

Well House Cottage Wellhouse Lane Headbourne Worthy Winchester

Level 2/3 Historic Building Recording



Report prepared for:
Wykeham Homes

CA Project: AN0194

CA Report: AN0194_1

August 2020



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CONTENTS

1.	INTRODUCTION.....	5
2.	METHODOLOGY.....	8
3.	HISTORIC BACKGROUND	10
4.	HISTORIC BUILDING RECORD	15
5.	CONCLUSION	55
6.	REFERENCES.....	56
	APPENDIX 1: WRITTEN SCHEME OF INVESTIGATION	58
	APPENDIX 2: ARCHIVE FIGURES	74
	APPENDIX 3: GAZETTER OF PHOTOGRAPHS.....	79

ILLUSTRATIONS

Figures

- Fig. 1** Site location plan
Fig. 2 Farmstead plan
Fig. 3 Sketch plan - Well House Cottage
Fig. 4 Sketch plan - Shelter shed
Fig. 5 Sketch plan - Warehouse

Maps

- Map 1** Headbourne Worthy Tithe Map of 1837
Map 2 First Edition 1:2500 OS Map, 1870
Map 3 Third Edition 1:2500 Ordnance Survey Map, published 1909

Photos

- Photo 1** View over Well House Farm from Ranulph Road, Well House Cottage on the right
Photo 2 Principal (east) elevation
Photo 3 North elevation
Photo 4 Detail of door and window in north elevation
Photo 5 South elevation
Photo 6 West elevation
Photos 7, 8 & 9 Hallway looking north-east (left) and south-west (centre) and showing the under-stair cupboards
Photo 10 Lobby to WC, with stone threshold indicated by red arrow
Photo 11 View north-west in the sitting room
Photos 12 & 13 Chimney detail (left) and view south within the sitting room (right)
Photo 14 View south-west within the Sitting Room
Photo 15 View south within the kitchen
Photo 16 View south within the kitchen
Photos 17 & 18 Braced and ledged doors used throughout the first floor
Photos 19 & 20 Stained floorboards contrasting with the unstained boards in the airing cupboard (left) with stain carried over the hearth (right)
Photo 21 'Front' (west) bedroom in the former southern cottage
Photo 22 'Front' (west) bedroom in the former northern cottage
Photos 23 & 24 View south along the corridor (left), giving access to the 'L' shaped room to the west (right)
Photo 25 View from the hall window looking out over the shelter shed
Photo 26 Shelter shed on the north side of the yard
Photo 27 West end of the shelter shed

Photo 28	South elevation, with the padstone identified by the red arrow
Photos 29 & 30	External view of Frame C, noting the brace (left) and internal view of Frame B (right)
Photo 31	East elevation of the shelter shed
Photo 32	East face of the courtyard wall, adjoining the shelter shed
Photo 33	South face of Frame B, between Bays 1 and 2
Photo 34	View north within Bay 1
Photo 35	Detail of the south end of Frame B
Photos 36 & 37	North (left) and east (right) walls within Bay 2
Photo 38	Detail of the south end of Frame C
Photo 39	Detail of the post on the south end of Frame C, with junction identified by red arrow
Photos 40 & 41	North end of Frame D (left) and south end of Frame E from Bay 4 (right)
Photo 42	Post on Frame F
Photo 43	Partition on Frame D
Photo 44	Internal view of East masonry wall, with crack location identified by red arrow
Photo 45	Internal view of infill to south elevation within Bay 6
Photo 46	South elevation of the larger element of the Warehouse
Photo 47	East elevations of the Warehouse
Photo 48	South elevation of the Warehouse's smaller element
Photo 49	South elevation of the Warehouse's larger element
Photo 50	South-east corner of the Warehouse's larger element
Photo 51	West elevation of the Warehouse's larger element
Photo 52	Detail at west end of the Warehouse, note the various materials of the plinth
Photo 53	Scissor trusses in the larger Warehouse element
Photos 54 & 55	Access to the office from the main entrance (left) and to the kitchen from the workshop (right)
Photo 56	View west within the Warehouse, from beneath the eastern mezzanine
Photo 57	View east within the Warehouse
Photo 58	View west from within the smaller element of the Warehouse
Photos 59 & 60	View east (left) and detail of the 'trusses' in the Warehouse's smaller element (right)

SUMMARY

Project Name: Well House Cottage

Location: Wellhouse Lane, Headbourne Worthy, Winchester

NGR: 447610, 132053

In June 2020 Cotswold Archaeology was commissioned by Wykeham Homes to conduct a Level 2/3 historic building recording of the cottage and farm buildings at Well House Cottage, Headbourne Worthy. The buildings date to the later part of the 19th century and are not included on Historic England's National Heritage List for England. The recording has been undertaken as a condition of the grant of planning permission by Winchester City Council in July 2020 for the demolition of extant structures to facilitate redevelopment (planning reference: 20/00845/FUL). The scope of the recording has been agreed through a Written Scheme of Investigation (WSI) with the Council's Historic Environment (Archaeology) Officer, Tracy Matthews.

The Site includes Well House Cottage, a domestic dwelling, and outbuildings, arranged around a regular courtyard. To the south of the group lies a large Dutch barn which is outside of the scope of this assessment. The traditional buildings were built as a functional farm group in the 19th century, with the Dutch barn added in the mid-20th century. Some of the outbuildings were later converted to commercial uses, independent of the cottage. An appraisal is presented for the small farmstead, together with an identification of the significance of the constituent buildings. Whilst the farmstead has some value in terms of its landscape amenity, its heritage significance, and that of the buildings, are considered to be low in comparison with the rich legacy of agricultural structures within Hampshire.

The recording has described the exterior and interior arrangement and fabric for each of the buildings, as well as provided photography of the elevations and features which have been keyed to an annotated plan. The recording has also provided some commentary and discussion on the former use/s of the buildings and their development over time, as well as their relationships to one another.

1. INTRODUCTION

- 1.1. In June 2020 Cotswold Archaeology (CA) was commissioned by Wykeham Homes to undertake a programme of historic building recording in respect of the former Well House Farm, Headbourne Worthy - hereafter referred to as 'the Site'. The small farmstead is situated to the south of Wellhouse Lane, between the villages of Headbourne Worthy in the east and Andover Road North (B3420) to the west (447610, 132053; Fig. 1). The recording was undertaken to satisfy the requirements of the Written Scheme of Investigation (Appendix 1) agreed by Winchester City Council (WCC) as part of the planning application for redevelopment of the site, and in accordance with Condition 6 of consent 20/00845/FUL.
- 1.2. The Site comprises 3 historic structures, together with a 20th century Dutch barn, the latter of which was outside of the scope of the recording. The buildings date to the later part of the 19th century and are not included on Historic England's National Heritage List for England, nor have they been specifically identified on the Historic Environment Record (HER) held by WCC and the Hampshire Records Office.

Objectives and professional standards

- 1.3. The objective of the recording is to understand the structural and functional history of the buildings and provide a clear record of their physical form, construction history, character and architectural detailing as part of the farmstead. The record comprises annotated sketch plans, photographs and a written description of the buildings in their current state prior to the approved works. The recording includes a degree of documentary research, which was undertaken utilising information available online. Hampshire Record Office's catalogue was searched for records specifically relating to Well House Farm, but no records were found which might advance our knowledge of the site or enhance the recording and reporting undertaken. The building survey equates to a Level 2/3 standard (a descriptive / analytical record) as defined in 'Understanding Historic Buildings: A Guide to Good Recording Practice' (Historic England 2016).
- 1.4. CA is a Registered Organisation with the Chartered Institute for Archaeologists (CIfA). This report has been prepared in accordance with the 'Standard and guidance for the archaeological investigation and recording of standing buildings or structures' published by the CIfA (2019), and with the aforementioned Historic England guidance on historic building recording (Historic England, 2016).



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● □ Site location
 1 → Direction of photograph

0 1km

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PROJECT TITLE
 Well House Cottage, Well House Lane,
 Headbourne Worthy

FIGURE TITLE
 Site location plan

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CHECKED BY	RP	DATE	29.07.2020	
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Consultation

- 1.5. This assessment has been undertaken in accordance with a Written Scheme of Investigation (WSI), formalising the adopted scope and methodology (CA 2020). The WSI was submitted to Tracey Matthews, Archaeologist, Winchester City Council for review, comment and approval and was approved on 9 July 2020.

2. METHODOLOGY

Evidence base

- 2.1. This Level 2/3 Historic Building Recording has been informed by sources which are referenced throughout the report and in the Reference section at the end of this report. The area surrounding the site forms part of the Kings Barton development scheme, for which the area's historic development and landscape has been explored with some level of detail. Where applicable, this assessment will draw on these resources, principally including the Archaeological Desk Based Assessment for Barton Farm produced by CgMs and revised in October 2009.

Level 2/3 Building Survey

- 2.2. In accordance with the aforementioned Historic England guidance and the approved WSI (CA 2020; Appendix 1), the survey comprises a Level 2 'Descriptive' / Level 3 'Analytical' Record of the building. The record will include an introductory description followed by a systematic account of the building's context, origins, development and use. The main part of the recording will incorporate a description of the interior and exterior of the buildings on the Site, supported by sketch plans, together with a photographic record required to illustrate the appearance and structure of the buildings and to support the historical analysis.
- 2.3. As per the above guidance, the drawn record includes:
- A site plan, at 1:500, relating the buildings to other structures and to related topographical and landscape features (based on available topographic survey of the Site); and
 - Roughly dimensioned sketches of the buildings.
- 2.4. The photographic record includes:
- A general view / views of the building(s) in its(their) wider setting;
 - The building's external appearance; and
 - The overall appearance of principal spaces and functional areas in their present condition;
 - Detailed photographs of structural or decorative features, including machinery or other evidence for the former uses (especially relevant to the agricultural outbuildings).

2.5. The written record includes:

- The precise location of the Site as an address and in the form of a National Grid reference;
- Any designations;
- Introductory text on the development of the buildings on the Site and the historic context in which it is located, including historic cartography;
- The date when the record was made, the name of the recorder and the location of any archive material;
- A summary of the building's internal and external forms, plan form, features and fabric, its materials and possible dates; and
- Building on the above, a summary of the building's form, function and sequence of development, as well as any discernible associations.

2.6. The Level 2/3 building recording was undertaken by Historic Building Consultant, Heather Hall in July 2020.

Limitations of assessment

2.7. The recording is to be conducted during a period when the COVID-19 pandemic necessitates changes to normal working practices. Whilst Hampshire Records Office resumed opening from the 21 July 2020, no records could be sourced on the online catalogue which might enhance the recording and therefore necessitate a visit. On this basis, the documentary research undertaken, including historic map regression, has primarily relied on sources available online. Wherever possible, reference will be made to known resources where these are unable to be viewed in person.

2.8. There was sufficient access to the buildings to undertake the necessary recording and to assess its significance. Access was possible to most areas of the Site and all of the areas were fully inspected; however, the record focuses on those elements which are of greater historic interest.

3. HISTORIC BACKGROUND

3.1. Section 3 discusses the historic context and phased development of the farmstead and Section 4 provides a record of the current form, materials and spaces of the three buildings on the Site which will be lost by the redevelopment.

Landscape context

3.2. The Site lies to the north of Winchester, and on the western outskirts of the historic settlement at Headbourne Worthy, within the national landscape character area 130: Hampshire Downs (NCA130) as defined by Natural England. The Hampshire Downs are part of the belt of chalk belt that runs south-east to north-west across Hampshire. The chalk acts as a large aquifer feeding several small streams, including the River Itchen, which flow in valleys and supported the growth of historic settlements. Much of the character of the landscape is 'downland', historically renowned for sheep and corn farming, with an agricultural landscape type defined as 'chalk and limestone mixed'.

3.3. The characteristically rolling landscape to the north of Winchester forms part of the 'exposed open arable' landscape type defined by the Winchester District Landscape Character Assessment (WCC & HCC 2004). On these open downlands, the farmed landscape is typically extensive in character with a field pattern comprised of simple, large-scale fieldscapes providing evidence of the gradual and planned enclosure from the medieval period (Photo 1). A particular feature of this area is the network of distinctive and ancient droving roads and trackways which cross the landscape (Natural England 2014).



Photo 1 View over Well House Farm from Ranulph Road, Well House Cottage on the right

-
- 3.4. The Hampshire Integrated Landscape Character Assessment (HILCA) looks at the landscape character in finer detail. The Site lies within the LCA8e Mid Hampshire Open Downs character area, on the western edge of the Itchen Valley (LCA3c) has a landscape character type of ‘open downs’.

Historic Landscape Character

- 3.1. The Historic Landscape Character (HLC) within the Site, as defined by the Hampshire Historic Landscape Assessment (Lambrick and Bramhill 1999), comprises a number of different HLC types, as listed below:

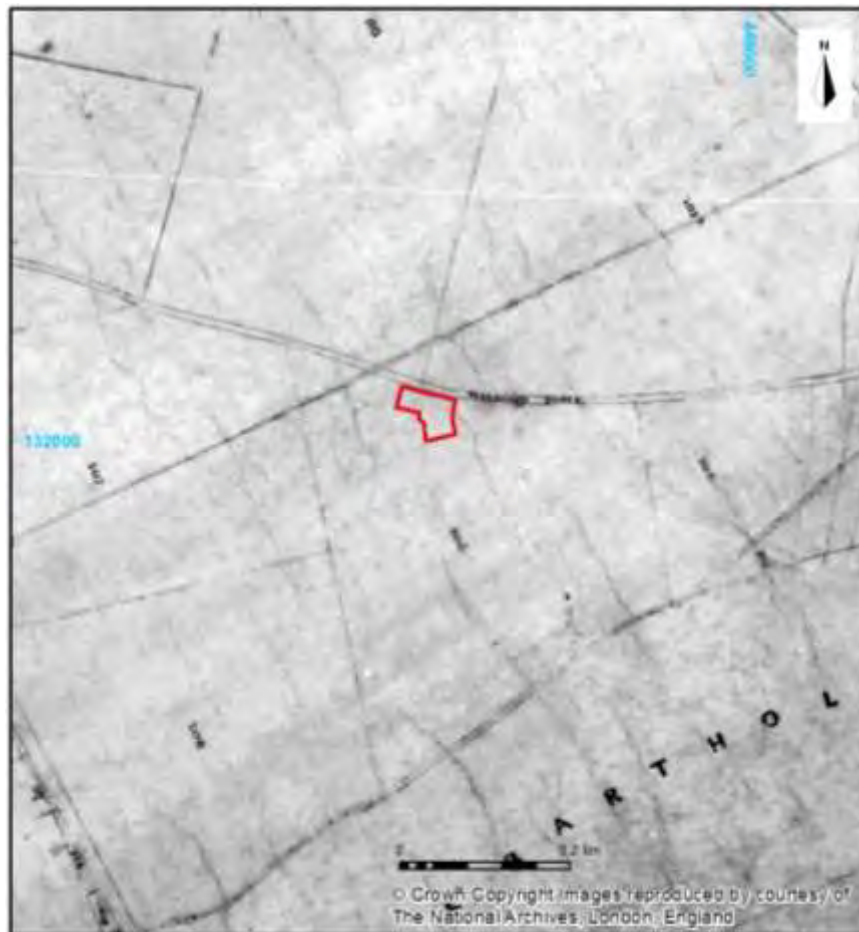
‘HLC type 1.11 – Parliamentary Type Enclosure. Large regular fields with straight boundaries typically created by the enclosure acts of the 18th and 19th centuries. Enclosures are generally rectangular with straight surveyed boundaries and can form a regular grid-like field pattern.’

Historic context

- 3.2. The history of the area is well set out in the Barton Farm assessments. On this basis, the following section aims to look at the broad patterns of the post-medieval landscape and evidence on-site, correlating with the historic development of Well House Cottage in the later 19th century.
- 3.3. The historic cathedral city and ancient capital of Wessex, Winchester serves as the county town of Hampshire. By the late Saxon period, settlement had extended into the Itchen Valley, and a small settlement based on the manor had sprung up at Headbourne Worthy. One of a series of ‘Worthys’ (together with Abbots Worthy, Kings Worthy and Martyr Worthy) probably carved out of a royal estate, the manors and settlements were variously held by kings, the church and great landholding families.
- 3.4. Historically surrounded by open field systems, with water meadows in the low-lying flood plain, large tracts of land to the north of Winchester were inclosed by an Act of Parliament in 1788, the character of which survives today. From the medieval period, scattered farmsteads anchored this intensively farmed landscape.
- 3.5. The Headbourne Worthy Tithe Map of 1837 shows this enclosed agricultural landscape. The alignment of the proposed London to Winchester and Southampton Railway is marked on the map to the east of the Site but has not yet been completed. Wellhouse Lane is identified as Wildens Drove, suggesting the higher

Downs were historically grazed. The historic footpath along Barton Farm Ridge to the south is another remnant of earlier access across this enclosed landscape.

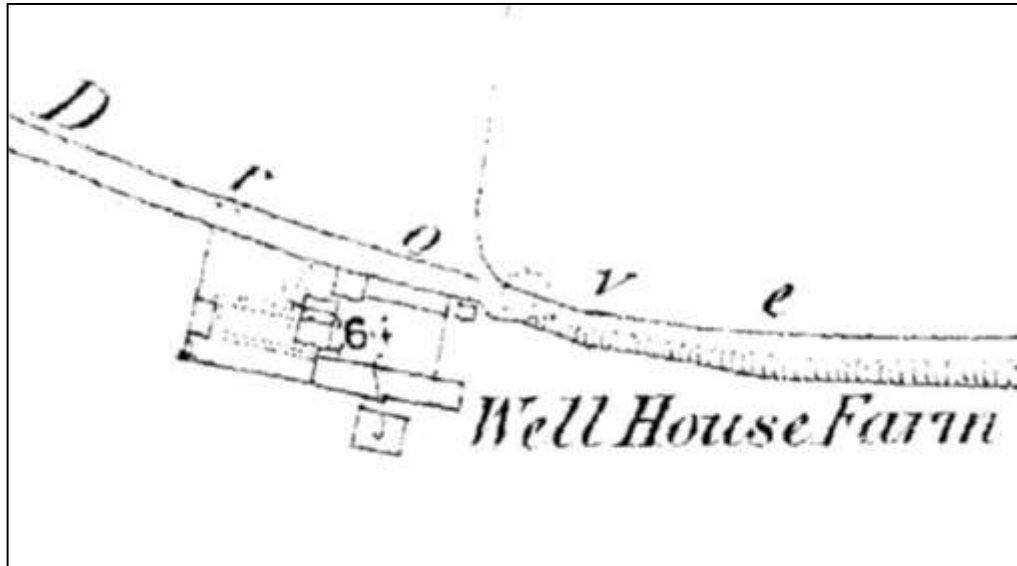
3.6. The Site is situated on the south side of the road, within plot 105 (Map 1) known as 'Middle Field', in arable cultivation. It has been suggested that the field names, including 'Middle Field' derive from the mid-17th century (CgMs 2009). With the exception of one small plot adjoining the west end, all of the land parcels to the south of Wellhouse Lane are in the ownership of The Warden & Fellows Clerks of St Marys College of Winchester. The lands were leased and occupied by James Watkins the Younger, probably residing in Lower Farmhouse (NHLE 1303249) on the western edge of Headbourne Worthy.



Map 1 Headbourne Worthy Tithe Map of 1837 (Reproduced from www.thegenealogist.com)

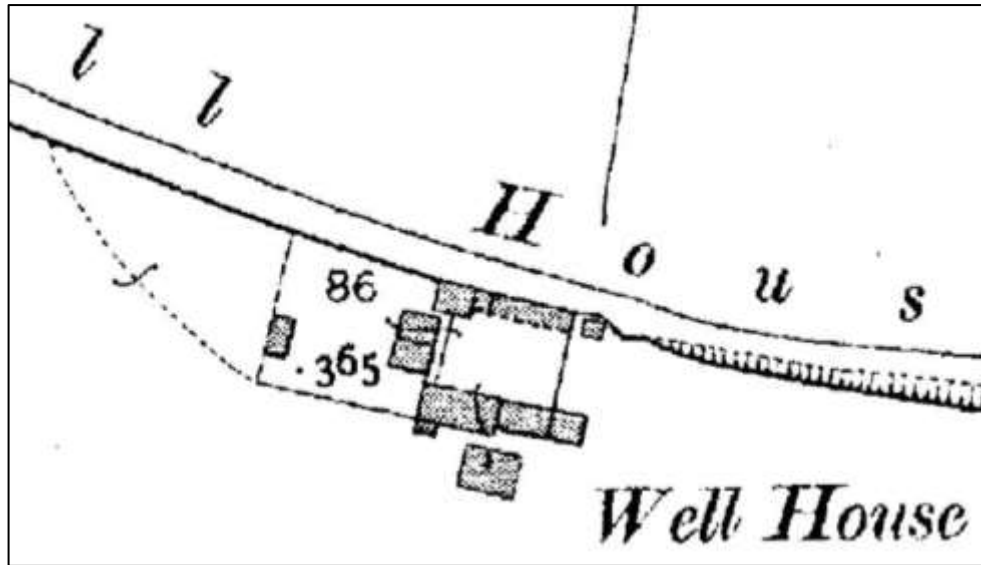
3.7. From its first appearance on the 1870 Ordnance Survey (OS) Map, the small farmstead within the Site is labelled as Well House Farm. The map suggests the presence of a pair of cottages, probably for workers, set at the eastern end of small gardens. A large outbuilding is shown to the west, on the property boundary, and a yard to the east flanked by north and south ranges. There are further stand-alone

buildings shown to the south and east, outside of the yard. At this time, the northern range is shown as being made up of two buildings, while the southern range is made up of three outbuildings protruding beyond the yard to the east (Map 2).



Map 2 First Edition 1:2500 OS Map, 1870 © Crown copyright and database rights 2020
Ordnance Survey 0100031673

- 3.8. The cottages are depicted as a single dwelling on the 1896 OS map, but shown again as two cottages on the subsequent map of 1909, and likely to have been a pair of cottages continuously up until the later 20th century. Otherwise, there are few apparent changes to the small farmstead between 1870 and 1896.
- 3.9. Only minor changes are reflected on the Third Edition OS map from 1909 (Map 3). This map shows the northern range to be open fronted onto the yard and its western end has been subdivided. There has also been a small addition to the south-west corner of the southern range and a small area of land has been set aside at the western end of the garden (Fig. 4).
- 3.10. Up until the mid-20th century the northern range is shown adjoining another building to the west. By c. 1953, this building and the small stand-alone outbuilding to the east of the north range (outside of the yard) were demolished. By this time, a large shed, open on its northern face, had been constructed to the south. The stand-alone building to the south side of the courtyard was replaced with a smaller building, perhaps corresponding with the construction of the Dutch barn. This is probably the Dutch barn still standing in the southern portion of the Site, though now enclosed on all sides.



Map 3 Third Edition 1:2500 Ordnance Survey Map, published 1909 © Crown copyright and database rights 2020 Ordnance Survey 0100031673

- 3.11. The square building at the east end of the south range (outside of the yard) was demolished sometime between c. 1950 and c. 1968, followed later by the loss of the outbuilding sitting between the south range and the Dutch barn and the outbuilding within the garden.
- 3.12. From c. 1980 the cottages appear to have been used as a single dwelling known as Wellhouse Cottage. Towards the end of the 1980s the small projection on the south-west corner of the south range had been replaced by the aisle. The aisle was later further extended to the east, though this is not reflected on the maps. In the early 1990s, a fire substantially damaged the southern range, which was completely re-roofed (*pers. comm.* Michael Burge, 16 July 2020).
- 3.13. Until recently, the cottage was tenanted, with the northern range, shown as open fronted into the late 1980s, acting as a shed, providing ancillary storage as well as animal housing. The southern range has been used independently as a commercial joinery workshop, with a separate metalworking firm occupying the Dutch barn.

4. HISTORIC BUILDING RECORD

4.1. Well House Farm comprises a small courtyard farmstead, enclosed on three sides. The yard is accessed from an opening in the east wall, adjoining the farm track which leads south. The west side of the yard is defined by the cottage (Fig. 2; **A**), with its garden to the rear. A small shelter shed lies on the north side parallel to Wellhouse Lane, fronting the yard to the south (**B**). The southern side of the yard is defined by a larger warehouse, made up of two elements, which front to the south and east, outside of the yard (**C**). These elements are shown on the farmstead plan in Figure 2, with further figures corresponding with the discussions for each of the buildings individually below.

Farmstead analysis

4.2. The cartographic assessment and recording show the cottage and shelter shed to be part of the historic farmstead at Well House Farm, constructed in the agricultural hinterland between Winchester and Headbourne Worthy in the mid- to late-19th century. Whilst approximating the footprint and position of an historic structure, the warehouse has been substantially rebuilt, such that its principal contribution is to the layout and form of the farmstead. The buildings retain their modest and inherently functional character and the historic structures represent the local vernacular.

4.3. As a whole, the farmstead has suffered more than 50% loss as compared with its earliest discernible form, through loss of all of the outbuildings outside of the yard and reduction of the northern range. Despite this, the essential courtyard layout has survived, as have the evidential relationships with Wellhouse Lane and the farm track leading south.

4.4. The scale of the farmstead, its standard courtyard layout and the typologies of the surviving buildings at Well House Farm suggest these were low in status, possibly constructed as an outfarm. Historic England defines 'outfarms' as generally consisting of one or more buildings set around a yard away from the main farmstead, possibly with a cottage for a farm worker sited nearby (Lake, 2014). English Heritage's 2005 pilot project on 'Historic Farmsteads and Landscape Character in Hampshire' notes that '*outfarms were usually created on larger farms or in areas where the farmsteads remained in the villages after enclosure, resulting in some fields being distant from the main farmstead*'. Farms are known to have generally been large in the chalkland areas of Hampshire in the 19th century.



447600
447650
132050
132000



- Foliage
- Planting
- Grass
- Tarmac
- Concrete
- Gravel
- Timber fence
- Open mesh fence
- 1 → Direction of photograph

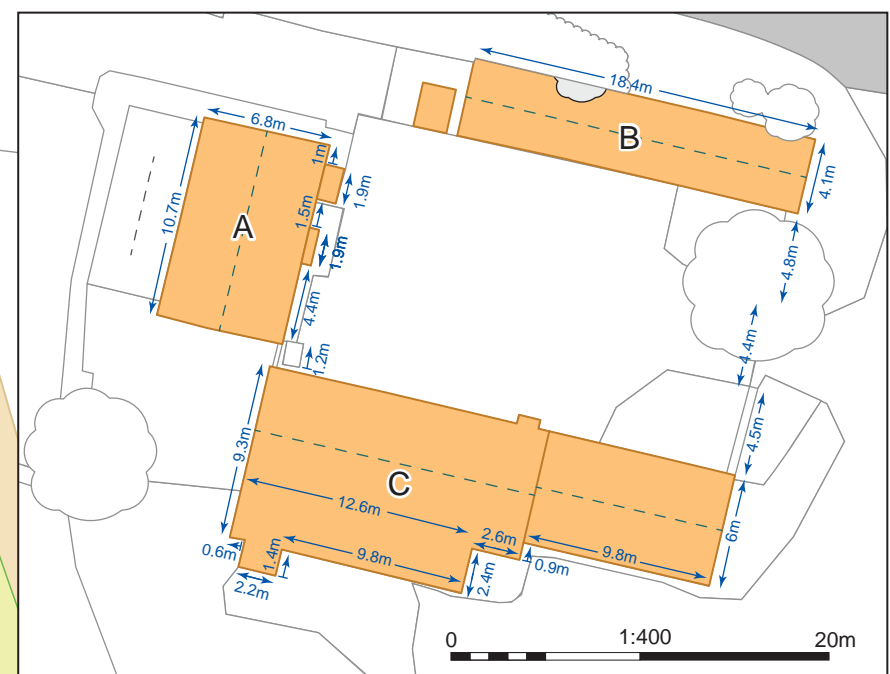


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PROJECT TITLE
**Well House Cottage, Well House Lane,
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FIGURE TITLE
Farmstead plan

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- 4.5. Based on the Tithe Apportionment, we might assume a parent-child relationship with the main farm (Lower Farm) in Headbourne Worthy, however this was only sited c. 1km away. Conceivably, this would not be far enough away as to necessitate an outfarm, which would have also required some amount of capital to build. At the very least, the pair of cottages implies some form of relationship with a parent farm.
- 4.6. Well House Farm appears to be one of a series of small farmsteads which were constructed in what Historic England (2017) terms the 'High Farming' years of the 19th century, together with Barton Farm to the south-west and Newbarn Cottage in the neighbouring parish of Littleton. Construction of the Dutch barn in the mid-20th century, set away from the yard, is consistent with the evolution of farming practices in the post-war period.
- 4.7. Well House Farm had a somewhat atypical arrangement for this region, in terms of the siting of the cottages at one end of the yard. The farmstead characterisations for Hampshire suggest that farmhouses were more typically detached from the main group with their primary elevation facing away from the yard (Edwards 2005). The distinction here may lie in the function of the dwelling as farm workers cottages as opposed to a farmhouse. It is also difficult to draw conclusions about the arrangement in the absence of additional information about the form, use and type of buildings which made up the historic southern range. In the south-east, the regular courtyard plan arose in the late-18th and 19th century out of the application of 'modern' farming methods which allowed for the more organized management of the process-flow on the farmstead and accompanied the extension of mechanisation (Historic England 2017; HCC n.d.).
- 4.8. By virtue of their greater degree of survival, the shelter shed and cottage have more potential to provide evidence about the historic farmstead. The name Well House Farm implies the presence of a well, as would be typical on a farm in the chalk downs. Generally, well houses were often small, simple structures and on the whole do not have high rates of survival as a result. Whilst OS maps sometimes indicate the presence of wells, the available mapping for Well House Cottage has not shown the location of this. Based on their small scale, it is possible that this was one of the structures at the east end of the courtyard, or possibly the larger building at the west end of the gardens, but no evidence remains (English Heritage 2013).

-
- 4.9. As detailed above, the functional orientation of the cottage appears to have shifted over time. Whereas the cottage fronts east onto the yard today, it seems likely that it fronted west onto the garden in its earlier form. This likely reflects the decline of the farm and its evolution to a commercial and more purely domestic use. The degree of fabric survival for the cottages is low with considerable loss of its traditional features (windows, joinery, etc.) and substantial late-20th century alterations. Its main contribution to the group lies in its simple form, overtly modest external character and representation of the vernacular tradition in Hampshire of flint walling beneath a clay-tile roof.
- 4.10. Considered individually, the shelter shed to the north is the most interesting of the three buildings, however the fragmented survival of the fabric tends to limit its heritage interest, which might also be confused due to the incorporation of reused elements (perhaps a variety of them). More generally, the most exposed elevations, those fronting onto the adjacent routes, have been built in masonry, suggesting some consideration and capital went into their planning and construction. Its position, facing onto the yard, suggest the small outbuilding was historically a shelter shed, corresponding with some form of animal husbandry, but on a small scale. The regular U plan is also typically associated with mixed arable farms in areas of planned enclosure, albeit less common in the chalk downland areas of the south-east region (Edwards 2014).
- 4.11. The significant loss of historic features on the warehouse has substantially compromised its evidential value, and broader understanding of the farmstead as a whole, though it retains broader historic (illustrative) value in terms of defining the yard and some aesthetic value in terms of its modest, functional appearance, vernacular materials and simple form.
- 4.12. In summary, Well House Farm correlates with the wider pattern of 19th century development of farms locally and regionally and contributes to the wider landscape character through its vernacular form and materials. The farmstead's relationship with the lane and tracks, the way that buildings relate to each other and the yards and other surrounding spaces, as well as the broader landscape and settlement of Headbourne Worthy all inform its significance.

Well House Cottage (A)

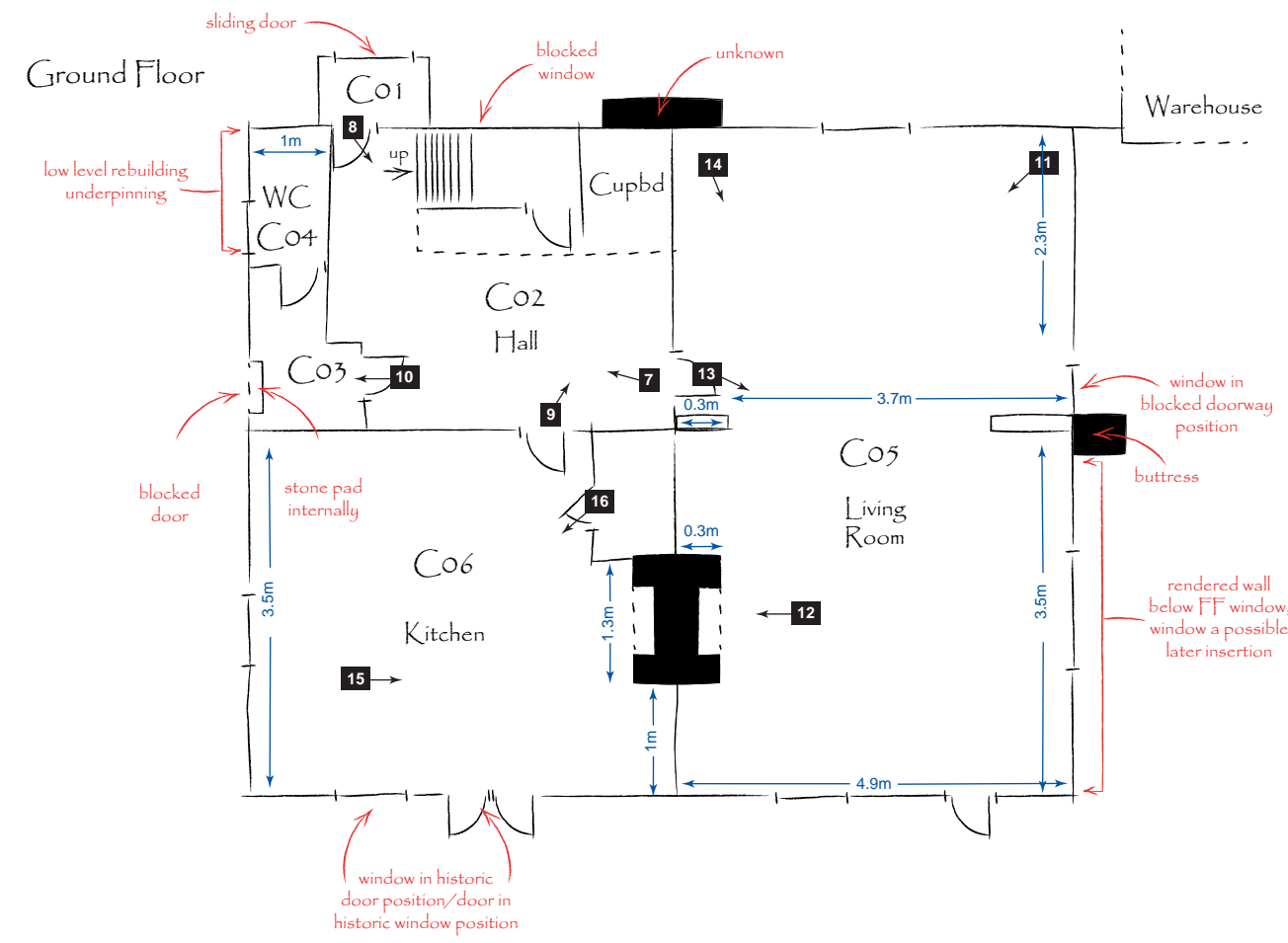
Exterior

- 4.13. The cottage has a simple appearance, constructed of flint with brick quoins, under a slate roof with tiled ridge. Centred on the chimney, the building used to be two cottages, but has since been altered to form a single cottage. The building has experienced a number of later alterations, but the southern portion appears to be slightly more intact in terms of its fenestration pattern on both the front (east) and rear (west) elevations.
- 4.14. Brick infill in the principal (east) elevation provides evidence for the location of an earlier opening, under a cambered arch, which would have resulted in a symmetrical appearance (Photo 2). These are likely to have been windows, though a concrete rendered apron has been added to the base of the wall, obscuring evidence which might confirm this. Based on the small size of the cottage, its historic floor plan and the presence of historic door openings in other locations, the cottages appear to have fronted west, onto the garden.
- 4.15. Today, a uPVC door with sidelight has been inserted in the original east envelope, with the main entrance fronting the yard. This new opening is enclosed by a horizontal boarded timber porch under a flat felt roof and accessed by thin-profiled aluminium glazed sliding doors. The door and porch partly interrupt the brick infill of the former window opening, but its cambered head remains legible, matching that to the south.
- 4.16. All of the windows are uPVC, storm profile with large glazed panes. Typical of modest 19th century buildings, the heads of the upper floor windows are tucked under the eaves, with sloping tiled sills. The corners and apertures are quoined with a red brick.
- 4.17. The elevation has been unsympathetically repointed in the past, resulting in patches where the mortar has been slurried over the facing flintwork and in places over the brickwork, especially apparent to the south and around the ground floor window. Sitting centrally on the elevation, planting hides a low-level flint and brick lean-to with a tiled roof; its purpose currently unknown.

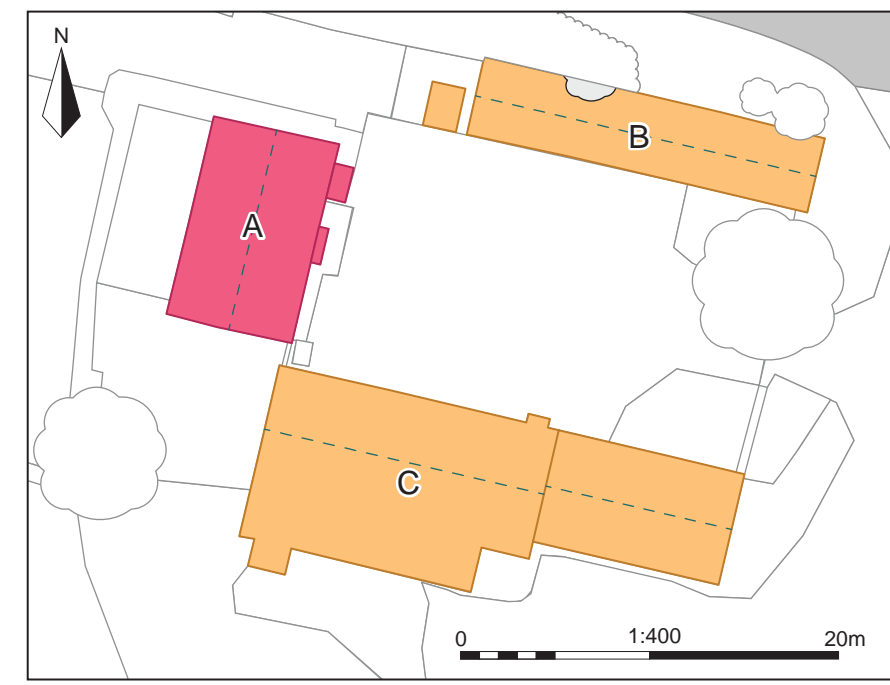
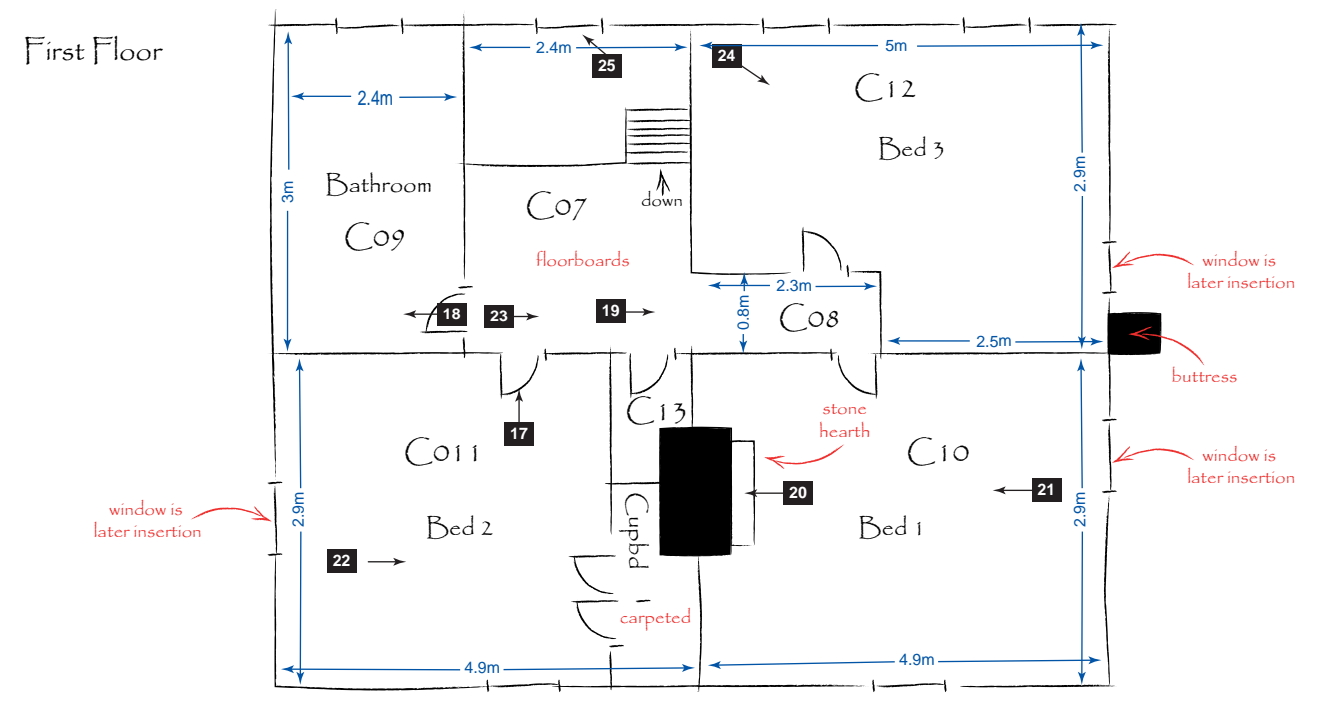


Photo 2 Principal (east) elevation

- 4.18. The north gable is similarly constructed in flint with brick detailing and is sparsely fenestrated. At ground floor, a narrow window sits to the east of a door, both with cambered arches over (Photo 3). The door is now blocked internally and is the only remaining traditional timber feature of any age in the cottage. The door position is mirrored on the south elevation by a similar, now altered opening, believed to be the 'back door' to the cottages respectively. Below the window, at the north-east corner of the cottage there appears to have been some rebuilding, or possibly underpinning, as shown by the later brickwork infill (Photo 4).
- 4.19. At first floor there is a single window with a brick soldier course serving the rear room. Adjoining this, a vertical area of brickwork rises from beneath the tiled sill of the window to the underside of the ridge. These appear to be integral with one another. Where the brickwork meets the flint, there has been some repointing in the past, in a darker mortar (probably cement), possibly suggesting that these features were added with the brick spine serving to strengthen the gable. Internally, there is no evidence for a chimney at the first floor which might otherwise explain this. A simple timber barge board protects the rafters and protruding ends of the purlins.



← 1 Direction of photograph



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PROJECT TITLE
 Well House Cottage, Well House Lane,
 Headbourne Worthy

FIGURE TITLE
 Sketch plan - Well House Cottage

DRAWN BY	DJB	PROJECT NO.	AN0194	FIGURE NO.
CHECKED BY	RP	DATE	30.07.2020	3
APPROVED BY	HH	SCALE@A3	NA	



Photo 3 North elevation



Photo 4 Detail of door and window in north elevation

4.20. The south gable has similar features which are more clearly later insertions, strengthening the suggested alterations to the north gable. Two windows have been inserted at first floor, flanking a two-stage brick buttress (Photo 5). The upper portion of the gable, above the brick soldier courses, features cement hanging tiles matching the tile on the buttress. Below the sill of the window to the west of the buttress, the flint has been covered with cement render, obscuring details of the

window and all other details. Proportionally, this window appears to match the inserted window above and may also be a later addition (also note that the lack of a corresponding ground floor window on the north elevation).

- 4.21. A large amount of building debris was piled at the base of this elevation, which prevented close inspection of the wall. However, brick infill beneath the window suggests a door opening has been reduced. This door corresponds with the location of the door in the north elevation, and is also believed to be the 'back door' to the southern cottage. The window now in this opening has narrower and taller proportions akin to a former door opening and also sits under a cambered arch.



Photo 5 South elevation

- 4.22. To the rear, scarring on the elevation, together with the concrete pad and remnants of low-level cavity walls, suggests a structure has been removed. Otherwise, the elevation is composed similarly with the front elevation, its symmetry disrupted by later alterations to the ground floor fenestration to the north. The remains of historic brick quoining and brick infill suggest a door where there is now a window, with a former window opening altered to provide a double-door (Photo 6). In its original form, the fenestration of this elevation would have appeared more formal by virtue of the alignment of the windows on the ground and first floors, which also suggests it may have been the 'front' elevation. As elsewhere, the doors and windows are uPVC replacements with storm profiles.



Photo 6 West elevation

Interior

- 4.23. Historically, the pair of cottages had a typical two-cell plan form (two-up, two-down), each with its own stair. The room accessed from the west, has a deeper floor plan than the room to the east which was also apparently unheated, suggesting that the cottages fronted west. As farm workers dwellings, the cottages would have had a simple internal character, likely with few decorative features, and a compartmentalised plan. Much of the historic internal character has been lost through later 20th century alterations to facilitate joining of the cottages into a single dwelling. By today's standards Well House Cottage is modest, comprising just two rooms and an entrance hall at ground floor, with three bedrooms and a bathroom at first floor.
- 4.24. Accessed from the porch (Fig. 3; **C01**), the entrance hall (**C02**) serves as the main circulation space between the rooms on the ground floor and with the first floor (Photos 7 & 8). The stair rises adjacent to the external (east) wall within an open stairwell, and is characteristically of the late-20th century.
- 4.25. A spine wall has been added to support the edge of the upper section of the stair, creating an open 'cupboard' adjacent to the under-stair cupboard (Photo 9). The floor is tiled and apart from narrow late-20th century skirtings and architraves, the hall is devoid of decorations.



Photos 7, 8 & 9 Hallway looking north-east (left) and south-west (centre) and showing the under-stair cupboards

- 4.26. The historic stair positions are unknown, and it is difficult to be definitive about the historic layout in the absence of additional information. That said, based on the discrepancies in the size of the rooms at ground floor (compared with the more equal sizing of the rooms at first floor), one possibility might be that there was a straight run flight of stairs located centrally within each cottage, rising to a small landing with a door to the east and west. Given the central position of the chimney in the 'front' (west) rooms, the stair would more likely have been positioned towards the opposite ends of these rooms, or alternatively were positioned to the rear (east).
- 4.27. Immediately inside of the entrance, a small WC has been inserted along the north wall, comprising two small spaces. The WC (Fig. 3; **C04**) is reached via a small 'lobby' (**C03**) corresponding with the location of the external door, now blocked. The narrow window adjacent serves the bathroom, and may have been inserted at a later date, though this is not immediately apparent in the external brickwork (see Photo 3, above). The introduction of plumbing may also account for the area of later brickwork below the window (giving the appearance of some rebuilding). The floor is painted tile, with a small inset stone threshold in the lobby, corresponding with the location of the door (Photo 10). This has an early 20th century appearance of a hearth, perhaps in a small rear kitchen, though there is little evidence for a chimney against the external wall. Given the position of the stone, if this were a 'hearth' the chimney would have been built against the external wall.



Photo 10 Lobby to WC, with stone threshold indicated by red arrow

- 4.28. All of the doors at ground floor have been removed from their hinges. These are generally metal strap hinges.
- 4.29. At the southern end of the hall, the two historic rooms have been amalgamated into one large living space (Fig. 3; **C05**), though the more compartmentalised floor plan remains legible in the downstand and nibs at either end of the room (Photos 11-14). A wood-burner has been inserted in the historic fireplace, sharing the central chimney. The solid floors have been overlaid with a wood-laminate, with an exaggerated tiled hearth in front of the fireplace (Photo 12). Flanking the chimney are built-in cabinets and bookshelves, probably dating to the late-20th or early-21st century. Otherwise, the room is mostly devoid of decoration save for a simple timber picture-rail which encircles the enlarged space.



Photo 11 View north-west in the sitting room



Photos 12 & 13 Chimney detail (left) and view south within the sitting room (right)

- 4.30. Throughout, the windows are uPVC casements sitting flush with the external face of the wall, leaving deep sills internally. In the south-west corner, a uPVC door in an historic opening gives access onto the garden. Prior to its removal, this door would have led into another space before the garden.



Photo 14 View south-west within the Sitting Room

- 4.31. As in the main living space, a pair of doors gives access onto the garden to the west. The door and window positions here have been swapped, as evidenced by the fabric externally, presumably to facilitate the kitchen layout.
- 4.32. To the north of the sitting room, the kitchen occupies the 'front' room of the former northern cottage (Fig. 3; **C06**). Whereas the fireplace in the sitting room retains its historic proportions, the opening in the kitchen has been enlarged to take a stove. A contrasting coloured tile has been used below to approximate a 'hearth' (Photo 15). Adjoining the chimney breast is a pantry cupboard with a late-20th century architraves. The northern end of the space features modern cabinets and a tiled-backsplash of no heritage value (Photo 16).



Photo 15 View south within the kitchen



Photo 16 View south within the kitchen

- 4.33. The first-floor layout is similar to that at ground floor, with access to the three bedrooms from the central hall in the former northern cottage (Fig. 3; **C07**), and a short corridor in the former southern cottage (**C08**). A bathroom has been added at the north end of the hall (**C09**). All of the rooms are partly in the attic space, with a skelling above the heads of the windows.

4.34. In contrast to the ground floor, all of the doors are extant at first floor. These comprise timber braced and ledged doors which have been stripped of paint (Photos 17 & 18). The doors have an ad-hoc collection of, presumably reused, hinges and latches which adds to the overall historic character which is more apparent at first floor. With the exception of a small area in the airing cupboard off the hall (Fig. 3; **C13**), the pine floor boards have been stained and have an unfortunate yellowish-orange tint (Photo 19). This treatment has also been applied over the stone hearth surviving in the south bedroom (**C10**; Photo 20).



Photos 17 & 18 Braced and ledged doors used throughout the first floor



Photos 19 & 20 Stained floorboards contrasting with the unstained boards in the airing cupboard (left) with stain carried over the hearth (right)

4.35. Whereas the rooms to the east appear to have been unheated, as at ground floor, the two rooms to the west have visible chimney protrusions (Photo 21). In both

instances, the fireplaces have been blocked, with the flue vented. To the north, late 20th century cupboards have been constructed around the chimney breast (Photo 22) and the floor carpeted, thereby obscured any features, such as the hearth, which might survive (Fig. 3; C11).

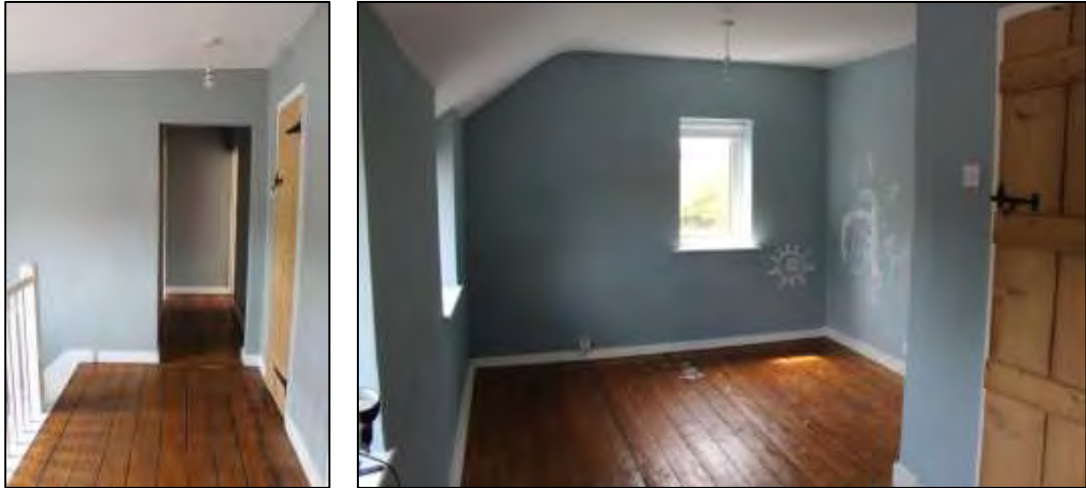


Photo 21 'Front' (west) bedroom in the former southern cottage



Photo 22 'Front' (west) bedroom in the former northern cottage

4.36. To the rear (east) there is a single 'L' shaped room (Fig. 3; C12) in the southern portion of the building, accessed off the short corridor which adjoins the landing (Photos 23 & 24). Aside from the door, the room has no features of historic interest.



Photos 23 & 24 View south along the corridor (left), giving access to the 'L' shaped room to the west (right)

4.37. The first-floor windows afford a variety of views out over garden, yard and surrounding landscape (Photo 25).



Photo 25 View from the hall window looking out over the shelter shed

Shelter shed (B)

Exterior

- 4.38. The outbuilding to the north is a 6-bay shed, formerly open fronted, and probably a shelter-shed. The north and east walls adjoining Wellhouse Lane and the track are constructed of chalk clunch with brick and externally faced with flints. Historically open-fronted, the south elevation has been infilled and clad with horizontal, sawn timber boarding (Photo 26). The roof is covered in red pantiles with a tiled ridge.



Photo 26 Shelter shed on the north side of the yard

- 4.39. Nineteenth-century maps have shown the small shed was historically adjoined at its western end by another building which is no longer extant. Inspection of the masonry wall reveals that the north-west corner of the shed has been rebuilt, and now supports the remaining portions of the framing at the west end (Fig. 4; Frame A). The brickwork of the rebuilt north-west corner is visible externally, with the elevation clad in timber boarding (Photo 27). There is a noticeable dip in the ridge at this end which potentially relates to past movement that necessitated the partial rebuilding.
- 4.40. By the beginning of the 20th century, the western-most bay had been separated off from the rest of the building and enclosed, with the remaining bays open to the yard. This remains legible in the fabric of Frame B which separates Bay 1 from Bay 2 internally, however the whole frontage has been renewed at some later date. There are four doors in the south front, giving access onto the now sub-divided

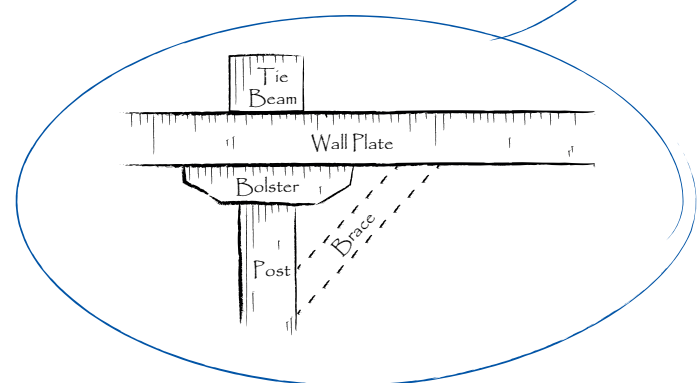
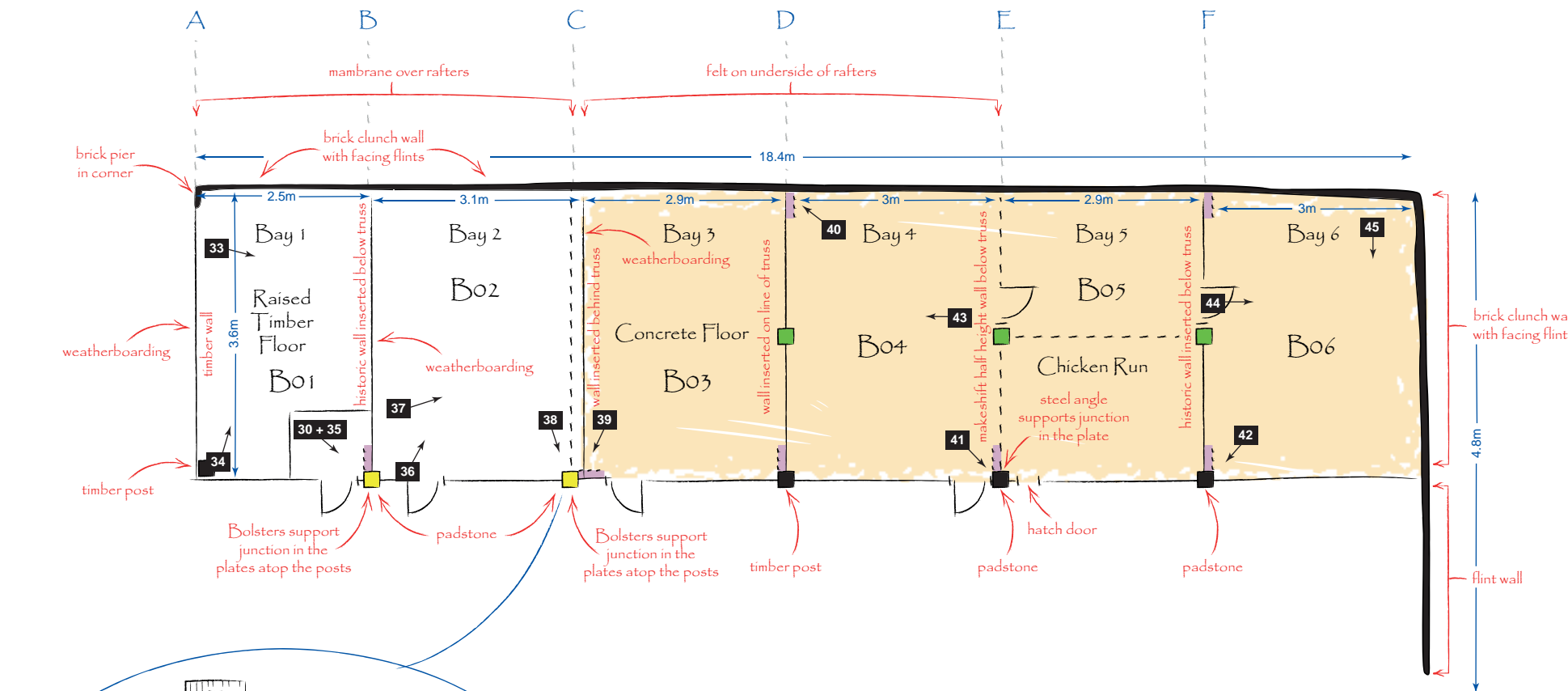
internal spaces, and generally reinforcing the bay structure. On the whole, the doors are ad-hoc, with cladding or plywood over simple timber frames. The two eastern-most doors are stable style, with their lower portions having vertical grooved boarding on their outer face.



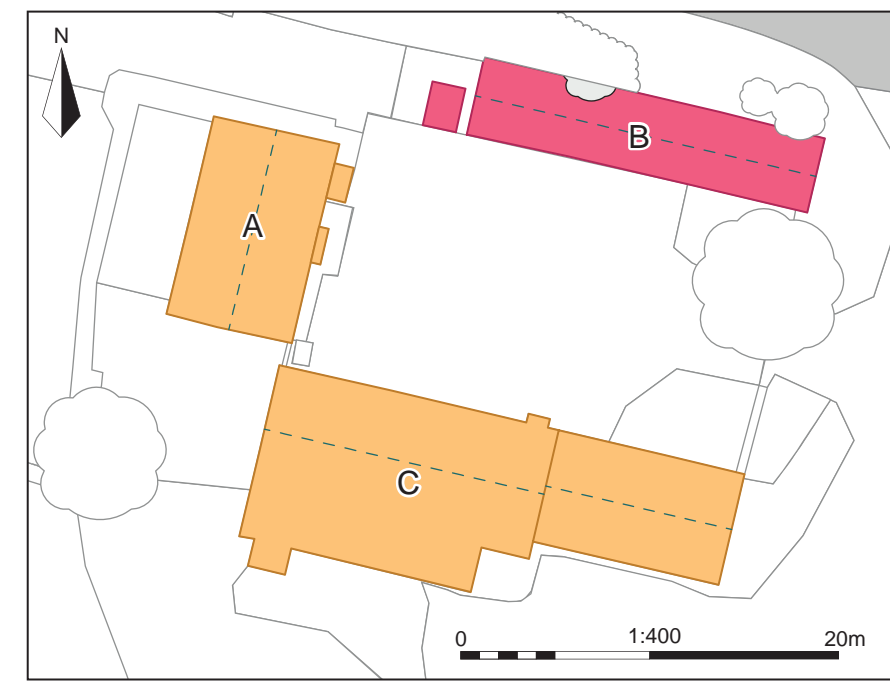
Photo 27 West end of the shelter shed



Photo 28 South elevation, with the padstone identified by the red arrow



- Complete timber frame element
- King post
- Collars above the ties
- Braces, showing orientation and visibility
- Direction of photograph



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 Well House Cottage, Well House Lane,
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FIGURE TITLE
 Sketch plan - Shelter shed

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APPROVED BY	HH	SCALE@A3	NA	

4.41. Whilst the cladding has been applied over the frontage, the rhythm of the bays can be discerned from the surviving 4no. padstones at the base of the posts, which protrude forward of the cladding (Photo 28). These survive on Frames B, C, E and F as shown in Fig. 4, though B and C represent more complete examples with extant bracing (Photos 29 & 30). Otherwise, the posts appear to sit directly on the concrete floor.



Photos 29 & 30 External view of Frame C, noting the brace (left) and internal view of Frame B (right)

4.42. The verges adjoining the masonry walls are overgrown, preventing close inspection of the rear (north) and east walls of the shed. It is proposed to retain the wall which fronts onto Wellhouse Lane as part of the redevelopment of the site. A substantial crack in the north-east corner, visible both internally and externally, suggests some structural issue, though the corner is reinforced with brick quoins. Mortar has been applied over the verge on the underside of the tile, following the pitch of the gable, with a rather untidy appearance (Photo 31).

4.43. The shelter shed adjoins a small section of wall with a triangular brick coping (Photo 32). Whereas the flints on the building's elevations are field flints, many of the flints on the inner face of the wall are snapped (i.e. the crust broken off to reveal their 'glassy' interiors). Unfortunately, there has been some poor-quality repointing with mortar smeared over the wall. The outer face of the wall was overgrown but also

appeared to feature some snapped flints, and may have been built at a different stage to the shed walls.



Photo 31 East elevation of the shelter shed



Photo 32 East face of the courtyard wall, adjoining the shelter shed

Interior

- 4.44. The bays are subdivided internally to provide 4 distinct spaces. With the exception of the historic partition between Bays 1 and 2 (Fig. 4; Photo 33), the walls are generally ad-hoc in nature, and made up of spare materials of no historic merit. The roof has been renewed, with sawn rafters whose ends are supported on the wall plates and a black geo-textile membrane over. These are affixed to the ridge board at the apex and otherwise do not benefit from a purlin or collars.



Photo 33 South face of Frame B, between Bays 1 and 2

- 4.45. There is a built-up timber floor within Bay 1, laid over the solid concrete floor. The extent of the rebuilding to the north-west corner is readily apparent on the inside face of the masonry wall, but the end Frame A (Fig. 4) appears to be extant supported on the new brick corner (Photo 34). Though the ties overlap the wall-plate, the northern ends of the ties on Frames A and B are supported on posts which sit immediately inside the masonry wall. The historic partition on Frame B is clad on the eastern side (within Bay 2), and some of the boards appear to be of some age, particularly towards the upper portion of the wall.
- 4.46. In the south-east corner, the padstone carries a post which sits under the plate (Photo 35). Known as a 'bolster', the posts have an additional horizontal member directly over the post performing a corbelling effect to strengthen the main plate (Corkhill 2009). This detail supports the obvious junction in the plate in this location but is also present where there is no junction in the plate, so this may be

coincidental in this instance. The post is braced to the N-S tie, but there is no evidence of braces in the E-W plane, as is found on Frame C.



Photo 34 View north within Bay 1



Photo 35 Detail of the south end of Frame B

- 4.47. Within the adjoining compartment (Bay 2), portions of the chalk clunch wall has been obviously rebuilt, with infill of brick, flint and cement mortar and a wall has been constructed behind Frame C (Fig. 4; Photos 36 & 37). The wall is minimally

framed with horizontal weatherboarding to the east face (within Bay 3). The tie on Frame C has a series of nails and hooks in its west face, with no apparent pattern and the ends of the tie are strapped to the plates at either end with traditional ironwork straps, a detail which is also apparent on many of the other frames.



Photos 36 and 37 North (left) and east (right) walls within Bay 2

- 4.48. At its southern end the tie does not sit directly over the top of the post, but is slightly offset to the east (Photo 38). In contrast with the post on Frame B, the posts on Frames C – F have been tarred or painted in the past, indicating their exposed nature. A redundant mortice in its north face of Frame C suggests the presence of a N-S brace which would have supported the south end of the tie, but it is unclear whether this is related to this particular frame (as found to the east) or if the timber is reused.
- 4.49. The post on Frame C supports a further junction in the plate, to the east of which there is a more substantial plate with a deeper section than the plate to the west (Photo 39). This is perhaps the explanation for the bolsters, which are more characteristically used to provide additional support to upper stories or where more extreme loads are expected. The remaining posts to the east all directly support the plate, without the use of a bolster, but with extra support to an additional joint in the plate on Frame E (Photo 41, below). To the east, a straight brace (in the E-W plane) supports the underside of the deeper sectioned plate, while the bolster makes up the depth below the shallower plate to the west. The western side of the post has been obscured by a piece of plywood internally and the cladding externally, so it was not possible to tell whether there was a corresponding brace, but this would seem unlikely.



Photo 38 Detail of the south end of Frame C



Photo 39 Detail of the post on the south end of Frame C, with junction identified by red arrow

4.50. Roofing felt has been added below the rafters in Bays 3 and 4 (Fig. 4), but interspersed collars nailed to the sides of the rafters are visible beneath. Additional posts sit atop the ties in Frames D, E and F to support the underside of the ridge, similar to a king post. Frames D and F are notable for the presence of braces in the N-S plane at both ends of the ties, which are also strapped to the plates (Photo 39). (N.B. The north end of Frame E was obscured, but there was a visible brace at the south end.) At the northern end, the braces appear to be embedded in the brickwork 'piers' which strengthen the clunch wall where it performs its structural function. A steel angle bracket provides additional support to the south end of Frame E, as there is a further junction in the plate atop this post (Photo 41).



Photos 40 & 41 North end of Frame D (left) and south end of Frame E from Bay 4 (right)

4.51. Figure 4 shows the positions and orientations of the visible braces, corresponding with the use of the support post and collars. Together, these elements reinforce the more consistent character of the timber elements at the eastern end, which differ from those at the western end. The posts on Frames D, E and F appear to clasp the deeper section plate (Photo 42). The reason for this is not fully understood, but likely relates to renewal of the roof at some point in the past.

4.52. On the whole, the partitions separating the spaces to the east of Bay 3 are much more temporary in nature (Photo 43), and generally more open or only below the tie. Bay 5 appears to have been used, at least partially, as part of a chicken coop, with a built-up concrete floor and a small door out onto the grassed area in front of the boundary wall. The rear walls within Bays 3 and 4 were protected by plywood boarding, presumably due to the presence of animals.



Photo 42 Post on Frame F



Photo 43 Partition on Frame D

4.53. Bays 5 and 6 are accessed internally from Bay 4. The masonry gable is a prominent feature within Bay 6 (Photo 44) but is showing signs of structural distress in the north-east corner where there is a sizeable crack. Infilling of the south elevation is also readily apparent there, with a simple frame of uprights supporting the external weatherboarding (Photo 45).



Photo 44 Internal view of East masonry wall, with crack location identified by red arrow



Photo 45 Internal view of infill to south elevation within Bay 6

Warehouse (C)

Exterior

- 4.54. The Warehouse is a substantial building comprised of two elements, both under corrugated roofs. The larger element at the west end is clad in horizontal, sawn timber boarding over a low concrete rendered plinth and sparsely fenestrated. The rendering has come loose on the north side, revealing a brick substrate. This has presumably been rendered in concrete to protect it from splashback from the tarmac surface of the yard. Otherwise, the south elevation features a single high-level window, adjoined by a downpipe which discharges into a gully below ground (Photo 46). The smaller element presents a solid colour-washed rendered elevation to the south, flush with the adjoining timber cladding.
- 4.55. At the east end, the smaller element features horizontal timber boarding to the gable with a blocked window over a central pair of timber doors. Red brick quoining defines the door aperture and corners (Photo 47). The north-eastern corner, adjoining the flint boundary wall was overgrown and could not be inspected in detail. Outside of the yard, the area immediately in front of the Warehouse, adjoining the gravel track is concrete. The topography rises gently across the site to the south, with the result that the ground level on the south side of the Warehouse is approximately 1 meter above the yard. These changes in levels are particularly apparent at the east end.
- 4.56. The east elevation of the larger element is similarly clad in timber boarding, with a square, four-pane, stained timber window sitting just above the ridge of the smaller element. The blocked window in the smaller element, visible in the timber boarding above the doors, appears to be a similar size and proportion.



Photo 46 South elevation of the larger element of the Warehouse



Photo 47 East elevations of the Warehouse

- 4.57. Similar to the north, the south elevation of the smaller element is blind. The colour-washed render is cracking, revealing the pattern of concrete blocks which make up the substrate. The corrugated metal roof has two agricultural style 'rooflights' made up of clear plastic panels, and there are black uPVC gutters.



Photo 48 South elevation of the Warehouse's smaller element

- 4.58. The larger element of the Warehouse features an aisle across much of its south elevation, and a further lean-to raised up on cement blocks towards the west end (Photo 49). The aisle has been constructed in two phases, with the eastern end added onto the end of an earlier aisle. The concrete foundation of the earlier element is visible between the two sets of large doors, and there is an obvious change in the corrugated roof material. This has been constructed over the external cladding of the main element of the Warehouse. As elsewhere, the roof is corrugated metal, with four full-size plastic 'rooflights' evenly spaced at the west end.
- 4.59. The pairs of doors are ad-hoc, made up of plywood sheets with rusting metal strap hinges. Otherwise the elevations are in the same horizontal, sawn timber cladding as found throughout. A piece of plywood is framed at the eastern end, suggesting a previous opening (Photo 50).
- 4.60. The lean-to outshot has a mono-pitched felted roof and is entered from the east. This is a later addition, without the benefit of foundations or a concrete pad, and appears to have been an ad-hoc addition. At the time of the visit, a garden hose was inserted through a small hole in the south elevation, and the surrounding ground was wet and slippery.



Photo 49 South elevation of the Warehouse's larger element



Photo 50 South-east corner of the Warehouse's larger element

- 4.61. The west elevation is perhaps the Warehouse's most attractive, featuring a central pair of windows with transom lights (Photo 51). The southern window had wired safety glass in the casement and transom above, but the remaining glazing is plain, single panes. The windows appear to have been inserted, as suggested by the visible geo-textile cloaking around and felt protection at the head of the window. The aisle is flush with the west elevation, with the lean-to set back. At the junction

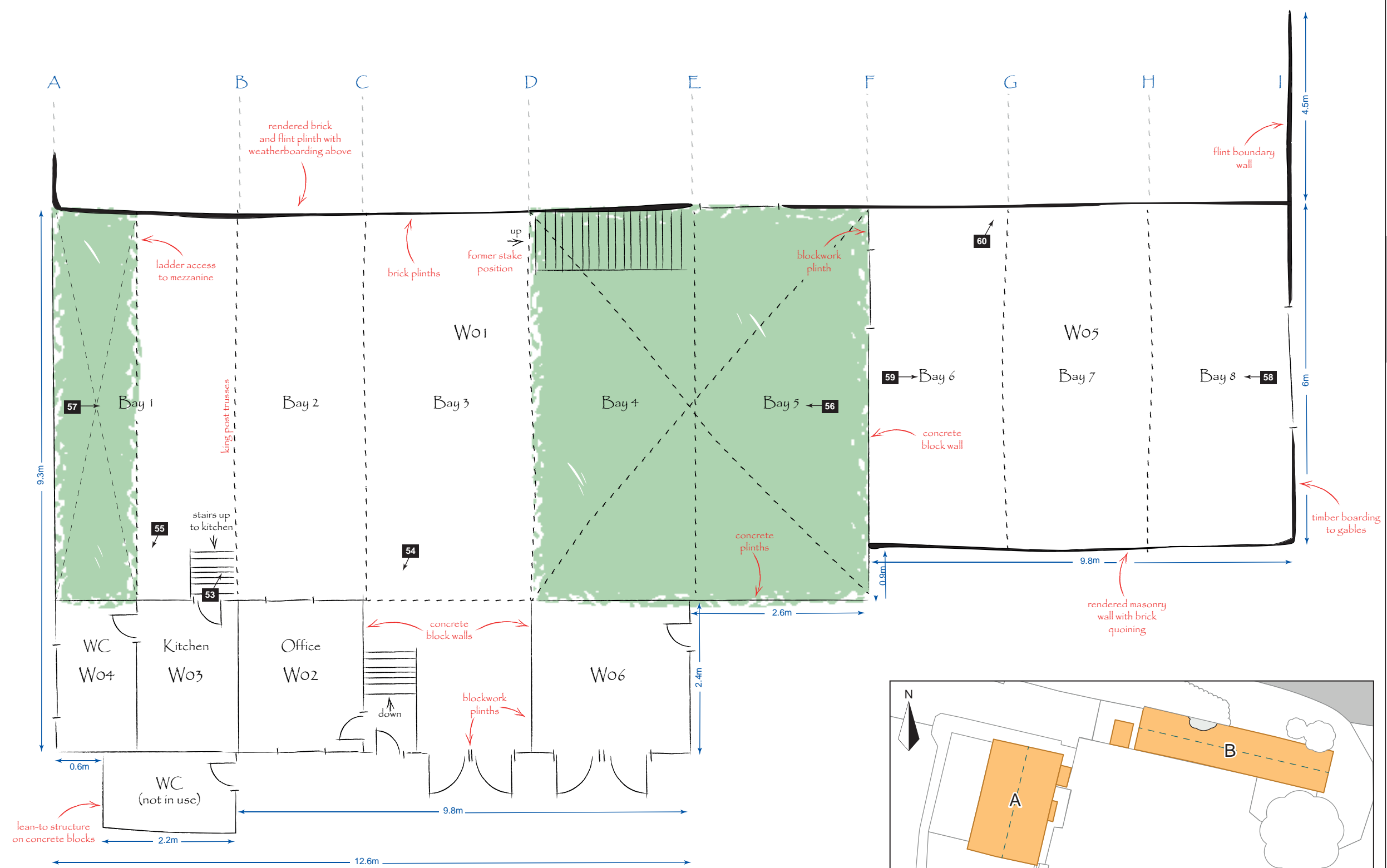
with the courtyard wall which links the Warehouse to the Cottage, the plinth has been rebuilt in reclaimed red brick, in stretcher bond and appears to have been subsequently patched and infilled (Photo 52). The plinth continues to the south in flint, at least as far as the aisle, where the lower portions of the wall were also in brick.





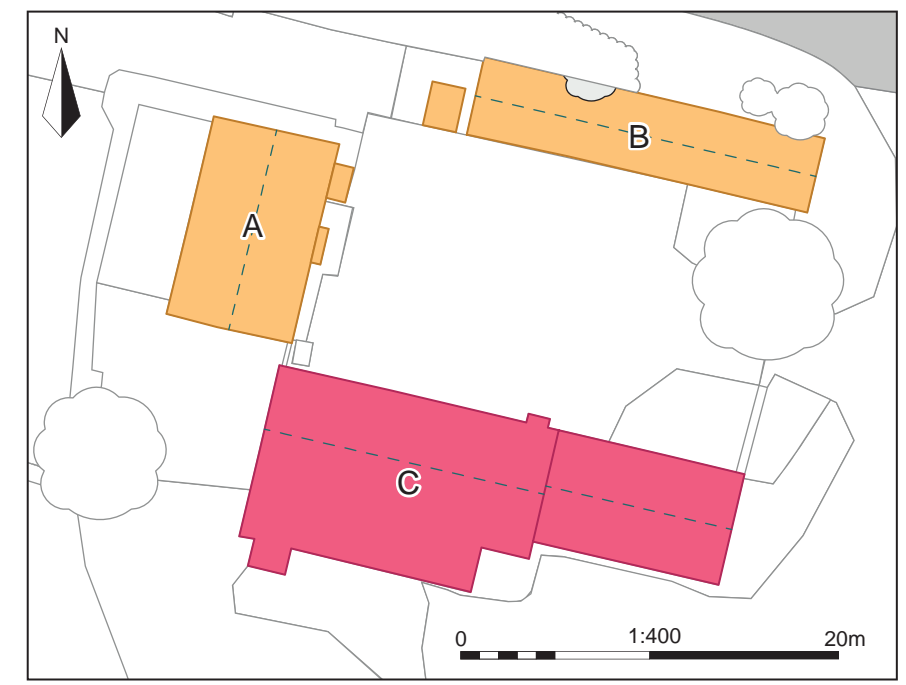
Photo 51 West elevation of the Warehouse's larger element



Photo 52 Detail at west end of the Warehouse, note the various materials of the plinth



 Mezzanine
 Direction of photograph



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 Well House Cottage, Well House Lane,
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FIGURE TITLE
 Sketch plan - Warehouse

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Interior

- 4.62. Whilst no planning records could be found to confirm, it is understood that the Warehouse was partially destroyed by a fire in the 1990's, and subsequently re-roofed. The fabric seems to support this, particularly on the interior, but also with the use of concrete block where brick or flint might normally be found.
- 4.63. Internally, the two elements open onto one another via a wide door opening in the shared wall. To the west, the interior is used as part of a joinery workshop (Fig. 5; **W01**) and to the east the smaller element principally provides material storage (**W05**). The main element is a 5-bay structure, with a scissor truss roof (Photo 53). By way of timber cleats, the trusses support a series of purlins, with a hardboard sarking with visible joints to the underside of the corrugated metal roof. The south slope features several clear panels which light the space from above. The whole effect is of a contemporary building.



Photo 53 Scissor trusses in the larger Warehouse element

- 4.64. The internal spaces are arranged over two levels, with the main workshop at a lower level to the supporting spaces (office, kitchen and WC) at the west end of the aisle. Within Bay 3, immediately inside the door, the aisle floor is contiguous with the workshop. The extension to the aisle is accessed externally, and houses a large machine which acts as the ventilation extract system for the workshop (Fig. 5; **W06**).

4.65. The office (Fig. 5; **W02**) is accessed from the small landing at the top of the short stair immediately inside of the door (Photo 54). The kitchen and WC (**W03** and **W04**) adjoin the office to the west and are accessed independently via a short flight of timber stairs up from the workshop floor (Photo 55). The concrete foundations beneath these elements are apparent and the walls are made of insubstantial hardboarding.



Photos 54 & 55 Access to the office from the main entrance (left) and to the kitchen from the workshop (right)

4.66. Within the main workshop space, there are two mezzanine areas. At the west end (Bay 1), a metal structure supports a narrow half-bay mezzanine accessed by a ladder, which sits over the head of the windows (Photo 56). At the east end (Bays 4 and 5), there is a larger, two-bay mezzanine on a sawn timber and MDF floor structure, and enclosed to the west by hard-boarding, with a small window opening (Photo 57). There is an opening in the floor where the stair or ladder would normally provide access to the space, but this was not extant at the time of the visit.

4.67. Hardboard lines the inner face of the external walls, obscuring their construction, though it was apparent from the thickness of the plinth that the wall construction is thin, probably with light timber or metal framing. Where visible, the plinth was variably of either concrete, blockwork or brick.



Photo 56 View west within the Warehouse, from beneath the eastern mezzanine



Photo 57 View east within the Warehouse

- 4.68. Within the smaller element at the east end, there are three main ties with their ends embedded in the masonry walls. The tie at the west end adjoins the timber cladding of the workshop's east end (Photo 58). Paired principal rafters either side of the tie form a sort of truss, with high level collars (Photo 59). The ties appear to be older in age to the rest of the roof and may be reused. Otherwise, the roof is similarly constructed with triangular cleats supporting a series of horizontal purlins beneath a

hardboard sarking, with 'rooflights' on the south slope. Chalk markings on the ends of the timber elements suggest that these may have been put in place together (Photo 60). Whilst blocked externally, the window in the east gable is retained in situ.



Photo 58 View west from within the smaller element of the Warehouse



Photos 59 & 60 View east (left) and detail of the 'trusses' in the Warehouse's smaller element (right)

5. CONCLUSION

- 5.1. This report presents the findings and photography of a Level 2/3 building recording of the cottage and outbuildings at Well House Cottage. The farmstead was constructed in the mid-19th century, comprising a modest vernacular brick and flint cottage, a timber-framed shed and a later Warehouse building, which was substantially rebuilt at the end of the 20th century.
- 5.2. The recording forms part of a broader programme of archaeological investigation, analysis and recording conditioned under the consent, prior to the demolition of the buildings for facilitate the consented redevelopment of the Site.
- 5.3. The recording has identified that the farmstead is modest, constructed of inexpensive and locally available brick and field flints, and functional in character, and the individual buildings greatly altered. This simplicity and the use of functional, vernacular materials is commensurate with the status of the buildings and the farmstead.
- 5.4. Copies of this report will be deposited with the relevant archive repositories as per the details contained in the Written Scheme of Investigation (July 2020, Appendix 1).
- 5.5. The completion of the historic building recording, as documented in this report and its archive, will contribute towards the discharge of Condition 6 of planning permission 20/00845/FUL.

6. REFERENCES

- CgMs 2009** *Archaeological Desk Based Assessment – Barton Farm, Winchester, Hampshire*
- Chartered Institute for Archaeologists 2019** *Standard and Guidance for the archaeological investigation and recording of standing buildings or structures*
- Corkhill, Thomas 2009** *A Glossary of Wood: 10000 terms relating to timber & its use, explained and clarified*
- Edwards, Bob 2005** *Historic Farmsteads & Landscape Character in Hampshire*
- English Heritage 2013** *National Farm Building Types*
- Historic England 2006** *Historic Farmsteads: Preliminary Character Statement – South East region*
- Historic England 2008** *Conservation Principles, Policies and Guidance for the Sustainable Management of the Historic Environment*
- Historic England 2017** *Agricultural Buildings: Listing Selection Guide*
- Historic England 2019** *Historic England Advice Note 12: Statements of Heritage Significance: Analysing Significance in Heritage Assets*
- Hampshire County Council, n.d.** *Historic Farm Buildings in Hampshire*
- Hampshire County Council** *Landscape Character Areas* <https://maps.hants.gov.uk/LandscapeCharacterAreas/> (accessed 22 July 2020)
- Hampshire County Council 2012** *Hampshire County Integrated Character Assessment – Mid Hampshire Open Downs*
- Hampshire County Council 2010** *Hampshire County Integrated Character Assessment – Open Downs*
- Lake, Jeremy 2014** *National Farmsteads Character Statement*
- Lake, Jeremy and Adams, Paul 2014** *National Farm Building Types*
- Lake, Jeremy and Edwards, Bob 2014** *South East Farmsteads Character Statement*
- Lake, Jeremy 2015** *National Farmstead Assessment Framework: Informing sustainable development and the conservation of traditional farmsteads*
- Natural England 2014** *National Character Area profile: 130. Hampshire Downs*

Victoria County History (VCH) 1911 *A History of the County of Hampshire: Volume 4* - <https://www.british-history.ac.uk/vch/hants/vol4/pp426-430> (accessed 22 July 2020)

Winchester City Council (WCC) and Hampshire County Council (HCC) 2004 Winchester District Landscape Character Assessment <https://www.winchester.gov.uk/planning/landscape-countryside/landscape-character-assessment> (accessed 22 July 2020)

Cartographic references

Tithe maps and apportionment viewed at: www.thegenealogist.co.uk

Ordnance Survey maps viewed at: www.promap.co.uk; <http://www.envirocheck.co.uk/> and www.maps.nls.uk/geo/find/

APPENDIX 1: WRITTEN SCHEME OF INVESTIGATION



Well House Cottage, Well House Lane, Headbourne Worthy, Winchester

*Written Scheme of Investigation for
Historic Building Recording*



For
Wykeham Homes

CA Project: AN0194


July 2020



Well House Cottage, Well House Lane, Headbourne Worthy, Winchester

Written Scheme of Investigation for Historic Building Recording

CA Project: AN0196

prepared by	Julia Sulikowska, Senior Heritage Consultant
date	July 2020
approved by	Duncan Coe, Principal Heritage Consultant
signed	
date	July 2020
issue	01

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CONTENTS

1.	INTRODUCTION.....	4
2.	BACKGROUND.....	5
3.	OBJECTIVES	6
4.	METHODOLOGY.....	6
	<i>Historic Building Recording</i>	<i>6</i>
	<i>Drawn Record</i>	<i>6</i>
	<i>Photographic Record.....</i>	<i>6</i>
	<i>Written Record</i>	<i>7</i>
5.	REPORTING.....	8
6.	ARCHIVE DEPOSITION	9
7.	MONITORING.....	10
8.	STAFF AND TIMETABLE.....	10
9.	HEALTH AND SAFETY	10
10.	INSURANCES	10
11.	QUALITY ASSURANCE	10
12.	REFERENCES.....	11
	APPENDIX A: LEVEL 2-3 BUILDING RECORDING REQUIREMENTS (HE 2016)	12
	APPENDIX B: EXISTING BUILDING PLANS	13

1. INTRODUCTION

- 1.1. This document sets out details of a Written Scheme of Investigation (WSI) for a programme of historic building recording of the cottage and farm buildings at Well House Cottage, Headbourne Worthy, Winchester (hereafter referred to as ‘the Site’; centred at NGR: 447608, 132048; Fig. 1). The building recording has been commissioned by Wykeham Homes. The Site includes Well House Cottage, a domestic dwelling, and barns, arranged around a regular courtyard. The buildings date to the later part of the 19th century and are not included on Historic England’s National Heritage List for England.

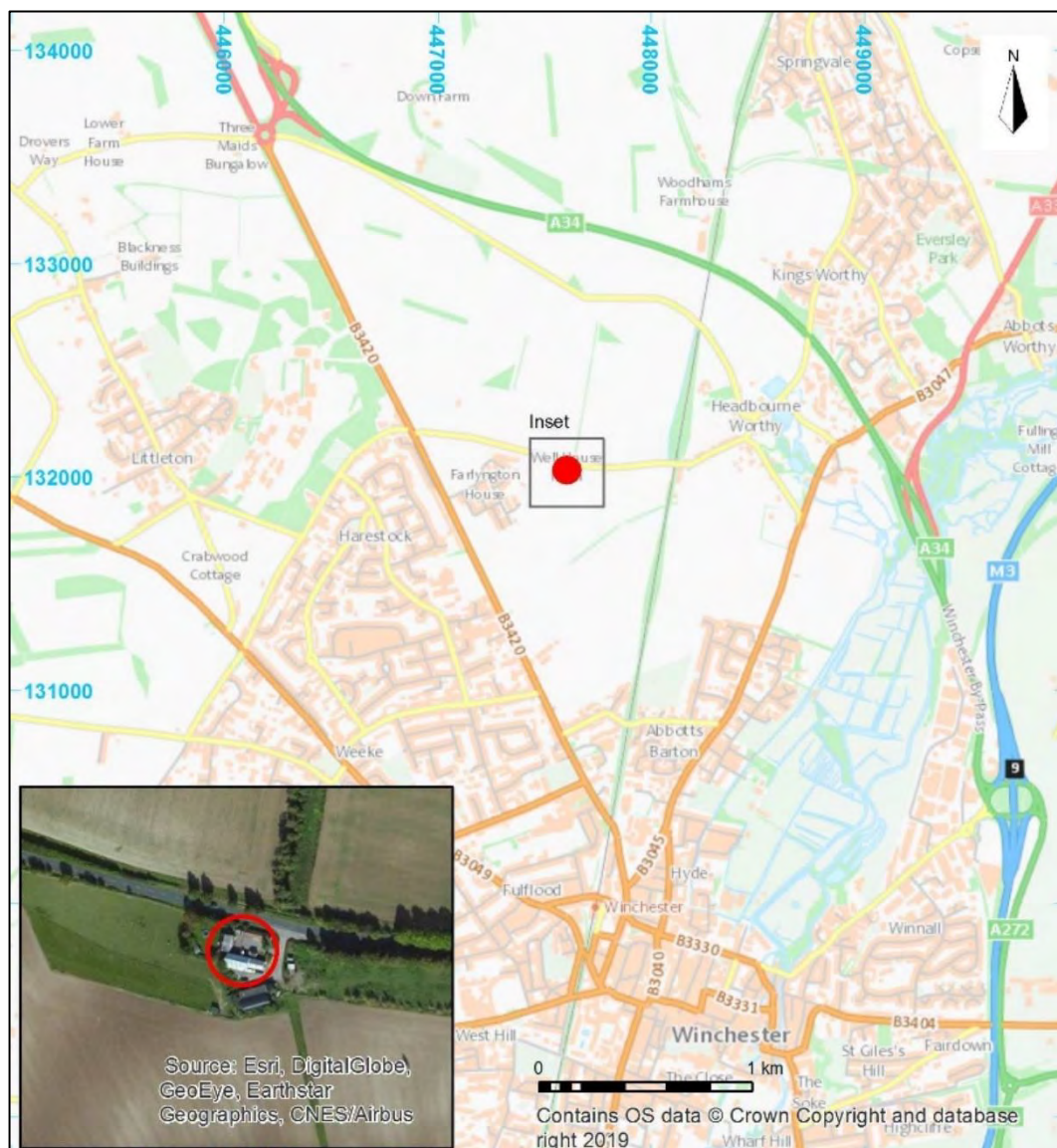


Fig. 1. Site Location Plan

- 1.2. Planning permission is being sought from Winchester City Council (WCC) (ref. 20/00845/FUL) for the demolition of extant structures and the construction of six

dwellings. Ms Tracy Matthews, the Historic Environment (Archaeology) Officer at WCC has raised no objection subject to appropriate archaeological condition and stated that:

A programme of historic building recording should also be undertaken of the farm buildings / farm site prior to any development / demolition works. A Level 2-3 survey (Historic England, 2016, Understanding Historic Buildings: A Guide to Good Recording Practice) is considered to be appropriate.

- 1.3. The scope of the building recording was confirmed in a consultation response from Ms Matthews, who responded via email on 10 June 2020 confirming that given the nature and significance of the buildings, roughly dimensioned sketches rather than measured survey plans are appropriate.
- 1.4. The programme of archaeological works will comprise an assessment of surviving fabric conforming to Level 2-3 of Historic England's *Understanding Historic Buildings: A Guide to Good Recording Practice* (Historic England 2016).
- 1.5. This WSI has also been guided in its composition by the 'Standard and Guidance for the archaeological investigation and recording of standing buildings or structures' (ClfA 2014, updated June 2019); *The Management of Archaeological Projects 2* (English Heritage 1991); *The Management of Research Projects in the Historic Environment (MORPHE) and the Project Manager's Guide* (Historic England 2015). This specification should be read in conjunction with *Understanding Historic Buildings; A guide to good recording practice* (Historic England 2016).
- 1.6. This WSI will be submitted for approval to the Historic Environment (Archaeology) Officer at WCC.

2. BACKGROUND

- 2.1. The Site comprises a small farmstead, situated to the south of Well House Lane, between to the village of Headbourne Worthy to the east and Andover Road North (B3420) to the west.
- 2.2. The historic buildings within the site comprise the cottage and barns, arranged around a regular courtyard. The structures, of brick and flint construction, appear to date to the later part of the 19th century, with the farm recorded as Well House Farm on historic Ordnance Survey maps, and were subject to later alterations and extensions

(including a conservatory to the rear of the cottage and enlargement of the southern range of barn buildings).

3. OBJECTIVES

- 3.1. The objective of the survey is to produce a record of the historic buildings proposed for demolition. The objective of the recording is to understand the structural and functional history of the building and provide a clear record of significance. The survey will be informed by full internal and external access to all structures. The building survey will equate to Level 2-3 standards (see Appendix A) as defined in *Understanding Historic Buildings; A guide to good recording practice* (Historic England 2016).
- 3.2. The recording will also include a degree of documentary research, which will be undertaken utilising information available online (due to the current restrictions with accessing archives resulting from the Covid-19 outbreak).

4. METHODOLOGY

Historic Building Recording

- 4.1. The building recording will be undertaken to Level 2-3 standards as defined in *Understanding Historic Buildings; A guide to good recording practice* (Historic England 2016) and agreed through consultation with Ms Matthews (Appendix A). The buildings include Well House Cottage to the east of the yard, a barn to the north and the warehouse structures to the south (Appendix B)

Drawn Record

- 4.2. The drawn record will include:
 - a site plan, at 1:500, relating the building to other structures and to related topographical and landscape features (based on available topographic survey of the site); and
 - Roughly dimensioned sketches/plans of the buildings (given the nature and significance of the structures, detailed measured survey is not considered necessary). The existing site plan (Appendix B) will be annotated as required.

Photographic Record

- 4.3. The photographic record will include general views of the buildings, shots of their external appearance and the overall appearance of principal spaces and functional

areas in their present condition. Specific external or internal detail, structural or decorative will be subject to more detailed photographic recording as will details of any machinery or other plant, or evidence for its former existence (relevant especially with regard to the agricultural barns). Appendix A provides a detailed list of the photographs which may be included within the photographic record.

- 4.4. The photographic survey will comprise digital images of the structures and will be created in compliance with Historic England guidance. All record photographs will be taken using a Digital Single Lens Reflex (DSLR) Camera with a sensor of a minimum of 20 megapixels. A compact digital camera may be used for more general shots and working shots. Lenses will be chosen to reflect the requirements of the particular feature/features being recorded.
- 4.5. Images will be saved in RAW or TIFF format. At the current time TIFF formatting is regarded as the best format for archiving although advice will be taken from the archive depository (see below) prior to completion of the project. Some files may be converted to .jpeg format for use in the report, but original RAW or TIFF versions will be maintained in the project archive. Appropriate levels of Metadata will be maintained and included in the digital archive following the approach set out in the Historic England guidance.
- 4.6. Appropriate scales will be located in most archive photographs. However, where appropriate (i.e. where scaling can be seen from items within the view, or shots that may be used in publications) photographs without scales will also be taken.

Written Record

- 4.7. The written account will include the location of the building; any designations; the date and circumstances of the record and name of recorder; an account of the building's form, function, date, and development sequence; and the names of architects, builders, patrons and owners will be given, where known (further detail is included in Appendix A).
- 4.8. The written account will be supplemented by a degree of online research, undertaken to enhance the understanding of the farm in its local context. As part of this research, a number of online resources will be consulted, including:

- Historic England 'England's Places' resource (Red Box collection)
- Britain from Above

- British History Online & Victoria County History
- Historic maps, including tithe mapping and Ordnance Survey mapping
- Review of the online catalogue at Hampshire Record Office so that reference is made to any relevant documents which may be held (as due to the COVID-19 pandemic, the resources cannot be reviewed)
- Planning history (if available at Winchester City Council website).

Limitations

- 4.9. The Historic Building Recording is to be conducted during a period when the COVID-19 pandemic necessitates changes to normal working practices, especially regarding site visits and research at local archive centres. The site visit will be conducted according to approved working practices under government advice in force at the time of the visit. Restrictions imposed due to the COVID-19 pandemic mean that the site visit will not include provision for face to face meetings with other persons.
- 4.10. It is understood that the barns are vacant, and the cottage was recently let out, but will be vacant at the time of the survey. Safe access, ensuring social distancing is maintained at all times for the safety of the team and tenants at the cottage.

5. REPORTING

- 5.1. An illustrated report will be compiled presenting the results of the Building Recording. It is anticipated the report will include the following sections:
- Non-technical summary
 - Introduction, Methodology and Planning context
 - Historical background
 - Results of the historic building recording including overview description of the building and key phases, referencing the available elevations and floor plans, and key photographs taken on site (during the HBR and previously, as available)
 - Conclusions
 - Figures, including reproductions of documentary/cartographic/photographic sources as appropriate

- 5.2. A draft copy will be sent to the Historic Environment (Archaeology) Officer at WCC for comment and approval. Copies of the final report (hard copies and in .PDF format) will be distributed to the client and to the Historic Environment Record. Copies of the report will also be included in the archive.
- 5.3. As the limited scope of this work is likely to restrict its publication value, it is anticipated that a short publication note only will be produced, suitable for inclusion within appropriate local heritage journal (if deemed appropriate). A summary of information from this project will be entered onto the OASIS online database of archaeological projects in Britain and the OASIS reference ID will be clearly indicated on the report and summary form.

6. ARCHIVE DEPOSITION

- 6.1. Should no further work be required, an ordered, indexed, and internally consistent site archive will be compiled in accordance with the specification presented in MORPHE and the following guidelines:
- Standards in the Museum Care of Archaeological Collections (MGC 1992)
 - Selection, Retention and Dispersal of Archaeological Collections; Guidelines for use in England, Wales and Northern Ireland (SMA 1993)
 - Archaeological Archives: A Guide to Best Practice in Creation, Compilation, Transfer and Curation (Archaeological Archives Forum 2007)
- 6.2. A copy of the archive will also be deposited with an appropriate local repository. The Hampshire Cultural Trust (HCT) are the designated archive for the Winchester area (HCT will be consulted with regard to the historic building archive and if appropriate an alternative repository would be used, i.e. the Hampshire Record Office). As the HCT is not Trusted Digital Archive, in accordance with their archiving standards, digital archive of the project will be deposited with a Trusted Digital Archive repository (Archaeological Data Service, York), and copies included with the main site archive.
- 6.3. Details of the project will be added to the OASIS database, and the OASIS reference ID will be clearly indicated on the report. Copies of the final report will be provided (as required), including a single bound 'hardcopy'.

7. MONITORING

- 7.1. Notification of the start of site works will be made to the Historic Environment (Archaeology) Officer at WCC one week prior to the commencement of the project so that there will be opportunities to visit the Site and check on the quality and progress of the work.

8. STAFF AND TIMETABLE

- 8.1. This project will be under the management of Julia Sulikowska MA, MCIfA, Senior Heritage Consultant, CA.
- 8.2. The staffing structure will be organised thus: the Project Manager will direct the overall conduct of the recording programme. Building Recording will be undertaken by one of Cotswold Archaeology's Historic Building Consultants, who have undertaken a number of Building Recording exercises. It is envisaged that the Building Recording will require a minimum of one day on site.

9. HEALTH AND SAFETY

- 9.1. Cotswold Archaeology conduct all works in accordance with the Health and Safety at Work Act 1974 and all subsequent Health and Safety legislation, Cotswold Archaeology Health, Safety and Welfare Policy (2014) and procedures. A risk assessment will be undertaken prior to commencement of the historic building survey, and the scope of works outlined above will be subject to any Health and Safety constraints. A specific risk assessment relating to the Covid-19 pandemic will also be produced.

10. INSURANCES

- 10.1. CA holds Public Liability Insurance to a limit of £10,000,000 and Professional Indemnity Insurance to a limit of £10,000,000. No claims have been made or are pending against these policies in the last three years.

11. QUALITY ASSURANCE

- 11.1. CA is a Registered Organisation (RO) with the Chartered Institute for Archaeologists (RO Ref. No. 8). As a RO, CA endorses the Code of Conduct (CIfA 2014) and the Code of Approved Practice for the Regulation of Contractual Arrangements in Field Archaeology (CIfA 2014). All CA Project Managers and Project Officers hold either full Member or Associate status within the CIfA.

- 11.2. CA operates an internal quality assurance system in the following manner. Projects are overseen by a Project Manager who is responsible for the quality of the project. The Project Manager reports to the Chief Executive who bears ultimate responsibility for the conduct of all CA operations. Matters of policy and corporate strategy are determined by the Board of Directors, and in cases of dispute recourse may be made to the Chairman of the Board.

12. REFERENCES

Chartered Institute for Archaeologists 2014 *Standard and Guidance for the archaeological investigation and recording of standing buildings or structures (revised 2019)*

English Heritage 1991 *Managing Archaeological Projects 2*

Historic England 2015 *The Management of Research Projects in the Historic Environment (MORPHE) and the Project Manager's Guide*

Historic England 2016 *Understanding Historic Buildings: A Guide to Good Recording Practice*

APPENDIX A: LEVEL 2-3 BUILDING RECORDING REQUIREMENTS (HE 2016)

The Level 2-3 record will consist of:

Drawn Record

- Sketched plans, section, elevation or detail drawings (roughly dimensioned).
- A site plan, at 1:500, relating the building to other structures and to related topographical and landscape features (based on available topographic survey of the site).

Photography

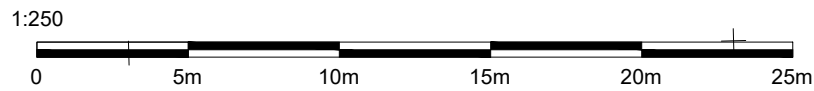
- A general view or views of the building (in its wider setting or landscape).
- The building's external appearance.
- The overall appearance of the interior.
- Any external or internal detail, structural or decorative (including suitably sized scales);
- Any machinery or other plant, or evidence for its former existence;
- Any dates or inscriptions, any signage, maker's plates or graffiti which contribute to an understanding of the building;
- Any buildings contents, where not sufficiently treated in general photographs.
- Copies of maps, drawings, views and photographs illustrating development.

Written account

- The building's precise location, as a National Grid reference and in address form.
- A note of any statutory designation (listing, scheduling or conservation area). Non-statutory designations (historic parks and gardens registers, local lists etc) may be added.
- The date of the record, the name(s) of the recorder(s) and, if an archive has been created, its location.
- Description of the building's form, function, date and sequence of development.
- Introduction, setting out the circumstances of the record, its objectives, methods and limitations.
- Discussion of published sources, an account of the building's history, analysis of historic map evidence.
- An account of the building's overall form (structure, materials, layout) and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building. An account of any fixtures or fittings, plant and machinery.
- Any evidence for the former existence of demolished structures or removed plant.

APPENDIX B: EXISTING BUILDING PLANS

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JOB | Wellhouse

DWG | EXISTING SITE PLAN

S | 1:250

D | NOV19

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APPENDIX 2: ARCHIVE FIGURES



← 1 Direction of photograph

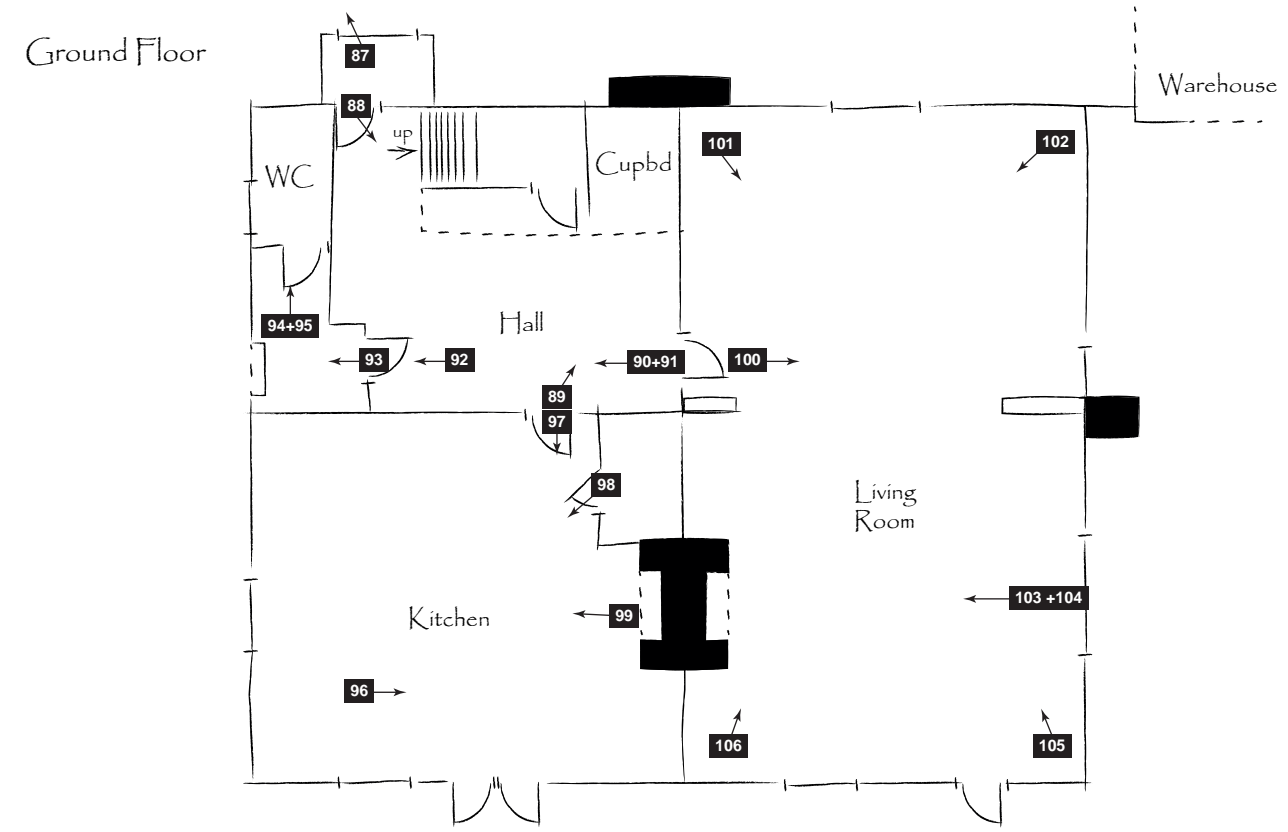


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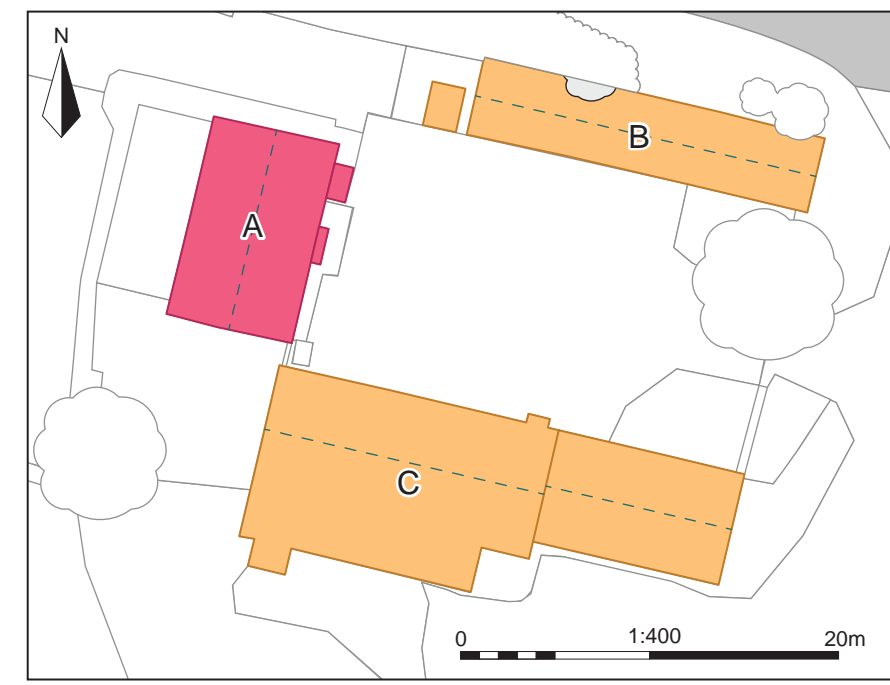
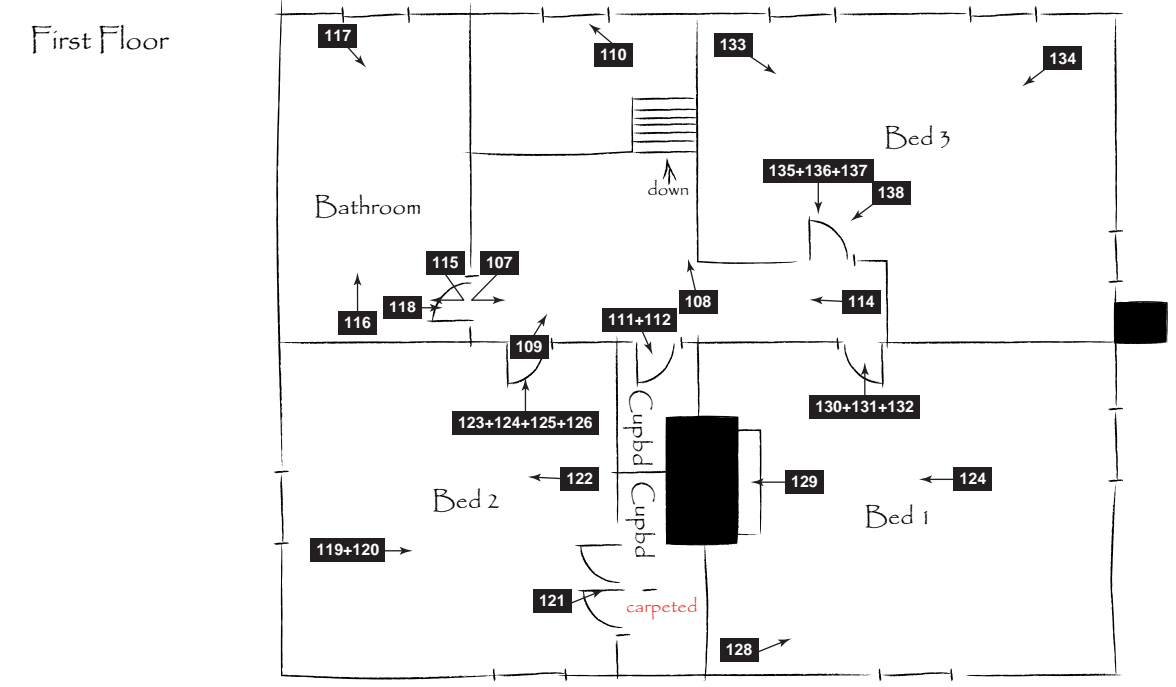
PROJECT TITLE
 Well House Cottage, Well House Lane,
 Headbourne Worthy

FIGURE TITLE
**Farmstead – Archive photograph
 locations**

DRAWN BY	DJB	PROJECT NO.	AN0194	FIGURE NO.
CHECKED BY	RP	DATE	29.07.2020	6
APPROVED BY	SH	SCALE@A3	1:400	



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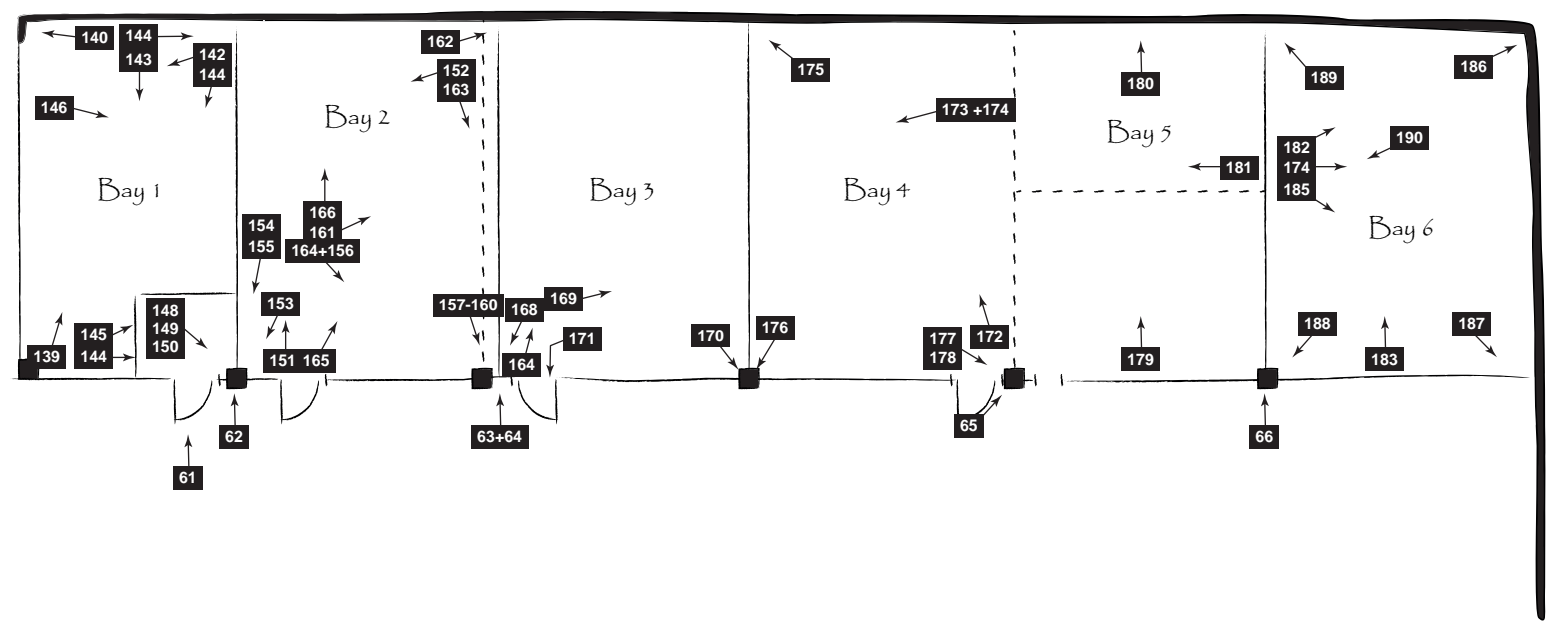


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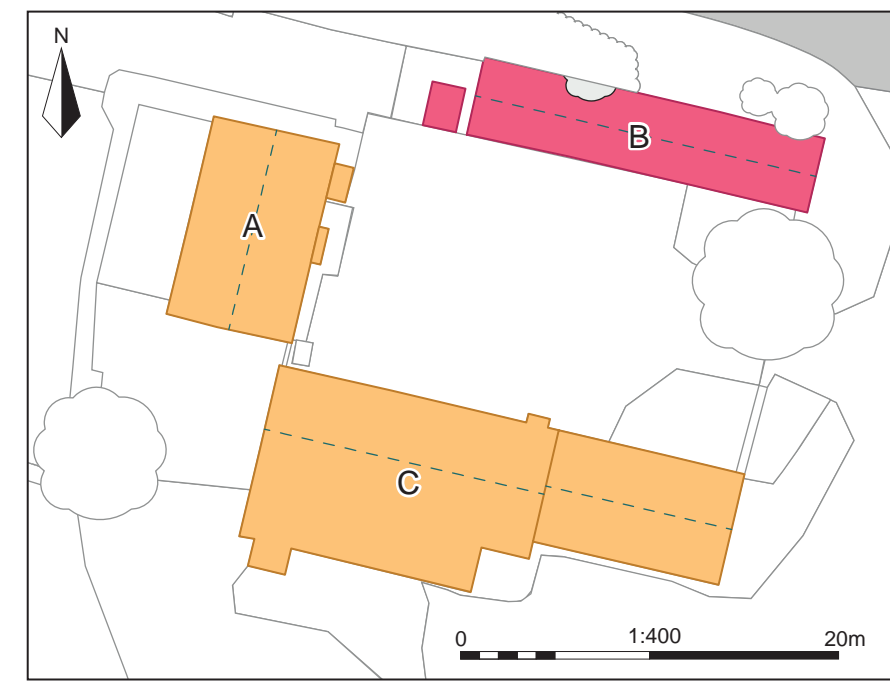
PROJECT TITLE
 Well House Cottage, Well House Lane,
 Headbourne Worthy

FIGURE TITLE
 Well House Cottage - Archive
 photograph locations

DRAWN BY	DJB	PROJECT NO.	AN0194	FIGURE NO.
CHECKED BY	RP	DATE	30.07.2020	7
APPROVED BY	HH	SCALE@A3	NA	



1 → Direction of photograph

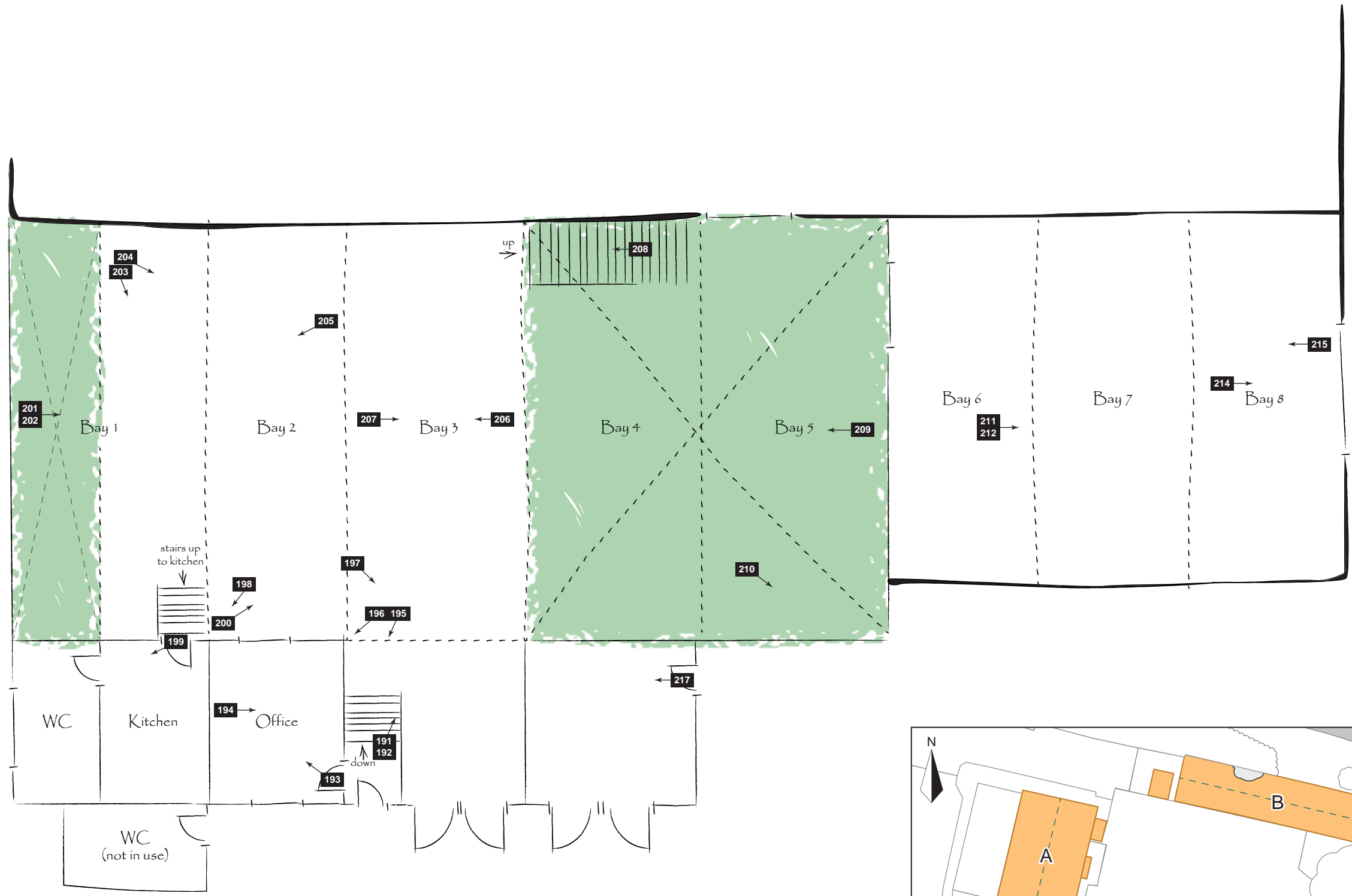




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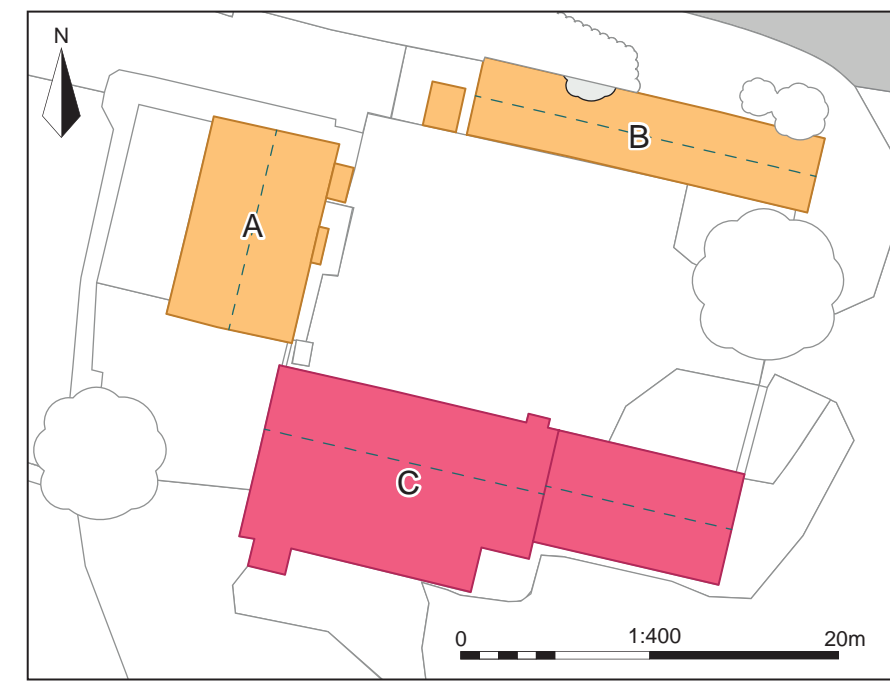
PROJECT TITLE
 Well House Cottage, Well House Lane,
 Headbourne Worthy

FIGURE TITLE
 Shelter shed – Archive photograph
 locations

DRAWN BY	DJB	PROJECT NO.	AN0194	FIGURE NO.
CHECKED BY	RP	DATE	30.07.2020	8
APPROVED BY	HH	SCALE@A3	NA	



 Mezzanine
 Direction of photograph



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PROJECT TITLE
 Well House Cottage, Well House Lane,
 Headbourne Worthy

FIGURE TITLE
 Warehouse - Archive photograph
 locations

DRAWN BY	DJB	PROJECT NO.	AN0194	FIGURE NO.
CHECKED BY	RP	DATE	02.07.2020	9
APPROVED BY	HH	SCALE@A3	NA	

APPENDIX 3: GAZETTER OF PHOTOGRAPHS

Historic Building Recording - External

Photo reference	Description	View (towards)	Archive Figure Number
Setting			
AN0194_HBR_001	View along Wellhouse Lane from lay-by adjoining Well House Farm	W	6
AN0194_HBR_002	View of Well House Farm from the lay-by adjoining Well House Farm	S / SW	6
AN0194_HBR_003	View of Well House Farm from verge on north side of Wellhouse Lane	SW	6
AN0194_HBR_004	Well House Farm from the farm track entrance	SW	6
AN0194_HBR_005	Warehouse and Dutch barn at Well House Farm	S	6
AN0194_HBR_006	East end of the shelter shed	W / NW	6
AN0194_HBR_007	Entrance to Well House Farm from the farm track	W	6
AN0194_HBR_008	Warehouse on south side of the courtyard	S / SW	6
AN0194_HBR_009	Entrance to Well House Farm from the farm track	NW	6
AN0194_HBR_010	Warehouse	NW	6
AN0194_HBR_011	Warehouse with Kings Barton development behind	W / NW	6
AN0194_HBR_012	View along the farm track	N	6
AN0194_HBR_013	East elevation of Well House Cottage across the yard	W	6
AN0194_HBR_014	North elevation of Warehouse across the yard	SW	6
AN0194_HBR_015	South elevation of shelter shed across the yard	NW	6
AN0194_HBR_016	Junction of boundary wall with shelter shed	NE	6
AN0194_HBR_017	Boundary wall adjoining the shelter shed	E	6
AN0194_HBR_018	Well House Cottage and Warehouse across the yard	SW	6
AN0194_HBR_019	West elevation of Well House Cottage in relation to shelter shed and warehouse	E / SE	6
AN0194_HBR_020	West elevation of Well House Cottage in relation to Warehouse and fenced boundary	SE	6
AN0194_HBR_021	West elevation of Well House Cottage	E	6
AN0194_HBR_022	West elevation of Warehouse	E	6
AN0194_HBR_023	South elevation of Well House Cottage in relation to the Warehouse	N	6
AN0194_HBR_024	View from first floor window over garden of Well House Cottage and Kings Barton development in the distance	SW	6
AN0194_HBR_025	View from first floor window over the fieldscapes beyond the fenced garden boundary	N / NE	6
AN0194_HBR_026	View from first floor window over the west elevation of the shelter shed	NE	6
AN0194_HBR_027	View from first floor window over the south elevation of the shelter shed	NE	6
AN0194_HBR_028	View from first floor window over the yard	E	6
AN0194_HBR_029	View across the courtyard	E / SE	6
AN0194_HBR_030	View from first floor window over the west elevation of the Warehouse	S / SE	6
AN0194_HBR_031	View from first floor window over the north elevation of the Warehouse	E / SE	6
AN0194_HBR_032	View of Well House Farm from Kings Barton (from Bingham Road)	NE	6
AN0194_HBR_033	Panoramic view of Well House Farm from Kings Barton from the corner of Ranulf Road and Bingham Road	NE	6
AN0194_HBR_034		NE	6
AN0194_HBR_035		NE	6
AN0194_HBR_036	Zoomed view of Well House Farm from Kings Barton	NE	6

Photo reference	Description	View (towards)	Archive Figure Number
Well House Cottage			
AN0194_HBR_037	East elevation	W	6
AN0194_HBR_038	Detail at south end of east elevation	W	6
AN0194_HBR_039	South end of the east elevation	W	6
AN0194_HBR_040	South end of the lean-to on the east elevation	NW	6
AN0194_HBR_041	Detail at north end of east elevation	W	6
AN0194_HBR_042	Porch	W / NW	6
AN0194_HBR_043	North elevation	SW	6
AN0194_HBR_044	Detail of door and window on north elevation	S	6
AN0194_HBR_045	West elevation	E	6
AN0194_HBR_046	Detail of scarring on west elevation, from the north-west corner	SE	6
AN0194_HBR_047	Detail at north end of west elevation	E	6
AN0194_HBR_048	Altered door and window on west elevation	E	6
AN0194_HBR_049	Detail of door on west elevation	E	6
AN0194_HBR_050	South-west corner	NE	6
AN0194_HBR_051	South-west corner	NE	6
AN0194_HBR_052	South elevation	N	6
AN0194_HBR_053	Detail of historic opening on south elevation	N	6
Shelter shed			
AN0194_HBR_054	East elevation	W / NW	6
AN0194_HBR_055	South elevation	N / NE	6
AN0194_HBR_056	West end of the south elevation	N	6
AN0194_HBR_057	East end of the south elevation	N	6
AN0194_HBR_058	Detail of doors in bays 1 and 2	N	6
AN0194_HBR_059	Detail of door in bay 3	N	6
AN0194_HBR_060	Detail of door in bay 4	N	6
AN0194_HBR_061	Door adjoining historic frame B	N	8
AN0194_HBR_062	Padstone to historic frame B	N	8
AN0194_HBR_063	Door opening adjoining historic frame C	N	8
AN0194_HBR_064	Padstone to historic frame C	N	8
AN0194_HBR_065	Door opening adjoining historic frame E	N / NE	8
AN0194_HBR_066	Padstone to historic frame F	N	8
AN0194_HBR_067	Partial south elevation with doors at west end open	W / NW	6
AN0194_HBR_068	West elevation	E	6
Warehouse			
AN0194_HBR_069	West elevation	E	6
AN0194_HBR_070	Window detail on west elevation	E	6
AN0194_HBR_071	Junction of Warehouse with south-east corner of Well House Cottage	NE	6
AN0194_HBR_072	West elevation	NE	6
AN0194_HBR_073	South-west corner	N / NE	6
AN0194_HBR_074	South elevation	N	6
AN0194_HBR_075	East elevation of WC outshot	W	6
AN0194_HBR_076	East elevation of south aisle	W / NW	6
AN0194_HBR_077	Gabled junction	NW	6
AN0194_HBR_078	South elevation	N	6
AN0194_HBR_079	South-east corner	NW	6
AN0194_HBR_080	East elevation	W	6
AN0194_HBR_081	Detail of quoining on door in east elevation	W	9
AN0194_HBR_082	North elevation	S	6
AN0194_HBR_083	North elevation at junction of two elements	S / SE	6
AN0194_HBR_084	Partial north elevation	SE	6
AN0194_HBR_085	North elevation	S	6

Photo reference	Description	View (towards)	Archive Figure Number
AN0194_HBR_086	Detail of exposed brickwork in the rendered plinth wall	S	6

Historic Building Recording - Internal

Photo reference	Room Number	Description	View (towards)	Archive Figure Number
Well House Cottage				
Ground Floor				
AN0194_HBR_087	C01	Entrance door through porch	SW	7
AN0194_HBR_088	C02	Stair in entrance hall	SW	7
AN0194_HBR_089	C02	Understair cupboards	SE	7
AN0194_HBR_090	C02	Entrance hall	N	7
AN0194_HBR_091	C02	Entrance hall with open stair well visible	N	7
AN0194_HBR_092	C02	WC at north end of entrance hall	N	7
AN0194_HBR_093	C03	Detail of stone threshold and tile floor in WC	N	7
AN0194_HBR_094	C04	WC (high level)	E	7
AN0194_HBR_095	C04	WC (low level)	E	7
AN0194_HBR_096	C06	Altered chimney breast in kitchen	S	7
AN0194_HBR_097	C06	Double doors in kitchen	W	7
AN0194_HBR_098	C06	Kitchen	NE	7
AN0194_HBR_099	C06	Kitchen	N	7
AN0194_HBR_100	C05	Sitting room	S	7
AN0194_HBR_101	C05	Sitting room	SW	7
AN0194_HBR_102	C05	Sitting room, showing chimney breast	NW	7
AN0194_HBR_103	C05	Chimney breast and built-in cupboards in sitting room	N	7
AN0194_HBR_104	C05	Chimney breast and built-in cupboards in sitting room	N	7
AN0194_HBR_105	C05	Sitting room	NE	7
AN0194_HBR_106	C05	Sitting room	SE	7
First Floor				
AN0194_HBR_107	C07	Hallway	S	7
AN0194_HBR_108	C07	Railing in stairwell, hallway	NE	7
AN0194_HBR_109	C07	Stairwell in hallway	SE	7
AN0194_HBR_110	C07	Window in stairwell	NE	7
AN0194_HBR_111	C07	Airing cupboard, accessed from hallway	SW	7
AN0194_HBR_112	C07	Detail of floorboards in hallway and airing cupboard	SW	7
AN0194_HBR_113	C07	Detail of floorboards in hallway	n/a	7
AN0194_HBR_114	C08	Corridor	N	7
AN0194_HBR_115	C09	Entrance to bathroom	N	7
AN0194_HBR_116	C09	Bathroom	E	7
AN0194_HBR_117	C09	Bathroom	SW	7
AN0194_HBR_118	C09	Inner face of door to bathroom	S	7
AN0194_HBR_119	C11	Cupboards (doors closed) in bedroom 2	S	7
AN0194_HBR_120	C11	Cupboards (doors open) in bedroom 2	S	7
AN0194_HBR_121	C11	Chimney breast in bedroom 2	SE	7
AN0194_HBR_122	C11	Window in north wall of bedroom 2	N	7
AN0194_HBR_123	C11	Door to bedroom	E	7
AN0194_HBR_124	C11	Detail of top hinge on inner face of door	E	7
AN0194_HBR_125	C11	Detail of latch on inner face of door	E	7
AN0194_HBR_126	C11	Detail of upper portion of inner face of door to bedroom 2	E	7
AN0194_HBR_127	C10	Chimney breast in bedroom 1	N	7

Photo reference	Room Number	Description	View (towards)	Archive Figure Number
AN0194_HBR_128	C10	Window in south wall of bedroom 1	S	7
AN0194_HBR_129	C10	Detail of hearth in bedroom 1	N	7
AN0194_HBR_130	C10	Door latch (outer)	SE	7
AN0194_HBR_131	C10	Door latch (inner)	E	7
AN0194_HBR_132	C10	Detail of upper portion of inner face of door to bedroom 1	E	7
AN0194_HBR_133	C12	Bedroom 3	SW	7
AN0194_HBR_134	C12	Bedroom 3	NW	7
AN0194_HBR_135	C12	Inner face of door to bedroom 3	W	7
AN0194_HBR_136	C12	Detail of top hinge on inner face of door to bedroom 3	W	7
AN0194_HBR_137	C12	Detail of latch on inner face of door	W	7
AN0194_HBR_138	C12	Outer face of door to bedroom 3	NW	7
Shelter shed				
AN0194_HBR_139	B01	Bay 1	N	8
AN0194_HBR_140	B01	North-west corner of masonry wall in Bay 1	NW	8
AN0194_HBR_141	B01	South-west corner of Frame A in Bay 1	SW	8
AN0194_HBR_142	B01	Upper portion of Frame A in Bay 1	W	8
AN0194_HBR_143	B01	Bay 1	S	8
AN0194_HBR_144	B01	South side of Frame B from Bay 1	E	8
AN0194_HBR_145	B01	Frame B from Bay 1	NE	8
AN0194_HBR_146	B01	Frame B from Bay 1	NE	8
AN0194_HBR_147	B01	Frame B from Bay 1, at junction with masonry wall	E	8
AN0194_HBR_148	B01	Post and padstone of Frame B from Bay 1	SE	8
AN0194_HBR_149	B01	Detail of brace on Frame B from Bay 1	E / SE	8
AN0194_HBR_150	B01	Detail of top of post on Frame B from Bay 1	S	8
AN0194_HBR_151	B02	Clunch and brick north wall in Bay 2	N	8
AN0194_HBR_152	B02	Weatherboarding on Frame B from Bay 2	SW	8
AN0194_HBR_153	B02	Post and padstone of Frame B from Bay 2	SE	8
AN0194_HBR_154	B02	Detail of top of post on Frame B from Bay 2	S	8
AN0194_HBR_155	B02	Detail of bottom of post on Frame B from Bay 2	S / SE	8
AN0194_HBR_156	B02	South-east corner of Bay 2, showing Frame C	SE	8
AN0194_HBR_157	B02	Post and padstone of Frame C from Bay 2	S / SE	8
AN0194_HBR_158	B02	Detail of top of post on Frame C from Bay 2	S / SE	8
AN0194_HBR_159	B02	Detail of junction at top of the post on Frame C	SE	8
AN0194_HBR_160	B02	Detail of bottom of post on Frame C from Bay 2	S	8
AN0194_HBR_161	B02	Wall constructed behind Frame C from Bay 2	NE	8
AN0194_HBR_162	B02	Detail of metal strap affixing north end of tie beam to the masonry wall	E / NE	8
AN0194_HBR_163	B02	Detail of fixings in the tie beam on Frame C	SE	8
AN0194_HBR_164	B02	Concrete floor in Bay 2	SE	8
AN0194_HBR_165	B02	Sawn timber rafters and ridge board, with roofing felt in Bay 2	NE	8
AN0194_HBR_166	B02	Rafters of north roofslope supported on masonry wall in Bay 2	N	8
AN0194_HBR_167	B03	Masonry wall and roofing felt over rafters in Bay 3	N	8
AN0194_HBR_168	B03	Detail of brace on Frame C	S / SW	8
AN0194_HBR_169	B03	Partition wall between Bay 3 and 4, seen from Bay 3	NE	8
AN0194_HBR_170	B03	Detail of post on Frame D from Bay 3	SE	8
AN0194_HBR_171	B03	Graffiti in the wall plate over the door in Bay 3	S	8
AN0194_HBR_172	B04	Bay 4	N	8
AN0194_HBR_173	B04	Frame D from Bay 4	W	8
AN0194_HBR_174	B04	Frame D from Bay 4	W	8

Photo reference	Room Number	Description	View (towards)	Archive Figure Number
AN0194_HBR_175	B04	Detail of brace and metal strapping at north end of tie beam on Frame D from Bay 4	W / NW	8
AN0194_HBR_176	B04	Detail of post and metal strapping at south end of tie beam on Frame D from Bay 4	W / SW	8
AN0194_HBR_177	B04	Post and padstone on Frame E from Bay 4	E / SE	8
AN0194_HBR_178	B04	Detail of top of post on Frame E from Bay 4	E / SE	8
AN0194_HBR_179	B05	Clunch wall in Bay 5	N	8
AN0194_HBR_180	B05	Detail of clunch wall in Bay 5	N	8
AN0194_HBR_181	B05	Partition wall constructed below Frame E from Bay 5	W	8
AN0194_HBR_182	B06	North-east corner of Bay 6 at junction of masonry walls	NE	8
AN0194_HBR_183	B06	North wall of Bay 6	N	8
AN0194_HBR_184	B06	East wall of Bay 6	E	8
AN0194_HBR_185	B06	South wall of Bay 6	S	8
AN0194_HBR_186	B06	Detail of corner junction, showing major cracking	E / NE	8
AN0194_HBR_187	B06	South-east corner of Bay 6 at junction of masonry wall with timber infill to the south	E / SE	8
AN0194_HBR_188	B06	Post and strapping on south end of Frame F from Bay 6	W / SW	8
AN0194_HBR_189	B06	Brace and metal strapping on north end of Frame F from Bay 6	W / NW	8
AN0194_HBR_190	B06	Detail of support post inserted between tie beam and ridge board on Frame F	SW	8
Warehouse				
AN0194_HBR_191	W01	Warehouse from entrance steps	NE	9
AN0194_HBR_192	W01	Warehouse from entrance steps	NE	9
AN0194_HBR_193	W02	Office in Warehouse	W / NW	9
AN0194_HBR_194	W02	Office in Warehouse	E	9
AN0194_HBR_195	W01	Entrance and door to office	SW	9
AN0194_HBR_196	W01	Detail of concrete foundation beneath office	SW	9
AN0194_HBR_197	W01	Aisle, showing extraction (into W06)	SE	9
AN0194_HBR_198	W01	Stepped entrance to kitchen (W03) and WC (W04)	SW	9
AN0194_HBR_199	W03	Kitchen and WC beyond	SW	9
AN0194_HBR_200	W01	Roof trusses (B and C) in Warehouse	NE	9
AN0194_HBR_201	W01	East end of Warehouse	E	9
AN0194_HBR_202	W01	East end of Warehouse	E	9
AN0194_HBR_203	W01	South aisle from W01	SE	9
AN0194_HBR_204	W01	Warehouse and partial south aisle	E / SE	9
AN0194_HBR_205	W01	Truss B	W / SW	9
AN0194_HBR_206	W01	West end of Warehouse	W	9
AN0194_HBR_207	W01	Access hatch to mezzanine over Bays 4 and 5	E	9
AN0194_HBR_208	W01	Floor structure and stair location for access to mezzanine	W	9
AN0194_HBR_209	W01	West end of Warehouse as seen from under the mezzanine	W	9
AN0194_HBR_210	W01	South-east corner of Warehouse, from under the mezzanine	SE	9
AN0194_HBR_211	W05	East end of Warehouse	E	9
AN0194_HBR_212	W05	East end of Warehouse	E	9
AN0194_HBR_213	W05	Detail of north end of Truss G	NE	9
AN0194_HBR_214	W05	Detail of blocked window in east wall of Warehouse	E	9
AN0194_HBR_215	W05	Junction of two elements of the Warehouse	W	9
AN0194_HBR_216	W05	East end of Warehouse	E	9

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