed, open-fronted shed was constructed. Cooper's vacated the wharf site in the 1990s: the warehouse was subsequently refurbished and converted for residential use, following a watching brief and historic building recording (Abrams & Zeepvat 2004). The northern part of Cooper's premises was cleared and redeveloped for housing a year earlier: it was also subject to an archaeological watching brief, which proved negative (Wilson 2003). The present owners of the lock cottage purchased the property in November 2015.

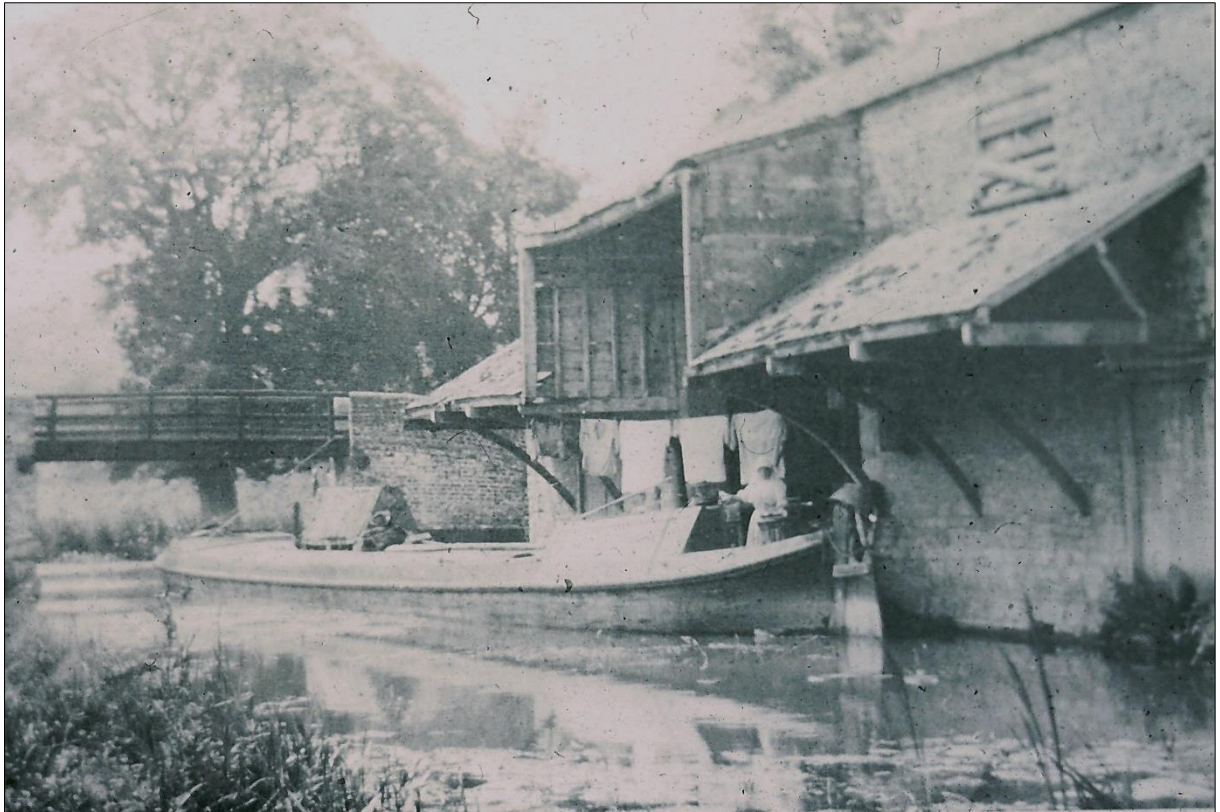
### 3.5 **Cartographic Evidence**

The earliest extant map showing Linford Wharf in detail is the Great Linford tithe map of 1841 (National Archives, ref. IR30/3/74). The information from this is reconstructed in Fig. 5. The wharf and basin are shown on the north side of the Grand Junction, with the towpath bridge over the basin entrance and a 'winding hole' (turning area for boats) opposite to allow boats to manoeuvre in and out of the basin. At the north end of the basin, the Newport Pagnell Canal exits to the north-east, with its entrance lock located alongside the lock cottage. A path running along the east side of the basin and between the lock and cottage links the towpath to Newport Pagnell, on the north side of that canal, to the towpath of the Grand Junction. Only the core footprint of the lock cottage is shown: the outbuilding to the rear is not the present structure, being larger and on a different alignment.

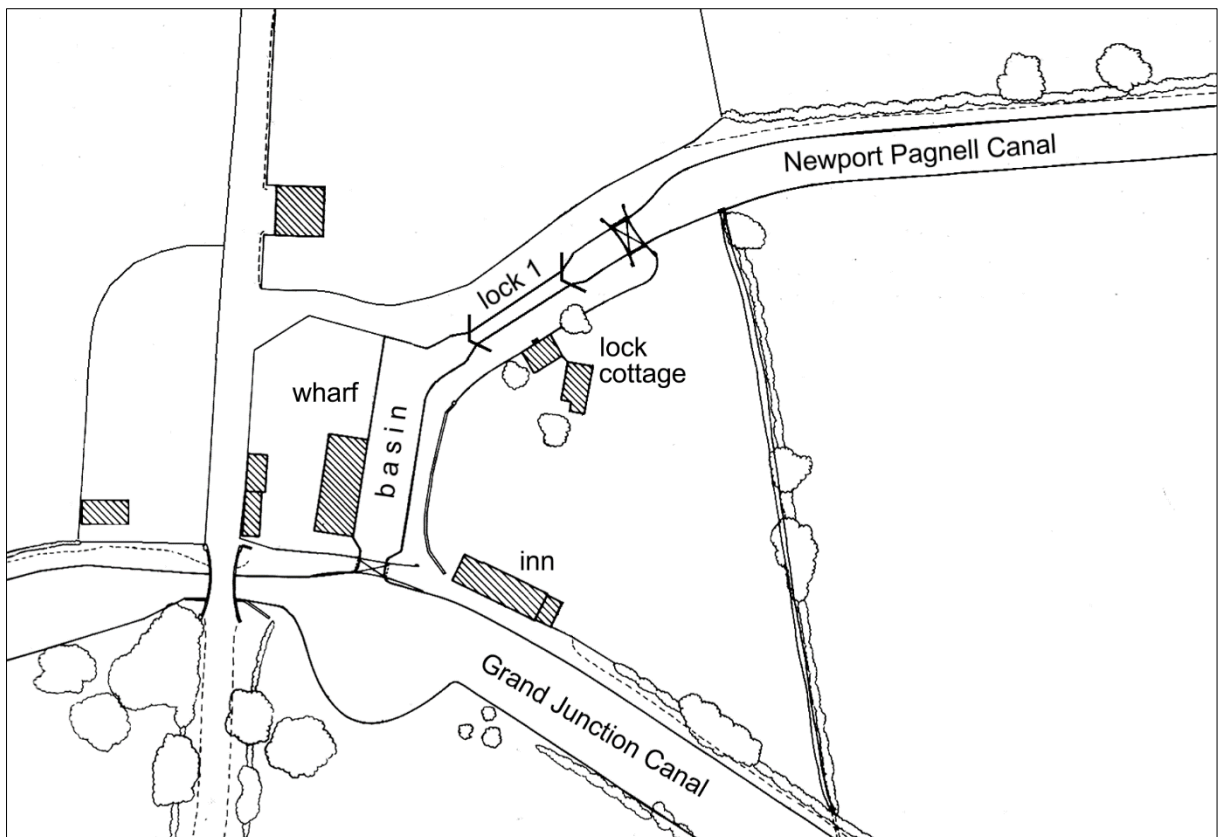
By the publication of the Ordnance Survey First Edition 25" sheets in the late 19<sup>th</sup> century the Newport Pagnell Canal had been closed for nearly twenty years and its line partly taken by the Newport Pagnell branch railway. The sheet for Linford Wharf (Buckinghamshire X.5), issued in 1881 (Fig. 6), shows the single-track railway in a cutting to the north of the wharf. The basin and warehouse remain: these were still in use, though by a private tenant. To the north of the lock cottage the entrance lock to the branch canal has been infilled and its site incorporated into the cottage garden, which now has a defined boundary separating it from the inn. East of the wharf, the truncated branch canal remains in water, presumably because there was no incentive or urgency to infill it.

The Second Edition Ordnance Survey sheet of 1900 (Fig. 7) shows further changes to the site and surrounding areas. On the site, the large outbuilding to the rear of the lock cottage has been demolished and replaced by the present smaller structure. The area to the east of the cottage and inn has been separated from the curtilage of the inn, to which it originally belonged, and is labelled 'allotments'. A similar picture is presented by the Third Edition Ordnance Survey sheet for 1925 (Fig. 8).

By 1970 (Fig. 9) the canal basin has been infilled and covered by a single-storey industrial building. The site of the wharf, along with the adjoining plot to the north, is now occupied by Coopers' works. The inn is now a private house. The lock cottage has been extended to the west, though the garage on the western boundary of the garden has not yet been built.



**Figure 4:** Linford Wharf: the warehouse and basin, c1910 (*Faulkner 1993, 191*)



**Figure 5:** Linford Wharf in 1841, based on the Tithe map (*not to scale*)



Figure 6: Extract from the Ordnance Survey First Edition 25" sheet, 1881 (not to scale)

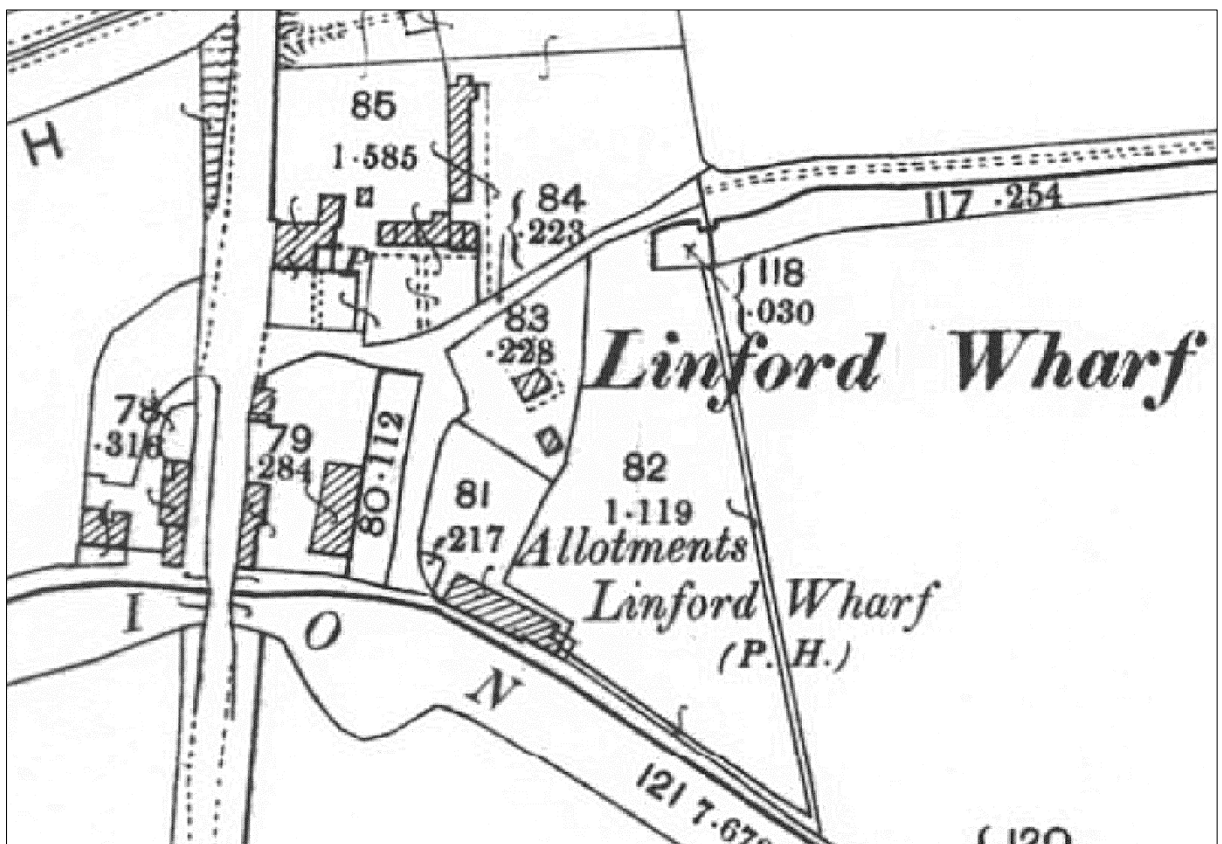


Figure 7: Extract from the Ordnance Survey Second Edition 25" sheet, 1900 (not to scale)

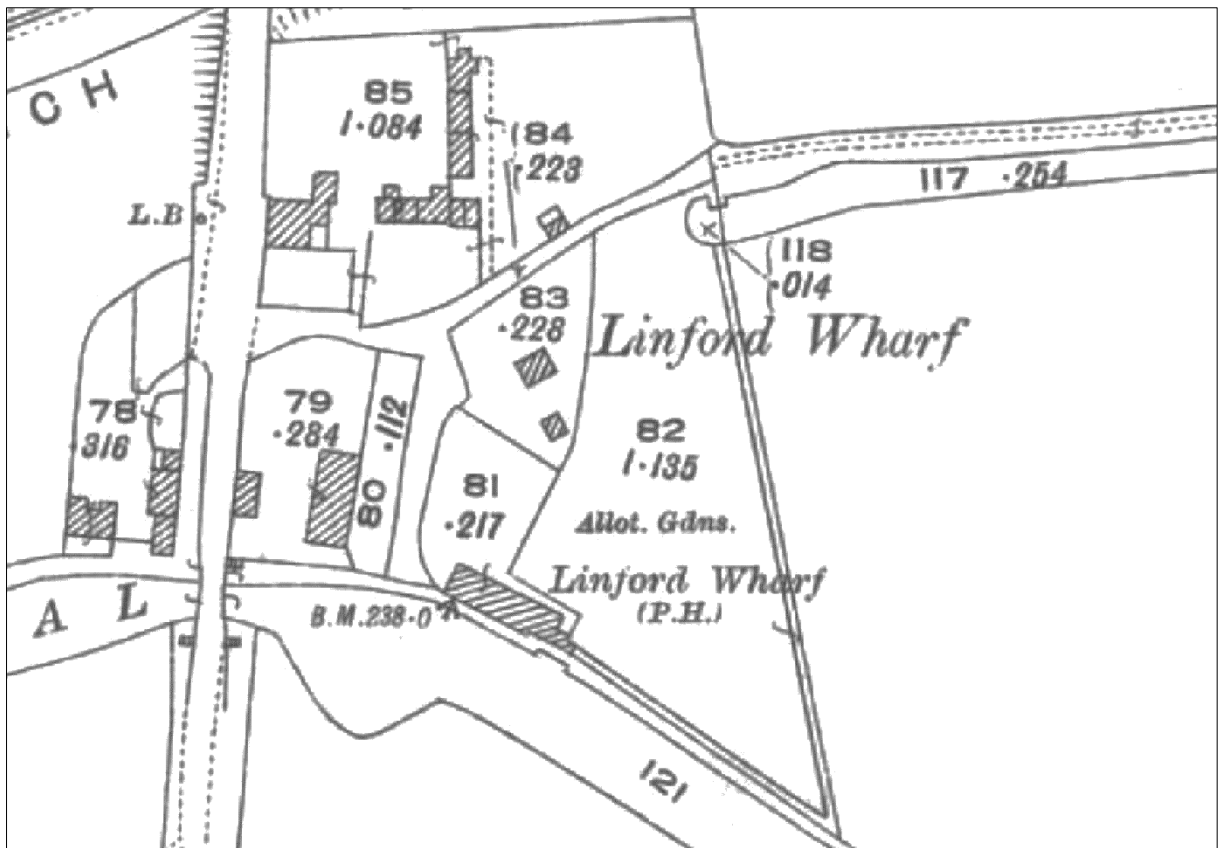


Figure 8: Extract from the Ordnance Survey Third Edition 25" sheet, 1925 (not to scale)

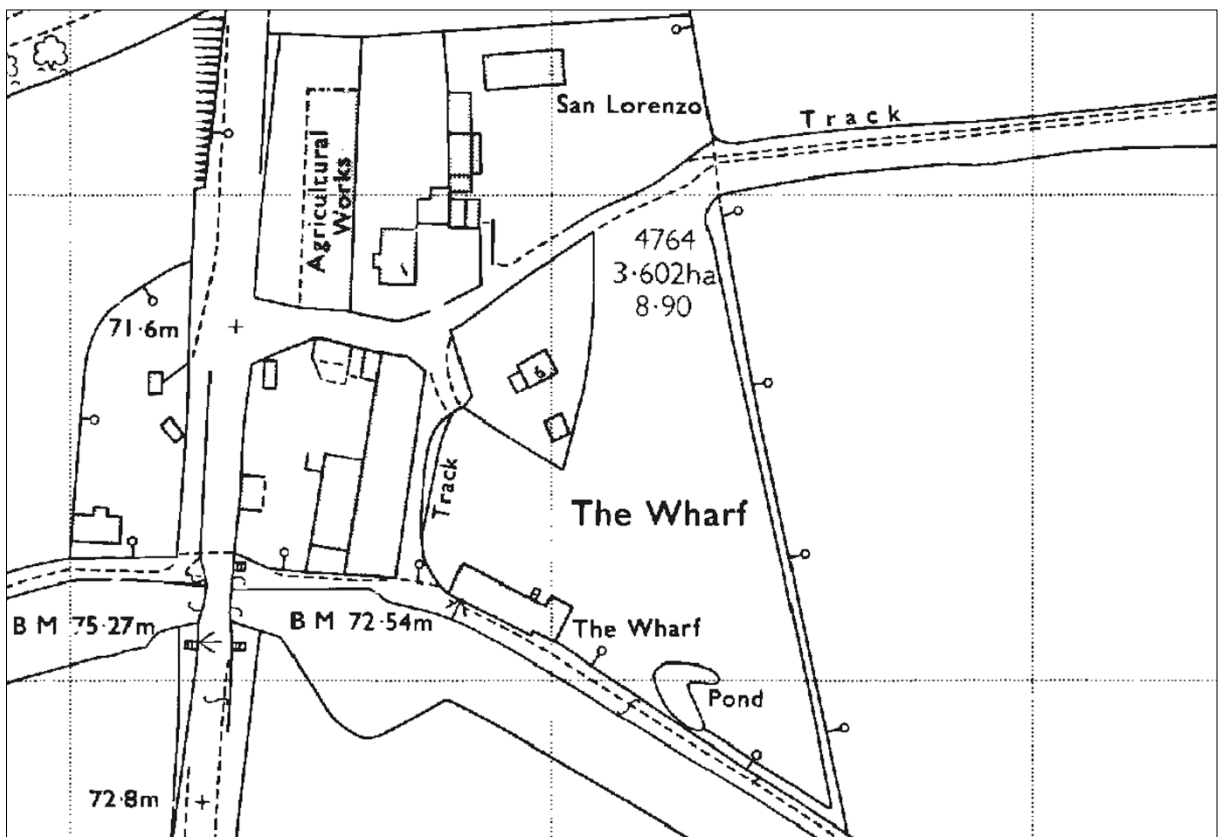


Figure 9: Extract from the Ordnance Survey 1:2500 sheet, 1970 (not to scale)

## 4 Description

### 4.1 *Exterior* (Figs 10 & 11, 13-16)

6 The Wharf is a small cottage, comprised of two elements. The historic core of the building is a two-storey structure with a footprint of 5.5 x 7.4m, rising to 4.7m to the eaves and 6.2m to the ridge. It is brick-built, using orange-red bricks 213 x 95 x 70mm (8 $\frac{3}{8}$ " x 3 $\frac{3}{4}$ " x 2 $\frac{3}{4}$ "), laid in Flemish bond with lime mortar. The roof is slated, with east and west-facing gables, each with a central brick chimney stack, both with a single pot remaining in situ. Added to the west end of the core structure is a flat-roofed, single-storey extension with a footprint of 2.70 x 3.95m and c.2.5m high. This extension is constructed with modern red-brown facing bricks, laid in stretcher bond with cement mortar.

The cottage is set into the bank which formed the south side of the branch canal entrance lock, hence only its upper storey is visible when viewed from the north (Fig. 13). On this elevation the only openings are a central door flanked by casement windows, set in openings with bonded arch lintels and stone sills. The windows are modern UPVC double-glazed casements. At first-floor level, a raised band of bricks, three bricks deep, is present on all four walls. The central 'front' door is about one metre above the adjacent ground level and is accessed by a flight of four concrete steps with a single timber handrail to the left. The extension is not visible from this side: its only external features are two small windows, both with modern UPVC units.

On its south side, the cottage is visible to its full height (Fig. 14). There is a wide, low central door at ground-floor level, flanked to the west by a modern UPVC casement set in an original opening beneath a segmental arched brick lintel and to the east by a modern, three-sided UPVC bay window, set on a plinth of modern bricks and having a flat roof. At first-floor level, set above the ground-floor windows, are two windows identical to those in the north elevation. The south face of the extension has a single, wide window opening, fitted with a modern UPVC casement unit.

The east elevation (Fig. 15) has a single, small UPVC casement window at ground-floor level, possibly a later insertion as there is no evidence of a segmental or bonded brick lintel. The west elevation (Fig. 16) has no openings: its lower part is obscured by the single-storey extension, which also has no openings in this direction.

### 4.2 *Ground Floor* (Fig. 12)

#### **Room G1** (Figs 17, 18)

*Size:* 1.6m wide: south and west arms each c.4m in length. Height c.2.1m

*Function:* Hall

*Description:* L-shaped area, providing access to all other ground-floor rooms and stairs to upper floor. Original quarry-tiled floor throughout. Painted brick walls, ceiling supported by substantial half-round north-south timber beams. Along the north side of G1 are three brick-built alcoves with brick-vaulted ceilings. Each alcove has shelving and a front door. Two doors are plank and batten, the third is two-panel. Wide opening to G2, normal-width opening to G3, opening (later insertion?) to single-storey extension. Steep stairs with simple timber handrail to upper floor in north-west corner.

#### **Room G2** (Figs 19, 20)

*Size:* 4.95 x 2.65m, height c.2.1m

*Function:* Living Room

*Description:* Occupies east end of ground floor. Solid floor, carpeted, with plastered walls and cornice. Plastered ceiling. On the east side is a chimney breast with a painted brick fire



surround with modern grate and small tiled hearth front, above which the chimney breast is clad with vertical match-boarding. Small window to north of chimney breast, modern bay window at south end of room. The lower part of the north wall is wider (possibly related to the need for increased structural strength on this side?), capped by a narrow shelf.

**Room G3** (Figs 21, 22)

*Size:* 2.85 × 2.20m, height c.2.1m

*Function:* Kitchen

*Description:* Laminate wooden floor, painted brick walls, beams supporting ceiling as described for G1. The upper part of the west wall is corbelled out to support the fireplace in F2 above. Modern casement window to south: modern kitchen fixtures and fittings.

Rooms G4 and G5 are located within the 1960s extension and were not photographed, as both have modern fixtures, fittings and finishes throughout.

**Room G4**

*Size:* 2.35 × 0.85m, height c.2.2m

*Function:* WC

*Description:* Tiled floor, plastered walls and ceiling. Modern WC.

**Room G5**

*Size:* 2.35 × 2.40m, height c.2.2m

*Function:* Bathroom

*Description:* Tiled floor, plastered and tiled walls, plastered ceiling. Modern shower unit, boiler cupboard.

4.3 **First Floor** (Fig. 12)

**Room F1** (Figs 23-25)

*Size:* 4.0 × 1.3m, height 2.25m

*Function:* Landing & lobby

*Description:* Brick floor. Walls and ceiling plastered. The wall between F1 and F2 is notably the only brick wall on the upper floor: others are all studding walls. The lobby at the east end of F1 provides access to F2 and F4, and to the first-floor 'front' door on the north side of the cottage. At the west end of F1, a steep dog-leg stair with a plain timber handrail leads to the ground floor. F1 has one north-facing window. Internal doors are typical 19<sup>th</sup>-century 4-panel type, with inset locks.

**Room F2** (Figs 27, 28)

*Size:* 4.0 × 3.5m, height 2.25m

*Function:* Bedroom

*Description:* Brick floor. Walls and ceiling plastered. Plain skirting boards and architraves. On the south side is a window: in the south-east corner, a doorway to F3. On the west side of the room is a broad chimney breast: the fireplace has a plain surround and a wide, cast-iron surround and grate with Rococo detailing, probably c1820-40 (Galloway 2005, 190.6).

**Room F3** (Fig. 26)

*Size:* 2.75 × 2.75m, height 2.25m

*Function:* Dressing Room

*Description:* Floor carpeted: walls and ceiling plastered. Plain skirting boards and architraves. On the south side is a window: in the south-west corner, a doorway to F2. On the east side of the room is a broad chimney breast: the fireplace has been blocked up.

**Room F4** (Fig. 29)  
*Size:* 2.75 × 2.10m, height 2.25m  
*Function:* Bedroom  
*Description:* Floor carpeted: walls and ceiling plastered. Plain skirting boards and architraves. On the north side is a window: in the north-west corner, a doorway to F1.

#### 4.4 **Outbuilding** (Fig. 12)

##### **Exterior** (Figs 30-33)

The outbuilding is approximately 5m south of the house, its west wall in line with the original west wall of the house. It has a footprint measuring 5.95 x 3.30m: it stands 2.25m to the eaves and c.3.05m to the ridge of its hipped, slated roof, above which rises a single, central brick chimney stack. The building's walls are constructed of similar brick to the core of the cottage, laid in Flemish bond.

The outbuilding has two rooms, each with its own external entrance. Access to the northern room, OB1, is gained by a doorway beneath a bonded brick arch in the north wall, fitted with a plank-and-batten door (Fig. 30). This room has two east-facing 6-light timber casement windows beneath segmental brick lintels, with brick sills. At the south end of the east elevation, two-leaf timber doors with rectangular glazed lights above provide access to the southern room, OB2 (Fig. 31). The south and west walls (Figs 32 & 33) have no openings or other detail.

##### **Room OB1** (Fig. 34)

*Size:* 3.50 × 2.75m, height c.3.0m

*Function:* Storage

*Description:* Solid floor, painted brick walls, sloping ceilings. Apart from the door and windows described above, the only feature of note in this room is the brick chimney stack with open fireplace and mantel shelf at the south end of the room. The presence of a fireplace and the abundant natural light provided by the two east-facing windows suggests that this room was originally intended as some sort of workshop.

##### **Room OB2** (Fig 35)

*Size:* 1.80 × 2.75m, height c.3.0m

*Function:* Storage

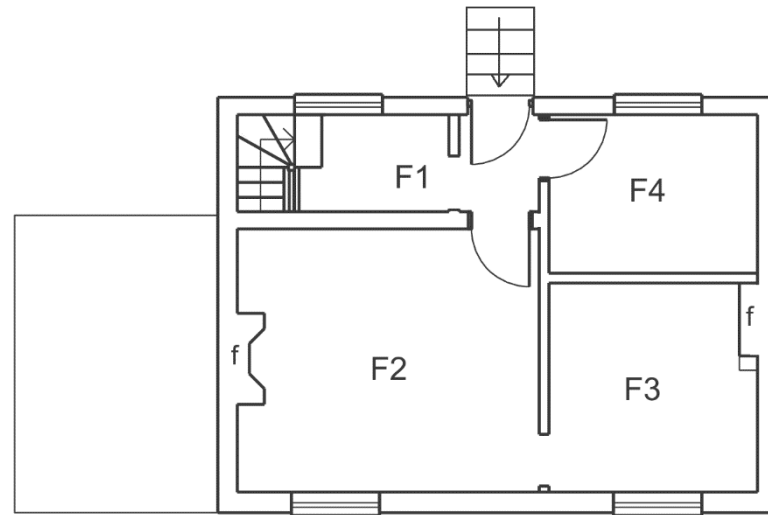
*Description:* Solid floor, unpainted brick walls, open to roof. Presently used as a store, OB2 is described in the planning documentation as 'garage', though it is too small and inconveniently located to have housed a car or van. Probably intended originally as a storeroom: the double doors suggest it might have housed a tradesman's hand-cart?



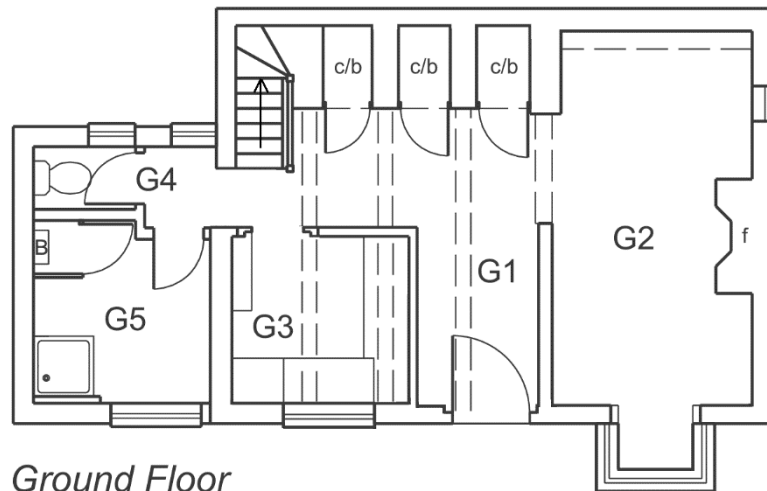
**Figure 10:** House, north and south elevations (scale 1:100)



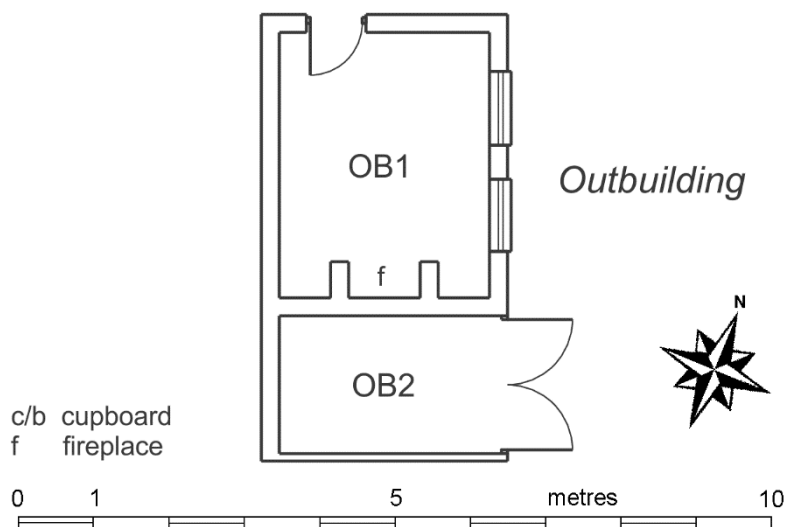
**Figure 11:** House, east and west elevations (*scale 1:100*)



*First Floor*



*Ground Floor*



**Figure 12:** House and outbuilding, floor plans (scale 1:100)



**Figure 13:** Cottage, north elevation from north



**Figure 14:** Outbuilding, south elevation from south



**Figure 15:** Cottage, east elevation from east



**Figure 16:** Outbuilding, west elevation from west



**Figure 17:** Cottage, G1 hall looking north



**Figure 18:** Cottage, G1 hall looking west



**Figure 19:** Cottage, G2 living room looking south-east





**Figure 20:** Cottage, G2 living room looking north



**Figure 21:** Cottage, G3 kitchen looking south-east



**Figure 22:** Cottage, G3 kitchen looking south-west



**Figure 23:** Cottage, F1 landing looking west



**Figure 24:** Cottage, F1 landing looking east



**Figure 25:** Cottage, F1 landing and 'front' door, looking north



**Figure 26:** Cottage, F3 dressing room, looking east



**Figure 27:** Cottage, F2 bedroom, looking north-west



**Figure 28:** Cottage, F2 bedroom, looking east



**Figure 29:** Cottage, F4 bedroom, looking east



**Figure 30:** Outbuilding, north elevation from north



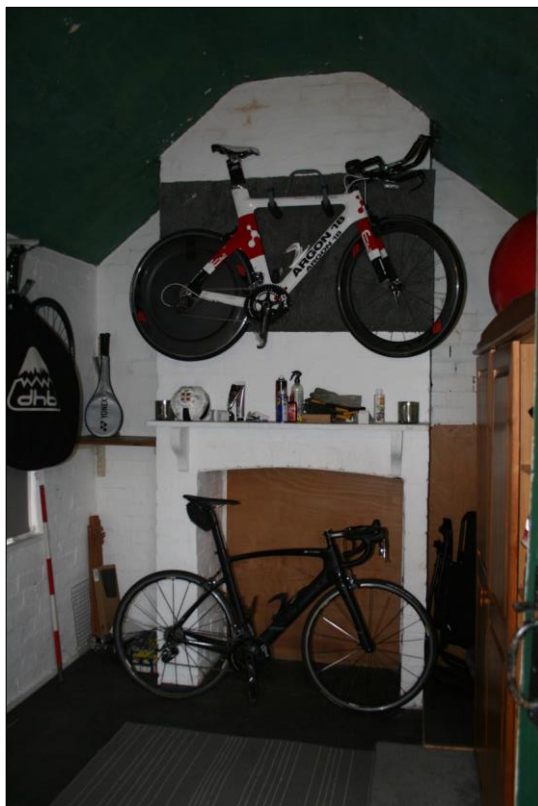
**Figure 31:** Outbuilding, east elevation from north-east



**Figure 32:** Outbuilding, south elevation from south



**Figure 33:** Outbuilding, west elevation from west



**Figure 34:** Outbuilding, OB1 looking south



**Figure 35:** Outbuilding, OB2 'garage' looking west

## 5 Conclusions

- 5.1 Based on the available historical evidence, 6 The Wharf was most likely built in c.1816/17, at the same time as the Newport Pagnell Canal, alongside the entrance lock to the canal. Its occupant would have had a significant role, collecting tolls from boats travelling to and from Newport Pagnell and acting as lock keeper and lengthsman on this relatively short branch canal. It is worth noting that the cottage is constructed of brick, like the other buildings on the canal at its Newport Pagnell terminus, contrasting with the warehouse at Linford and the *Wharf Inn*, which were built in limestone some two decades earlier in connection with the Grand Junction Canal. It seems likely that both materials were sourced locally: there are limestone quarries alongside the Grand Junction, 0.5km to the west, and a brickworks was established in the 19<sup>th</sup> century beside the canal to the south-east of Great Linford village, c.1.3km from Linford Wharf.
- 5.2 During the near half-century when it functioned as a lock-keeper's cottage, there appear to have been no significant changes to the cottage. With the closing of the Newport canal in 1864 and the infilling of the adjoining lock it lost its original function and became just another cottage, being lumped together by successive Census enumerators with the row of cottages to the north as 'Wharf Yard', providing rented accommodation for agricultural workers and tradesmen from Wolverton and Newport Pagnell.
- 5.3 The first structural change appears to have been the rebuilding of the adjoining outbuilding, sometime (based on the available cartographic evidence) between 1881 and 1925. Structurally, the present outbuilding appears to be of late 19<sup>th</sup>-century date, rather than 20<sup>th</sup>-century. The original function of the building remains uncertain: its two rooms have the appearance of a workshop and store, suggesting it was intended for some sort of craft-related activity. The original outbuilding is even more enigmatic, though it appears to have been contemporary with the cottage, and therefore having a canal-related function, possibly a workshop or store. The only evidence for it is in the tithe map and the First Edition Ordnance Survey sheets. Some of its structure may survive in the present garden wall on the south-east side of the property.
- 5.4 The only major structural change to the cottage appears to have been the construction of the single-storey extension to the west side of the cottage, housing the bathroom and WC. On map evidence this was done between 1925 and 1970: based on the materials and style used, this was most likely added in the 1960s. More recently, all the cottage windows have been replaced with modern UPVC double-glazed casements, of similar appearance to the original timber frames. Only the bay window in the living room represents a significant departure from the original window, which was probably similar to others on the south elevation. The outbuilding retains its original doors and windows.
- 5.5 Internally, the cottage has recently been redecorated throughout and has a modern kitchen and bathroom/WC, the latter being in the western extension. The building retains many of its original features, notably the quarry-tiled floor downstairs, all three fireplaces, the distinctive half-round ceiling joists and the row of three brick-built cupboards in the hall and passage downstairs. The remaining internal doors also appear to be original. With its first-floor 'front' door and its apparently unchanged plan, determined by its location alongside the former canal entrance lock and its original function, the cottage has a distinctive and unusual layout, though how precisely this functioned remains a mystery. Presumably the upper front door facing the lock facilitated the collection of tolls from boats entering and leaving the canal, but does this mean that one of the first-floor rooms (possibly F4, the smallest) served as the toll-keeper's office?

## 6 References

### **Standards & Specifications**

- CIfA 2014a *Code of Conduct*. Chartered Institute for Archaeologists (Reading)
- CIfA 2014b *Standard & Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*. Chartered Institute for Archaeologists (Reading)
- CIfA 2014c *Standard & Guidance for Historic Environment Desk-Based Assessment*. Chartered Institute for Archaeologists (Reading)
- CIfA 2014d *Standard & Guidance for the Creation, Compilation, Transfer & Deposition of Archaeological Archives*. Institute for Archaeologists (Reading)
- HE 2006 *Understanding Historic Buildings: a guide to good recording practice*. English Heritage (London).
- HE 2015 *Management of Research Projects in the Historic Environment and MoRPHE Project Planning Note 3: Excavation*. Historic England (London)

### **Reference Works:**

- Abrams J & Zeepvat B 2004 *Rapid Building Recording and Watching Brief: Cooper's Wharf, Great Linford, Milton Keynes*. Archaeological Services & Consultancy Ltd Report 540/LCW/03 (unpublished)
- BGS *British Geological Survey 1:50,000 Series, Solid & Drift Geology*
- Croft RA & Mynard DC 1993 *The Changing Landscape of Milton Keynes*. Buckinghamshire Archaeol. Soc. Monograph Series 5 (Aylesbury)
- Faulkner AH 1993 *The Grand Junction Canal*. WH Walker & Brothers Ltd (Rickmansworth)
- Galloway S (ed.) 2005 *The Elements of Style*. Mitchell Beazley (London)
- Hey G & Hind J 2014 *Solent-Thames Research Framework for the Historic Environment: Resource Assessments and Research Agendas*. Oxford Wessex Monograph 6 (Oxford)
- Mynard DC & Zeepvat RJ 1992 *Great Linford*. Buckinghamshire Archaeol. Soc Monograph Series 3 (Aylesbury)
- Soil Survey 1983 *1:250,000 Soil Map of England and Wales, and accompanying legend* (Harpenden)
- Wilson N 2003 *Watching Brief, Linford Wharf, Great Linford, Milton Keynes*. Archaeological Services & Consultancy Ltd Report 460/GLW/1 (unpublished)
- Woodfield P 1986 *A Guide to the Historic Buildings of Milton Keynes*. Milton Keynes Development Corporation (Milton Keynes)

### **Other Sources**

- Trade Directories*: Pigot's (1830); Musson & Craven (1853); Post Office (1864).  
Directories up to 1915 were consulted, but 1864 is the last mention of businesses at Linford Wharf
- National Census*: 1841-1911 ([www.ancestry.co.uk](http://www.ancestry.co.uk))

### **Maps**

1841	Nat Archives IR30/3/74	Great Linford Tithe Map
1881	Buckinghamshire X.5	Ordnance Survey First Edition 25" sheet
1900	Buckinghamshire X.5	Ordnance Survey Second Edition 25" sheet
1925	Buckinghamshire X.5	Ordnance Survey Third Edition 25" sheet
1970	-	Ordnance Survey 1:2500 sheet

### **Websites**

- [www.maps.nls.uk](http://www.maps.nls.uk)  
[www.old-maps.co.uk](http://www.old-maps.co.uk)  
[www.heritagegateway.org.uk](http://www.heritagegateway.org.uk)  
[www.landis.org.uk/services/soilsguide](http://www.landis.org.uk/services/soilsguide)



## **7 Archive**

- 7.1 The project archive will comprise:
1. Report (inc. method statement)
  2. Historical & Survey notes
  3. Architect's survey drawings
  4. List of photographs
  5. CDROM with copies of all digital files.
- 7.2 The archive will be deposited with Milton Keynes Museum.

## Appendix 1: Method Statement

### AIMS

- To compile a detailed record of the structures concerned, prior to refurbishment, conversion or demolition;
- To ascertain the structural history and development of the building, within its local context.

### STANDARDS

The work will conform to the relevant sections of the Chartered Institute for Archaeologists' *Standard & Guidance Notes* (CIfA 2014a-b) and *Code of Conduct* (CIfA 2010), also to current Historic England guidelines (HE 2006a & b).

### METHODS

- A programme of historical research, using all readily available sources (e.g. Historic Environment Record, County Record Office, local libraries, planning records)
- A survey of the building to HE Level 2.
- Preparation of a report, based on the results of the above.

Historic building recording involves the preparation of a detailed record and interpretation of a standing building and its fixtures and fittings, by a combination of historical research, written description, measured survey and photography. As such, it is essential that the survey team is given unrestricted access to the structure being recorded, subject to current health and safety requirements and site security.

#### **Historical Research**

Background historical research will follow current CIfA standards and guidelines for desk-based assessment (CIfA 2014b). All sources consulted will be listed in the final report.

#### **Written Description**

The written description will be prepared from detailed notes and sketches taken on site. This information will be augmented if necessary by a study of the drawings and photographs. Depending on the nature of the building, the written description will be presented in a logical and consistent format (e.g. overall structure: external details, roof and walls: internal layout: internal description by room), supported by relevant drawings and photographs.

#### **Measured Survey**

Measured surveys will normally be carried out using tapes and LDM (laser distance measurement) for vertical and horizontal measurement throughout. A surveyor's level or total station may be used to establish floor levels. Where appropriate, reference may be made to available architects' or engineers' drawings. Plastic film will be used for all site drawings. Scales used will be appropriate to the size and complexity of the structures or features being recorded: generally 1:50 or 1:100 for floor plans, 1:20 or 1:50 for elevations and sections, and 1:20 or 1:10 for architectural details, plant and machinery, etc.

#### **Photographic Survey**

The photographic record will normally be compiled in 35mm black-&-white print format and/or digital photography. A photographic register will be maintained and fully cross-referenced. Digital photographs will be used to illustrate the report. Metric scales will be used in photographs where appropriate. Photography will employ natural light wherever possible, but artificial light, flash or floodlighting will be used where necessary. Other techniques, such as video photography, may be used where appropriate.

### REPORTING

Upon completion of the field stages of the project, an initial report on the results obtained will normally be prepared. This will typically include:

- a concise non-technical summary of the results
- information relating to the circumstances of the project
- a summary of the aims of the project and the methods used
- background information about the site, including any desk-based studies

- a description of the results, supported by appropriate illustrative material
- a conclusion, summarising the results and examining their significance
- appendices (copies of record sheets, reference works etc.)
- an HER summary sheet, if required

Copies of the report will be provided in digital or hard copy as required to the Client, the Local Planning Authority and its Archaeological Advisor, the National Monuments Record and to any other bodies designated by any of the above.

Interim reports on any significant discoveries made during the project will be submitted to the relevant period journals and to any relevant regional or specialist journals within one year of the project's completion.

Once the final report has been accepted by the LPA, an OASIS fieldwork summary form will be completed and submitted to the Archaeology Data Service, along with a digital copy of the report.

## ARCHIVING

All archaeological projects generate a quantity of records and related material (paper, photographic and electronic records, etc.). Together, these constitute the *project archive*. While the report may describe the project's findings in some detail, the archive contains the evidence on which the report is based, and its importance cannot be too highly stressed. By their nature, building surveys cannot always be repeated, so the archive often constitutes the only surviving evidence of the building prior to conversion etc., and arrangements must therefore be made for its deposition and long-term storage.

On completion of the reporting stages of the project, the archive will be prepared for long-term storage, to an appropriate standard and in a format agreed in advance with the relevant local depository. This will be in accordance with current standards and guidance from the ClfA (2014c), and the Archaeological Archives Forum (Brown 2007).

Unless otherwise instructed, arrangements will be made to deposit the archive with the relevant local museum, Record Office or library. Provision has been indicated in the project estimates for the likely costs of deposition.

## STAFFING

The project will be carried out under the overall management of **Bob Zeevat** BA FSA MCIFA.

Bob is an established archaeologist with extensive experience in managing archaeological projects, of preparing initial assessments and undertaking a wide range of fieldwork for sites in both rural and urban environments, of post-excavation, publication and presentation projects, and of work on a wide range of historic buildings and structures. He holds a first degree from the University of Leicester and has been a validated Member of the ClfA since 1986. Bob has been involved in the management of archaeological projects since the late 1970s, notably as Senior Field Archaeologist for the *Milton Keynes Archaeology Unit* (1986-94), as Project Manager for *Hertfordshire Archaeological Trust* (1994-97), and as Manager and Historic Buildings Consultant for *Archaeological Services & Consultancy Ltd* (1998-2014).

Staff assigned to the project will normally have appropriate experience of historic building recording and research. Any staff undergoing training on the project will be fully supervised by experienced staff.

## Appendix 2: List of Photographs

Site Name: 6 The Wharf, Great Linford		Proj. no./code: 0078/GLW	
Shot	Digital	Subject	Fig.
1	IMG_7408	Outbuilding, east elevation from north-east	32
2	IMG_7409	Outbuilding, north elevation from north	30
3	IMG_7410	Outbuilding, west elevation from west	33
4	IMG_7411	Outbuilding, south elevation from south	31
5	IMG_7412	Cottage, west elevation from west	16
6	IMG_7413	Cottage and outbuilding from south-west	cover
7	IMG_7414	Cottage, south elevation from south	14
8	IMG_7415	Cottage, south elevation from south-east	
9	IMG_7416	Cottage, east elevation from east	15
10	IMG_7417	Cottage, north elevation from north	13
11	IMG_7418	Outbuilding, OB1 looking south	34
12	IMG_7419	Cottage, G1 hall looking north	17
13	IMG_7420	Cottage, G1 hall looking west	18
14	IMG_7421	Cottage, G2 living room looking south-east	19
15	IMG_7422	Cottage, G2 living room looking north	20
16	IMG_7423	Cottage, G3 kitchen looking south-east	21
17	IMG_7424	Cottage, G3 kitchen looking south-west	22
18	IMG_7425	Cottage, F1 landing looking east	24
19	IMG_7426	Cottage, F1 landing looking west	23
20	IMG_7427	Cottage, F1 landing and 'front' door, looking north	25
21	IMG_7428	Cottage, F2 bedroom, looking north-west	27
22	IMG_7429	Cottage, F3 dressing room, looking east	26
23	IMG_7430	Cottage, F2 bedroom, looking east	28
24	IMG_7431	Cottage, F4 bedroom, looking east	29
25	IMG_7432	Cottage, detail of door in F1	
26	IMG_7433	Cottage, detail of door in F1	
27	IMG_7434	Outbuilding, OB2 'garage' looking west	35
28	IMG_7435	Outbuilding, OB2 'garage' looking west	
29	IMG_7436	Outbuilding, detail of roof structure in OB2	

Photo locations (by shot no.) are shown in Fig. 36.

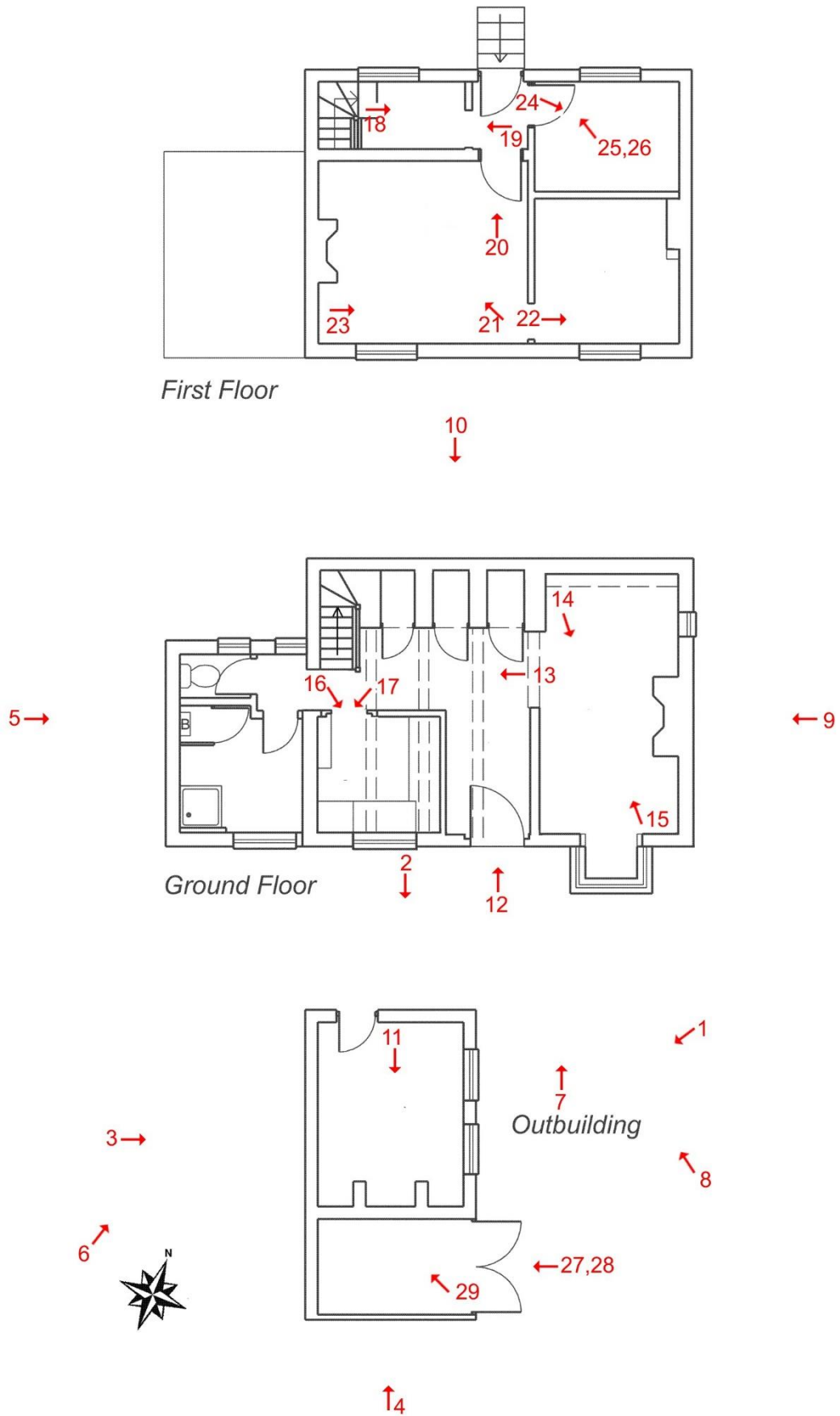


Figure 36: Photo locations (not to scale)

## Appendix 3: OASIS Form

PROJECT DETAILS			
Project Name:	6 The Wharf, Great Linford	OASIS reference:	323559
Short Description:	<p><i>The cottage, along with an adjoining outbuilding, was constructed in c.1816/17 by the Newport Pagnell Canal Company alongside the entrance lock to the canal – a branch off the Grand Junction Canal at Linford Wharf - to house their toll collector, who also acted as lock keeper. Following the closure of the canal in 1864, the entrance lock was filled in, becoming part of the cottage garden, and the property was sold by auction in 1867. Until at least the start of WW1, the cottage was let to a succession of tenants.</i></p> <p><i>The two-storey cottage is constructed of brick, beneath a slated roof, with chimney stacks at each end. Set into the side of the entrance lock to the canal, only the upper floor is visible to the north, with its central 'front' entrance. To the south, both storeys are visible, with a central ground-floor entrance. Apart from a flat-roofed, single-storey brick extension added to its west end, probably in the 1960s, the cottage largely retains its original external appearance, though windows have been replaced with modern UPVC casements and the original living room window has been opened out and replaced with a rectangular UPVC bay window, beneath a flat roof. Internally, the cottage retains its three original fireplaces, quarry tiled floors and many other features. The interior layout also appears largely unchanged, though how the cottage fulfilled its original function as a point of collection for canal tolls remains uncertain.</i></p> <p><i>To the south of the cottage, the present single-storey outbuilding is constructed of brick, beneath a hipped gable slated roof with a single chimney stack. It appears to have been built at the end of the 19<sup>th</sup> century, replacing a larger structure on a different alignment, probably contemporary with the cottage. Internally, the outbuilding comprises two rooms, a workshop and a store. Apart from some recent internal decoration it appears unaltered. Its function remains uncertain.</i></p>		
Project Type:	Building Recording		
Previous work:	None	Site status:	None
Current use:	House & garden	Future work:	No
Monument type:	Transport-related	Monument period:	19 <sup>th</sup> century
Significant finds:	none		
PROJECT LOCATION			
County:	Buckinghamshire	OS reference: (8 figs min)	SP 8549 4255
Site address:	6 The Wharf, Great Linford, MK14 5AS		
Study area: (sq. m. / ha)	n/a	Height OD: (metres)	70
PROJECT CREATORS			
Organisation:	Bancroft Heritage Services		
Project brief originator:	Nick Crank (MKC)	Project design originator:	Bob Zeepvat BA FSA MCI fA
Project Manager:	Bob Zeepvat BA FSA MCI fA	Director/Supervisor:	Bob Zeepvat BA FSA MCI fA
Sponsor / funding body:	Landowner		
PROJECT DATE			
Start date:	12 July 2018	End date:	08 August 2018
PROJECT ARCHIVES			
	Location (Accession no.)	Content (e.g. pottery, animal bone, files/sheets)	
Physical:	Milton Keynes Museum	n/a	
Paper:		Site record sheets, Report	
Digital:		CD with all digital files	
BIBLIOGRAPHY (Journal/monograph, published or forthcoming, or unpublished client report)			
Title:	Historic Building Report: 6 The Wharf, Great Linford, MK14 5AS		
Serial title & volume:	Report ref. BHS/0078/GLW/1		
Author(s):	Bob Zeepvat BA FSA MCI fA		
Page nos	37	Date:	08 August 2018