

PROPOSED RESIDENTIAL DEVELOPMENT

LAND OFF CHAPEL LANE, WALL

Archaeological Evaluation

May 2016



Prepared for Mr D Meakin by:

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Site Name: Land off Chapel Lane, Wall, Northumberland
Proposed Development: New-Build Construction of one Residential Property
Client: Mr David Meakin
NGR: NY 917 689
Site Code: CLW16 (Chapel Lane, Wall 2016)
Planning Ref: 16/00692/FUL
Oasis Ref: alanwill1-250868

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SUMMARY

Archaeological evaluation of the site of a proposed residential development west of Chapel Lane in the village of Wall, Northumberland, was carried out for Mr David Meakin by Alan Williams Archaeology on May 4th 2016 as requested by the planning authority, Northumberland County Council. The site lies within the historic core of the village and adjacent to the medieval green which was formerly more extensive. Evaluation involved the excavation of three trenches covering 4.6% of the proposed development site:

- *Two of the trenches (B and C) contained no archaeological features. Trench A contained a stone-filled soakaway probably associated with recent allotments on the site;*
- *No artefactual material other than of modern date (fragments of brown-glazed cooking pots, whitewares and transferwares) was recovered from topsoil within the trenches;*
- *The evaluation has strongly suggested there are no significant archaeological remains within the Proposed Development Area.*

Given the negative results of the evaluation, it is recommended that there should be no requirement for further archaeological input should the development go ahead.

1. BACKGROUND TO THE PROJECT

1.1 A planning application (16/00692/FUL) has been made with Northumberland County Council by Mr D Meakin for the construction of a single house within a plot of land west of properties fronting Chapel Lane and east of the A6079 on the south edge of the village of Wall (figures 1 and 2).

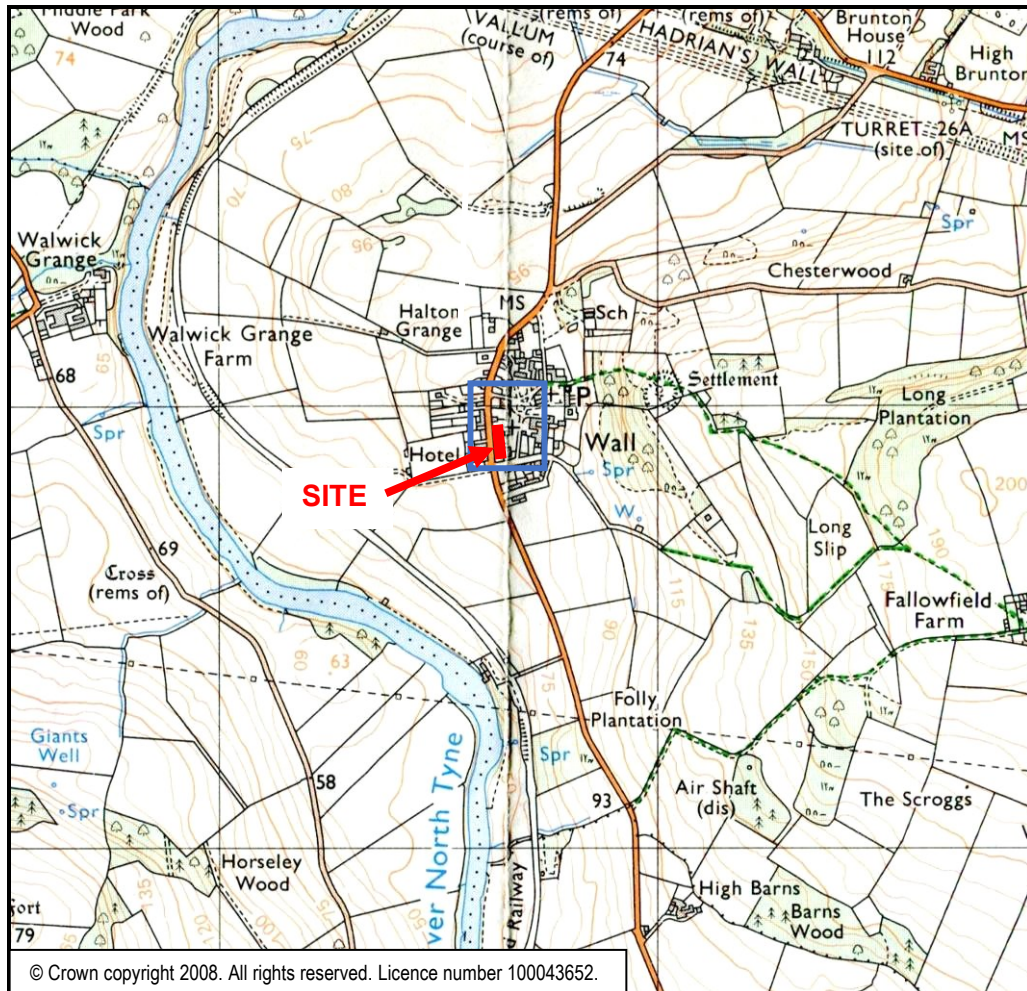


Figure 1: Location of the village of Wall to the east of the River North Tyne and south of Hadrian's Wall. The site is shown in red. The blue frame shows the extent of figure 2.

1.2 Proposals are for one four-bedroomed two-storey dwelling towards the northern end of the site with associated gardens and an access drive from The Chare to the south.

1.3 Given the archaeological potential of the site, as set out in consultee comments from the Assistant County Archaeologist, Karen Derham (conservation ref: T47/2; 25039) and in accordance with paragraph 128 of the National Planning Policy Framework, an archaeological evaluation was requested. This was carried out to the terms of a written scheme of investigation (see appendix 1), approved by the

Assistant County Archaeologist, to establish the archaeological potential of the site prior to any planning determination. The following report sets out the context to the proposed development area (PDA) (sections 2 and 3) and then describes the archaeological evaluation and its results. Recommendations are included at the end of the report

2. SITE LOCATION AND DESCRIPTION

The PDA lies on the southern edge of the historic village of Wall, 6km to the north of Hexham, 2km to the south of Chollerford and along the eastern slope of the valley of the River North Tyne (figure 1). It forms a rectangular property c.75m long north-south by c.15m east west (c.1125m²). It is bordered along its western flank by Front Street (the A6079). To the east are three residential properties with Chapel Lane beyond. The site is accessed from The Chare to the south. Formerly in use as allotments, it is currently disused and covered in rough grass, weeds and a number of self-seeded saplings. The west side is bounded by post and rail fence, the south by a stone wall and an entrance, the north and north east by hedgelines and the remainder of the east flank by boundaries with properties along Chapel Lane. The plot is elevated above the A6079 and The Chare but slopes down slightly from properties to the east. It would seem likely that Front Street has been cut down rather than the site raised. Solid geology around Wall consists of bedded deposits of Carboniferous sandstone, limestone, shale and some interleaving thin coal seams. The solid geology is generally overlaid with Boulder Clay.

3. HISTORICAL AND ARCHAEOLOGICAL BACKGROUND

3.1 Wall is a settlement of considerable historic interest, set around a green and containing 14 listed buildings, a number of these defensible bastle-type houses.

3.2 Although no prehistoric remains have been uncovered within the area of the village, a Neolithic cup-marked boulder was found within a clearance cairn at Homers Lane to the south-west (HER 8621) beyond the River North Tyne. A few pieces of worked flint and quartz were found in the same area (HER 8620). A number of later prehistoric settlement-sites dot the valley slopes around Wall. A scheduled Iron-Age fort lies on Wall-Crags to the east (HER 8572 and SM 25041). This roughly oval enclosure is surrounded in part by two ramparts with traces of at least six round houses within. Further to the east, another enclosed settlement, also surrounded by two banks, lies at Fallowfield (HER 8582).

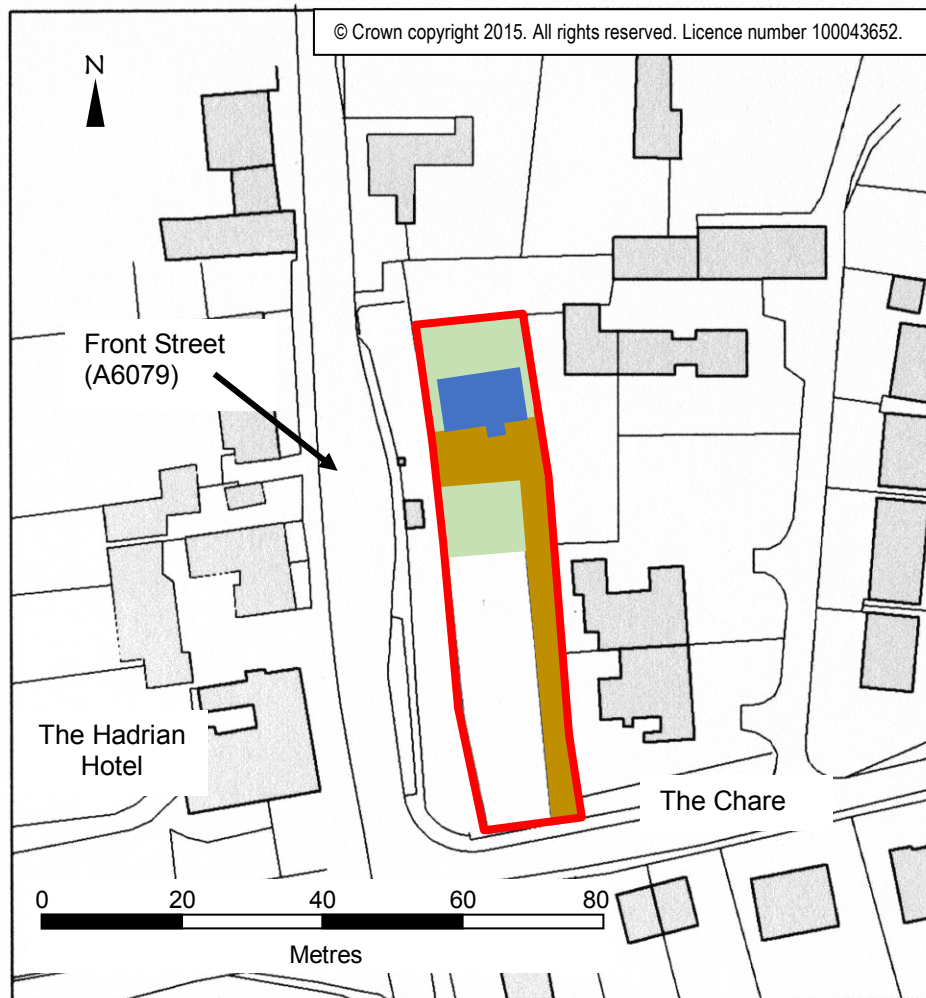


Figure 2: The proposed development area (PDA) in red outline. House in blue garden areas are in green and the driveway and hard standing in brown.

3.3 Hadrian's Wall runs to the north of Wall. It crossed the North Tyne on a stone bridge at Chesters Fort. Closer is the still surviving stretch of Wall at Brunton Turret, about 600m north of the settlement. The Stanegate, a major east-west route in Roman times, has been traced to the west bank of the North Tyne but not to the east.

3.4 It is likely that Wall developed as a nucleated settlement in the 12th century following the Conquest. No medieval structures remain above ground in the village but it is likely that structural and other archaeological remains survive below ground. The village is centred on a roughly square green set to the east of the north-south running A6079. The green was formerly larger (Pevsner 1992, 600). The form of the settlement was a defensive reaction to chronic Border warfare and troubles from the late 13th to the 17th centuries. Sturdy stone buildings, and quite probably a substantial

palisade where there were gaps, would have enclosed the central green where livestock could be securely pastured. A number of the buildings around the green are bastles or of 'bastle type' (combined animal byre and domestic accommodation set within thick stone walls). Examples include Greenhead House at the north-western angle of the green (HER 8588; listed grade II); St Oswald's Cottages, two of which are probably re-modelled bastles (HER 8590; listed grade II) and Peartree Cottage, at the north east angle of the green (HER8591; listed grade II) which, in origin, may be a long house.

3.5 There is evidence that the settlement at Wall, at least by the 17th century, extended to the south of the present area of the green: To the north of The Hadrian Hotel, and opposite the proposed development area on the west flank of the A6079 are Hadrian Cottages (HER 8589; listed grade II). With thick walls and other early features, they probably formed one bastle-type structure. There is no evidence for similar early structures within the site or to its east along Chapel Lane.

3.6 The first edition Ordnance Survey shows the site as an empty field. Until around 20 years ago it was in use as allotments. Mixed housing developed to the east of the site along Chapel Lane over the 20th century and most recently to the south beyond The Chare on Warden View.

4. ARCHAEOLOGICAL POTENTIAL OF THE DEVELOPMENT AREA

4.1 The written scheme of investigation prepared for the evaluation, guided by the Assistant County Archaeologist's brief, showed that:

No previous archaeological investigations had been carried out within the proposed development area to test its potential. The closest investigation was archaeological monitoring of a water main running along the A6079 (Event No. 13774) by Tyne and Wear Museums Service in 2006-7. The trench ran through road deposits and no features of archaeological interest were noted in the area. Another pipeline trench running in from the west and terminating on the line of the A6079 immediately south of The Hadrian Hotel (Event No 13944) was also monitored by Tyne and Wear Museums Service in 2006. Again, no archaeological deposits or features were noted in the area. Nor has there been any significant archaeological investigation across the wider settlement. There is very limited understanding of the early layout of the village.

4.2 Prehistoric to Roman

No evidence for prehistoric or Roman occupation has been found within or immediately around Wall

4.3 Late-Medieval to Post Medieval

The post-medieval (and probably the late -medieval) settlement at Wall focussed closely around the green as shown by numbers of bastle and bastle type houses surrounding it. This nucleation would have provided a defensible perimeter - perhaps enhanced with a paling or palisade - providing some security for both livestock and inhabitants. There is also evidence at Wall for probable bastle-type structures (Hadrian Cottages) to the south of the green on the west side of Front Street. This suggests either that the green formerly extended further to the south (Certainly the case for its western extent, as pointed out in Pevsner), or that defensible buildings extended from the secure area of the green along the road line. Both would have significance for the archaeological potential of the proposed development area. It is also possible that the back plots of properties (tofts) fronting the south side of the early green will have extended within the proposed development area. These plots would have had a range of functions including agriculture/horticulture, processing, storage, production of goods and waste dumping.

5. RESULTS OF EVALUATION

5.1 As per planning requirements, archaeological trial trenching was carried out in order to establish the archaeological potential of the site prior to planning determination. Three trenches (A, B and C) were excavated on May 4th 2016: Trench A 11m long by 1.5m wide; Trench B 10.5m long by 1.5m wide and Trench C 13.5m long by 1.5m wide, amounting to 52.5m², a little over 4.6% of the area of the site.

5.2 Trenches were cut by machine excavator (JCB 3C) with a smooth 1.5m wide ditching blade to subsoil or to the first archaeological deposit. For all of the trenches, this involved excavation directly to subsoil as no archaeological deposits were identified above this level. In Trench A, a pit or possibly a ditch (feature 1), filled with dark loam soil and many large lumps of whinstone was uncovered at the level of subsoil. No other features were identified.

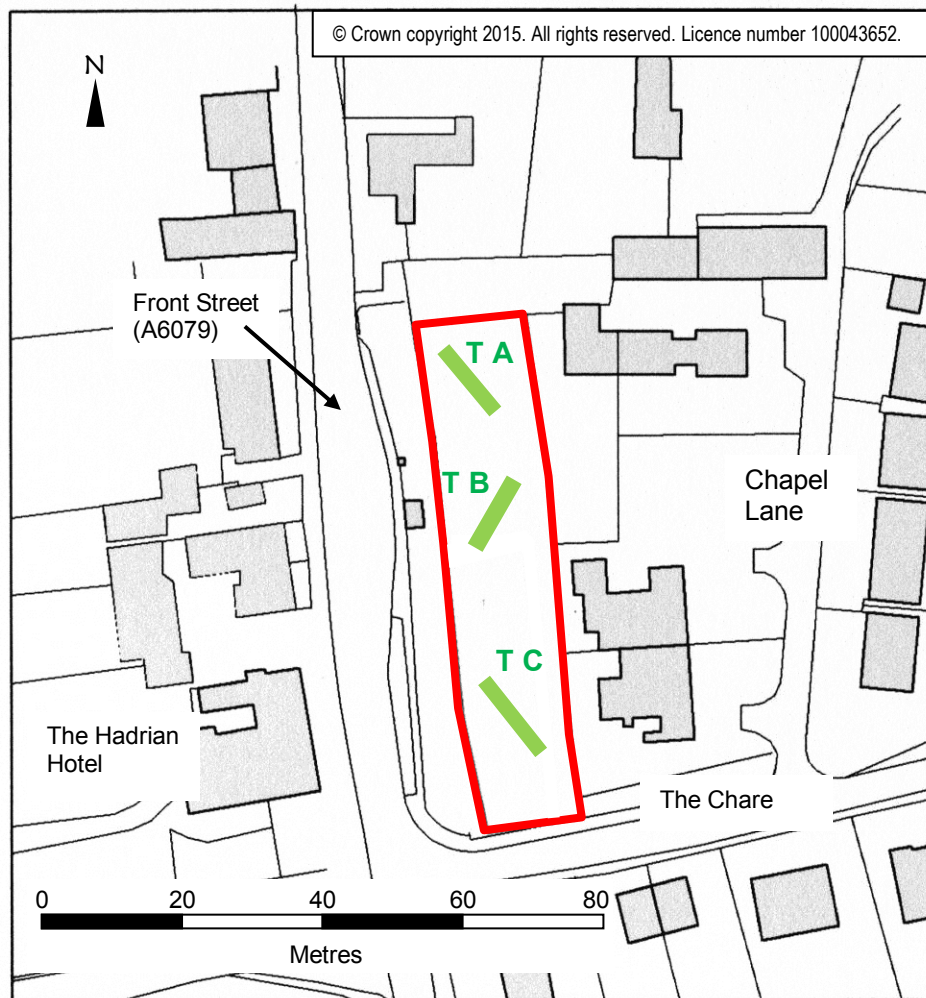


Figure 3: The proposed development area in red outline. Evaluation Trenches (A to C) in green.

Trench A (plates 1 to 5) 11m long by 1.5m wide and a maximum of 0.5m to subsoil. This was the northernmost of the trenches and ran diagonally north-west to south-east across the site. Ground surface at the north end of the trench was 84.5m aOD and the level of subsoil was 84m aOD. Topsoil, constant throughout the trench between 0.4m and 0.5m deep, was a dark grey-brown loam with occasional small stones and stone fragments. Subsoil was banded: From the north end of the trench successively boulder clay, shattered sandstone bedrock, buff to orange-brown sandy clay, and mixed clay and sandstone fragments.

The only feature noted in the trench **[1]** was exposed 3.3m from its north end (figure 4). This was a pit or ditch (extending west from the trench towards Front Street) with a bowl-shaped profile cut a maximum of 0.4m into subsoil (0.9m from ground surface) and around 0.9m wide. It was filled with dark grey-brown loam **[2]**,

indistinguishable from the topsoil seen throughout the trench. However, much of the matrix was taken up with large and irregular lumps of whinstone. A few sherds of glazed whiteware were recovered from the fill. The stony fill suggests that it served as a soakaway, perhaps associated with one of the allotments known to have occupied the site up to 20 years ago.

Trench B (plates 6 to 7) 10.5m long by 1.5m wide and a maximum of 0.5m deep to subsoil, was the middle trench, running diagonally across the site north-east to south-west. Ground surface at the north end of the trench was 84.3m aOD and subsoil 83.9m aOD. Topsoil, a dark grey-brown loam was constant throughout at around 0.4m deep. Subsoil was a buff to orange-brown sandy clay with numerous small to medium sandstone fragments.

Trench C (plates 8 to 10) 13.5m long by 1.5m wide and a maximum of 0.4m deep to subsoil. This was the southernmost trench, running diagonally across the site north-west to south-east. Ground surface at the north end of the trench was 83.5m aOD and subsoil 83.2m aOD. Topsoil, a dark grey loam, ran throughout between 0.3m and 0.4m deep. Subsoil was banded: A buff-brown sandy clay with sandstone fragments ran for c4m from the north end of the trench, succeeded by shattered sandstone bedrock which continued to the south end of the trench.

6. CONCLUSIONS

6.1 Two of the three trenches excavated (B and C) contained no archaeological features. Trench A contained what is considered to have been a soakaway probably associated with modern allotments known to have been on the site. It contained a few sherds of white glazed ware.

6.2 No artefactual material other than of modern date (fragments of white and brown glazed and transfer decorated wares) was recovered from topsoil.

6.3 The evaluation has strongly suggested there are no significant archaeological remains within the PDA.

Plan

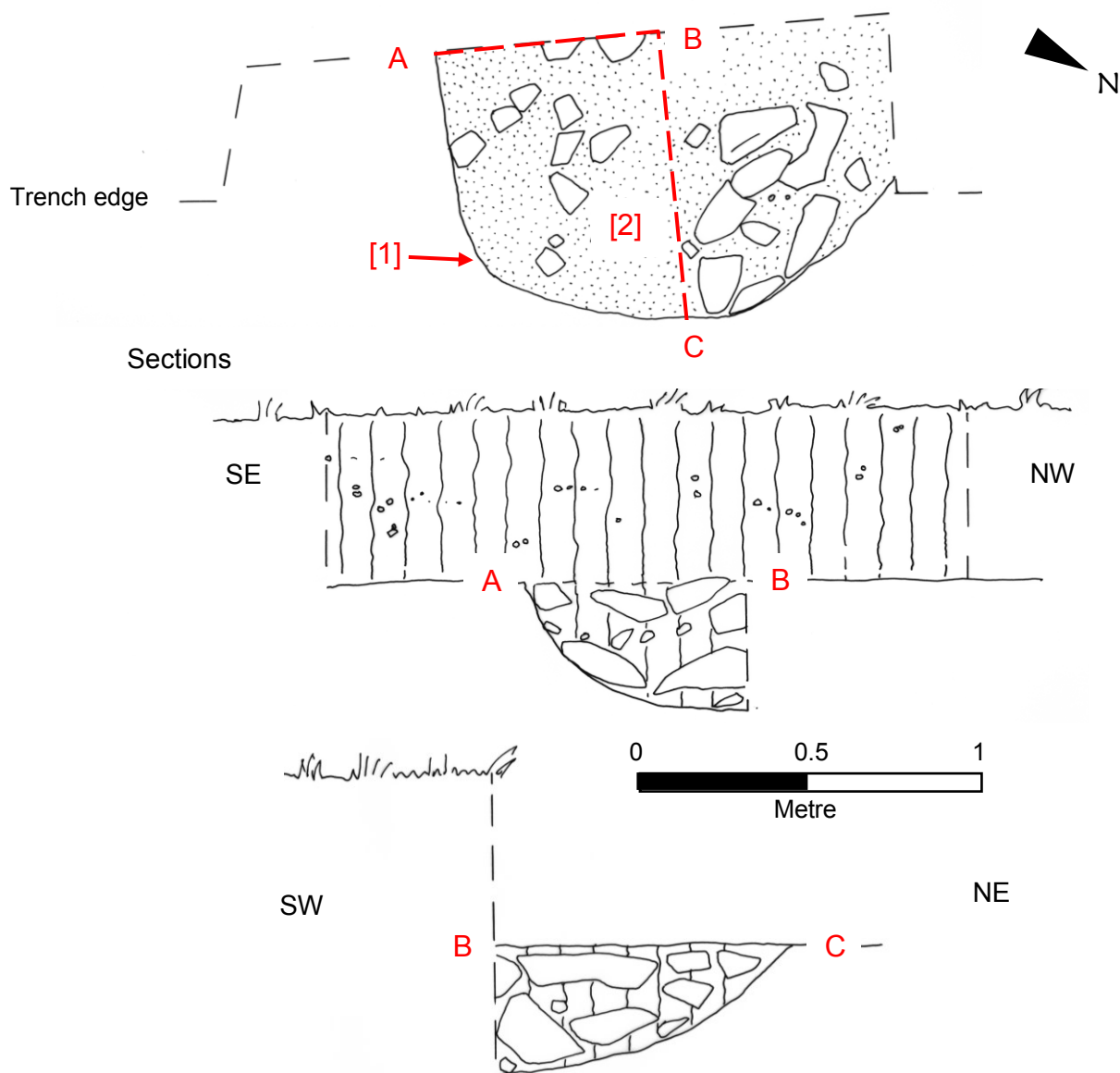


Figure 4: Plan (top) and sections of feature [1] in Trench A

7. RECOMMENDATIONS

7.1 Given the negative results of the evaluation, it is recommended that there should be no requirement for further archaeological input should the development go ahead.

8. SOURCES

Northumberland Conservation (2008) *Draft Conservation Area Appraisal: Wall*

Pevsner et al (1992) *The Buildings of England: Northumberland*

Ryder (1994-5) *Towers and Bastles Survey of Northumberland*

HER records provided April 19th 2016 by Northumberland Conservation

9. PLATES



Plate 1: Trench A Looking North. 2m scale.



Plate 2: Trench A Looking south-west. 2m scale.



Plate 3: Trench A Looking south –west. Feature 1 in recessed extension. 2m scale.



Plate 4: Trench A Feature 1; Half sectioned. Looking west. 2m scale.



Plate 5: Trench A Feature 1; Half sectioned. Looking north-west. 2m scale.



Plate 6: Trench B (middle). Looking north-east. 2m scale.



Plate 7: Trench B (middle). Looking south-west. 2m scale.



Plate 8: Trench C (south). Looking south-east. 2m scale.



Plate 9: Trench C (south). Looking north-west. 2m scale.



Plate 10: Trench C (south). Looking west at head of shattered sandstone bedrock. 2m scale.

APPENDIX 1: WRITTEN SCHEME OF INVESTIGATION

**PROPOSED RESIDENTIAL DEVELOPMENT
LAND WEST OF CHAPEL LANE
Wall, Northumberland**

(NY 917 689)

**WRITTEN SCHEME OF INVESTIGATION
FOR ARCHAEOLOGICAL EVALUATION**

April 2016



Prepared for Mr D Meakin by:

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Figure 2: The proposed development area in red outline

Figure 3: The proposed development area in red outline. Evaluation Trenches (A to C) in green

Figure 4: Part of Armstrong's map of the County of Northumberland (1769)

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Plate 1: The proposed development area (PDA) looking north-east from the Hadrian Hotel

Plate 2: Looking north up the PDA from The Chare

Plate 3: Looking north at the eastern side of the north end of the PDA

Plate 4: Looking north at the western side of the north end of the PDA

Plate 5: Looking south-east across the PDA

1. BACKGROUND TO THE PROJECT

1.1 A planning application (16/00692/FUL) has been deposited with Northumberland County Council by Mr D Meakin. This is for the construction of a single house within a currently open plot of land west of properties on Chapel Lane and east of the A6079 on the south edge of the village of Wall (figures 1 and 2).

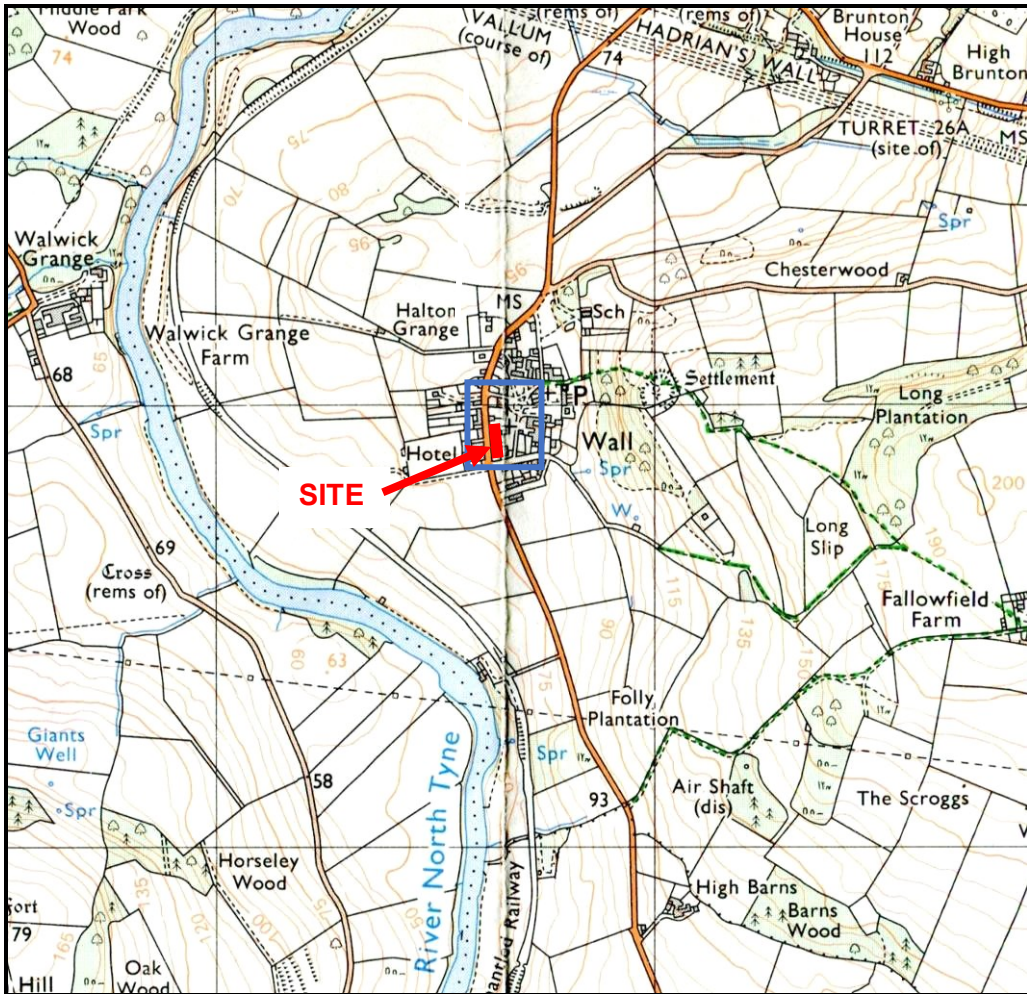


Figure 1: Location of the village of Wall to the east of the River North Tyne and south of Hadrian's Wall. The site is shown in red. The blue frame shows the extent of figure 2.

1.2 Proposals are for one four-bedroomed two-storey dwelling towards the northern end of the site with associated gardens and an access drive from The Chare to the south.

1.3 Given the archaeological potential of the site as set out in consultee comments from the Assistant County Archaeologist, Karen Derham (conservation ref: T47/2; 25039) and in accordance with paragraph 128 of the National Planning Policy

Framework (see below), the County Council Conservation Team requested that an archaeological evaluation should be carried out to establish the archaeological potential of the site prior to any planning determination.

Planning Policy Framework Paragraph 128

In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

2. SITE LOCATION AND DESCRIPTION (photographs 1-5 in section 11)

The proposed development area lies on the southern edge of the historic village of Wall, 6km to the north of Hexham, 2km to the south of Chollerford and along the eastern slope of the valley of the River North Tyne (figure 1). It forms a rectangular property c.75m long north-south by c.15m east west (c.1125m²). It is bordered along its western flank by Front Street (the A6079). To the east are three residential properties with Chapel Lane beyond. The site is accessed from The Chare to the south. Formerly in use as allotments, it is currently disused and covered in rough grass, weeds rubbish and regenerating vegetation. The west side is bounded by post and rail fence, the south by a stone wall and an entrance, the north and north east by hedgelines and the remainder of the east flank by boundaries with properties along Chapel Lane. The plot is elevated above the A6079 and The Chare but slopes down slightly from properties to the east. It would seem likely that Front Street has been cut down rather than the site raised. Solid geology around Wall consists of bedded deposits of Carboniferous sandstone, limestone, shale and some interleaving thin coal seams. The solid geology is overlaid with Boulder Clay.

3. HISTORICAL AND ARCHAEOLOGICAL BACKGROUND

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Although no prehistoric remains have been uncovered within the area of the village, a Neolithic cup-marked boulder was found within a clearance cairn at Homers Lane to

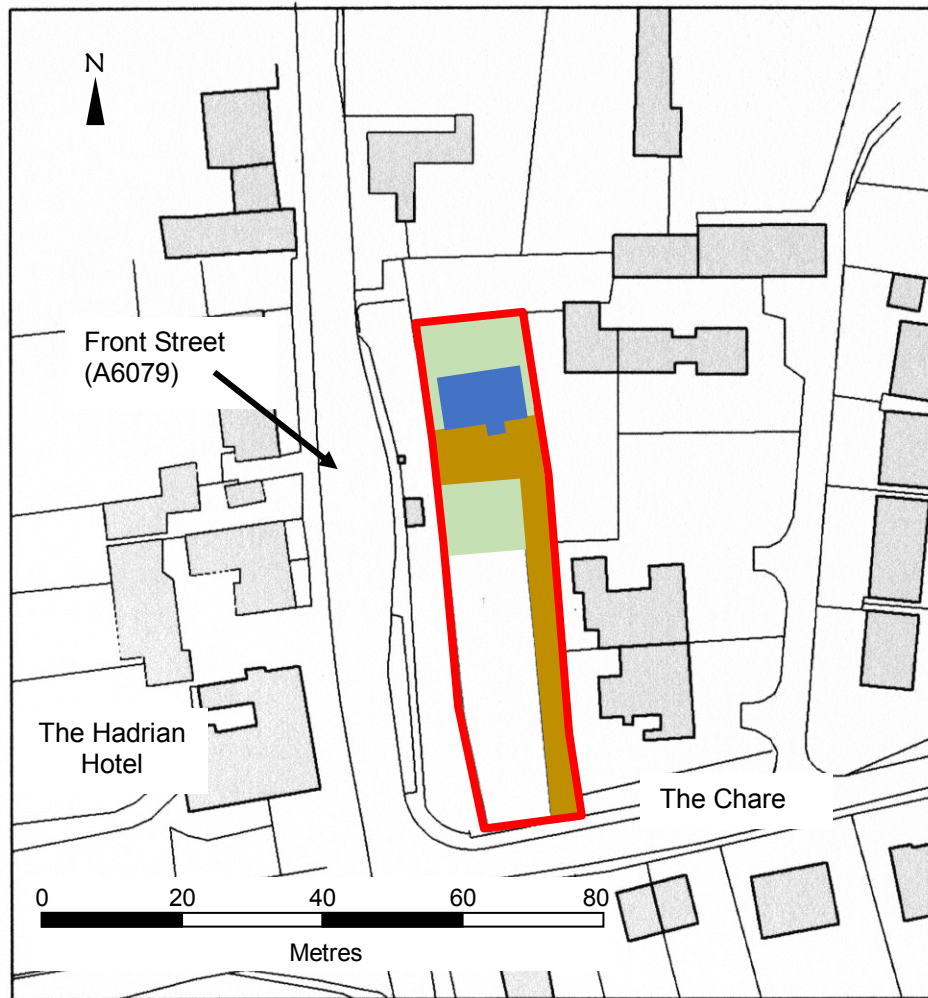


Figure 2: The proposed development area in red outline. House in blue, garden areas are in green and the driveway and hard standing in brown.

the south-west (HER 8621) beyond the River North Tyne. A few pieces of worked flint and quartz were found in the same area (HER 8620). A number of later prehistoric settlement-sites dot the valley slopes around Wall. A scheduled Iron-Age fort lies on Wall-Crags to the east (HER 8572 and SM 25041). This roughly oval enclosure is surrounded in part by two ramparts with traces of at least six round houses within. Further to the east, another enclosed settlement, also surrounded by two banks, lies at Fallowfield (HER 8582).

Hadrian's Wall runs to the north of Wall. It crossed the North Tyne on a stone bridge at Chesters Fort. Closer is the still surviving stretch of Wall at Brunton Turret, about

600m north of the settlement. The Stanegate, a major east-west route in Roman times, has been traced to the west bank of the North Tyne but not to the east.

It is likely that Wall developed as a nucleated settlement in the 12th century following the Conquest. No medieval structures remain above ground in the village, but it is likely that structural and other archaeological remains survive below. The village is centred on a roughly square green set to the east of the north-south running A6079. It seems likely that the green was formerly larger (Pevsner 1992, 600). The form of the settlement was a defensive reaction to chronic Border warfare and troubles from the late 13th to the 17th centuries. Sturdy stone buildings, and quite probably a substantial palisade where there were gaps, would have enclosed the central green where livestock could be securely pastured. A number of the buildings around the green are bastles or of 'bastle type' (combined animal byre and domestic accommodation set within thick stone walls). Examples include Greenhead House at the north-western angle of the green (HER 8588; listed grade II); St Oswald's Cottages, two of which are probably re-modelled bastles (HER 8590; listed grade II) and Peartree Cottage, at the north east angle of the green (HER8591; listed grade II) which, in origin, may be a long house.

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The first edition Ordnance Survey shows the site as an empty field. Until around 20 years ago it was in use as allotments. Mixed housing developed to the east of the site along Chapel Lane over the 20th century and most recently to the south beyond The Chare on Warden View.

4. ARCHAEOLOGICAL POTENTIAL OF THE DEVELOPMENT AREA

4.1 From Earlier Investigations

No previous archaeological investigations have been carried out within the proposed development area to test its potential. The closest investigation was archaeological monitoring of a water main running along the A6079 (Event No. 13774) by Tyne and

Wear Museums Service in 2006-7. The trench ran through road deposits and no features of archaeological interest were noted in the area. Another pipeline trench running in from the west and terminating on the line of the A6079 immediately south of The Hadrian Hotel (Event No. 13944) was also monitored by Tyne and Wear Museums Service in 2006. Again, no archaeological deposits or features were noted in the area. Nor has there been any significant archaeological investigation across the wider settlement. There is very limited understanding of the early layout of the village.

4.2 Prehistoric to Roman

No evidence for prehistoric or Roman occupation has been found within or immediately around Wall

- **There is low potential for the site to contain archaeological deposits dating to prehistoric and Roman times**

4.3 Late-Medieval to Post Medieval

The post-medieval (and probably the late -medieval) settlement at Wall focussed closely around the green as shown by numbers of bastle and bastle type houses surrounding it. This nucleation would have provided a defensible perimeter - perhaps enhanced with a paling or palisade - providing some security for both livestock and inhabitants. There is also evidence at Wall for probable bastle-type structures (Hadrian Cottages) to the south of the green on the west side of Front Street. This suggests either that the green formerly extended further to the south (Certainly the case for its western extent, as pointed out in Pevsner), or that defensible buildings extended from the secure area of the green along the road line. Both would have significance for the archaeological potential of the proposed development area.

It is also possible that the back plots of properties (tofts) fronting the south side of the early green will have extended within the proposed development area. These plots would have had a range of functions including agriculture/horticulture, processing, storage, production of goods and waste dumping.

- **There is medium potential for the survival of late medieval or post medieval remains within the site**

5. REQUIREMENT FOR EVALUATION

As per advice provided by the County Archaeologist, trial trenching will be carried out in order to establish the archaeological potential of the site prior to any planning

determination. Three trenches will be excavated, each 10m long by 1.5m wide amounting to 45m² or just under 4% of the area of the site. Should the trenching as set out fail to determine the nature and context of archaeological remains identified, an additional contingency of up to a maximum of 10m² of trenching will be utilised.

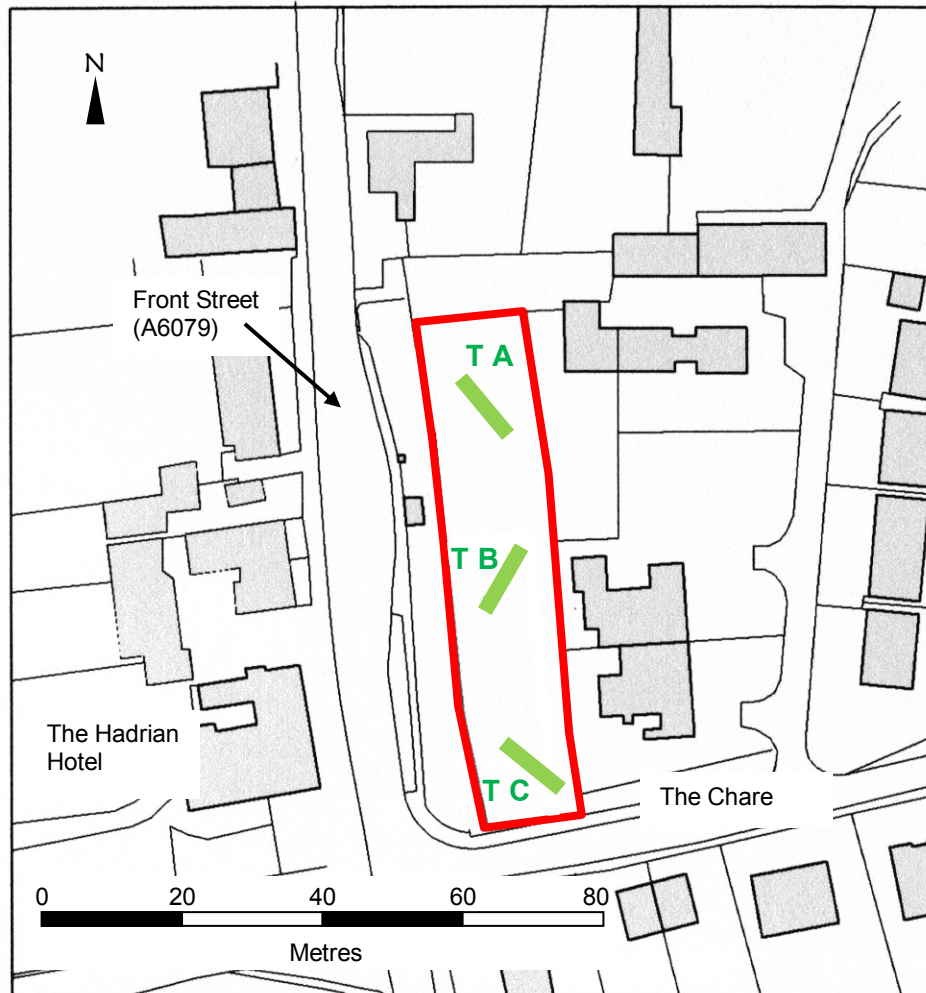


Figure 3: The proposed development area in red outline. Evaluation Trenches (A to C) in green.

6. METHODOLOGY

6.1 Trenches will be excavated by machine excavator with a smooth ditching blade either to subsoil or to the first archaeological deposit. Archaeological deposits will be excavated manually. A sufficient portion of each feature will be excavated to determine the nature and if possible the chronology of the feature.

6.2 The stratigraphy of all trenches will be recorded even where no archaeological deposits have been identified.

6.3 A record of all features excavated will be produced using appropriate archaeological context recording. All features will have a full written and drawn record. Measurements will be expressed in metres. Plans and sections will be produced at 1:10 or 1:20 scale using repeatable control points. Photographic recording will be by digital SLR camera.

6.4 All pottery, metalwork and animal bone will be retained and located by context. Modern material will be discarded subsequent to the completion of fieldwork.

6.5 Loose architectural fragments will be treated as small finds and recorded individually (with reference to the appropriate repository standards and guidelines). The find location will be recorded three dimensionally.

6.6 Final drawings will be provided in digital format.

6.7 The potential requirement for specialist analyses is an unavoidable risk in all excavations. The scientific investigation of any features/deposits which are considered significant will be undertaken as a non-negotiable part of this programme.

In the event that hearths, kilns or ovens are identified, provision will be made to collect at least one Archaeomagnetic date from each hearth or in the case of domestic structures, one per building. As appropriate, samples will be collected and processed by a suitable specialist for dating purposes.

Where such dating techniques are required NCC Conservation should be contacted to discuss the appropriate response.

6.8 Environmental samples will be taken from sealed and dateable deposits to elucidate the agricultural/ecological regime on the site over the period. Deposits/fills with potential for environmental evidence will be assessed by taking bulk samples of 30 litres from contexts selected for analysis. Deposits/fills totalling less than 30 litres in volume will be sampled in their entirety. Samples will be processed and analysed by Dr Charlotte O'Brien of Archaeological Services University of Durham.

6.9 On completion of the fieldwork, samples will be processed and artefacts cleaned, conserved, identified, labelled and packaged. An appropriate programme of analysis and publication of the results will be completed if no further archaeological investigations are to be carried out.

6.10 The Archaeological Officer for NCC will be informed of the evaluation timetable and allowed access to the site at all reasonable times.

7. REPORT AND ARCHIVE

7.1 A summary report will be supplied to relevant parties on completion of the fieldwork to inform the planning determination of the application. Plans and sections within the report will be at a recognisable planning scale. A copy of the report will be sent to the client and the County HER. The National Monuments Record will be asked if they wish to receive copies of the archive and report. The report will contain as a minimum:

- Non-technical summary
- Introductory statement
- Aims and objectives
- Methodology
- Results
- Index and location of archive
- References and bibliography
- Copy of project design

7.2 If appropriate, arrangements will be made to publish the results of the investigations through a local or national journal. A summary report will be prepared for *Archaeology in Northumberland* and submitted to Liz Williams, HER Officer by December of the year in which the work is completed.

7.3 The site archive will be prepared to the standards specified in the Management of Research Projects in the Historic Environment (MoRPHE), English Heritage, 2006. Archive preparation and deposition will be undertaken with reference to the repository guidelines and standards, and where necessary the Museums and Galleries Commission (MGC), United Kingdom Institute for Conservation (UKIC) standards and guidelines.

The digital archive (photographs) will be deposited with ADS. Other materials will be deposited with the GNEM at Newcastle upon Tyne.

Northumberland Conservation will require confirmation that the site archive has been deposited in a satisfactory form to the designated archives/museum.

7.4 AWA supports the Online Access to Index of Archaeological Investigations

(OASIS). The overall aim of the OASIS project is to provide an online index to the mass of archaeological grey literature that has been produced as a result of the advent of large-scale developer funded fieldwork. The online OASIS form will be completed at <http://ads.ahds.ac.uk/project/oasis/>.

8. HEALTH AND SAFETY

8.1 AWA will comply with the Health and Safety at Work Act and subsequent additions and amendments.

9. SOURCES

Northumberland Conservation (2008) *Draft Conservation Area Appraisal: Wall*

Pevsner et al (1992) *The Buildings of England: Northumberland*

Ryder (1994-5) *Towers and Bastles Survey of Northumberland*

HER records provided April 19th 2016 by Northumberland Conservation

10. MAPS



Figure 4: Part of Armstrong's map of the County of Northumberland (1769) showing the nucleated settlement at Wall

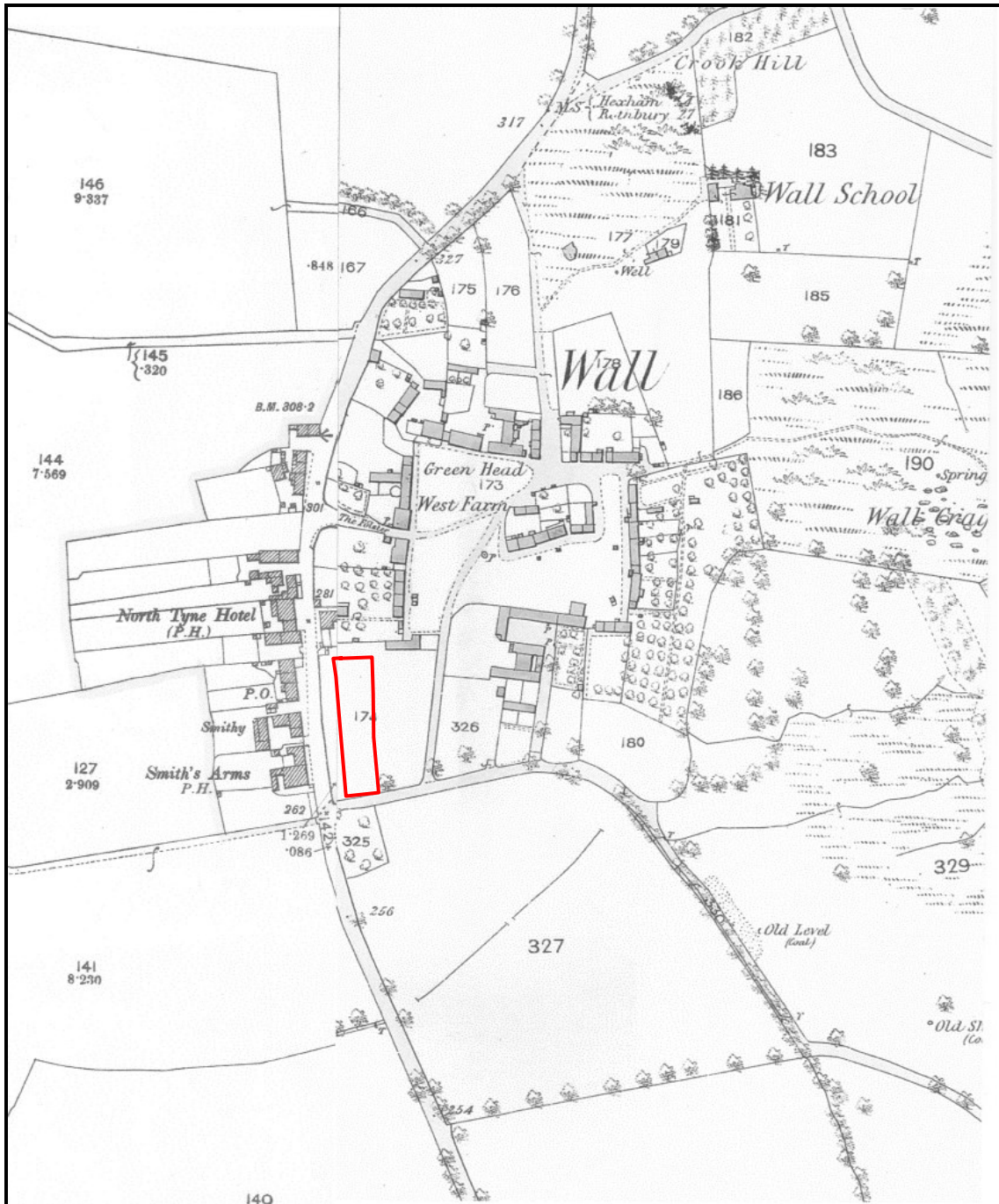


Figure 5: First edition Twenty Five Miles to One Inch Ordnance Survey (1860) showing the village of Wall. The proposed development area is outlined in red.

11. PHOTOGRAPHS

The site was visited on April 19th 2016



Plate 1: The proposed development area (PDA) beyond the road bank looking north-east from The Hadrian Hotel across the A6079.



Plate 2: Looking north up the PDA from The Chare. Properties fronting Chapel Lane to the right



Plate 3: Looking north at the eastern side of the north end of the PDA.



Plate 4: Looking north at the western side of the north end of the PDA
the A6079 to the left.



***Plate 5:** Looking south-east across the PDA through tree cover from the top of the grassy bank alongside the A6079.*