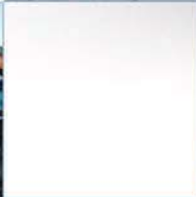


# Nos 4/4A & 5 West Park Place, Edinburgh: Historic Building Recording & Archaeological Evaluation Report

AOC 22619

19<sup>th</sup> February 2014



## **4/4A & 5 West Park Place, Edinburgh:**

### **Historic Building Recording & Archaeological Evaluation Report**

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**On Behalf of:** West Park Place LLP  
3 Windsor Court  
Clarence Drive  
Harrogate  
HG1 2PE

**National Grid Reference (NGR):** NT 23914 73003

**AOC Project No:** 22619

**Planning Application No:** 11/02165/FUL

**OASIS No:** 170898

**Prepared by:** Diana Sproat  
Rob Engl

**Date:** 19<sup>th</sup> February 2014

**This document has been prepared in accordance with AOC standard operating procedures.**

**Author:** Diana Sproat / Rob Engl

**Date:** 19<sup>th</sup> February 2014

**Approved by:** Martin Cook

**Date:** 19<sup>th</sup> February 2014

**Draft/Final Report Stage:** Draft

**Date:** 19<sup>th</sup> February 2014

**Enquiries to:** AOC Archaeology Group  
Edgefield Industrial Estate  
Edgefield Road  
Loanhead  
EH20 9SY

Tel. 0131 440 3593  
Fax. 0131 440 3422  
e-mail. [admin@aocarchaeology.com](mailto:admin@aocarchaeology.com)

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## Summary

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*AOC Archaeology Group was commissioned by West Park Place LLP to undertake an historic building survey of a former post office building, picture house and garages located at West Park Place, Edinburgh prior to demolition and renovation works. This work was required as part of a planning condition of the intended development.*

*The development area was formerly part of the Easter Dalry Estate and consisted of a cultivated landscape up to the 1860s and 1870s when this area of Edinburgh was subject to a large amount of industrial development. The huge Caledonian Distillery was built to the north of the site (now demolished) and industrial buildings – including a cabinet works – were constructed within the development area. These were largely swept away in the Edwardian period, when warehouses (No 4) were built on the site (possibly an expansion of the Distillery) together with a two-storey post office building in red brick (No 5) and a picture house (No 4A). There has been a fair amount of modernisation of all buildings – especially the warehouses – due to their most recent use as a car garage for hire car company Avis.*

*An archaeological evaluation was also undertaken (comprising 10% of the development area) after the demolition of the buildings to floor slab level. The evaluation revealed deposits of made-ground ranging between 0.70m and 1.25m in depth. Several brick foundation walls of the demolished buildings were also located. No other significant archaeological features or finds were revealed*

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# 1 INTRODUCTION

## 1.1 Site background

- 1.1.1 AOC Archaeology Group was commissioned by West Park Place LLP to undertake an historic building survey of a former post office building, picture house and garages located at West Park Place, Edinburgh prior to demolition and renovation works. After demolition, an archaeological evaluation comprising 10% of the development area was also undertaken. These works were required as a condition on the planning consent on the development of the site (Planning Ref:11/02165/FUL), the mitigation of which was set out and agreed with the City of Edinburgh Council Archaeology Service, who advise the City of Edinburgh Council on archaeology matters. The archaeological works were conducted in accordance with the principles as set out in *Scottish Planning Policy* (2010) and *Planning and Archaeology 2/2011* (2011).

## 1.2 Site Location

- 1.2.1 Nos 4 & 4A West Park Place are located to the rear of the shops facing Dalry Road on the north side and consisted of two large garages (No 4, NGR: NT 23905 73009) and a former Picture House (No 4A, NGR: NT 23949 73003). To the east side of West Park Place and to the immediate west of (and abutting) the garages, was a two-storey brick building, a former Post Office at No 5, NGR: NT 23914 72988 ([Figure 1](#)).
- 1.2.2 The land to the north of the site is now occupied by modern apartment blocks, albeit with some elements of the industrial heritage retained, such as the large chimney belonging to the former Caledonian Distillery.

# 2 OBJECTIVE

- 2.1 The objective of this programme of works was to identify a general history and development of the buildings and to create a general 'preservation by record' of them, prior to demolition/renovation through photographic, written and drawn record.
- 2.2 The objective of the archaeological evaluation was to determine the character, extent, condition, quality, date and significance of any sub-surface archaeological remains occurring within the development area and, should significant archaeological deposits be discovered, to prepare a mitigation strategy compliant with *Scottish Planning Policy* (2010) and *Planning and Archaeology 2/2011* (2011).

# 3 METHODOLOGY

## 3.1 Historic building survey

- 3.1.1 The survey was equivalent to a Level 2 historic building survey, which has included a basic map-regression and archive search to place the site into context and establish the history and development of the buildings. This was followed by a general and detailed photographic survey of the building in black and white print and colour digital using a 35mm SLR camera and digital SLR respectively with a 2m ranging pole used in all shots for scale (where access and health and safety allowed). A running register of photographs was taken on site and can be found in Appendix 1.



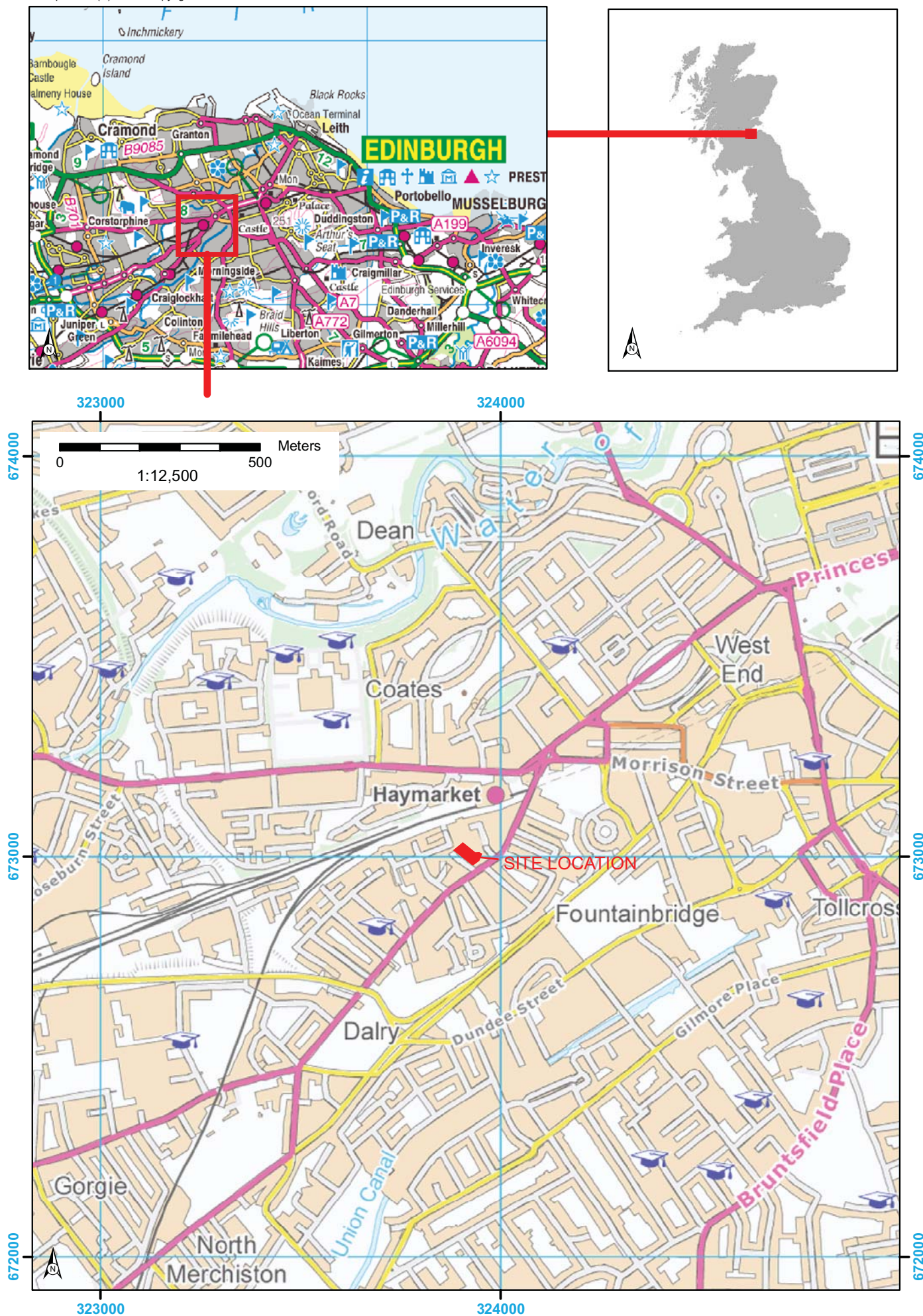


Figure 1: Site location plan



- 3.1.2 The photographic record was supplemented by a written record using AOC *pro forma* recording sheets with comment on condition, construction, architectural style, evidence for phasing and function and anything else pertinent to the historical record.
- 3.1.3 The required drawn record consisted of annotated architects' exterior elevation survey (Figure 12). No known floor plans existed for the buildings, so a general plan of the former picture house and post office buildings was undertaken on site by hand at 1:50 scale (Figures 13 & 14).

## 3.2 Archaeological evaluation

- 3.2.1 The archaeological evaluation required the machine trial trenching of a 10% sample (120 linear metres of development area) to uncover the nature and extent of any archaeological remains which may have been present on the site, although due to the huge level of live services in the area, the excavated linear metres was reduced to 87 linear metres.
- 3.2.2 Machine excavation was conducted in shallow units/spits through the overburden to the upper surface of the underlying geological deposits. The trenches were stepped where necessary in order to access the trench. The trial trenching was undertaken according to AOC Archaeology Group's standard operating procedures as detailed in the *Written Scheme of Investigation* (AOC 2014).

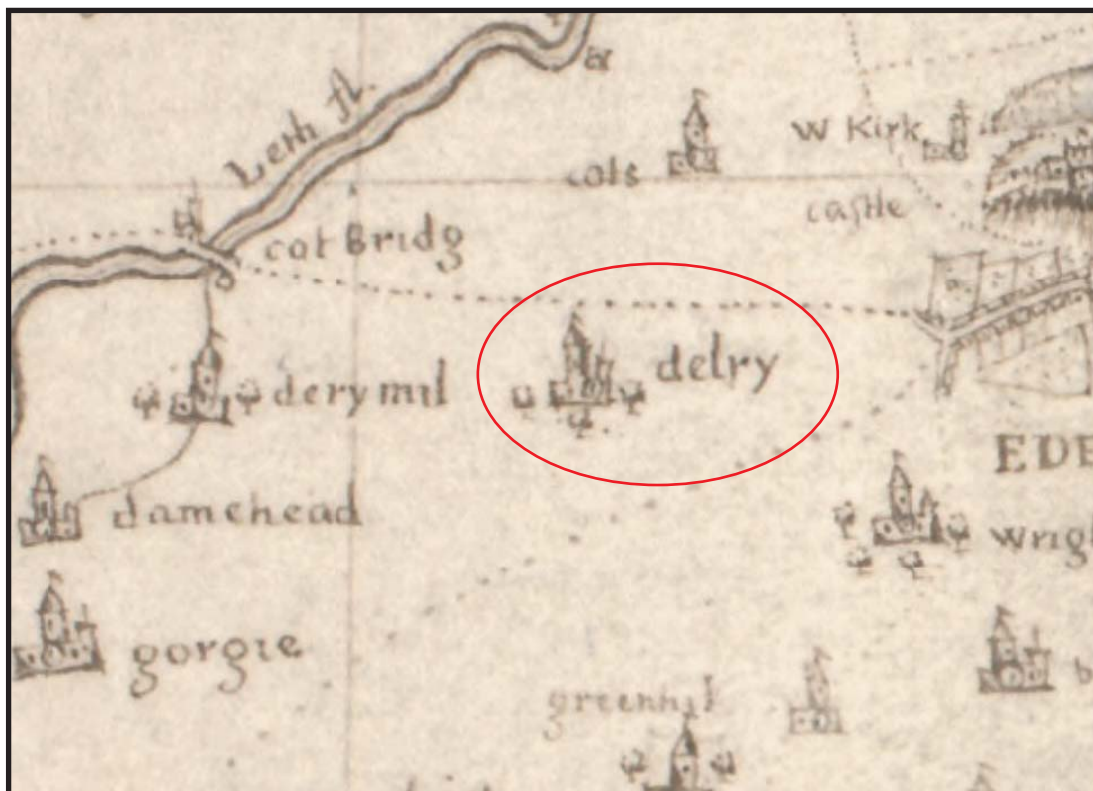
## 3.3 Archiving

- 3.3.1 The project has been recorded in the Online Access to the Index of Archaeological Investigations (OASIS) site (Ref: 165840). An entry has also been submitted to Discovery and Excavation in Scotland (DES) publication for inclusion in the forthcoming 2013 volume (Appendix 2). The original black and white photographs, together with a hard copy and a pdf digital version on CD of the report, has also been submitted to the National Archives of Scotland held at the RCAHMS building at John Sinclair House, 16 Bernard Terrace, Edinburgh EH8 9NX (tel. 0131 662 1456).

# 4 HISTORICAL BACKGROUND

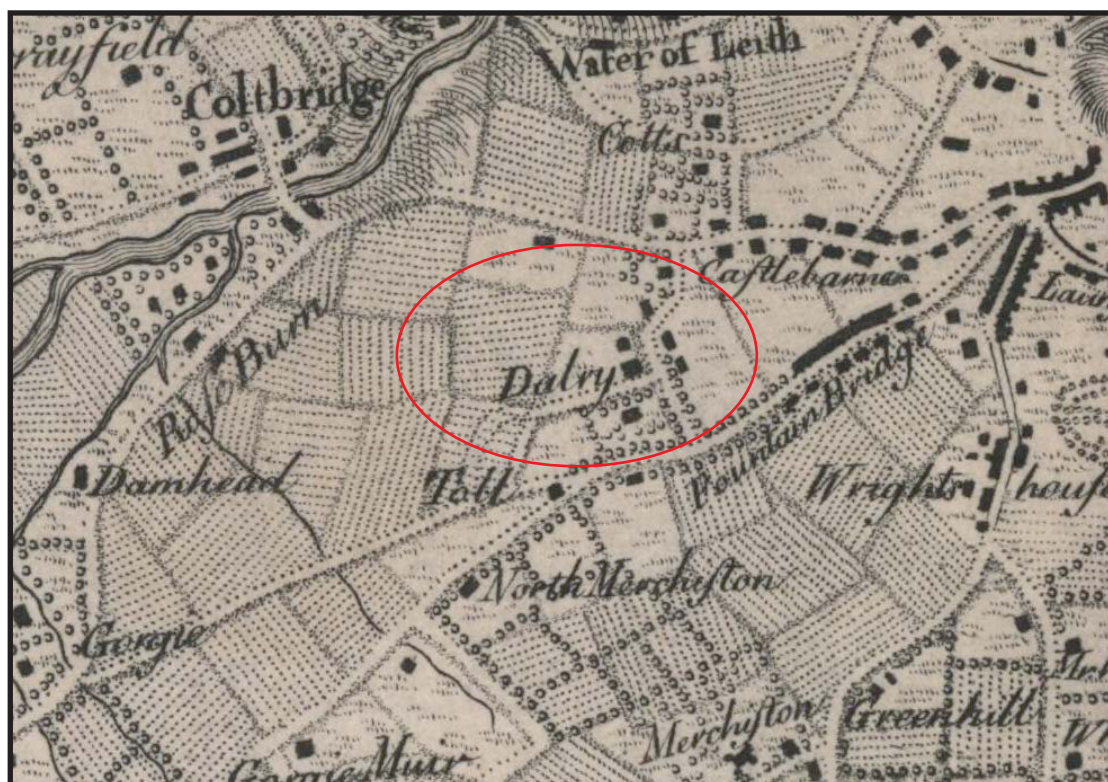
- 4.1 The history of the immediate development area stems back to the medieval period, when the estate of Dalry was established in the late 17<sup>th</sup> century (AOC 2005). Adair's 1682 map of Edinburgh shows the estate, depicting Dalry House, to the immediate south of the development area (Figure 2). Adair's later map of 1766 shows the site in a little more detail, with Dalry annotated (the house is shown underneath surrounded by a rectangular enclosure of mature trees) and the development area (and indeed the area about) as cultivated farmland (Figure 3). A large building is also depicted to the north of Dalry House along what was to become Dalry Road, although this looks to be a little to the east of the development area.
- 4.2 Into the 19<sup>th</sup> century, the mapping evidence becomes more detailed and James Kirkwood's 1817 map shows the development area as a cultivated landscape to the west of a long rectangular country house with a garden lined with mature trees behind it (Figure 4). Although unannotated, this is thought to be a building associated with the Easter Dalry Estate, with Easter Dalry House located further to the north-east. James Kay's 1836 plan shows much the same, although with perhaps an extended porch to the south-east side of the house (Figure 5). The main entrance to the house is to the south of (what was to become) Dalry Road, and it is thought that the stone gated entrance to the house has been retained and now forms the main façade of the Tiki Monkey Tattoo Parlour.

- 4.3 By the time of the 1853 Ordnance Survey map, the house is annotated as simply 'Easter Dalry' (Figure 6). No landscaped or cultivated gardens are shown, and it is clear that by the mid-19<sup>th</sup> century there has been a lot of development to the surrounding area, not least with the establishment of Haymarket Station to the north and mills appearing to the north. This being said, Easter Dalry House and Dalry House and their associated landscapes to the east and south of the site are still intact by this point.
- 4.4 By the 1877 Ordnance Survey map, a new picture emerges and there has been a substantial amount of industrial development (Figure 7). Dalry House is now closely surrounded by a range of tenement buildings and streets. The house that was located to the immediate east of the development area has now gone, with a new range of buildings facing Dalry Road on the north side. The huge Caledonian Distillery has been established to the north of the site, together with two large duty free warehouses. To the west is a new ironworks, annotated 'Dalry Works', adjacent to a large Malthouse, associated with the Distillery. Within the development area itself, a new cabinet works has been established, forming an L-shaped building with additional short wings to the south-east and south-west, all formed around a courtyard. External stairs show the access to the first floors. To the east of this, another L-shaped industrial building has been constructed, unannotated, with additional ancillary buildings around it. A crane is depicted to its main courtyard. Finally, two buildings have been constructed to the corner of West Park Place (then annotated as West Park Terrace).
- 4.5 By the late 19<sup>th</sup> century, the 1894 Ordnance Survey map shows that there has been even more development (Figure 8). The westernmost of the two buildings at the corner of West Park Place and Dalry Road is now annotated as a Post Office (this has now been demolished and replaced with a modern single-storey building). The cabinet works looks to remain unchanged, although a few more ancillary buildings have been added to the industrial complex to the east of it, which is still unannotated.
- 4.6 Into the 20<sup>th</sup> century, the 1909 and 1920 Ordnance Survey maps, although slightly smaller scale and more schematic, show the cabinet works to still be in existence, although the industrial buildings to the east have now engulfed the entirety of the plot (Figures 9 & 10). The National Monuments Record for Scotland identifies that the Picture House (No 4A West Park Place) was originally known as the Haymarket Cinema and opened in 1912. By 1946, it had been renamed the Scotia and it eventually closed down in 1964 (Thomas 1984, 33 – 34). Hence 1912 may have been the year when this industrial complex was replaced with the cinema and shops created to the north side of Dalry Road to the south of it, as we can see today. The 1920 map (Figure 10) does not really show it, but it is likely that No 5, the former post office, was built at this time, as the building looks to be Edwardian in character. The 1920 map may have been a simple copy of the previous 1909 map.
- 4.7 By the time of the 1930s mapping, the cabinet works has disappeared and it seems to have been replaced by an extension to the Caledonian Distillery buildings to the north, as can be seen in the 1935 Ordnance Survey map (Figure 11).
- 4.8 In 1997, the Post Office building and the associated and garages and picture house was taken over and used for car rental, most latterly by Avis, who operated there until 2012.



(reproduced by kind permission of the National Map Library of Scotland)

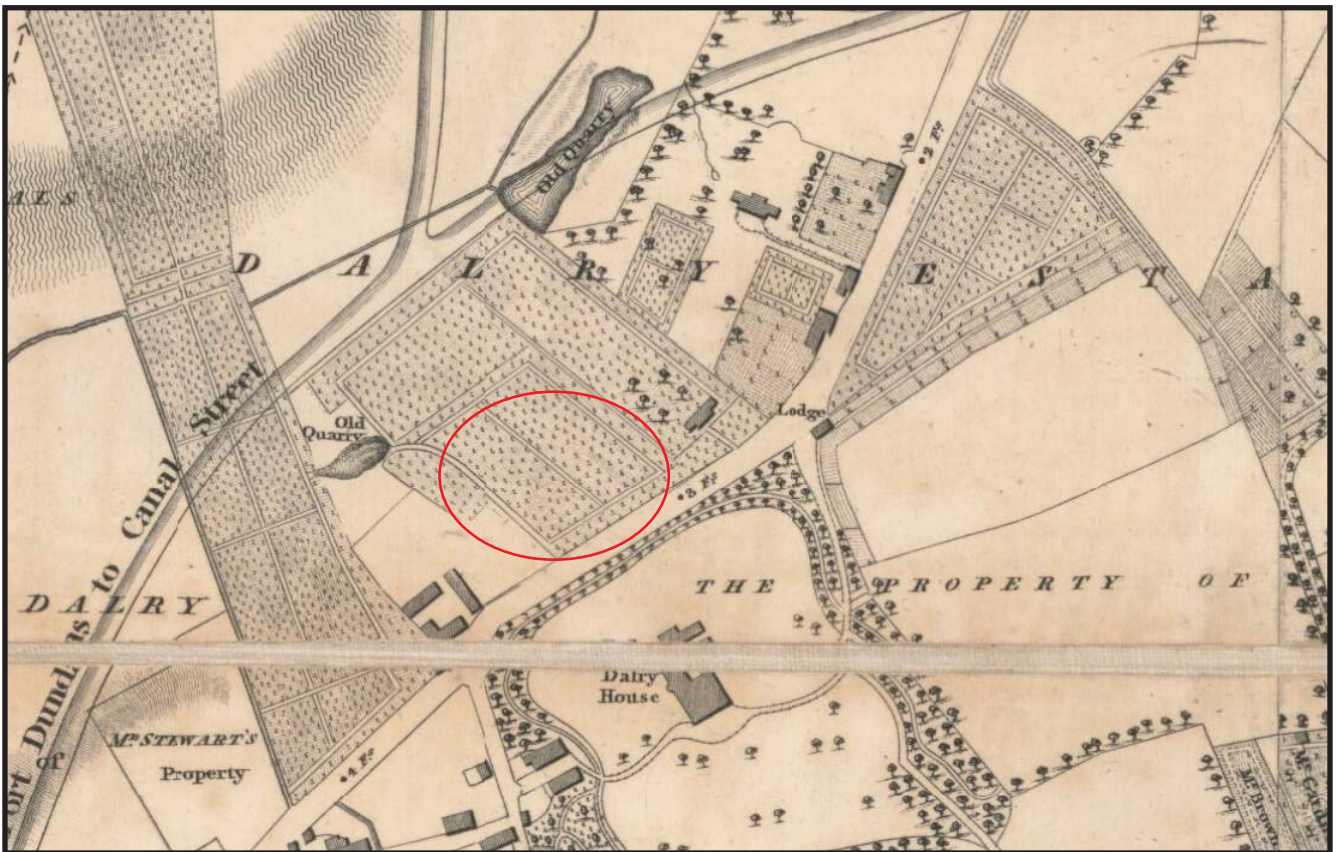
Figure 2: Extract from Adair's map, 1682



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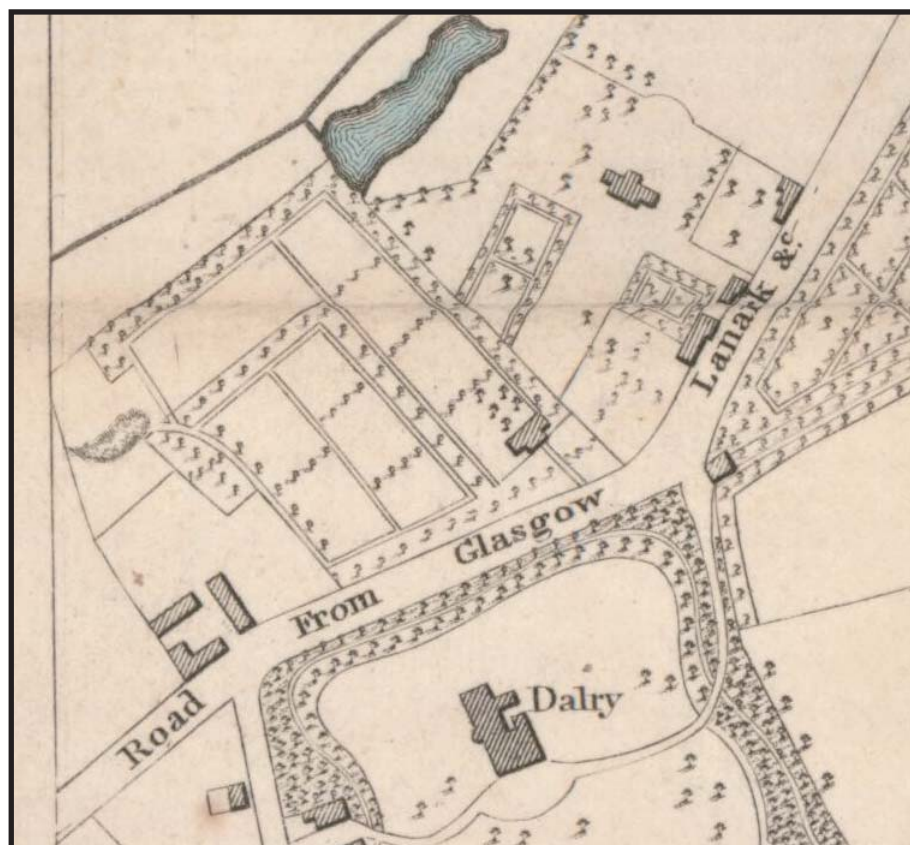
Figure 3: Extract from Laurie's map, 1766





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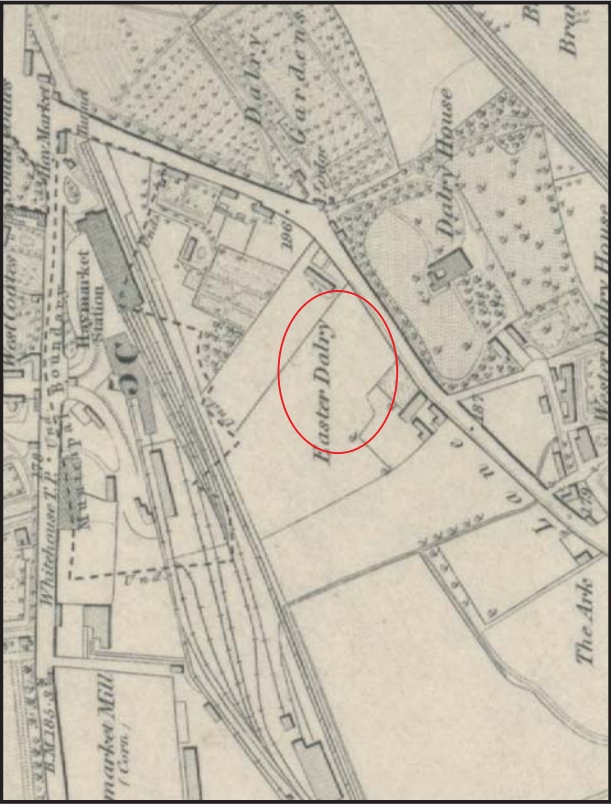
Figure 4: Extract from Kirkwood's map, 1817 (the approximate location of the development area is outlined in red )



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Figure 5: Extract from Kay's map, 1836





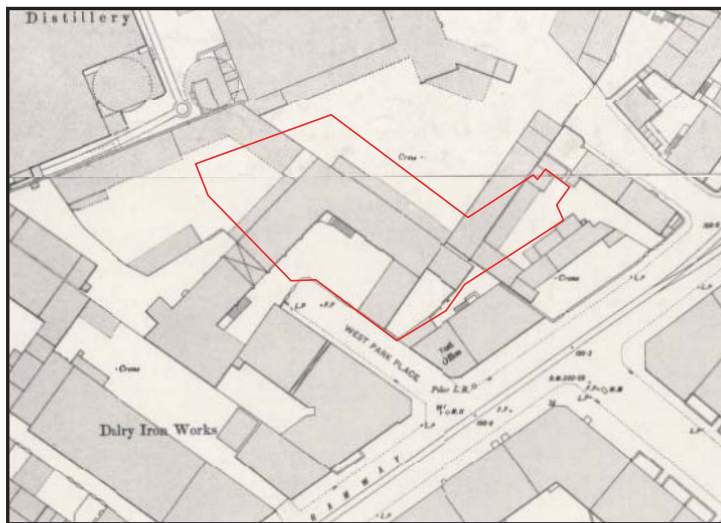
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Figure 6: Extract from Ordnance Survey map, 1853 (the approximate location of the development area is outlined in red)



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Figure 7: Extract from Ordnance Survey Town Plan, 1877 with development area outlined



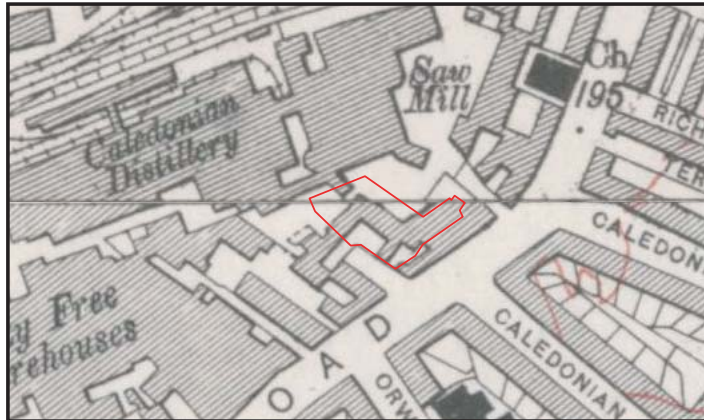
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Figure 8: Extract from Ordnance Survey map, 1894 with development area outlined



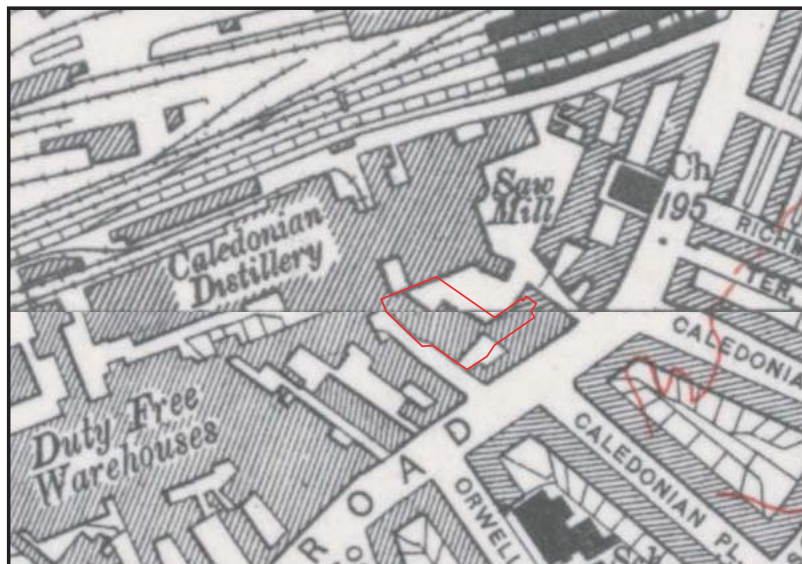
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Figure 9: Extract from Ordnance Survey 1909 with development area outlined



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Figure 10: Extract from Ordnance Survey map, 1920 with development area outlined



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Figure 11: Extract from Ordnance Survey 1935 with development area outlined

## 5 RESULTS: HISTORIC BUILDING SURVEY

### 5.1 No 4: Garages

- 5.1.1 The two large garages to the north of the development area, as we have seen above and according to the map evidence, were established in the 1920s – 1930s, although it is clear that a lot of modernisation has been undertaken over the later 20<sup>th</sup> / 21<sup>st</sup> century. They can be divided into the west garage (with access from West Park Place) and the east garage (with access from within the small courtyard to the east) (see Figure 1).
- 5.1.2 The west garage abuts No 5 to the north side and largely comprises a brick-built single-storey building with an additional upper floor flat-roofed store room to the north end, built up to the height of the adjacent wareroom roof (Figure 12). The south-west elevation to West Park Place is the only real visible elevation, the ground sloping to the north, creating a disjointed arrangement of the windows (Plate 1). It has an array of eight large multi-paned casement windows with a small pedestrian door to the south bay. The small upper floor store room can also be seen here, south-east facing, with an oculus with red brick detailing (Plate 2). To the south corner is a rendered half-façade (the rest behind No 5) with large roller door (Plate 3). The rear of the building is largely concealed by the adjacent buildings, although a small glimpse can be seen of the upper level storage area (Plates 4 & 5).
- 5.1.3 Internally, the east garage has been latterly used to store hire cars and, as such, is mostly open with a concrete floor, exposed steel-framed roof and bare windows (Plates 6 - 8). To the north side is the access to a small ground floor offices and stores and the upper floor storage/workshop area (Plates 9 & 10).
- 5.1.4 The east garage externally is largely subsumed by the adjacent buildings. It abuts and joins the west garage on its north-east side and has a separate entrance building to the south-east. Also brick built, but mostly rendered, it has a partial pitched roof, with a large gable to the south-east with oculus (Plate 11). The side north-east elevation can be viewed to the rear gardens of the adjacent apartments at Dalry Gait, a plain brick façade (Plate 12). The large north-west gable end can also be viewed from Easter Dalry Wynd, a large brick gable, with a small window (Plate 13).
- 5.1.5 Internally, the garage is largely open with a modern-fitted foyer to the south-east. The rest of the garage is open to the steel-framed roof, with modern offices partitioned to the north-east side (Plate 14). There is a small basement level to the north-east, used for services and additional storage. A number of upper galleries and passages have been inserted within the roof level to the rear of the former post office building (No 5) against which it abuts to the south-east (Plate 15).

### 5.2 No 4A: Former Picture House

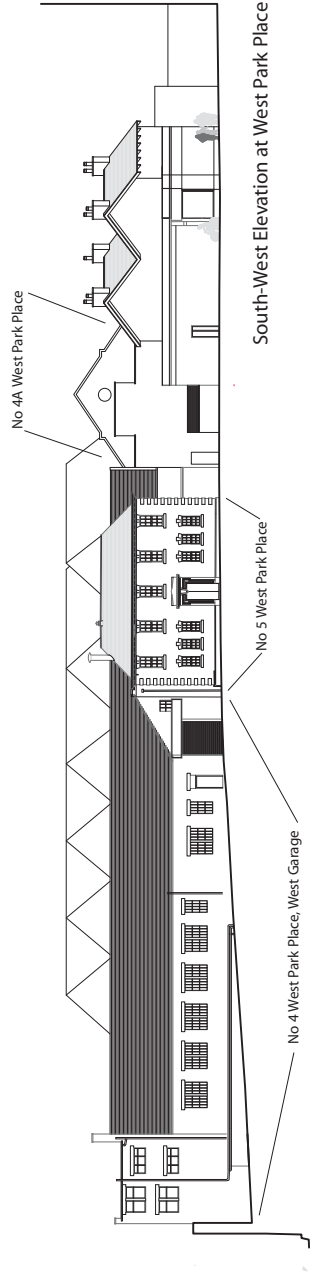
- 5.2.1 The former picture house/cinema at No 4A is located to the north-east of the site and adjoins the rear of the shops facing Dalry Road to the south-east and is partially subsumed by the east garage to the south-west (Figure 12). It forms a double-height brick-built building with a pitched slate roof with a small addition to the north-east and another to the south-west creating a garage entrance (Plate 16). Above this can be seen the brick build and the oculus window and roof access. The north-east gable can be viewed at Dalry Gait, again with oculus window, with the later addition to the lower floor in a roughcast render (Plate 17). The north-west elevation can be viewed from Easter Dalry Wynd, a plain brick façade with upper level boarded windows (Plate 18).



- 5.2.2 Internally, the building has been completely stripped out and most latterly used as a car garage with a concrete floor put in (Figure 13). However, some of the original character remained, including the plastered walls with plain panels and upper level windows (Plates 19 – 22). The ceiling areas that survive consist of rounded with panelled sections, a ventilation panel between each bay, behind which was steel ducting (Plate 23). On the south-west side is a small gallery with a canted centre bay (presumably for operating the projector). It was supported by a pair of decorative timber corbels (Plate 24). The later add-on to the north-east was simply painted brick with a large ventilated window (as seen in the east garage) and a small fire exit door (Plate 25).

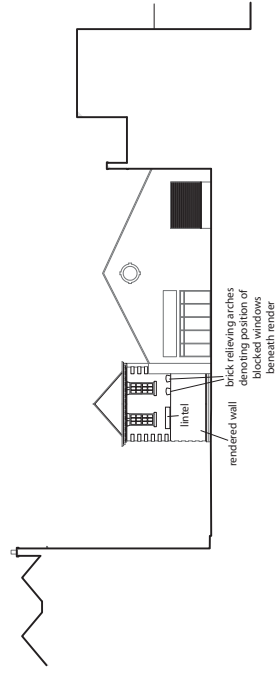
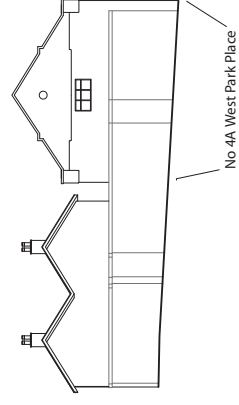
### 5.3 No 5: Former Post Office

- 5.3.1 The former post office building is thought to have been established possibly in the 1910s. It is a five bay mansard roof two-storey red brick building with prominent projecting mock sandstone quoins (Figure 14). Its main elevation is to the south-west facing West Park Place, with a central doorway in a large sandstone moulded doorcase (Plates 26 - 28). This is flanked by three small ground floor windows to each side with a projecting sill and large prominent sandstone keystone within the brick relieving arch (Plate 29) with the first floor windows larger in size covering only five bays.
- 5.3.2 The only other exposed elevation is the south-east, a two-bay façade with two first floor windows (as the south-west elevation), the ground floor completely covered over with render continued from the west garage (Plate 30). However, the brick relieving arches of two small windows can be seen to the north side (these are now blocked and form vents within the toilets inside) and another window or doorway to the south, identified by the presence of a flush lintel.
- 5.3.3 Internally, the building is very simple in plan, with a central dog-leg stairwell (Figure 14). There is a small basement accessed from a reinforced steel door with bare brick walls to house the services (Plate 31). The ground floor then is accessed only from the main doorway to the south-west which opens out into a wide corridor (0/1) (Plate 32). From here, Room 0/2 is accessed to the south, taking in the three ground floor windows on this side (Plate 33). A small corridor leading to the toilets (0/3) is set behind this. To the north, Rooms 0/5 and 0/6 form a small kitchen and store room with generator respectively off a small north-east corridor (Plates 34 & 35). The central stair is very plain with stairwell windows to the north-east and south-west sides (Plate 36).
- 5.3.4 The first floor consists of two large rooms and a smaller toilet cubicle off a small landing (1/1) to the south-west side. The large room, 1/2, to the south-east side features two windows to the south-east and three to the south-west (Plate 37). There is a large cast-iron range in the north-east wall with much of its fittings still intact (Plate 38). To the north-west side of this floor is another small office (1/3) adjacent to a small toilet, complete with (?possibly original) frosted glass partition (Plate 39).

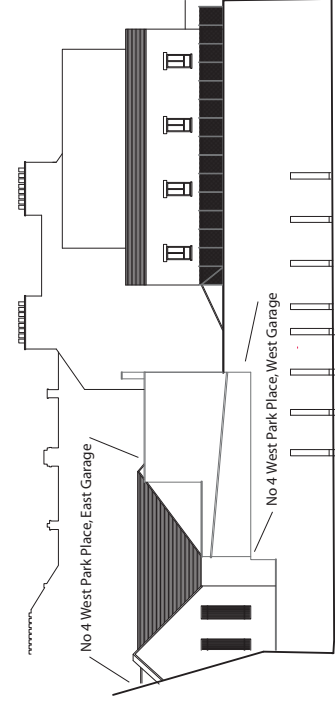


South-West Elevation at West Park Place

North-East Elevation to Dairy Gait



South-East Elevation to courtyard within West Park Place



North-West Elevation to Easter Dairy Wynd

Figure 12: Nos 4, 4a & 5 West Park Place, Exterior Elevations

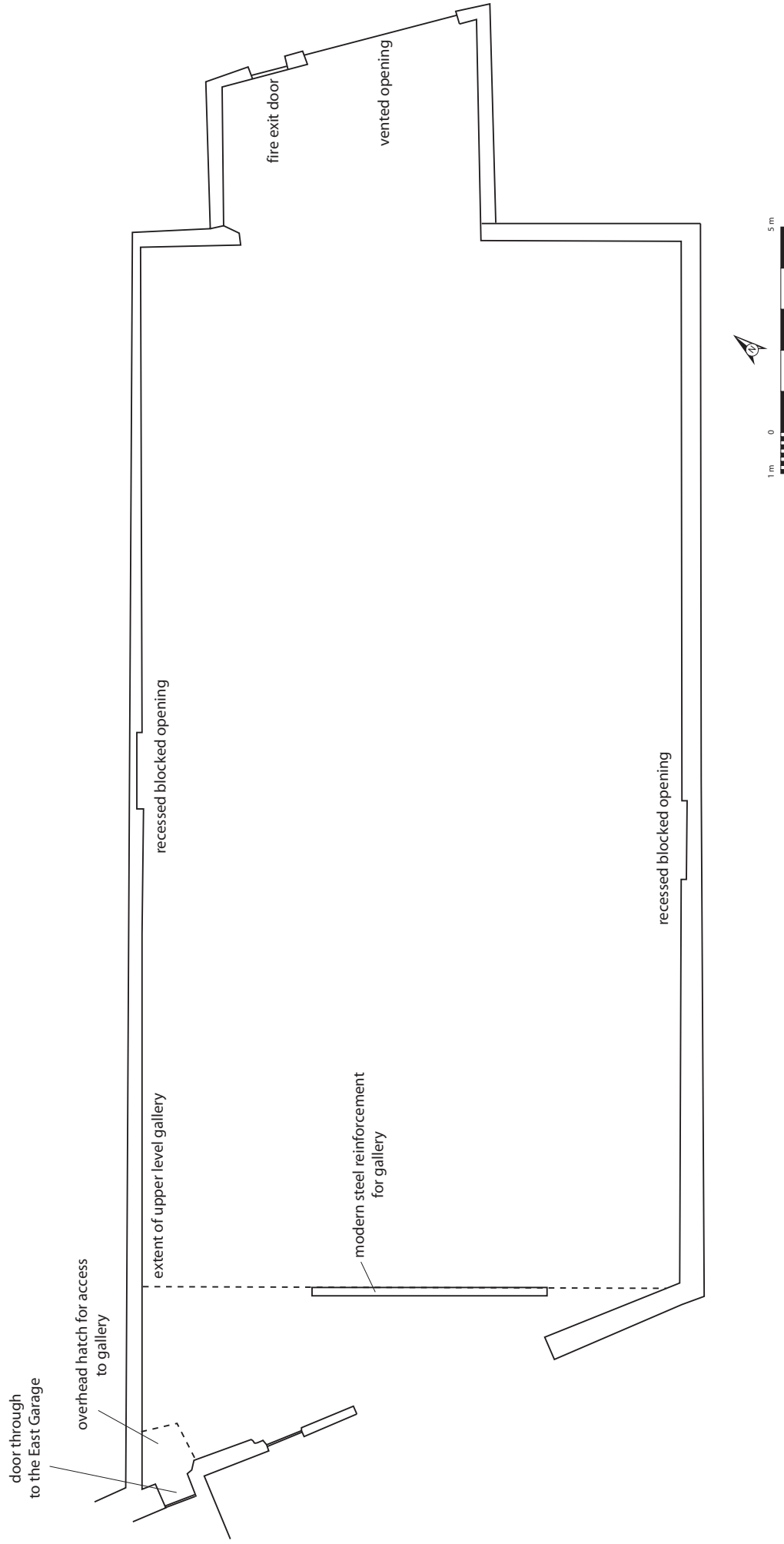


Figure 13: No 4a West Park Place, ground floor plan

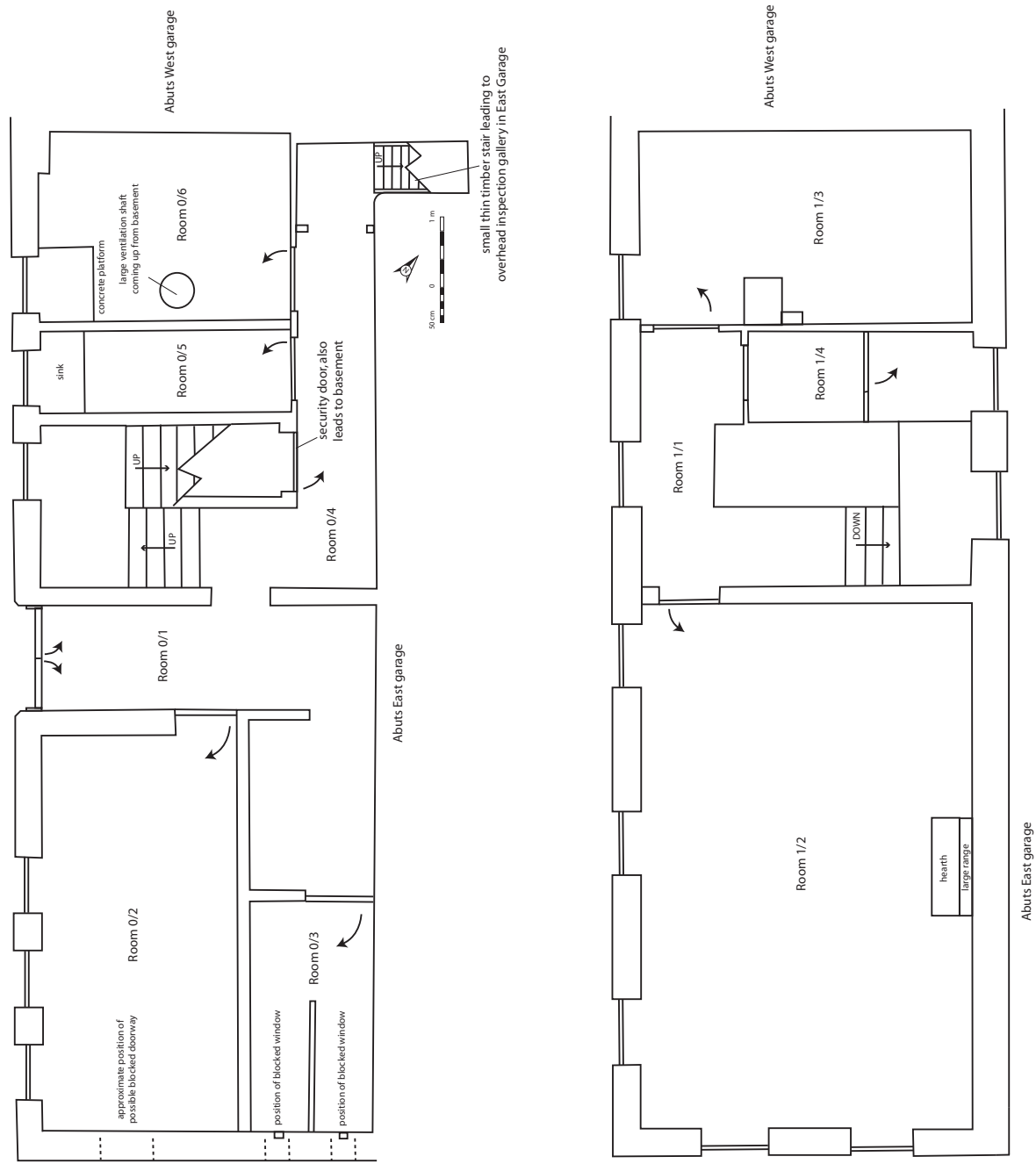


Figure 14: No 5 West Park Place, ground and first floor plan





Plate 1: No 4 West Park Place, West Garage, general view of the south-west elevation from the east



Plate 2: No 4 West Park Place, West Garage, detail of oculus to the upper floor store/workshop (south-east facing) from the east



Plate 3: No 4 West Park Place, West Garage, detail of the south elevation from the south



Plate 4: No 4 West Park Place, West Garage, general view of the rear north-west elevation from the north-west





Plate 5: No 4 West Park Place, West Garage, detail of the upper floor store/workshop to the rear, from the west



Plate 6: No 4 West Park Place, West Garage, general view of the interior from the north-west



Plate 7: No 4 West Park Place, West Garage, general view of the interior from the south-east



Plate 8: No 4 West Park Place, West Garage, detail of window on the south-west wall





Plate 9: No 4 West Park Place, West Garage, detail of rear store room to the north-west, from the south-west



Plate 10: No 4 West Park Place, West Garage, detail of the oculus in the south-east wall of the upper floor store/workshop area from the north



Plate 11: No 4 West Park Place, East Garage, general view of south-east gable from the south



Plate 12: No 4 West Park Place, East Garage, general view of the rear north-east elevation from the north-east





Plate 13: No 4 West Park Place, East Garage, detail of north-west gable from Easter Dalry Wynd, from, the north-west



Plate 14: No 4 West Park Place, East Garage, general view of interior from the south-east



Plate 15: No 4 West Park Place, East Garage, general view of the interior (showing later 'inspection' gallery) from the east



Plate 16: No 4A West Park Place, Former Cinema/Picture House, general view of later entrance inserted to the south-west gable





Plate 17: No 4A West Park Place, Former Cinema/Picture House, general view of rear north-east gable from the east



Plate 18: No 4A West Park Place, Former Cinema/Picture House, general view of north-west elevation from the north-west



Plate 19: No 4A West Park Place, Former Cinema/Picture House, general view of the interior showing gallery from the north-east



Plate 20: No 4A West Park Place, Former Cinema/Picture House, general view of interior from SSW





Plate 21: No 4A West Park Place, Former Cinema/Picture House, general view of north-west wall showing panelling from the east



Plate 22: No 4A West Park Place, Former Cinema/Picture House, detail of boarded up window on the north-west wall from the east



Plate 23: No 4A West Park Place, Former Cinema/Picture House, detail of vent in the ceiling from the east



Plate 24: No 4A West Park Place, Former Cinema/Picture House, detail of decorative corbels supporting the gallery from the east



Plate 25: No 4A West Park Place, Former Cinema/Picture House, detail of the north-east later addition from the south-west



Plate 26: No 5 West Park Place, Former Post Office, general view of the south-west elevation from the south





Plate 27: No 5 West Park Place, Former Post Office, general view of the south-west elevation from the west



Plate 28: No 5 West Park Place, Former Post Office, detail of the door in the south-west elevation from the south-west





Plate 29: No 5 West Park Place, Former Post Office, detail of window on the south-west elevation from the south-west



Plate 30: No 5 West Park Place, Former Post Office, general view of the south-east elevation from the south-east



Plate 31: No 5 West Park Place, Former Post Office, general view of the basement from the east



Plate 32: No 5 West Park Place, Former Post Office, Room 0/1, general view showing door from the north-east



Plate 33: No 5 West Park Place, Former Post Office, Room 0/2, general view from the north



Plate 34: No 5 West Park Place, Former Post Office, Room 0/5, general view from the north-east





Plate 35: No 5 West Park Place, Former Post Office, Room 0/6, general view from the north



Plate 36: No 5 West Park Place, Former Post Office, Room 0/4, detail of stairwell window from the north-east





Plate 37: No 5 West Park Place, Former Post Office, Room 1/2, general view from the west



Plate 38: No 5 West Park Place, Former Post Office, Room 1/2, detail of the range in the north-east wall from the south-west



Plate 39: No 5 West Park Place, Former Post Office, Room 1/4, general view from the south-west

## 6 RESULTS: ARCHAEOLOGICAL EVALUATION

- 6.1 The archaeological evaluation was undertaken on the 5<sup>th</sup> February 2014. Five trenches were excavated and their position was dictated by present ground conditions and the presence of several live services (Figure 15). Nevertheless the positions of the 19<sup>th</sup> century buildings were successfully targeted.
- 6.2 The archaeological evaluation revealed several brick foundations within Trenches 2, 3 and 4. The wall recorded within Trench 2 formed the rear wall of the 20<sup>th</sup> century garage building. This wall was previously associated with the Cabinet Works shown on the OS Map of 1877. A further Cabinet Works foundation was revealed in Trench 4 running north-east/south-west. Several brick foundations were also located at the south-western end of Trench 3. These walls ran south-east/north-west and are most probably internal/dividing walls associated with a building visible on the 1909 and 1920 OS maps. All of the walls related to this phase were approximately 0.50 m to 0.70m in elevation and cut directly into the natural sands.
- 6.4 A brick foundation associated with the modern perimeter of the site was recorded within Trench 1. This wall was 1.75m in height and overlay a deposit of made-ground 2.25m in depth. The wall is visible on the OS maps of 1877, 1894 and 1908.



Plate 40 Trench 3, general view of the brick interior foundation walls from south-west





Plate 41 Trench 2, general view of the brick foundation wall from south-west



Plate 42 Trench 1, general view of the brick foundation wall from north-east



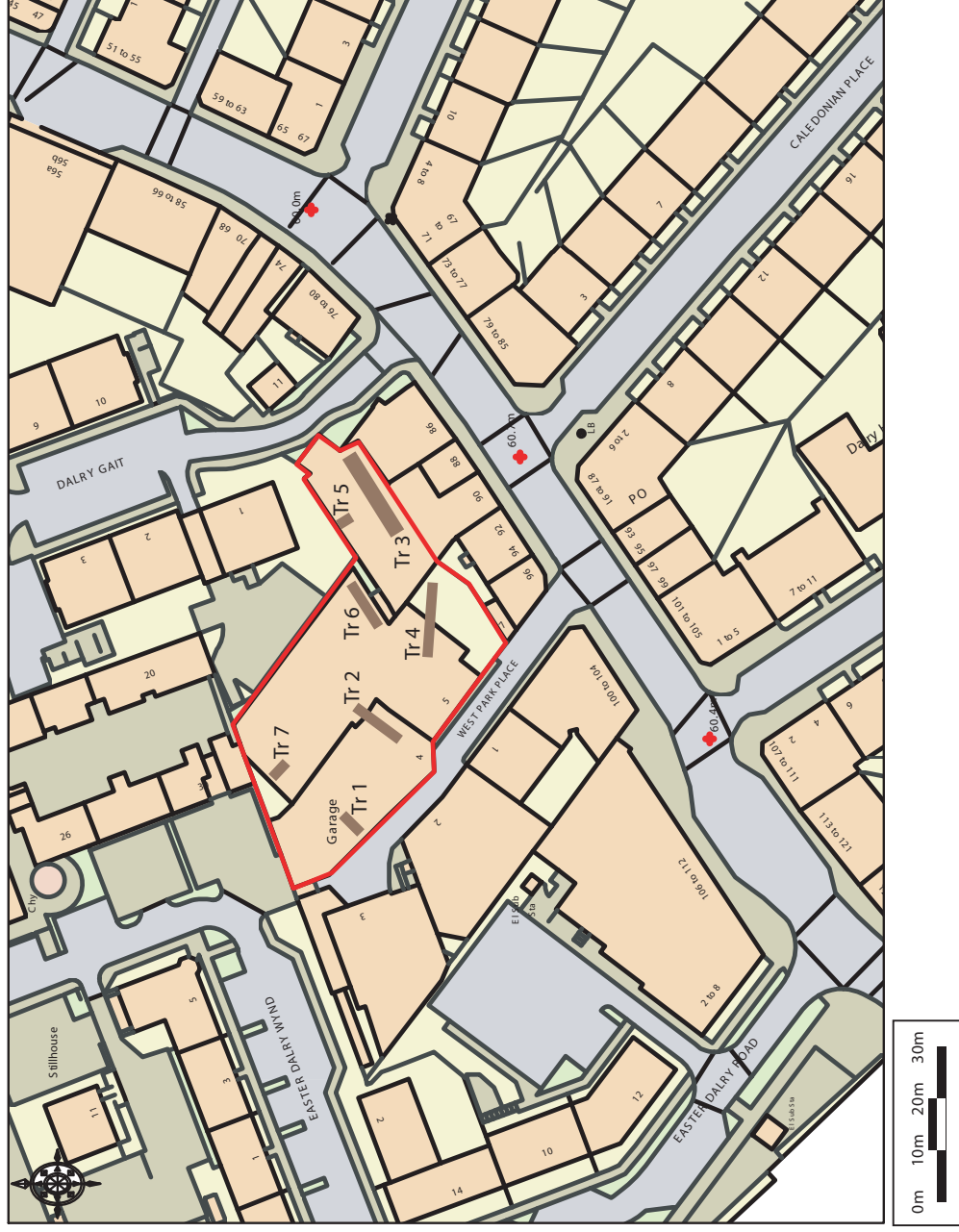


Figure 15: Site plan showing location of evaluation trenches

## 7 DISCUSSION

- 7.1 All the buildings on the site appear to date, at least largely, to the early 20<sup>th</sup> century. Both garages, being irregular in shape, were once part of a much wider complex associated with the Caledonian Distillery, until it was demolished to make way for the new apartment development to the north. It is assumed that at some point they may have been used as distillery buildings, although could be associated with the Post Office building. Their use as a hire car garage up until 2012 has meant that they have been greatly modernised, with new partitions and offices inserted and any former evidence of their original purpose stripped.
- 7.2 The cinema/picture house is thought to date to around 1912, and once formed a discrete rectangular block with projector to the south-west side, with the screen/stage to the north-east. The height of the building and the angle of the panelling to the walls highlight the tiered seating that has long since been removed. Its use as a garage in later years has seen its transformation, with a crude roller door entrance to the south-west added and a small section to the north-east tacked on (the exact function of this is unknown, although provides ventilation through its large window).
- 7.3 The former Post Office at No 5 is a nice example of an early 20<sup>th</sup> century building executed in a fine hard-wearing red brick and nice sandstone detailing and more of its character may be revealed once the garages behind it have been demolished. The interior, however, has been subject to modernisation. The chimneys have been removed, although there must have been at least one to service the range to Room 1/2. Any more fireplaces have been removed or blocked up. A large vent has also been installed to the north-west side, seen coming up from the basement and through Rooms 0/6 and 1/3. This may betray the existence of former fireplaces on this side.
- 7.4 The archaeological evaluation revealed several brick foundations associated with these previously upstanding buildings. Significant deposits of made ground were recorded ranging between 0.70m to 2.25m in depth. The made ground was significantly deeper to the north-west of the site where the current ground level had been built up. Several foundations associated with an early phase of construction visible on the 1877 Ordnance Survey map were identified and these were incorporated into the later re-developments of the site in the later 19<sup>th</sup> and early 20<sup>th</sup> century.

## 8 CONCLUSION AND ADDITIONAL WORKS

- 8.1 This report has successfully recorded the buildings within the development area. The garages (and to some extent the picture house/cinema) have been mostly stripped and modernised to accommodate their later use as a garage, although the former post office has kept much of its original layout, although has been modernised inside.
- 8.2 As no other significant archaeological remains or artefacts were identified during the evaluation further archaeological works are considered unnecessary. This recommendation will require confirmation by City of Edinburgh Council Archaeology Service (CECAS) on behalf of City of Edinburgh Council.

## 9 REFERENCES

### 9.1 Bibliographical references

AOC Archaeology 2005 *Dalry House, Edinburgh: Historic Building Recording Report*. AOC Archaeology: Edinburgh

AOC Archaeology 2013 *4/4a West Park Place, Edinburgh: Historic Building Recording & Archaeological Evaluation, Written Scheme of Investigation*. AOC Archaeology: Edinburgh

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Scottish Government 2011 *Planning and Archaeology 2/2011*. Scottish Government

Thomas, B 1984 *The Last Picture Shows, Edinburgh: Ninety Years of Cinema Entertainment in Scotland's Capital City, Edinburgh*. Moorfoot: Edinburgh, pp 33 - 34

### 9.2 Cartographic references

1682	John Adair	Map of Midlothian
1766	John Laurie	A Plan of Edinburgh and Places Adjacent
1817	Robert Kirkwood	This Plan of Edinburgh and Its Environs
1836	James Kay	Kay's Plan of Edinburgh
1853	Ordnance Survey	Edinburghshire Sheet 2
1877	Ordnance Survey	Edinburgh (Town Plan) Sheet 38
1877	Ordnance Survey	Edinburgh (Town Plan) Sheet 38A
1894	Ordnance Survey	Edinburgh (Town Plan) Sheet III.7.22
1894	Ordnance Survey	Edinburgh (Town Plan) Sheet III.11.1
1909	Ordnance Survey	Edinburghshire Sheet III.NE
1909	Ordnance Survey	Edinburghshire Sheet III.SE
1920	Ordnance Survey	Edinburghshire Sheet III.NE
1920	Ordnance Survey	Edinburghshire Sheet III.SE
1935	Ordnance Survey	Edinburghshire Sheet III.NE
1935	Ordnance Survey	Edinburghshire Sheet III.SE

1944	Ordnance Survey	Edinburghshire Sheet III.NE
1944	Ordnance Survey	Edinburghshire Sheet III.SE



## APPENDIX 1: BLACK AND WHITE PRINT AND COLOUR DIGITAL PHOTOGRAPHIC RECORD

### Black & White Print & Colour Digital Film # 1

<i>Frame</i>	<i>Building</i>	<i>Description</i>	<i>Taken From</i>	<i>Date</i>
1	No 5 (Former Post Office)	Room 1/3, latch detail on window	N	28/11/13
2	No 5 (Former Post Office)	Room 1/3, general view	NE	28/11/13
3	No 5 (Former Post Office)	Room 1/4, detail of floor	SW	28/11/13
4	No 5 (Former Post Office)	Room 1/4, general view	SW	28/11/13
5 – 6	No 5 (Former Post Office)	Room 1/1, detail of window	SW	28/11/13
7 – 8	No 5 (Former Post Office)	Room 1/2, detail of latch to window	E	28/11/13
9 – 10	No 5 (Former Post Office)	Room 1/2, window detail	NE	28/11/13
11	No 5 (Former Post Office)	Room 1/2, detail of range to NE wall (fitting)	SW	28/11/13
12 – 13	No 5 (Former Post Office)	Room 1/2, detail of range	SW	28/11/13
14 – 15	No 5 (Former Post Office)	Room 1/2, general view	E	28/11/13
16 – 17	No 5 (Former Post Office)	Room 1/2, general view	W	28/11/13
18	No 5 (Former Post Office)	Room 0/6, detail of door	W	28/11/13
19	No 5 (Former Post Office)	Room 0/6, detail of window	NE	28/11/13
20	No 5 (Former Post Office)	Room 0/5, detail of door	SW	28/11/13
21	No 5 (Former Post Office)	Room 0/5, general view	NE	28/11/13
22	No 5 (Former Post Office)	Room 0/4, detail of window in SW wall	NE	28/11/13
23	No 5 (Former Post Office)	Room 0/4, detail of window in SW wall from the ground floor level	NEE	28/11/13
24	No 5 (Former Post Office)	Room 0/1, detail of door	NE	28/11/13
25	No 5 (Former Post Office)	Room 0/2, detail of window	NE	28/11/13
26	No 5 (Former Post Office)	Room 0/2, general view	N	28/11/13
27	No 4A (picture house/cinema)	Detail of panelling	SE	28/11/13
28	No 4A (picture house/cinema)	Detail of gallery to S	N	28/11/13
29	No 4A (picture house/cinema)	Detail of gallery to S	NE	28/11/13
30	No 4A (picture house/cinema)	Detail of gallery to centre	N	28/11/13
31	No 4A (picture house/cinema)	Detail of corbels beneath gallery	N	28/11/13
32	No 4A (picture house/cinema)	Detail of corbels beneath gallery	E	28/11/13
33	No 4A (picture house/cinema)	Detail of corbels beneath gallery (close view)	E	28/11/13
34	No 4A (picture house/cinema)	Detail of ceiling showing vent	E	28/11/13
35	No 4A (picture house/cinema)	General view	E	28/11/13
36	-	Registration	-	28/11/13

**Black & White Print & Colour Digital Film # 2**

<i>Frame</i>	<i>Building</i>	<i>Description</i>	<i>Taken From</i>	<i>Date</i>
1	W Garage	Detail of S entrance	N	28/11/13
2	W Garage	Detail of window in SW wall	NE	28/11/13
3	E Garage	General view of SW wall with opening leading to W Garage	N	28/11/13
4	E Garage	General view of NW end	SE	28/11/13
5	E Garage	Detail of roof	NW	28/11/13
6	E Garage	General view of SE end	NW	28/11/13
7 – 8	W Garage	General view of exterior NW elevation	W	28/11/13
9 – 10	W Garage	General view of NW elevation	NW	28/11/13
11	E Garage	General view of rear NW gable	NW	28/11/13
12 – 13	E Garage	General view of rear NE elevation	NE	28/11/13
14	No 4A (picture house/cinema)	General view of NW elevation	NW	28/11/13
15	No 4A (picture house/cinema)	General view of NE gable end	N	28/11/13
16	No 4A (picture house/cinema)	General view of NE gable end	NE	28/11/13
17	No 4A (picture house/cinema)	General view of rear NE side	E	28/11/13
18	No 5 (Former Post Office)	General view	S	28/11/13
19	No 5 (Former Post Office)	Detail of the first floor passage to the rear, leading to over the E Garage	SW	28/11/13
20 – 21	E Garage	Detail of oculus in SE gable	S	28/11/13
22 – 23	W Garage	General view of SW elevation	S	28/11/13
24 – 25	W Garage	Detail of S elevation facing West Park Place	S	28/11/13
26 – 27	No 5 (Former Post Office)	General view of SW elevation	W	28/11/13
28 – 29	No 5 (Former Post Office)	Detail of the SE elevation	SE	28/11/13
30 – 31	No 5 (Former Post Office)	General view of SW elevation	W	28/11/13
32 – 33	No 5 (Former Post Office)	Detail of window on SW elevation	SW	28/11/13
34 – 35	No 5 (Former Post Office)	Detail of door on SW elevation	SW	28/11/13
36	-	Registration	-	28/11/13

**Black & White Print & Colour Digital Film # 3**

<i>Frame</i>	<i>Building</i>	<i>Description</i>	<i>Taken From</i>	<i>Date</i>
1	No 4A (picture house/cinema)	General view of interior	SW	29/11/2013
2	No 4A (picture house/cinema)	Detail of recess on NW wall	SE	29/11/2013
3	No 4A (picture house/cinema)	Detail of recess on SE wall	NW	29/11/2013
4	No 4A (picture house/cinema)	Detail of blocked window in upper level on NW wall	E	29/11/2013
5	No 4A (picture house/cinema)	Detail of window on NW wall	S	29/11/2013
6	No 4A (picture house/cinema)	Detail of roof	NE	29/11/2013
7	No 4A (picture house/cinema)	General view of roof	NE	29/11/2013
8 – 9	No 4A (picture house/cinema)	General view	NE	29/11/2013
10	No 4A (picture house/cinema)	Detail of NE end	SSE	28/11/2013
11	No 4A (picture house/cinema)	Detail of SW wall, showing doors in gallery on N side	NE	28/11/2013
12	No 4A (picture house/cinema)	Detail of roof after removal of ceiling	SW	28/11/2013
13	No 4A (picture house/cinema)	General view of NW wall	S	28/11/2013
14	No 4A (picture house/cinema)	General view of interior	N	28/11/2013
15	No 4A (picture house/cinema)	General view of interior	NE	28/11/2013
16	No 4A (picture house/cinema)	General view of SE wall	N	28/11/2013
17	No 4A (picture house/cinema)	Detail of wall panel in SE wall	NW	28/11/2013
18	No 4A (picture house/cinema)	General view of the SW elevation	SW	28/11/2013
19	E Garage	Detail of modern fitted foyer	NE	28/11/2013
20	E Garage	General view of basement	SE	28/11/2013
21 – 22	E Garage	General view of basement corridor	NE	28/11/2013
23	E Garage	Example of modern office on the NE side	N	28/11/2013
24	E Garage	Detail of upper level ?'inspection' areas	E	28/11/2013
25	W Garage	Detail of stairwell doorway	W	28/11/2013
26	W Garage	Detail of oculus in first floor storage/workshop area	E	28/11/2013
27	W Garage	Detail of blocked window to first floor storage/workshop area	S	28/11/2013
28	W Garage	Detail of door to rear	NE	28/11/2013
29	W Garage	Detail to rear E side	SW	28/11/2013
30	W Garage	General view of E corner	W	28/11/2013
31	W Garage	Detail to S end of SW wall	NE	28/11/2013
32	W Garage	General view of N wall	S	28/11/2013
33	E Garage	Detail of upper level ?'inspection' area	SE	28/11/2013
34	E Garage	General view of SE gable end	S	28/11/2013
35	No 5 (Former Post Office)	General view of SE elevation	SE	28/11/2013
36	-	Registration	-	28/11/2013

**Colour Digital Film # 1 Archaeological Evaluation**

<i>Frame</i>	<i>Description</i>	<i>Taken From</i>	<i>Date</i>
1	Registration	-	05/02/2014
2-3	Trench 1 Post-excavation	E	05/02/2014
4	Nth facing section of Trench 2	N	05/02/2014
5	Trench 2 Post-excavation	E	05/02/2014
6	Brick Foundation within Trench 2	W	05/02/2014
7-9	Trench 3 Post-excavation	W	05/02/2014
10	Trench 5 Post-excavation	S	05/02/2014
11	Trench 4 Post-excavation	E	05/02/2014



## APPENDIX 2: TRENCH SUMMARIES

### Trench 1

Dimensions	4.0m by 2.0m
Orientation	SW-NE
Excavation Depth	4.5m
Depth of Made-ground	2.25m
Features	Brick foundation of external wall extending 1.75m below existing ground surface.
Subsoil	Yellow/brown sand
Finds	None

### Trench 2

Dimensions	15.0m by 2.0m
Orientation	SW-NE
Excavation Depth	2.20m
Depth of Made-ground	1.50m
Features	Brick foundation of wall extending 0.75 m below existing ground surface aligned NW-SE.
Subsoil	Yellow/brown sand
Finds	None

### Trench 3

Dimensions	30.0m by 3.0m
Orientation	SW-NE
Excavation Depth	0.70 m
Depth of Made-ground	0.70 m
Features	Brick foundations of wall cut into natural, modern drains and brick man-holes
Subsoil	Yellow/brown sand
Finds	None

### Trench 4

Dimensions	20.0 m by 2.0m
Orientation	SE-NW
Excavation Depth	1.20 m
Depth of Made-ground	1.00 m
Features	Brick foundations of wall cut into natural at 6.0 m
Subsoil	Yellow/brown sand
Finds	None

### Trench 5

Dimensions	4.0 m by 2.0m
Orientation	NW-SE
Excavation Depth	2.60 m
Depth of Made-ground	1.50 m
Features	None
Subsoil	Yellow/brown sand
Finds	None

#### **Trench 6**

Dimensions	10.0 m by 2.0m
Orientation	NE-SW
Excavation Depth	1.00 m
Depth of Made-ground	1.00 m
Features	Modern drainage
Subsoil	Yellow/brown sand
Finds	None

#### **Trench 7**

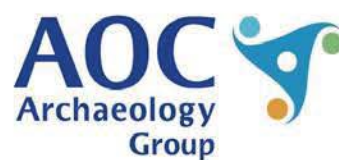
Dimensions	4.0 m by 2.0m
Orientation	NW-SE
Excavation Depth	m
Depth of Made-ground	m
Features	Modern drainage
Subsoil	Yellow/brown sand
Finds	None

## APPENDIX 3: DISCOVERY AND EXCAVATION IN SCOTLAND (DES) ENTRY

<b>LOCAL AUTHORITY:</b>	City of Edinburgh Council
<b>PROJECT TITLE/SITE NAME</b>	Nos 4, 4A & 5 West Park Place, Edinburgh
<b>PROJECT CODE:</b>	AOC 22619
<b>PARISH:</b>	Edinburgh, City of
<b>NAME OF CONTRIBUTOR:</b>	Diana Sproat
<b>NAME OF ORGANISATION:</b>	AOC Archaeology Group
<b>TYPE(S) OF PROJECT:</b>	Historic Building Recording & Archaeological Evaluation
<b>NMRS NO(S):</b>	(No 4A) NT27SW 4046
<b>SITE/MONUMENT TYPE(S):</b>	19 <sup>th</sup> century industrial buildings
<b>SIGNIFICANT FINDS:</b>	None
<b>NGR (2 letters, 6 figures)</b>	NT 23914 73003
<b>START DATE (this season)</b>	28/11/2013 & 05/02/2014
<b>END DATE (this season)</b>	29/11/2013 & 05/02/2014
<b>PREVIOUS WORK (incl. DES ref.)</b>	None.
<b>MAIN (NARRATIVE) DESCRIPTION:</b> (May include information from other fields)	<p>AOC Archaeology Group was commissioned by West Park Place LLP to undertake an historic building survey and archaeological evaluation of a former post office building, picture house and garages located at West Park Place, Edinburgh prior to demolition (Nos 4 &amp; 4A) and renovation (No 5). This work was required as part of a planning condition of the intended development.</p> <p>The area was formerly part of the Easter Dalry Estate and consisted of a cultivated landscape up to the 1860s and 1870s when this area of Edinburgh was subject to a large amount of industrial development. The huge Caledonian Distillery was built to the north of the site (now demolished) and industrial buildings – including a cabinet works – were constructed within the development area. These were largely swept away in the Edwardian period, when warehouses (No 4) were built on the site (possibly an expansion of the Distillery) together with a two-storey post office building in red brick (No 5) and a picture house (No 4A). There has been a fair amount of modernisation of all buildings – especially the warehouses – due to their most recent use as a car garage for hire car company Avis.</p> <p>The archaeological evaluation was undertaken after the demolition of the buildings to floor slab level. The evaluation revealed deposits of made-ground ranging between 0.70 m and 1.25 m in depth. Several brick foundation walls of buildings visible on the OS map of 1877 were recorded. These walls were apparently incorporated into later structures shown on the OS maps of 1894 and 1908. No other significant archaeological features or finds were revealed.</p>
<b>PROPOSED FUTURE WORK:</b>	None
<b>CAPTION(S) FOR ILLUSTRS:</b>	None.
<b>SPONSOR OR FUNDING BODY:</b>	West Park Place LLP



<b>ADDRESS OF MAIN CONTRIBUTOR:</b>	AOC Archaeology Group, Edgefield Road Industrial Estate, Edgefield Road, Loanhead, Midlothian, EH20 9SY
<b>EMAIL ADDRESS:</b>	edinburgh@aocarchaeology.com
<b>ARCHIVE LOCATION:</b> (intended/deposited)	Archive to be deposited in NMRS



AOC Archaeology Group, Edgefield Industrial Estate, Edgefield Road, Loanhead EH20 9SY  
tel: 0131 440 3593 | fax: 0131 440 3422 | e-mail: [edinburgh@aocarchaeology.com](mailto:edinburgh@aocarchaeology.com)

[www.aocarchaeology.com](http://www.aocarchaeology.com)