# AN ARCHAEOLOGICAL DESK-BASED ASSESSMENT

**OF** 

# THE PROPOSED REDEVELOPMENT OF ST BEDES CATHOLIC SCHOOL, LAWRENCE WESTON, BRISTOL

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#### NON-TECHNICAL SUMMARY

Skanska Technology Ltd on behalf of St. Bede's Catholic School has commissioned an Archaeological Desk Based Assessment of the St. Bede's Catholic School, Lawrence Weston, Bristol.

The application site occupies an area currently occupied by St. Bede's Catholic School, Lawrence Weston, Bristol. The site is located on the corner of Lawrence Weston Road and Long Cross, and is centred on NGR 354370 178740. It measures 14.9 hectares.

The assessment identifies twenty-two individual entries within the Bristol Historic Environment database (HER) for archaeological features, chance finds, archaeological events or listed buildings within the 500m radius of the study area.

The site itself contains three HER entries relating to Roman archaeological evidence and three HER entries relating to the relevant archaeological investigations conducted within the bounds of the development site. There are no Listed Buildings or Scheduled Ancient Monuments within the bounds of the development site, and the site does not lie within any Conservation Areas or Areas of Archaeological Priority.

There are no Conservation Areas, Areas of Archaeological Priority, Registered Parks and Gardens, Scheduled Monuments or Listed Buildings within the 500m radius of the site. There is one Scheduled Monument (the medieval Mere Bank) approximately 800m to the northwest of the site.

This assessment examines former land use and the archaeological potential of the study area to provide a better understanding of past activities within area. The assessment covers all aspects of the study area, which includes the existing built environment and the sub-surface archaeological potential and associated cultural connections, such as important events or figures of national or local historic significance. This provides a baseline of known and potential archaeology, related to existing cultural values, against which the impact of the proposed development is considered.

The available cartographic and historical sources indicate that the site was predominately farmland and undeveloped, apart form drainage channels and farm buildings, until the school site development in the 1960s. There is a High possibility of surviving evidence of these Post-medieval activities in the development site. They are considered to be of Local importance.

The archaeological evidence would suggest that there is a Low probability of medieval evidence, such as settlement features, within the bounds of the development site. If present these are considered to be of Local importance. However, it is considered that there is a High potential for Roman archaeological settlement features within the bounds of the development site, if present these are of Local to regional significance.

Previous excavations on site also noted possible residual prehistoric evidence (Neolithic flint tool, and Iron Age Pottery. There is therefore a Low to Medium probability of encountering such evidence. If found it would be of Local to Regional significance.

Planning policy guidelines note that physical in situ preservation of archaeological

remains is generally preferred. However, planning policy also accepts that a degree of flexibility may be appropriate, especially where a scheme offers a wide range of potential benefits that weigh positively in favour of development. Whilst the objectives of the proposed redevelopment should be to minimise impact, through foundation designs that preserve the most significant remains, in such circumstances arrangements for the excavation and recording of less significant archaeological remains is an acceptable alternative

It is recommended that in the area of the new all weather sports pitch and new tennis courts that archaeological geophysical survey be conducted to investigate the level of archaeological preservation. This can then be used, with approval from the City Archaeologist, to inform an appropriate mitigation (watching brief or evaluation) based on the degree ground reductions planned in this area.

It is further recommended that where ground works are planned for the extension on the west of the school building and in the area of the current tennis courts a programme archaeological evaluation is undertaken ahead of development. The results of the evaluation can be used to asses the depth and extent of below ground deposits and fully inform on a sympathetic development and foundation design. The results of the evaluation can also be used to inform on a programme of archaeological excavation ahead of development, if deemed necessary by the City Archaeologist.

This approach to the planning issue is consistent with historic environment policies and can be advanced through a process subject to further LPA planning controls. Relevant guidance concerning arrangements for archaeological evaluation and subsequent mitigation, through reserved matters procedures, is set out in PPG 16 paragraph 28 and a suitably worded condition is recommended in paragraph 30.

#### 1 INTRODUCTION

- 1.1 Skanska Technology Ltd on behalf of St. Bede's Catholic School has commissioned an Archaeological Desk Based Assessment of the St. Bede's Catholic School, Lawrence Weston, Bristol.
- 1.2 AOC Archaeology has been commissioned to carry out an archaeological impact assessment of this scheme. This Report describes the results of the assessment and will form part of the documentation submitted with the planning application.
- 1.3 AOC has followed the advice set out in *Planning Policy Guidance: Archaeology* and *Planning (PPG 16)* issued by the Department of the Environment in 1990 (DoE, 1990). PPG 16 defines two stages of investigation:
  - Assessment is a process that 'normally involves desk-based evaluation of existing information: it can make effective use of records of previous discoveries including historic maps held by the County archive and local museums and record offices, or of geophysical survey techniques' (DoE, 1990, Para. 20).
  - A subsequent stage may involve *Field Evaluation* 'where early discussions with local planning authorities or the developer's own research indicate that important archaeological remains may exist'.
- 1.4 This Report includes a description of the baseline conditions; identifies the potential direct and indirect impact of the proposed development arising from the construction activities; as well as formulating a mitigation strategy required to prevent, reduce, or offset the impacts and the residual impacts.
- 1.5 The Bristol Historic Environment Record (HER) is the primary source of information concerning the current state of archaeological and architectural knowledge. Together with historic map sources, this information predominantly forms the description of the baseline conditions.
- 1.6 This Report focuses on key historic environment issues that contribute to the local 'sense of place' and includes:
  - an integrated assessment process, i.e. considers archaeological, architectural and historic landscape features as individual components of the historic environment which together provide a coherent historic narrative of the site;
  - a historic environment 'characterisation' i.e. a definition of the historic qualities which are distinctive of the site and its setting.

#### 2 THE DEVELOPMENT PROPOSAL

#### 2.1 Location and Extent

- 2.1.1 The application site occupies an area currently occupied by St. Bede's Catholic School, Lawrence Weston, Bristol. The site is located on the corner of Lawrence Weston Road and Long Cross, and is centred on NGR 354370 178740. It measures 14.9 hectares.
- 2.1.2 The school buildings are located within the south-eastern corner of the school grounds, on a roughly rectangular plot, with associated car parking and hardstanding areas and adjacent tennis courts.
- 2.1.3 There are four separate fields that extend westwards, backing onto the M5 motorway. Drainage channels define the internal field boundaries, whilst the outer site boundaries are lined with trees and hedgerows, as well as, in places drainage channels.
- 2.1.4 A gas pipe is known to cross the centre of the site, from northeast to southwest.

# 2.2 The Developer

2.2.1 Skanska Technology Ltd on behalf of St. Bede's Catholic School has commissioned an Archaeological Desk Based Assessment of the St. Bede's Catholic School, Lawrence Weston Bristol.

# 2.3 The Development Proposal

- 2.3.1 Skanska Integrate Projects are proposing the re-development and refurbishment of St Bede's Catholic College, Lawrence Weston, Bristol. The development proposes the construction of a new 1000m², two storey DT and Science block and a new sports hall extension to the southwest corner of the current school buildings. This extension will be constructed over the ground currently used as asphalt tennis courts and will involve the demolition of the current sports hall.
- 2.3.2 A new all weather sports pitch and tennis courts are to be constructed to the west of this area, currently in use as grassed playing fields.
- 2.3.3 The proposal also includes demolition of part of an existing building in the north-eastern corner of the school and refurbishment of parts of the current school buildings and minor landscaping.
- 2.3.4 The development is in its preliminary stages and specific details of the development, e.g. foundation design, have not yet been confirmed.

Foundations Design-Recommendations

- 2.3.5 Terra Firma (Wales) Ltd. Conducted a Geo-Technical & Geo-Environmental desk study report of St. Bede's School redevelopment. The study anticipated that a combination of traditional mass concrete strip and trench fill foundations founded within the above in-situ materials, an allowable bearing pressure of 100kN/m² may be used for design purposes. It recommends that in order to prevent damage from frost heave and/or thermal shrinkage the foundation formations should extend down to 0.9m below the finished ground level.
- 2.3.6 It is also recommended that the foundations achieve a minimum penetration of 200mm into the founding materials. Allowances should be made for the removal of any 'soft spots/areas' and their replacement with well compacted imported granular materials as previously described

# 2.3 Geology and Topography

- 2.3.1 Geological formations, natural topography and flora and fauna have always influenced the pattern of human settlement. These factors must not be assumed to have been constant and, therefore to have had a predictable influence at all times in the past. The influence of these factors on land use is a major element in determining the nature of the archaeological deposits (stratification) formed on sites.
- 2.3.2 Terra Firma (Wales) Ltd were commissioned in August 2007 to conduct a geotechnical and geo-environmental assessment of the site, by Skanska Integrated Projects. The report concluded the following:
  - The geological map of the area shows the site to be underlain by rocks of the Mercia Mudstone Group.
  - In terms of superficial deposits, the northern half of the site is shown to be underlain by fluvial tidal flat deposits, which comprise organic-rich clay and silt. An area in the central eastern part of the site is shown to be underlain by superficial head deposits, which may comprise poorly stratified clay, silt or sand and gravel.
  - No superficial deposits are shown to be present within the southern part of the site, although some deposits of weathered bedrock should be expected. Made ground is expected beneath the current school campus and in connection with former housing in the east of the site, but no made ground is anticipated to be present upon remainder of the adjacent field land.
  - Based on the available information the ground conditions across the site can be expected to comprise an upper layer of topsoil across the proposed sports pitch and tennis courts, and made ground below the college campus. Beneath deposits of weathered Mercia Mudstone can be expected, comprising gravely clay or clayey sand and gravels, grading into weathered Marl at an estimated depth of up to 3.0m.

- 2.3.3 The site lies at a height between 8 10m OD with the land naturally rising in the south towards the highlands of King Weston Hill and Blaise Castle, and sloping down to the Avon's drained marshland areas in the north. It is noted in 1982 archaeological excavation report from the development site, that during the construction of the school and tennis courts in the 1960s the southeast area of the site was terraced. During 1982 the playing field areas in the west were striped and levelled by mechanical scraper.
- 2.3.4 Geo-technical borehole sampling has not as yet been conducted on the development site. The desk study recommends that approximately 11 boreholes should be sunk across the proposed development areas, extending to typically 5 to 6 metres depth.

# 3 AIMS, OBJECTIVES AND METHODOLOGY

# 3.1 Objectives

- 3.1.1 PPG 16 emphasises that early consultation on the results of archaeological assessment and consideration of the implications of a development proposals are the key to inform reasonable planning decisions. The aim of this report is to facilitate that process.
- 3.1.2 The Institute of Field Archaeologist has published various *Standard and Guidance* papers seeking to amplify the guidance in PPG 16, and clearly differentiates between 'Desk-based Assessments' and 'Field Evaluations' (IFA, 1994a, and IFA 1994b).
- 3.1.3 In accordance with the IFA *Standard* definition of a Desk-based Assessment (IFA 1994), the objectives of this report is to:
  - Identify and assess the known and potential archaeological resource within a specified area (the site), collating existing written and graphic information and taking full account of the likely nature and extent of previous impacts on the site, in order to identify the likely character, extent, quantity and worth of that resource in a regional and national context as appropriate.
  - To define and comment on the likely impact of works (e.g. site clearance/reduction, construction, infrastructure etc) resulting from the proposed scheme on the surviving archaeological resource.
  - Devise appropriate responses, which may consist of one or more of the following:
    - O The formulation of a strategy to ensure that the recording, preservation or management of the resource
    - O The formulation of a strategy for further investigation, whether or not intrusive, where the character and value of the resource is not sufficiently defined to permit a mitigation strategy or other response to be devised
    - O The formulation of a project design for further archaeological investigation within a programme of research
- 3.1.4 In accordance with PPG 16, the desk-based assessment forms the first stage in the planning process. If the archaeological potential warrants, this may lead to evaluation by fieldwork within the defined development area.

# 3.2 Methodology

- 3.2.1 The assessment has been carried out in accordance with a model brief produced by the Association of Local Government Archaeological Officers (1993) and the Institute of Field Archaeologists' *Standard and Guidance for Desk-based Assessment* (1994, rev.2001).
- 3.2.2 The detailed methodology is described in Appendix 2.
- 3.2.3 A number of sources were consulted for this report, principally:
  - a search of the Bristol Historic Environment Record (HER), database for archaeological sites and monuments within a 500m radius of the proposed development site;
  - an examination of available topographical evidence;
  - an inspection of available geological sources (maps/borehole logs/trial-pit data) relevant to the site;
  - a map regression exercise looking at the cartographic evidence for the proposed development site;
  - an assessment of existing impact on the site;
  - an assessment of historical and documentary evidence held by the:
    - Bristol Records Office.
  - an assessment of relevant published and unpublished archaeological sources, including searches through local archaeological journals;
  - a site walk-over;
  - published sources listed in the Bibliography.

#### 3.3 Report Structure

The Report introduction provides a brief description of the study area. This is followed by an outline assessment methodology; an explanation of the policy context; consultations undertaken; and a description of the development proposal. The results of the assessment are presented and appropriate mitigation proposals described, both incorporating appropriate plans and illustrations. The Report ends with a brief summary of the assessment findings and conclusions that relate back to planning policy requirements.

#### 4 GOVERNMENT & LOCAL PLANNING PROCEDURES

# 4.1 Planning Background

- 4.1.1 The site contains three HER entries relating to Roman archaeological evidence, and three HER entries relating to archaeological investigations conducted within the bounds of the development site.
- 4.1.2 The HER indicates that there are no listed buildings, Conservation Areas, Areas of Archaeological Priority or registered heritage features (e.g. Registered Parks and Gardens) within 500m radius of the site. One Scheduled Monument (Mere Bank) lies within 1km from the development site to the northwest.
- 4.1.3 The following section describes the relevant archaeological planning policy context for the application site:
  - 1997 Adopted Local Plan: In Bristol the 1997 Adopted Local Plan is at present the main development plan used to determine planning applications and should be referred to by everyone that wishes to submit a planning application.
  - 2003 Proposed Alterations to the Local Plan: The 2003 Proposed Alterations to the Local Plan are used as a "material consideration". This means the policies within this development plan, can also be used to determine planning applications but are normally less important than those in the 1997 Adopted Local Plan.
  - Supplementary Planning Guidance: Providing a further level of policy to the Local Plan on certain policy topics and site development briefs. Certain SPG have been superseded by Supplementary Planning Documents (SPD) produced as part of the new planning system. SPD are more important as they carry greater weight than SPG in deciding planning applications.

# 4.2 Planning Policy Guidance 16: Archaeology and Planning

- 4.2.1 The Department of the Environment published its Planning Policy Guidance note on archaeology and Planning (PPG 16) in November 1990. This sets out the Secretary of States policy on archaeological remains on land, and provides recommendations, many of which have been integrated into local development plans. The key points in PPG 16 can be summarised as follows:
  - Archaeological remains should be seen as a finite and non-renewable resource, and in many cases highly fragile and vulnerable to damage and destruction. Appropriate management is therefore essential to ensure that they survive in good condition. In particular, care must be taken to ensure that archaeological remains are not needlessly or thoughtlessly destroyed. They can contain irreplaceable information about our past and the potential for an increase in future knowledge.

They are part of our sense of national identity and are valuable both for their own sake and for their role in education, leisure and tourism.

- Where nationally important archaeological remains, whether scheduled or not, and their settings, are affected by a proposed development there should be a presumption in favour of their physical preservation.
- The key to informed and reasonable planning decisions is for consideration to be given early, before formal planning applications are made, to the question of whether archaeological remains are known to exist on a site where development is planned and the implications for the development proposal. Developers are advised to undertake early assessments or field evaluation works so that the implications for development are taken into account when submitting planning applications. Where justified, LPA's can request such information prior to determining applications under consideration.
- When important remains are known to exist, or when archaeologists have good reason to believe that important remains exist, developers will be able to help by preparing sympathetic designs using, for example, foundations which avoid disturbing the remains altogether or minimise damage by raising ground levels under a proposed new structure, or by careful sitting of landscaped or open areas. There are techniques available for sealing archaeological remains underneath buildings or landscaping, thus securing their preservation for the future even though they remain inaccessible for the time being.
- If physical preservation in situ is not feasible, an archaeological excavation for the purposes of preservation by record may be an acceptable alternative. From an archaeological point of view, this should be regarded as a second best option.
- Agreements should also provide for the subsequent publication of the results of any excavation programme.
- Development plans should reconcile the need for development with the interests of conservation including archaeology. Detailed development plans should include policies for the protection, enhancement and preservation of sites of archaeological interest, and their settings.
- Decisions by planning authorities on whether to preserve archaeological remains in situ, in the face of proposed development, have to be taken on merit, taking account of development plan policies and all other material considerations including the importance of the remains and weighing these against the need for development.
- Planning authorities, when they propose to allow development which is damaging to archaeological remains, must ensure that the developer has satisfactorily provided for excavation and recording, either through voluntary agreement with the archaeologists or, in the absence of agreement, by imposing an appropriate condition on the planning permission.

# 4.3 Planning Policy Guidance Note 15: Planning and the Historic Environment (1994)

- 4.3.1 Planning Policy Guidance Note 15: Planning and the Historic Environment (PPG15) 1994 explains the fundamental policy for environmental stewardship to protect heritage assets which add quality and local distinctiveness to the cherished local scene. It urges upon local authorities to ensure that qualified specialist advice is made available in the exercise of development control.
- 4.3.2 Particular emphasis is placed upon the identification and the listing of buildings of special architectural or historic interest, their protection and the preservation of their setting. The circumstances within which alterations, extensions or even demolitions might be allowed are set out, having regard to the potential for substantial beneficial redevelopment in certain circumstances.
- 4.3.3 The guidance fundamentally seeks to ensure the preservation or enhancement of the special character or appearance of Conservation Areas. That concern includes the setting of a Conservation Area (PPG15, paragraph 4.14) that may be affected by development. The guidance recommends the "controlled and positive management of change" under the control of the local authority.
- 4.3.4 The guidance also applies to historic parks and gardens that are recorded on the English Heritage Register of Historic Parks and Gardens.
- 4.3.5 For Listed Buildings, the general presumption in favour of their preservation, except where a convincing case can be made out for alteration or demolition, is fundamental to the proper approach detailed in the guidance (PPG15, paragraph 3.3). Alterations and extensions to Listed Buildings can have an affect on the special interest of a Listed Building, although "cumulative changes reflecting the history of use and ownership are themselves an aspect of the special interest of some buildings" (PPG15, paragraph 3.13). The guidance recommends the involvement of specialist expertise along with the exercise of "reasonable flexibility and imagination" (PPG15, paragraph 3.15). Furthermore, more specific elemental guidance on alterations is provided in PPG15 (Annex C).
- 4.3.6 The guidance in PPG15 is of a general nature and careful research and analysis is required in each specific case.

# 4.4 Bristol Local Plan (Adopted 1997)

4.4.1 The policies relevant to heritage and development issues are outlined below, and are referenced to the Plan paragraph numbering sequence.

#### **Sites of Archaeological Significance**

4.4.62 Palaeolithic artefacts have been recovered from the gravel terraces at Shirehampton; Roman and prehistoric landscapes are preserved under alluvial levels at Avonmouth; at Sea Mills there is a Roman town and the visible remains of Iron Age hillforts and Roman villas and farms are scattered throughout the area. Mediaeval village centres such as Westbury, Henbury, Clifton, Easton and

Bedminster are of archaeological significance in their own right, but have now been agglomerated into the city, while the historic core of Bristol is acknowledged to be of international importance. Starting from a relatively small nucleus in the late Saxon period, it quickly grew into a major seaport and manufacturing centre. Elements of Bristol's industrial base survive from the 18th Century and some of the finest examples of Victorian engineering and building may be found in Bristol.

4.4.63 This rich heritage is a non-renewable resource and the city council wishes to ensure that buried and standing remains are protected and managed adequately and sympathetically within new developments. Government guidance, contained in Planning Policy Guidance Note 16 (DoE 1990), encourages early consultation between potential applicants and planning authorities in order to minimise the risk of conflict. The city council full endorses this view and the City Archaeologist within Planning, Transport and Development Services is willing to advise potential applicants of likely archaeological constraints and procedures before an application is made. Preservation in-situ of important archaeological remains is the preferred option, and accurate information on the survival and significance of sites is essential for proper decision making. Applicants will therefore be expected to supply sufficient information at an early stage in order to assess the effect of development on the site's archaeological potential. The results of such assessments must be provided as part of an application for planning permission. Information may be gathered in several stages:—

- (i) A desktop study should be undertaken to look at existing information.
- (ii) Depending on the nature of the site a geophysical survey of the site might also be commissioned.
- (iii) A field evaluation of the site might be necessary to provide first-hand information on the surviving state of the archaeological resource.

4.4.64 As part of the assessment of the archaeological potential of a site, applicants should indicate options for minimising damage to identified archaeological remains. These might take the form of a redesign of foundations to avoid archaeological features, or, as a last resort, excavation of the remains prior to destruction ('preservation by record'). In the latter case, developers will be expected to meet the costs of excavation, preservation of the artifacts, and preparation and publication of any reports. Since buildings also form part of the archaeological resource, developers will be expected to ensure that, where preservation cannot be achieved, the specialist recording of architectural features which will be altered or destroyed during development will be carried out. A major archaeological database covering the city centre has been established. It will be used to compile a detailed assessment of the archaeological resource leading to an agreed strategy for the management of that resource. The strategy will form the basis of a Supplementary Planning Guidance Note to the Local Plan. Further information is contained within the Policy Advice Note – 'Archaeology and Development'.

#### **B22**

(I) There will be a presumption in favour of preserving any archaeological features or sites of national importance, whether scheduled or not.

(II) Development which could adversely affect sites, structures, landscapes or buildings of archaeological interest and their settings will require an assessment of the archaeological resource through a desk-top study, and where appropriate a field evaluation. Where there is evidence of archaeological remains, development will not be permitted except where it can be demonstrated that the archaeological features of the site will be satisfactorily preserved in situ, or a suitable strategy has been put forward to mitigate the impact of development proposals upon important archaeological remains and their settings; or, if this is not possible and the sites are not scheduled or of national importance, provision for adequately recording the site prior to destruction is made, preferably by negotiating a planning agreement to ensure that access, time and financial resources are available to allow essential recording and publication to take place.

Implementation: Through the Development Control process, on sites identified in the Avon or Bristol Sites and Monuments Record, the Bristol Urban Archaeological Database or by the city council Archaeologist.

# APPENDIX 1 SCHEDULED ANCIENT MONUMENTS: CURRENT LIST

#### PARISH NUMBER MONUMENT TITLE GRID REF

Bristol 7 Fairbairn Crane, Bristol Harbour ST 583 722

Bristol 26 Earth circle and avenue, Purdown ST 605 756

Bristol 27 Round barrow 261m E of school sports ground

N of River Trym, Southmead ST 579 779

Bristol 28 Druid Stoke burial chamber, Stoke Bishop ST 560 762

Bristol 29 Clifton Down camp, Clifton ST 564 733

Bristol 53 King's Weston Hill camp, Henbury ST 556 781

Bristol 87 Roman buildings at Long Cross ST 534 775

Bristol 88 Roman road on Durdham Down ST 569 750

Bristol 102 Dominican Friars (Quaker's Friars) ST 592 733

Bristol 103 Hermitage in Quaker burial ground near St Mary Redcliffe ST 590 723

Bristol 104 St Mary le Port church tower ST 589 731

Bristol 106 Temple Church ST 578 720

Bristol 116 Bristol Castle vaulted chambers ST 592 734

Bristol 117 City wall N of Baldwin Street ST 588 729

Bristol 118 Civil War earthworks on Brandon Hill ST 579 726, ST 579 728

Bristol 119 Section of City Wall, King Street ST 589 728

Bristol 129 Bristol Nails, Corn Street ST 589 730

Bristol 135 7, 12, 14, 16, 18, 23 Great George Street ST 582 729

Bristol 136 Vault in High Street ST 588 730

Bristol 158 Bristol Bridge ST 590 729

Bristol 163 Mediaeval vaults N of St Peter's Church ST 591 731

Bristol 183 Blaise Castle, Iron Age Hillfort, Roman and Mediaeval remains and Post-Mediaeval garden ST 558 783

Bristol 184 Anti-aircraft gun site, Purdown ST 612 764

Bristol 27988 The Mere Bank, Avonmouth ST 532 793

Bristol 8 Underfall Yard, Bristol Docks ST 572 721

# 4.5 Bristol Local Development Framework Supplementary Planning Document Number 7: Archaeology and Development, March 2006

#### A4.1 North and West Bristol

This is an area with an extremely varied and rich archaeological landscape, with evidence for human settlement from as early as the Palaeolithic on the gravel terraces at Shirehampton. The wetlands of the Severn Estuary have produced evidence for man's utilisation of this landscape from at least the late Bronze Age at Avonmouth, while there is an extant Bronze Age barrow at Southmead and evidence for further Bronze Age settlement on the high ground at Kings Weston Down.

The Iron Age hillforts of Blaise Castle, Kings Weston and at Clifton are clear reminders of the importance of this area at this period, but there have also been excavated examples of farming settlements at Hallen and at Henbury.

The area was probably intensively farmed during the Roman period and there is good evidence for its prosperity during this period. The Roman port of Sea Mills was founded shortly after the Roman conquest and developed into a civil settlement soon afterwards. Evidence for occupation in the town has been found even in very small-scale developments. Even gardening can produce important Roman material here and anyone finding artefacts is encouraged to contact the local Finds Liaison Officer at the address in Appendix 2. There is considerable evidence for Roman settlement at Lawrence Weston with a Roman villa and further settlement on the higher ground overlooking the estuarine wetlands.

The area continued to be largely rural throughout the post-Roman period and there are known farms, of medieval and later date, throughout the area, some still surviving. There was a large deer park at Pen Park by the 13th century. Some village settlements were established, the earliest being at Westbury-on-Trym where a village may have been established around a minster as early as the 8th century. The villages of Henbury and Horfield may date from the early medieval period.

The area contains nationally important formal landscapes of the 18th and 19<sup>th</sup> centuries, for example at Kings Weston, Blaise and Brentry. The imposing Georgian terraces of Clifton are eloquent reminders of Bristol's wealth, although the settlement has medieval origins.

There are monuments associated with both World Wars, with remains of former munitions works at Avonmouth, where there are also remains of a World War Two anti-aircraft battery, now protected as a Scheduled Ancient Monument.

#### 5 ARCHAEOLOGICAL AND HISTORICAL EVIDENCE

# 5.1 Bristol - Historical Background

- 5.1.1 The settlement of Bristol originates from the Anglo-Saxon period, however settlement in this region of Avon dates back to the prehistoric periods. In the settlement area of Bristol itself, archaeological evidence includes examples of early prehistoric flint artefacts, through Bronze Age sites and on to the number of Iron Age Forts that dot the area such as Blaise Castle just south of Lawrence Weston and Clifton, west of the Cotham district of the City.
- 5.1.2 Archaeology also proves a strong Roman presence in this area, primarily directed to the large settlement at Sea Mills, but with numerous Villas and farmsteads in the surrounding 'catchment' area such as Knowle West, Lawrence Weston and Avonmouth, villas at Brislington and Kings Weston and other settlements such as at Inns Court (www.baras.org.uk/archaeology/bristol).
- 5.1.3 In the Saxon period the settlement grew to the south of the main Roman settlement of Sea Mills between the rivers of the Avon and Frome, at the site of a river crossing from where its place name originates; *Bricgstow* meaning 'the place by the bridge'. There is a lack of information on Saxon Bristol partly because Bristol does not have its own entry in the Domesday Book, partly because there is a lack of Anglo-Saxon charters relating to the settlement (www.buildinghistory.org/bristol/origins).
- 5.1.4 The settlement developed in to a defensive settlement with a ditch and rampart possibly dating to the time of Offa around the end of the 8<sup>th</sup> century, be for a larger stronger fortification at the end of ninth / begging of the 10<sup>th</sup> century, mainly in response to the Danes in the east (www.buildinghistory .org / bristol /origins).
- 5.1.5 This was then replaced by improved stone fortifications in to the Norman period and the settlement developed in to one of the most prominent towns in England (www.baras.org.uk/archaeology/bristol). Onwards through the medieval and into the Post medieval periods Bristol grew on a mixture of prosperity from trade, and its important maritime ship building industry, though by the 19<sup>th</sup> century the port began to decline (www.bristol-link.co.uk/history/default).
- 5.1.6 The city grew and developed during the 19<sup>th</sup> and 20<sup>th</sup> centuries to cover the wider area and encompass surrounding settlements such as Bedminster, Clifton, and Sea Mills. It was the home of the engineer Isambard Kingdom Brunel, who built the Clifton Suspension Bridge (www.bristol-link.co.uk/history/default).
- 5.1.7 In the area of Lawrence Weston, archaeological excavations indicate the range of human settlement with nearby prominent sites such as a Bronze Age barrow at Blaise Castle Estate; a round barrow, visible as an earthwork, on Kings Weston Hill; and the Bronze Ages Hoard at Kings Weston Down. Iron Age hillforts are found at Blaise Castle and Kings Weston and Roman settlement activity is particularly evident in this area.

5.1.8 There is no major form of Saxon settlement in Lawrence Weston, and it is likely it was a sub-manor of the larger nearby settlement of Henbury. There is evidence of activity dating to the medieval period shown by the flood defences, land drainage, and settlement features at Deering Close. Through the Post-medieval and in to the modern eras the settlement remained relatively small, hamlet sized, until a post Second World War building boom, when the area was rapidly developed, as can be seen in the cartographic record. Today, Lawrence Weston lies within the Parish of Henbury in the Bristol ward of Kingsweston.

# **5.2** Historic Environment Records

- 5.2.1 There are twenty-two individual entries within the Bristol Historic Environment database (HER) for archaeological features, chance finds, archaeological events or listed buildings within the 500m radius of the study area.
- 5.2.2 The entries appear in the text in round brackets (x). These are presented numerically, in tabular format and are described in the gazetteer (Appendix 1) and illustrated in the distribution plan (Fig. 5).
- 5.2.3 Although the search was conducted in October 2007, there may be recent events that are not yet recorded within the HER database.

5.2.6 This data is summarised by recognised archaeological periods, as follows;

Period	Date
Prehistoric	
Palaeolithic	500,000 to 10,000 BC
Late Glacial/Mesolithic	10,000 to 4,000 BC
Neolithic/Early Bronze Age	4,000 to 1,600 BC
Middle Bronze Age	1,600 to 1,100 BC
Late Bronze Age	1,100 to 700 BC
Early Iron Age	700 to 400 BC
Middle Iron Age	400 to 100 BC
Late Iron Age/Roman Transition	100 BC to AD 43
Historical	
Roman	AD 43 to 410
Saxon	AD 410 to 1066
Medieval	AD 1066 to 1485
Post-Medieval	circa AD 1485 to 1900

5.2.7 The following summarises the records held by the Bristol Historic Environments Record (BHER):

#### **Prehistoric**

5.2.8 There were no entries of pre-historic date within the 500m search radius of the site.

#### Historical

#### Roman

- 5.2.10 There are six entries of Roman date within the 500m search radius. Within the bounds of the development site itself evidence was noted of a Romano-British farmstead (1) dated to from the end of the 1<sup>st</sup> 4<sup>th</sup> centuries AD. An area on the western side of the current tennis courts was excavated in 1982 by the University of Bristol and the Bristol and Avon Archaeological Research Group and numerous features were encountered including V-shaped enclosure ditches, an unmortared stone wall, occupation layers and a cobbling surface interpreted as a yard area. Parts of the archaeological record are preserved beneath landscaping on the school site.
- 5.2.11 Romano-British pottery shreds found in drainage cutting in 1889 are also possibly within the bounds of the development site (5).
- 5.2.12 To the south east of this site large quantity of 4<sup>th</sup> century pottery was discovered in the Long Cross area in 1948-1949 (2), and light masonry and 3<sup>rd</sup> and 4<sup>th</sup> century pottery was noted at Long Cross to the south (3).
- 5.2.13 Two other entries relate to Roman period; Roman pottery found north of Style Acres to the south of the site (4), , and a bank noted in 1950 at Attwood Drive thought to be Roman in date (6).
- 5.2.14 There are two sites of potential Roman date that are shown on Ordnance survey maps, but not listed in the Bristol HER. Situated to the south west of the development site, a site of antiquity is labelled as 'Roman Pavement, found 1850' and is marked on the Ordnance Survey maps from 1888 till 1955 (7). To the immediate north of this is a Roman Road is marked on the 1920-1921 and 1935-1938 OS maps (8). It follows the line of, (and may have been confused with) the Mere Bank; a large banked linear earthwork with flanking ditches which was part of the flood defence and drainage system in this area and is thought to date to the medieval period, though an earlier possible Romano-British date has been suggested. A substantial section of this survives on the north side of the M5 Motor way, approximately 800m from the development site, and is registered as a Scheduled Monument.

#### Medieval

5.2.11 The only entry of Medieval date, within the 500m radius, relates to earthworks at the west end of Deering Close (south-east of the development site) and include what has been interpreted as a house platform. Pottery of 13<sup>th</sup> century date, a medieval pilgrim badge and a lace bobbin (spindle) of 17<sup>th</sup> century date were also found (9).

#### Post-Medieval

5.2.14 There are five entries of Post medieval date and one entry of Post Medieval / Modern date within the 500m search radius. Two entries lie along Lawrence Weston Road; to the immediate east of the development is the site of Lawrence Weston Farm, first recorded on the 1881 Ordnance Survey map (10), and on the south-western side of the road is the site of 1-7 Upper Terrace, a row of cottages which were in existence by the time of the Henbury tithe survey of 1841 (11). Along Chapel Lane is located a 19<sup>th</sup> century pound (12), site of an infant school first shown in 1841 (13) and the post medieval / modern Weslyan Methodist chapel (14).

#### Undated

5.2.15 There are three entries in the Bristol HER that are currently of unknown date. Within the site itself an area of small rectangular enclosures with possible junction of a number of trackways was noted from cropmarks in the playing field (18). Along Lawrence Weston Road borehole sampling identified peat deposits (17) which are currently undated and to the east of the site a number of large stones were noticed at Attwood Drive, and are suggested to be part of a megalithic monument, but there is no confirmed date or interpretation (16).

# Scheduled Monuments and Registered Parks and Gardens

- 5.2.16 There are no Scheduled Monuments of Registered Parks and Gardens within the bounds of the development site, or within the 500m search radius, however there are a number within the wider locality that testify to the antiquity of this area. Within 1.5km from the development site are 4 Scheduled monuments: The Mere Bank (see section 5.2.12) to the northwest, Roman buildings at Long Cross to the southwest, and Balsie Castle (Iron Age Hillfort, Roman and Medieval remains and Post medieval garden) and King Weston's Hill Camp to the southeast.
- 5.2.17 Two Registered Parks and Gardens are situated within 1km of the study area: Kings Weston House and Blaise Castle and Hamlet.

#### Listed Buildings

5.2.16 There are no listed buildings registered within 500m radius of the development site.

# Archaeological Reports

5.2.17 Six entries in the HER relate to archaeological reports within the 500m search radius. Within the site itself there has been three investigations: an excavation in 1982 on the western side of the tennis courts which uncovered remains of Roman features, ditches and the cobbling area (1 / 19); and a watching brief conducted during the construction of an extension to the south-east corner of St. Bedes School (20), and a similar watching brief in 2005 (21) in which no archaeological features of finds were recorded. Two entries relate to Desk Based Assessments within the search area (22, 23) and an archaeological evaluation at Ridingleaze in which no features of archaeological significance were noted but two Romano-British pottery sherds and two flint flakes were recovered from the disturbed subsoil.

#### 5.3 Discussion

- 5.3.1 Examination of the historical data, Bristol HER and Archaeological reports suggest there is a rich potential in this locality for archaeological evidence dating from the prehistoric period.
- 5.3.2 Within the vicinity of Lawrence Weston the evidence of the Bronze Age hoard from Kings Weston Down and barrow at Blaise castle indicate a definite presence in this area at that time, as does the Iron Age activity at Kings Weston Hill and Blaise Castle. Similarly excavations at nearby Henbury School revealed evidence for a Late Iron Age to Roman settlement and a Roman cemetery, and suggests a mid to late Iron Age (2<sup>nd</sup> -1<sup>st</sup> century BC) short lived, possibly seasonal, settlement at Hallen, 1.2 km northeast of the site.
- 5.3.3 The available evidence suggests that settlement continued in this area in to the Roman period with the Roman activity noted at Blaise Castle, and the Roman Villa excavated at Kings Weston.
- 5.3.4 Within Lawrence Weston itself the evidence is less substantial. No prehistoric finds are recorded on the Bristol HER within a 500m radius of the site, though a group of stones are suggested to maybe be prehistoric in date are listed (16), and the 1982 archaeological report of excavations at St. Bedes School recovered a Neolithic flint axe and Iron Age pottery fragments. However the earliest confirmed activity in this area dates to the Roman period.
- 5.3.5 The 1982 excavations at St. Bedes Roman Catholic School identified 1<sup>st</sup> to 4<sup>th</sup> century AD phases of a Romano-British Settlement including a V- shaped Roman ditch, the foundations of a stone wall, an oven, pottery, bones, metal working waste and a possible gateway area. These phases were sealed, to the southern and eastern most limits of the site, by later occupation layers, and truncated remains of post Roman date were also identified to the north and west (Parker, 1984).
- 5.3.6 A watching brief was conducted in 2003 by the Avon Archaeological Unit, located within the footprint of the new steps and canopy leading into the reception area of the school. Some post medieval artefacts were recovered from the topsoil but no Roman artefacts were found. A further watching brief was carried out during March 2005 by Elizabeth Davis, of Bristol and Region Archaeological Services, within the footprints of a single storey extension located to the front of the existing buildings, to the south east of the site (bounded by Long Cross and St Lawrence Road). No further archaeological evidence was recovered, during this work. It is suggested, within the report that this absence of evidence could be the result of truncation caused by landscaping, as this had removed all deposits overlying the natural Keuper marl (Davis, 2005, P.5).
- 5.3.7 A number of rectangular features have also been noticed at St. Bede's school playing fields through visible grassmarks. These may indicate further archaeological activity, though they are currently undated (18).
- 5.3.8 This suggests a high possibility of encountering archaeological evidence dating to the Roman period in the north and western area of the site, unaffected by later

- developments. There may also be a possibility of encountering residual prehistoric finds, such as flints or pottery fragments, but there is no evidence of settlement or related activity features.
- 5.3.9 There is no recorded evidence of Saxon date within this area of Lawrence Weston. The only medieval entry on the HER, earthworks at Deering Close (9), suggest some form of settlement activity in the Lawrence Weston area, dating to at least the 13<sup>th</sup> century. The flood defences around this region, such as Mere Bank to the northwest of the site, are though to date to the medieval period (though it has also been suggested that they may have an earlier Romano-British origin) and may therefore indicate a definite degree of medieval activity within this area, though no evidence of medieval activity has been recognised within the bounds of the site itself.
- 5.3.10 The post-medieval entries on the HER and the cartographic evidence indicates the morphology of the settlement, located to the east and south of the site, with originally the two separate settlements of Kings Weston to the west and Lawrence Weston to the east. Within the bounds of the site itself the cartographic data suggests settlement activity mainly in the central areas of the site (Spring Farm and Spring Cottage), with the north and western areas crossed with a number of drainage channels. It is likely that these date to the post medieval period, though the available evidence cannot date these features, or settlement within the site boundary, any more precisely.
- 5.3.11 Within proximity of the development site two other archaeological investigations have been conducted. An evaluation was carried out at No. 2 Long Cross, Lawrence Weston, by the Bristol and Region Archaeological Services in 2005. No archaeological remains were identified possibly due to; activities such as pastoral farming, which has a limited disturbance of natural deposits; or the estate may have been relatively small and this site could well have been outside of the boundaries; or it is very likely that any existing remains of an ephemeral nature existed were destroyed during the construction works of the post-war period or during the 1960s (BRAS, 2005).
- 5.3.12 Similarly, Bath Archaeological Trust carried out an evaluation at Campbell's Farm, which lies approximately 100 m west of the most westerly point of St Bedes playing fields (ST 53873 78161). No evidence for human activity was recovered, although it is explained within the report that different grey alluvial clay lenses contain different materials and that deeper deposits may have been richer, should they exist (Chelu 2002, 5).

# 5.4 Cartographic Evidence

5.4.1 Earliest available cartographic evidence for the area occurs in the 19th century, and Ordnance Survey maps provide evidence from the 19<sup>th</sup> century up to the present day. Cartographic sources provide contemporary information regarding land usage, but prior to the 18th century it is necessary to rely on historical documentation, such as ancient charters and surveys, which detail human activity in the area. These various sources combine to provide a representative picture of

the earlier historic and prehistoric human activity in the general vicinity.

5.4.2 Specifically, relevant maps for the application site contribute to an understanding of land use and urban growth, providing indicators of what might be located subsurface. The following maps are referenced for the detail and information they provide on the application site.

Map	Fig.	Scale	Comment
Ordnance Survey, 1888- 89	<b>No.</b> 6	1:10,560	The area of development site covers parts of or the whole of six separate fields with a central wooded or orchard area containing at least three buildings (the two largest of these are later labelled Spring Farm, to the west, and Spring Cottage, to the east.) and a track linking them to Lawrence Weston Road to the east of the site. Another building is shown along the north-eastern boundary of the site.  The site is crisscrossed with a number of drainage ditches, one of which in the northern section of the site, is labelled 'Newlands Rhine'
Ordnance Survey, 1903-04	7	1:10,560	By 1903 there have been some slight modifications to the buildings in the central area of the site (extensions), but the site is predominantly unchanged.
Ordnance Survey, 1955	8	1:10,560	The 1955 OS map first shows the buildings labelled as Spring Farm. Much of the wooded area has been cleared by this time and there are a number of small new buildings, probably farm out buildings, in the central area (first shown on 1914-1915 1:2,500 scale OS map)  A pond, part of the drainage system, is shown to the west of Spring Farm  The building along the north-eastern boundary is no longer shown.
Ordnance Survey, 1974- 82	9	1:10,000	The site remains relatively unchanged until redevelopment shown on the 1960-1972 1:2,500 scale OS map. The 1974-1984 OS map shows the buildings and features in the central area have been cleared away and St. Bede's Roman Catholic School has been constructed in the southeast corner of the site.  Three tennis courts are labelled on the western side of the school and a pavilion along the southern boundary and a school cottage on the eastern boundary.
Ordnance Survey, 1975-	10	1:10,000	There is a gap in the available mapping data, however by 1992 the site has remained virtually

92			unchanged apart from two extensions on the		
			northern side of the school building.		
Ordnance	11	1:10,000	The present OS map shows the school has had		
Survey, 2006			another extension to the southeast corner of the		
			building, but the rest of the site remains		
			unchanged.		

# 5.5 Summary of Cartographic Data

- 5.5.1 Based on the available cartographic sources it appears that major development did not occur on the site until the school development of the 1960s, with a post-med farm situated in the central area of the site prior to this.
- 5.5.2 The Ordnance Survey mapping suggests that up until the school development, there was little change in the morphology of the site, with just a small number of modifications such as extensions to existing buildings and construction of a few new buildings (most likely ancillary farm buildings).
- 5.5.3 Development since the construction of the school consists of extensions to the northern and north-western and southeaster parts of the building. When the school was constructed the cartographic data suggest that a number of drainage channels and ponds in the central area of the site were infilled.
- 5.5.4 The cartographic data therefore suggest that there is a low potential for truncation of below ground archaeological remains outside the footprint of the school buildings.
- 5.5.5 The wider area of Lawrence Weston also remained relatively undeveloped until the mid-20<sup>th</sup> century, comprising of the two hamlet sized settlements of Lawrence Weston to the southeast of the development site, and Kings Weston to the southwest. A post war building boom led to rapid development in this area, as shown on the 1955 OS map, linking the two settlements. Industrial / commercial development occurred to the north and west of the development site, with a Sewage Treatment Works approximately 900m to the north and a smaller sewage pumping station to the immediate west of the site.
- 5.5.6 The OS mapping does shown a number of sites of antiquity, most notably a Roman Pavement (Found 1850) to the immediate west of the site shown on Ordnance Survey maps from 1888 till 1955 and to the immediate north of this is a Roman Road is marked on the 1920-1921 and 1935-1938 OS maps, though this may have been miss interpreted and confused with the bank and ditches of the Mere Bank flood defences. A number of Tumuli and Earthworks are shown to the south along Kings Weston Hill on the 2006 OS map and a 'Roman Camp' is labelled to the east of the site on the 1888-1889 OS map.

#### 5.6 Site Visit

5.6.1 A site walk-over was conducted in October 2007. This visual assessment is necessary to gain a greater understanding of existing land use and the potential for

archaeological and/or heritage constraints.

- 5.6.2 The school is screened by trees and buildings. The site terrain (and surrounding area) is flat, as it was once part of the ancient marshes which used to cover this area of Bristol (it is adjacent to Lawrence Weston Moor, a surviving remnant and designated Local Nature Reserve); these marshes are borne of the fact that the land is bounded to the south by the Avon and to the southwest-north by the confluence of the Avon and Severn. There is higher, wooded ground to the south and east, where the tithing of Lawrence Weston nestles at the foot of Kings Weston Hill (part of the dramatic Severn Escarpment which runs to the eastern edge of the River Severn flood plain).
- 5.6.3 Kings Weston Hill dominates the landscape and is part of the Blaise Castle Estate, bounded by large stone built estate walls, in which earthworks and tumuli are marked on the OS maps. A Roman Villa is marked on the 2006 1:10,000 OS map and a Roman Camp to the west, on the 1888-9 1:10, 560 OS map.
- 5.6.4 The playing field was very wet and cut through by the land drains which run through all of the agricultural land to the northeast to northeast.
- 5.6.5 The school is a post war building, largely constructed from brick, with tarmaced playing courts and car parks to the front and rear, where some landscaping has occurred.
- 5.6.6 It is noted that there was quite extensive terracing of the hillslope when St. Bede's and the tennis courts (to the west of the main buildings), were built in the 1960s and there is therefore likely to be a medium to high degree of disturbance of the below ground archaeological record, though no entries are recorded in the HER for this date. However, as the 1982 excavations on the western side of the tennis courts still detected substantial roman evidence, there is still a good potential for surviving below ground remains.

# 6 IDENTIFIED AND/OR ANTICIPATED ARCHAEOLOGICAL AND HISTORICAL REMAINS

Site	Component	Date of identified features	Probability
Below Ground Remains	Prehistoric residual evidence such as flints, artefacts, pottery etc.	Prehistoric	Low-Medium
	Unidentified Roman archaeological remains or settlement features such as pits, postholes, ditches / enclosures, and masonry	Roman	High
	Unidentified Medieval archaeological remains or settlement features such as pits, postholes, ditches / enclosures, farming activity etc.	Medieval	Low
	Unidentified archaeological features associated with Post Medieval land drainage and farming activities such as pits, postholes, drainage ditches / enclosures	Post Medieval	High

Table 1. Identified and/or Anticipated Historic Features within the Site Area

#### 6.1 Prehistoric

6.1.1 The 1982 excavations on the school site discovered a number of prehistoric residual finds; a Neolithic flint axe (in post Roman layer) and Iron Age pottery, though there was no evidence of any form of settlement or related activities. It is therefore considered to be a Low-medium possibility of encountering similar residual prehistoric evidence.

# 6.2 Roman

6.2.1 The archaeological and historical evidence indicates a high possibility for roman archaeology in this locality. Previous investigations on site in 1982 in an area on the west side of the present school tennis courts, encountered Roman remains and features such as ditches / enclosures, masonry, pottery and cobbling / yard areas suggesting some form of farmstead or settlement in this area. The archaeology suggests that there is a High probability of surviving below ground Roman evidence on this site

#### 6.3 Medieval

6.3.1 There is no evidence of Saxon activity within the 500m search radius, however

there is one HER entry relating to possible medieval settlement activity to the southeast of the site, and it is suggested that the flood defence system in this area date to the medieval period, though no evidence has yet been encountered for medieval activity within the site itself. It is therefore considered to be a Low probability of encountering medieval archaeological evidence.

# 6.4 Post Medieval

- 6.4.1 The archaeological, historical and cartographic evidence would suggests that this area was farmed during the late Post medieval period. The drainage channels that cross this locality may also date to the post-medieval period. It is considered that there is therefore a High probability of encountering evidence related to post-medieval drainage features or farming activity within the bounds of the site.
- 6.4.2 This is likely to be more prominent in the central area of the site, and to the west of the current school building, as shown by cartographic sources.

#### 7 DEVELOPMENT IMPACTS

# 7.1 Potential Direct Impacts

#### 7.1.1 Construction Phase

- It is considered likely that archaeological evidence of Roman settlement features and related activity will be adversely impacted during the construction phase of the development.
- It is likely that any surviving features and activities dating to the medieval period and any features or activities dating to the Post-Medieval period will be adversely impacted during the construction phase of the development.
- It is also possible that residual prehistoric finds may be affected by the construction stage of the development

# 7.1.2 Operational Stage

It is thought unlikely that archaeological remains will be affected during the operational phase of the development.

# 7.1.3 Decommissioning/Restoration stage

It is unlikely that any archaeological remains would be affected during the decommissioning/restoration phase of the proposed development.

# **7.2** Potential Indirect Impacts

# 7.2.1 Construction Stage

It is unlikely that any remains will be affected during the construction phase of the development.

#### 7.2.2 Operational Stage

It is unlikely that any remains will be affected during the operational phase of the development.

# 7.2.3 Decommissioning/Restoration Stage

The probability of further archaeological issues during the decommissioning/restoration phase is low.

#### 8 IMPACT ASSESSMENT

Site	Component	Significance	Scale of Potential Impact	Potential Direct Effect
Below Ground Remains	Prehistoric residual evidence such as flints, artefacts, pottery etc.	Local to Regional	Low to Medium	Minor Adverse
	Unidentified Roman archaeological remains or settlement features such as pits, postholes, ditches / enclosures, and masonry	Local to Regional	High	Major Adverse
	Unidentified Medieval archaeological remains or settlement features such as pits, postholes, ditches / enclosures, farming activity etc.	Local	Medium	Moderate Adverse
	Unidentified archaeological features associated with Post Medieval land drainage and farming activities such as pits, postholes, drainage ditches / enclosures	Local	Low to Medium	Moderate Adverse

Table 2 - Potential Direct Effect of Impacts on Identified or Anticipated Historic Remains

#### **8.1** Potential Direct Effects

- 8.1.1 Table 2 considers the potential effect of the proposed development on the anticipated buried archaeological features and the built heritage features. This considers the full potential effect of impact without taking into account the consequence of appropriate mitigation measures.
- 8.1.2 It is considered that there will be a Low to Medium potential for residual evidence dating to the prehistoric period. This evidence is considered to be of local to regional importance. Due to the ephemeral residual nature of the resource, the development is considered to have a Minor Adverse Direct Effect.
- 8.1.3 There is High potential for unidentified remains of the Roman period within the site, considered to be of Local/Regional importance. Ground reductions in the area of the tennis courts would suggest that the development is likely to have a High scale of potential impact and a Major Adverse direct effect upon the Roman archaeological record.

- 8.1.5 The area of the school buildings and tennis courts were terraced during construction of the site in the 1960s, and there is therefore likely to be some degree of disturbance of the below ground archaeological record from this. The 1982 excavations, however, indicated that Roman remains survived on site in the area east of the tennis courts, and the report suggests that there may be surviving remains below the tennis court area.
- 8.1.4 There is no conclusive evidence for medieval activity within the bounds of the development site, and therefore the probability for medieval activity is considered to be Low. Due to this, there is likely to be a Medium potential impact upon the medieval record and a Moderate Adverse direct effect from the development.
- 8.1.5 Within the boundaries of the site there is a High possibility of encountering evidence dating to the Post-medieval period such as drainage and farming features. Based on cartographic evidence and the terracing of the school site in the 1960s, it is thought that these Post-medieval features are likely to be more evident in the undeveloped northern, central and western areas of the site.
- 8.1.6 If present in the development area, the Post-medieval evidence is considered to be of Local significance. Due to the nature of the evidence, and that it has a high potential survival over the rest of the development site, the scale of Potential Impact is considered Low to Medium. There will be a Moderate Adverse potential Direct Effect upon the archaeological resource from the proposed development.

#### 9 MITIGATION

Site	Component	Potential Direct Effect	Mitigation	Potential Residual Effects
The Below Ground Remains	Prehistoric residual evidence such as flints, artefacts, pottery etc.	Minor Adverse	Evaluation	Moderate Beneficial
	Unidentified Roman archaeological remains or settlement features such as pits, postholes, ditches / enclosures, and masonry	Major Adverse	Geo- physical survey / Evaluation	Major Beneficial
	Unidentified Medieval archaeological remains or settlement features such as pits, postholes, ditches / enclosures, farming activity etc.	Moderate to Major Adverse	Geo- physical survey / Evaluation	Major Beneficial
	Unidentified archaeological features associated with Post Medieval land drainage and farming activities such as pits, postholes, drainage ditches / enclosures	Moderate to Major Adverse	Geo- physical survey / Evaluation	Moderate to Major Beneficial

Table 3 Mitigation of Impacts on Identified/Anticipated Archaeological & Historical Remains

- 9.1 Table 3 considers the mitigation of impacts to the identified and/or anticipated buried archaeological remains.
- 9.2 Planning policy guidelines note that physical in situ preservation of archaeological remains is generally preferred. However, planning policy also accepts that a degree of flexibility may be appropriate, especially where a scheme offers a wide range of potential benefits that weigh positively in favour of development. Whilst the objectives of the proposed redevelopment should be to minimise impact, through foundation designs that preserve the most significant remains, in such circumstances arrangements for the excavation and recording of less significant archaeological remains is an acceptable alternative.
- 9.3 Appropriate excavation mitigation works could be secured by means of a planning condition. This view is acknowledged by the *Bristol Local Plan* (Adopted 1997).

- 9.4 It is recommended that geophysical survey be conducted in the area of the all weather pitch and new tennis courts to determine the potential level of archaeological preservation. This can then be used, with approval from the City Archaeologist, to inform an appropriate mitigation (watching brief or evaluation) based on the degree ground reductions planned in this area.
- 9.5 It is further recommended that archaeological field evaluation is conducted where ground reduction is required for the extension to the west of the school buildings and in the area of the current tennis courts. This can be used to establish the depth and extent of below ground archaeological deposits and can be used to inform on a sympathetic development and foundation design.
- 9.6 It is recommended in the Geo-Technical & Geo-Environmental Desk Study Report of the St. Bede's development site (Terra Firma (Wales) Limited, 2007) that a windowless sampling borehole investigation be conducted, with a total of11 boreholes, typically 5 to 6 metres in depth, across the proposed development areas. Information form this study can be utilised to inform on any archaeological investigation in the development areas.
- 9.7 AOC Acknowledge that windowless borehole sampling will have a minimal impact on the potential below ground archaeology, and further advise that any future geo-technical investigations on site that use techniques of greater disturbance should be archaeologically monitored.
- 9.8 Further mitigation measures, such as excavation, can be programmed into the development design to fully mitigate development impacts, should they be deemed necessary.
- 9.9 The primary advantage of this form of integrated mitigation strategy is an improved understanding of the local historic environment, which can provide a range of benefits in terms of advancing academic research and supporting more sensitive historic environment site management practices.

#### 10 CONCLUSIONS & RECOMMENDATIONS

- 10.1 Skanska Technology Ltd on behalf of St. Bede's Catholic School has commissioned an Archaeological Desk Based Assessment of the St. Bede's Catholic School, Lawrence Weston, Bristol.
- 10.2 The application site occupies an area currently occupied by St. Bede's Catholic School, Lawrence Weston, Bristol. The site is located on the corner of Lawrence Weston Road and Long Cross, and is centred on NGR 354370 178740. It measures 14.9 hectares.
- 10.3 The site itself contains two HER entries relating to Roman archaeological evidence, and three HER entries relating to the relevant archaeological investigations conducted within the bounds of the development site. There are no Listed Buildings or Scheduled Ancient Monuments within the bounds of the development site, and the site does not lie within any Conservation Areas or Areas of Archaeological Priority.
- 10.4 There are no Conservation Areas, Areas of Archaeological priority, Registered Parks and Gardens, Scheduled Monuments or Listed Buildings within the 500m radius of the site. There is one Scheduled Monument (the medieval Mere Bank) approximately 800m to the northwest of the site.
- 10.5 The assessment has covered all aspects of the study area, including existing built environment, sub-surface archaeological potential and associated cultural connections, such as important events or figures of national or local historic significance. This has provided a baseline of known and potential archaeology, related to existing cultural values, against which the impact of the proposed development has been considered. The quality of information for the site is sufficient to establish a high level of confidence in the nature and character of the archaeological issues raised by the proposed development.
- 10.6 Given an understanding of the baseline data there is a High probability of archaeological settlement evidence within the bounds of the development site dating to the Roman period and a High probability of archaeological features related to the Post-medieval land uses. It is also considered that there will be a Low probability of Medieval evidence, and a Low to Medium probability of residual prehistoric evidence within the bounds of the development site.
- 10.7 It is recommended that in the area of the new all weather sports pitch and new tennis courts that archaeological geophysical survey be conducted to investigate the level of archaeological preservation. This can then be used, with approval from the City Archaeologist, to inform an appropriate mitigation (watching brief or evaluation) based on the degree ground reductions planned in this area.
- 10.8 It is further recommended that where ground works are planned for the extension on the west of the school building and in the area of the current tennis courts a programme archaeological evaluation is undertaken ahead of development. The results of the evaluation can be used to asses the depth and extent of below ground deposits and fully inform on a sympathetic development and foundation

- design. The results of the evaluation can also be used to inform on a programme of archaeological excavation ahead of development, if deemed necessary by the City Archaeologist.
- 10.9 This approach to the planning issue is consistent with historic environment policies and can be advanced through a process subject to further LPA planning controls. Relevant guidance concerning arrangements for archaeological evaluation and subsequent mitigation, through reserved matters procedures, is set out in PPG 16 paragraph 28 and a suitably worded condition is recommended in paragraph 30.

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- www.baras.org.uk/archaeology/bristol
- www.bristol-link.co.uk/history/default

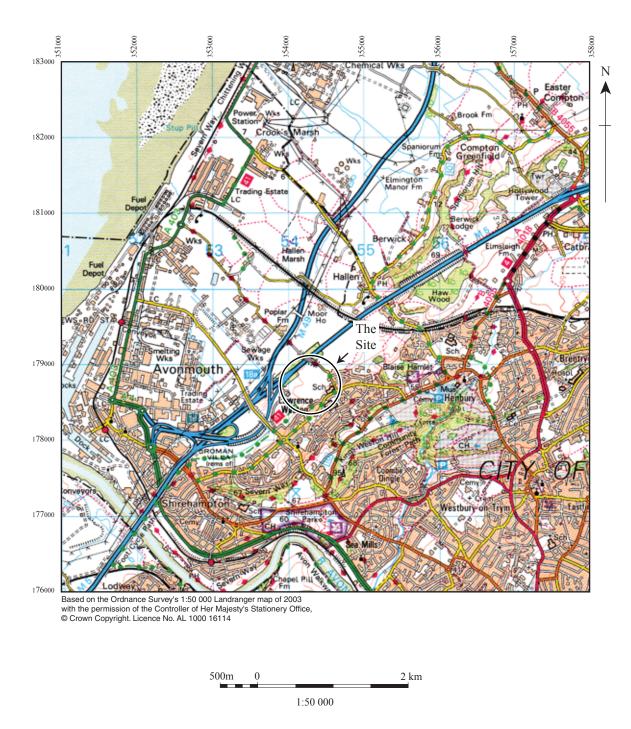


Figure 1: Site Location



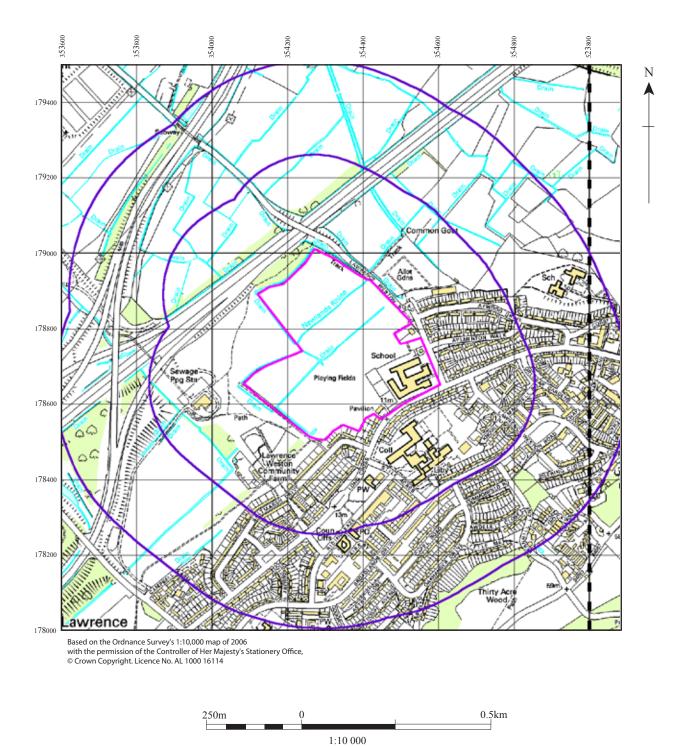


Figure 2: Detailed Site Location



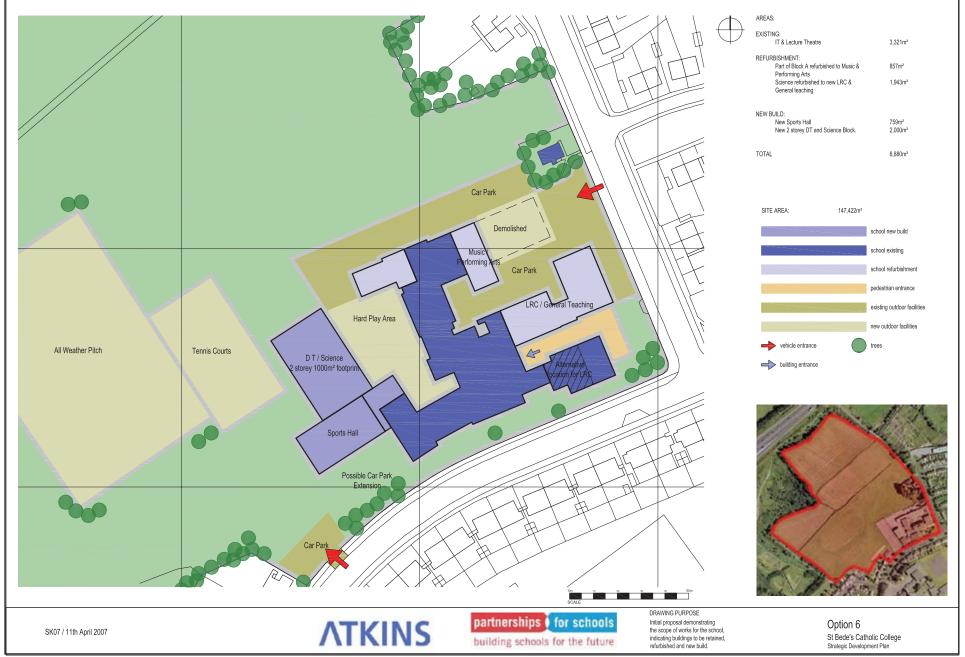
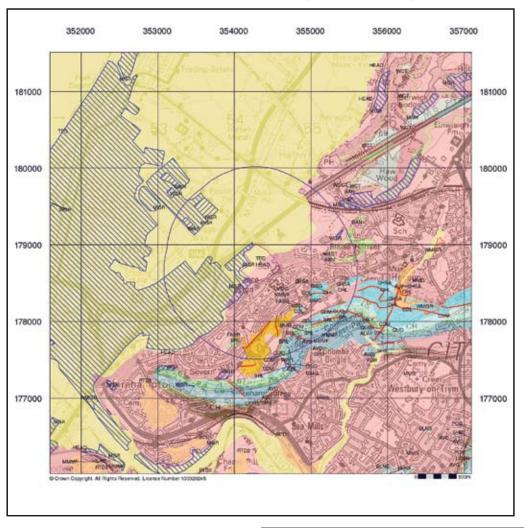


Figure 3: Development Proposal



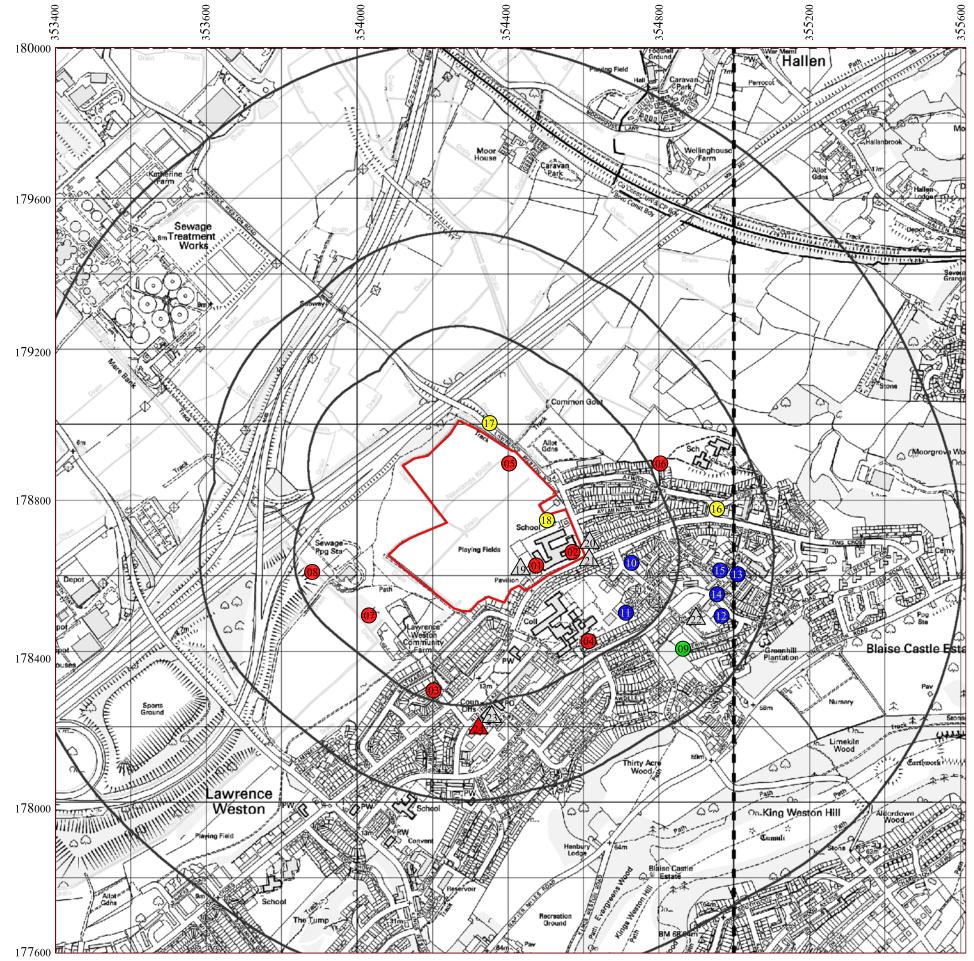


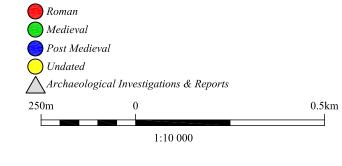
Map Colour	Lex Code	Rock Name	Rock Type	Min and Max Age
	MGR	Made Ground (Undivided)	Made Ground (Composition Unspecified)	Present Day - Present Day
//	WGR	Worked Ground (Undivided)	Void	Present Day - Present Day
	WMGR	Infilled Ground	Made Ground (Composition Unspecified)	Present Day - Present Day
	HEAD Head (Undifferentiated)		Clay, Silt, Sand and Gravel	Quaternary - Quaternary
	ALV	Alluvium	Clay, Silt, Sand and Gravel	Quaternary - Quaternary
	RTD2	River Terrace Deposits, 2	Sand and Gravel	Quaternary - Quaternary
	RTD1 River Terrace Deposits, 1		Sand and Gravel	Quaternary - Quaternary
	TFD	Tidal Flat Deposits	Clay and Silt	Holocene - Holocene
	MMMF	Mercia Mudstone Group (Marginal Facies)	Conglomerate	Triassic - Triassic
	WCT	Wilmcote Limestone Member	Limestone and Mudstone, Interbedded	Hettangian - Rhaetian
	WBCT	Westbury Formation and Cotham Member (Undifferentiated)	Mudstone and Limestone, Interbedded	Rhaetian - Rhaetian
	BAN	Blue Anchor Formation	Mudstone	Rhaetian - Norian
	MMG Mercia Mudstone Group		Mudstone and Halite	Rhaetian - Scythian
	FABR Farrington Member and Barren Red Member (Undifferentiated)		Sandstone	Westphalian D - Westphalian D

	QSG	Quartzitic Sandstone Formation	Sandstone	Yeadonian - Pendleian	
	OHL	Oxwich Head Limestone Formation	Limestone	Brigantian - Asbian	
	CDM	Clifton Down Mudstone Formation	Dolomite-Mudstone	Arundian - Arundian	
	CHSA	Cromhall Sandstone Formation	Sandstone	Brigantian - Arundian	
	CDL	Clifton Down Limestone Formation	Limestone	Holkerian - Arundian	
	GUO	Gully Oolite Formation	Limestone, Ooidal	Chadian - Chadian	
	AVO	Avon Group	Limestone	Courceyan - Courceyan	
	SHB	Shirehampton Formation	Limestone, Argillaceous Rocks and Subordinate Sandstone, Interbedded	Courceyan - Courceyan	
	BRL	Black Rock Limestone Subgroup	Dolomitised Limestone and Dolomite	Chadian - Courceyan	
	AVO	Avon Group	Mudstone and Limestone, Interbedded	Courceyan - Courceyan	
	BRL	Black Rock Limestone Subgroup	Limestone	Chadian - Courceyan	
	UORS	Upper Old Red Sandstone	Conglomerate	Late Devonian - Late Devonian	
	POB	Portishead Formation	Sandstone	Famennian - Famennian	
	BLNS	Black Nore Sandstone Formation	Sandstone	Early Devonian - Early Devonian	
/		Faults			

**Figure 4:** Main Geological Features of the Site and Surrounding Areas

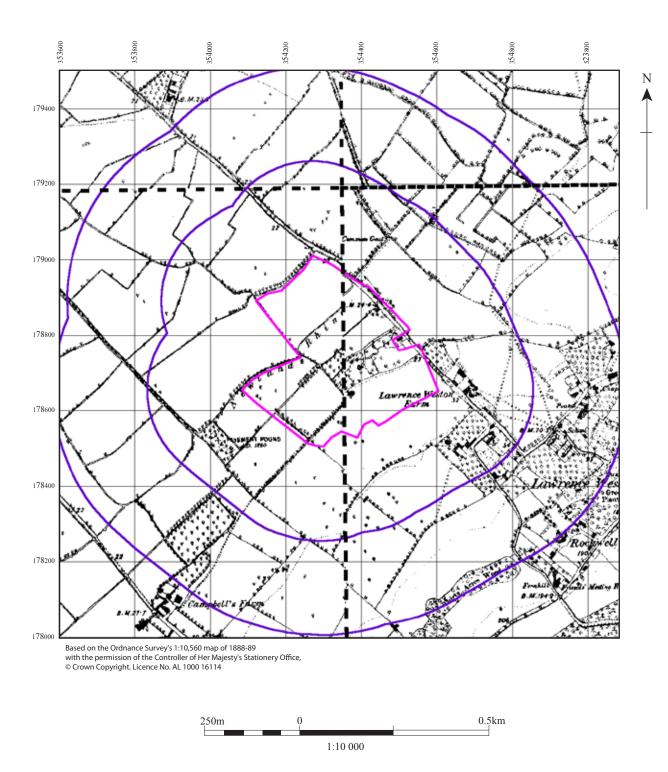






Based on the Ordnance Survey's 1:10000 Map of 2006 with the permission of the Controller of Her Majesty's Stationary Office © Crown Copyright. Licence No. AL 1000 16114

**Figure 5:** Gazetteer of Sites, Finds & Archaeological Investigations



**Figure 6:** 1:10,560 Ordnance Survey Map of 1888-89



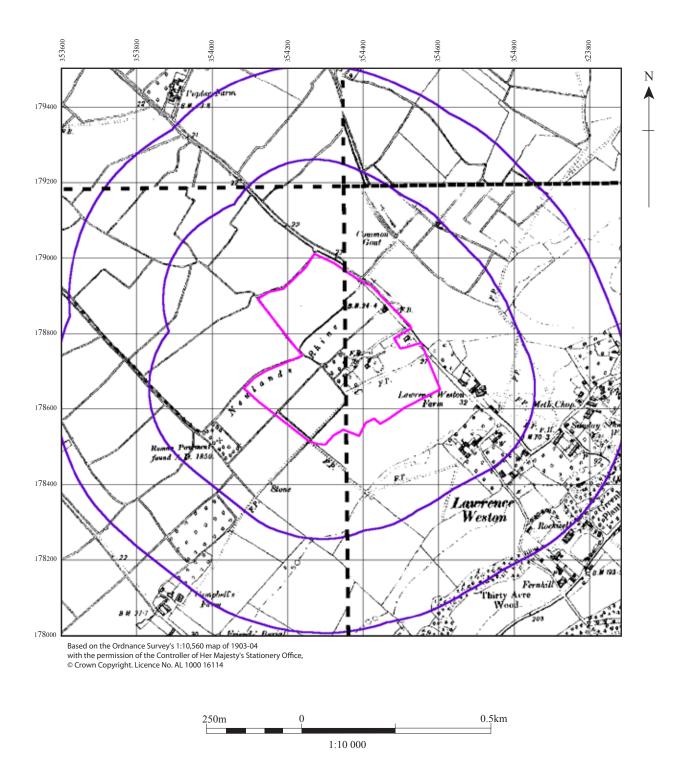
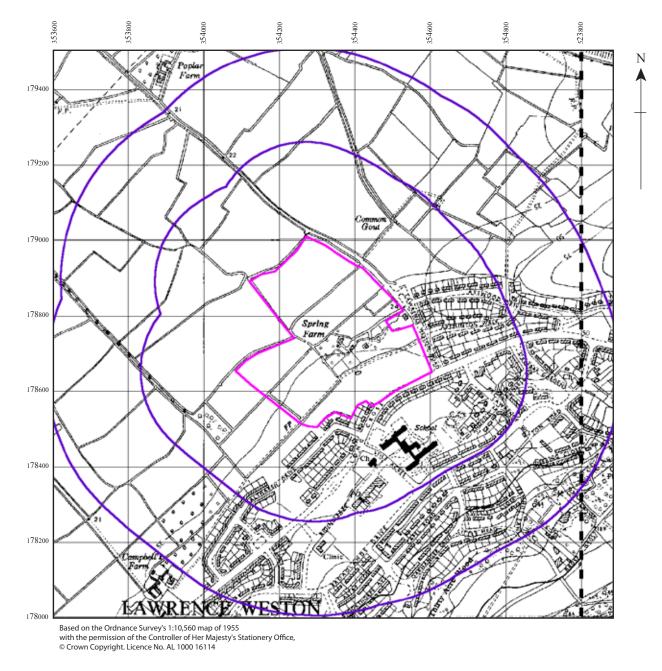


Figure 7: 1:10,560 Ordnance Survey Map of 1903-04



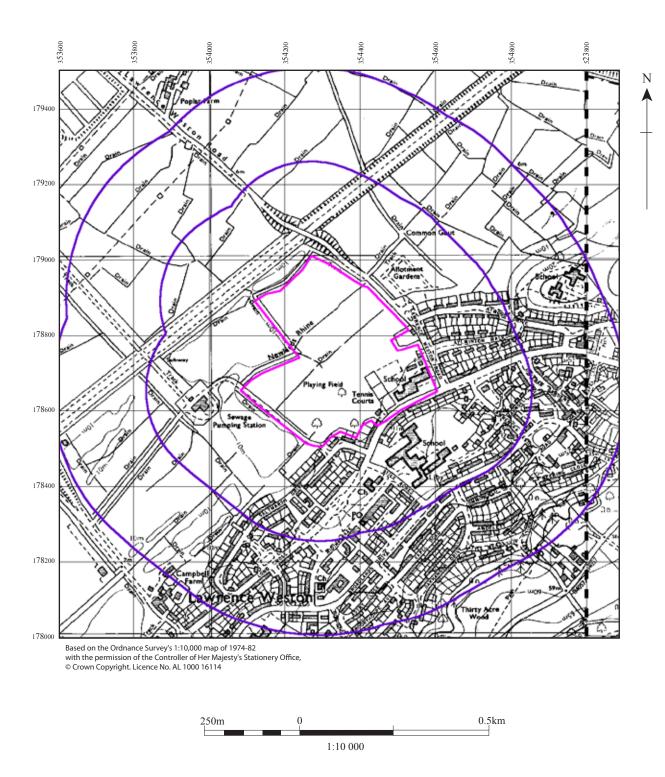


250m 0 0.5km

**Figure 8:** 1:10,560 Ordnance Survey Map of 1955

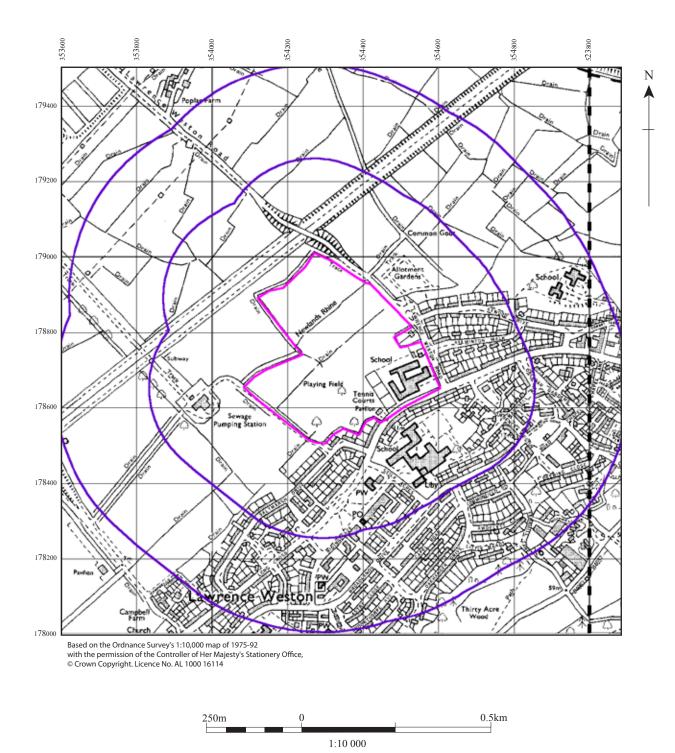


1:10 000



**Figure 9:** 1:10,000 Ordnance Survey Map of 1974-82





**Figure 10:** 1:10,000 Ordnance Survey Map of 1975-92



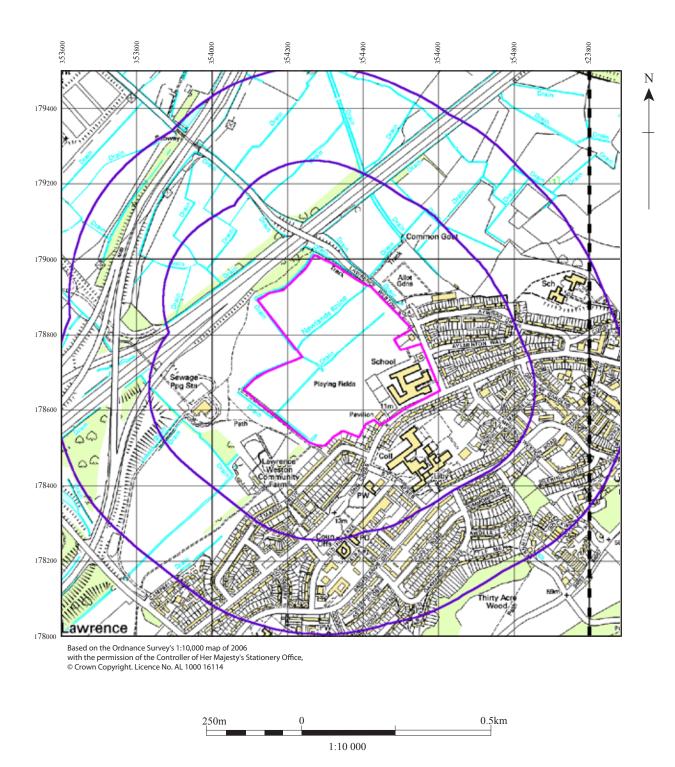


Figure 11: 1:10,000 Ordnance Survey Map of 2006



#### APPENDIX 1

# GAZETTEER OF SITES, FINDS AND LISTED BUILDINGS WITHIN A 500M RADIUS OF ST BEDE'S CATHOLIC SCHOOL, LAWRENCE WESTON

This gazetteer incorporates all entries on archaeological and historical sites from the Bristol Historic Environments Record (HER) for the study area, which is defined as a 500m radius from the centre of the site of the proposed development. Two entries (7 and 8) are not listed in the HER and are based on cartographic sources.

A search of the Bristol HER was requested in October 2007 for the purposes of this assessment. Any inconsistencies with the data presented below or originates with the HER data supplied.

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
1.	ST 54447863	20235	Roman	ROMANO-BRITISH FARM AT ST. BEDE'S ROMAN CATHOLIC SCHOOL, LAWRENCE WESTON ROAD A Romano-British farm in the playing fields of St. Bede's School, Lawrence Weston, which was partially archaeologically excavated in 1982 [SMR 20234]. On the basis of the excavated material, the farm was probably in existence by the end of the 1 <sup>st</sup> century AD and survived until the 4 <sup>th</sup> century AD. A flue, an earth-bonded stone wall and ditches were recorded. Sampling produced evidence for arable cultivation and grassland. Parts of the site are known to be preserved beneath landscaping in the playing fields (Parker 1984).
2.	ST 54607865	769	Roman	ROMAN POTTERY AT LONG CROSS, ST. BEDE'S ROMAN CATHOLIC SCHOOL, LAWRENCE WESTON ROAD Large quantities of pottery of 4th-century date as well as possible pottery wasters were found by George Boon in 1948-49 during the creation of Long Cross (Boon Mss.). Boon subsequently suggested the possible presence of a Romano-British kiln site along the new road about 400 feet south west of Lawrence Weston Farm (now

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
				destroyed, but formerly situated at ST54687868) (Parker 1984). Groundworks and archaeological excavation in 1982 on a site slightly further to the north-west (SMR 20234) revealed ditches, a possible gateway and finds dating from the 1st-4th-century, but recorded no obvious structures apart from a flue.
3.	ST 542783	764	Roman	ROMAN OCCUPATION, LONG CROSS Roman remains, masonry and pottery found in 1948 in area. Sherds and light rubble were found in ashy hollows about 1050 feet along Long Cross from Kingsweston Lane. Some 35 feet north-west on a side road was more rubble and much more pottery, 3rd or 4th century
4.	ST54617843	766	Roman	ROMAN POTTERY FOUND TO THE NORTH OF STILE ACRES Roman pottery found here in fairly large quantities, reported by G.Boon
5.	ST 544789	5860	Roman	DISCOVERY OF ROMANO- BRITISH POTTERY AT LAWRENCE WESTON In 1889 sherds of Romano-British pottery were found during field drainage works.
6.	ST 54807890	767	Roman	OLD BANK, ATTWOOD DRIVE An old bank goes across the hill at this point, reported by Boon in 1950
7.	ST 54029 78498	n/a	Roman	ROMAN PAVEMENT Site of possible Roman Pavement identified on 1888 OS map. The site is marked on mapping data until the 1955 OS map – it is not listed in the Bristol HER.
8.	ST 53879 178613	n/a	Roman	ROMAN ROAD Possible Roman road, as marked on the 1920 – 1921 and 1935 – 1938 OS maps. It is not labeled on modern maps and is not listed in the Bristol HER. It may have been confused with the roman / medieval flood defenses which lie on the same alignment further north.
9.	ST 54867841	3968	Medieval	EARTHWORKS AT THE WEST END OF DEERING CLOSE Earthworks of medieval date located on open ground at the west end of

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
				Deering Close, Lawrence Weston. The site was observed by Nick Greenberry in 1984, although it is not clear what the nature of the fieldwork was. The earthworks include a house platform which survives to a height of 1 metre and a hollow way. Pottery of thirteenth- century date, a medieval pilgrim badge, and lace bobbin of seventeenth-century date were found on the site (Iles & White 1985, 61).
10.	ST 5472478637	8490, 8891	Post Medieval	LAWRENCE WESTON FARM, LAWRENCE WESTON ROAD Lawrence Weston Farm, located on the east side of Lawrence Weston Road. The farm is recorded by the Ordnance Survey first edition 1:2500 plan published in 1881 (Gloucestershire Sheet LXXI.03). Its site now lies largely beneath the youth centre building on the east side of the junction of Lawrence Weston Road and Long Cross
11.	ST 5470978505	20136	Post -Medieval	AUST FARMHOUSE, KNOVILL CLOSE A stone-built farm, apparently of seventeenth-century date.
12.	ST 5496278497	21757, 21758	Post Medieval	UPPER TERRACE, 1-7 LAWRENCE WESTON ROAD Upper Terrace, located on the southwestern side of Lawrence Weston Road. The terrace is a row of cottages which were in existence by the time of the Henbury tithe survey of 1841 (BRO EP/A/32/22).
13.	ST 5500578607	21759, 21760	Post Medieval	POUND AT 33-39 CHAPEL LANE, LAWRENCE WESTON A pound located on the south- eastern side of Chapel Lane, Lawrence Weston. The pound is recorded by the Ordnance Survey first edition 1:2500 plan (Gloucestershire Sheet LXXI.03) published in 1881 but had been removed by the beginning of the twentieth century.
14.	ST 5495078554	21761	Post Medieval	INFANT SCHOOL AT 49 CHAPEL LANE, LAWRENCE WESTON Infant school located on the south-

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
				eastern side of the junction of Chapel Lane and Lawrence Weston Road. A building occupied the site at the time of the Henbury tithe survey of 1841 (BRO EP/A/32/22) and the Ordnance Survey first edition 1:2500 plan (Gloucestershire Sheet LXXI.03) published in 1881 records the infant school. The building was recorded as a Sunday School at the beginning of the twentieth century and was still extant during the First World War. The building was subsequently demolished and its site now lies in the verge in front of No.49 Chapel Lane and No.78 Lawrence Weston Road
15.	ST 5498678617	8485, 8489	Post Medieval / Modern	WESLYAN METHODIST CHAPEL, LOCATED ON THE NORTHERN SIDE OF CHAPEL LANE, LAWRENCE WESTON. The chapel appears to have been built in the late nineteenth- or early twentieth-century and is first recorded by the Ordnance Survey second edition 1:2500 plan published in 1903. The site has been redeveloped for housing and the footprint of the chapel now lies partly beneath Nos.81-93 Orlebar Gardens.
16.	ST 54957878	3202	Undated	GROUP OF STONES, ATTWOOD DRIVE a group of large stones, possibly fragments of a megalithic monument reported by G. Boon
17.	ST 54337897	6371	Undated	PEAT DEPOSITS, LAWRENCE WESTON ROAD Peat deposits were identified from borehole 2113
18.	ST 54507875	7098	Undated	POSSIBLE ENCLOSURES IN THE PLAYING FIELDS OF ST. BEDE'S SCHOOL, LAWRENCE WESTON Marks in the grass of the playing fields of St. Bede's Roman Catholic School, Lawrence Weston Road indicate a limited area of small sub- rectangular enclosures with the possible junction of trackways.

# **Archaeological Events and Investigations**

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
19.	ST 5443078620	20234		ARCHAEOLOGICAL EXCAVATION AT ST. BEDE'S SCHOOL, LAWRENCE WESTON An archaeological excavation at St. Bede's School, Lawrence Weston was carried out in June 1982 by students from the Department of Classics and Archaeology, University of Bristol and members of Bristol and Avon Archaeological Research Group under the direction of Dr. A. J. Parker (Parker 1984).  Roman material was identified on the site by BAARG members in May 1982 after topsoil stripping for the construction of new tennis courts and a short excavation was subsequently arranged. Several ditches and other feature were recorded and two main phases of activity were identified:  i) Early Roman. An enclosure ditch with a "V-shaped" profile was excavated. The pottery finds suggested that the fill of the ditch dated to the end of the 1st- century AD. The fill was sampled and the results indicated that arable and grassland was present in the area surrounding the enclosure. A substantial (unmortared) stone wall was constructed to the west of the enclosure, and some slag was recovered from the fill of an adjoining shallow gully.  ii) Late Roman. Occupation layers and cobbling interpreted as representing a yard surface were excavated at the eastern and southern edges of the site, and these were dated to the 3rd- 4th century AD.  It was concluded that the site was a
				Romano-British farm which operated until the 4th century.

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
				Elements of the site are preserved beneath landscaping features within the school playing fields.
20.	ST 5458078651	21637		ARCHAEOLOGICAL WATCHING BRIEF AT ST. BEDE'S ROMAN CATHOLIC SCHOOL, LAWRENCE WESTON Between 13 and 20 December 2002 an archaeological watching brief was carried out during groundworks associated with the construction of an extension to the south-east corner of St. Bede's School, Lawrence Weston by Raymond Ducker for the Avon Archaeological Unit.  A mechanical excavator was used to remove the topsoil. This was up to 0.18 metres thick and overlay a pale olive sandy, silty clay 0.2 metres thick which covered most of the site. This deposit was noted to contain fragments of ceramic building materials.  Underlying this, and the topsoil at the northern edge of the site, was a 0.15 metre layer of silty sandy clay. Beneath, there was a red-brown sandy silty subsoil at least 1.2 metres thick. No archaeological features or finds were recorded during the fieldwork (Ducker 2003).
21.	ST 5457878653	22154	/	ARCHAEOLOGICAL WATCHING BRIEF AT ST. BEDE'S ROMAN CATHOLIC SCHOOL, In March 2005 an archaeological watching brief was carried out during groundworks associated with construction of an extension at St. Bede's Roman Catholic School, Lawrence Weston by Liz Davis for Bristol and Region Archaeological Services (Davis 2005).
22.	ST 5489478488	20055	/	ARCHAEOLOGICAL DESK- BASED ASSESSMENT OF LAND AT LAWRENCE WESTON ROAD An archaeological desk-based assessment of land adjacent to

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
	REFERENCE			Lawrence Weston Road was carried out by Georgina Finn for Bristol and Region Archaeological Services in September 1995. The study noted the discovery of flint microliths dating to the Mesolithic in the vicinity of Blaise Castle, as well as Neolithic and Bronze Age evidence.  At Blaise Castle there was an Iron Age hillfort and significant evidence for extensive Roman settlement had been found during archaeological excavations at Blaise and at several locations at Lawrence Weston. A settlement was established at Henbury in the Late-Saxon period. During the medieval period the site had formed part of the manor of Lawrence Weston.  During the post-medieval period it had been in agricultural use, as part of the Kingsweston Estate. The earliest direct evidence found for the study area was the Henbury tithe survey of 1841 when it lay within a field known as "Sims Paddock" (Parcel 362). The tithe apportionment recorded the field as pasture-orchard and it was owned by Philip John Miles and rented by Elijah Williams. The site remained as agricultural land until the 1930s.  In October 1935 the Kings Weston Estate was sold to pay death duties and the Bristol Corporation purchased nearly 105 acres of land. The area was developed for housing by the Corporation after the Second World War (Finn, 1995).
23.	ST 5435578230	20464	/	ARCHAEOLOGICAL DESK-BASED ASSESSMENT OF RIDINGLEAZE SOCIAL SERVICES BUILDING In 1998 an archaeological desk-based assessment of the Ridingleaze Social Services building was carried out by Peter Insole for Bristol and Region Archaeological Services.

	NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
	REFERENCE	REFERENCE		The study found that there was some evidence for activity in the area in Prehistory, including Palaeolithic and Neolithic artefacts. There was also extensive Romano-British settlement along Long Cross.  During the medieval period the study area lay within the manor of Henbury. At the time of the Domesday survey of 1086 and was acquired by Robert fitzharding in the twelfth century. In 1570 Sir William Wyntour bought the estate from Sir William Berkeley and sold it to Humphrey Hook. In 1679 Sir Robert Southwell bought it from Hook's son.  The earliest direct evidence found for the study area was a plan of 1772 (BRO 26570) indicating it was then within the western corner of a field
				named Locks Paddock which belonged to Home Farm. Philip John Miles acquired the estate from Edward Southwell in 1833 and the Henbury tithe survey of 1841 (BRO EP/A/32/22) showed no significant alteration since the late-eighteenth century. The area remained rural in character until the development of the Lawrence Weston housing estate between the late 1940s and the mid-1950s but the study area was left undeveloped and air photographs of 1971 showed the site still as open land (Insole 1998; Williams 1998).
24.	ST 5434578210	20286	Roman	ARCHAEOLOGICAL EVALUATION AT RIDINGLEAZE, LAWRENCE WESTON Between 6th and 9th April 1998 an archaeological evaluation was carried out at Ridingleaze, Lawrence Weston, by Jonathan Erskine for the Avon Archaeological Unit. A single trench measuring 5.4 metres from north-west to south-east and 3.2 metres wide was excavated.

NATIONAL GRID REFERENCE	HER REFERENCE	PERIOD	DETAILS / DESCRIPTION
			No features or structures of archaeological significance were recorded within the trench apart from a modern landscaping mound likely to have been created when the offices occupying the site were constructed. Two small sherds of Romano-British pottery and two flint flakes, one a trapezoidal flake with a retouched edge and the other a debitage flake, were recovered from the disturbed subsoil (Erskine, 1998).

#### **APPENDIX 2**

#### AOC ARCHAEOLOGY LTD DESK BASED ASSESSMENT METHOD STATEMENT

#### 1 Introduction

- 1.1 A Desk Based Historic Environment Report will consider the heritage value of the application site and the implications of the proposed development for known on-site heritage resource. The key purpose is to identify the likely significant archaeological and historic environment effects of a proposed development and to evaluate these against clearly defined criteria. The findings are then available to assist decision-makers in determining the suitability of proposed development.
- 1.2 The Report introduction provides a brief description of the study. This is followed by an explanation of the policy context; details of the assessment methodology; consultations undertaken; and a description of the development proposal. The results of the assessment is presented, following the format outlined in sections 2-5 below, incorporating appropriate plans and illustrations. The Report ends with a brief summary of the assessment findings and conclusions that relate back to planning policy requirements.
- 1.3 The assessment will be undertaken having regard to relevant statutory requirements, national planning policies and professional good practice guidance, including:
  - Ancient Monuments and Archaeological Areas Act 1979
  - Planning (Listed Buildings and Conservation Areas) Act 1990
  - The Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999. (Including Government guidance on the EIA Regulations as provided by Circular 02/99 *Environmental Impact Assessment* (DETR, 1999) and by *Environmental Impact Assessment A Guide to the Procedures* (DETR, 2000).
  - The Hedgerow Regulations 1997
  - Planning Policy Guidance 15: Planning and the historic environment
  - Planning Policy Guidance 16: Archaeology and planning
  - Institute of Field Archaeologists' *Standard and Guidance for Desk-based Assessment* (1994, rev.2001)
- 1.4 A three stage assessment process is undertaken:
  - Collating and synthesising relevant historic environment data to describe the baseline conditions, including the likely date, nature, location, extent, survival/preservation and vulnerability of historic environment features.
  - Assessing the significance of any impact by comparing the importance of the identified features against the magnitude of impact.
  - Defining impact avoidance, mitigation, compensation or enhancement measures and identifying the residual impact.
- 1.5 The assessment and mitigation proposals will be directed by and respond to the requirements of local and regional planning policy, in line with national guidelines.

# 2 Historic Environment baseline description

- 2.1 Compiling the baseline description involves:
  - identifying the clients development objectives
  - identifying the documentary sources available for consultation
  - assembling, consulting and examining those sources
  - consulting specialists as appropriate
- 2.2 Existing information and data is used to determine the likely date, nature, extent, significance, survival/preservation and vulnerability of historic environment features, including archaeological remains, within the site; and classes of archaeological remains that potentially occur at the site. A number of sources will be consulted as standard, principally:
  - Local Studies Library
  - County Sites and Monuments Record
  - Urban Archaeological Surveys and Databases
  - Historic Landscape Character Studies
  - Archaeological Research Frameworks

Other sources will be listed in the Report Bibliography.

2.3 The extent to which archaeological remains actually survive on a site depends on previous land-use, so the destructive effect of the previous and existing buildings/infrastructure/activity etc is assessed, from a study of available plan information, ground investigation (SI) and other specialist reports. To further clarify the survival and condition of extant historic remains a site walk over survey will be conducted.

## 3 Impact Assessment

- 3.1 The assessment stage considers the known archaeological and heritage resources according to relative importance and the scale of impact in order to determine the significance of the effect. This grading is based on a professional judgement of the importance of the archaeological resource within the archaeological study area, which is guided by the Secretary of State's criteria for Scheduling Ancient Monuments.
- 3.2 Criteria for Determining Importance of Sites.

	National	Regional/County	Local	Negligible	Unknown
Description	Internationally and nationally important resources, often legally protected.	Regionally important resources not legally protected of a reasonably defined extent, nature and significance	Locally important resources of low or minor importance	Resources which have little or no archaeological value, or where remains have been previously destroyed	Resources whose archaeological importance is unknown
Examples	Scheduled Ancient Monuments, Listed Buildings, Nationally important remains	Burial sites, Deserted Medieval Villages, Roman roads, dense scatters of finds	Field systems, ridge and furrow, old field boundaries	Modern field boundaries, drains and ponds	Single find spots, unidentified features on aerial photographs

#### Table 1

- **National**: the highest status of site e.g. Scheduled monuments, Listed Buildings Grade I and II\*, well preserved historic landscapes;
- **Regional / County**: the sites with reasonable evidence of occupation, ritual, industry etc:
- **District / Local**: sites with some evidence of human activity, but in a fragmentary or poor state;
- **Negligible**: destroyed, non-antiquities, random stray finds, buildings of no architectural merit.
- 3.3 The **degree or magnitude of impact** is determined by identifying the effect of the development and comparing the scale of impact against the extent of the known historic resources. The magnitude of any impact is assessed according to the scale set out below:

**Large:** Complete or almost complete destruction of the archaeological

resource

**Medium:** A high proportion of the archaeological resource damaged or

destroyed

**Small:** A small proportion of the surviving archaeological resource

damaged or destroyed

Negligible: Historic resource will not be affected, because of distance from the

development, or method of construction

Uncertain: The extent or nature of the historic resource is unknown, or construction

techniques have not yet been determined.

- 3.4 The **significance** of an impact upon a historic or archaeological feature is dependent upon the importance of the particular site and the amount of anticipated damage, as illustrated in the table below.
- 3.5 Criteria used to Determine Significance of Impact

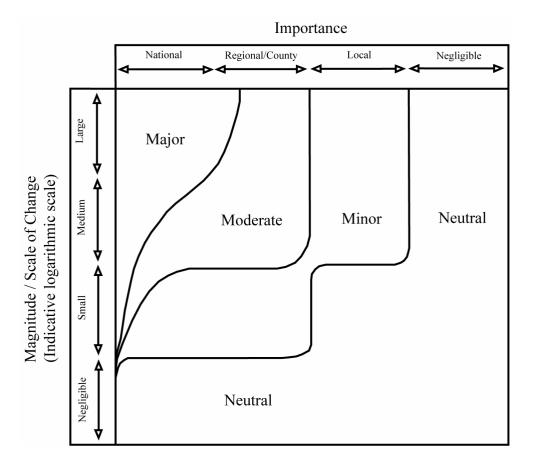


Figure 1

- 3.6 The adverse impact upon an historic resource is measured on the following scale:
  - **Major:** large, medium, and in some instances, small scale impacts to remains of national importance
  - **Moderate:** large, medium, and in some instances, small scale impacts to remains of Regional/County importance.
  - Minor: small scale impacts to remains of Local importance
  - **Neutral:** small or negligible impacts to remains of Local or Negligible importance
  - **Uncertain:** lack of information concerning the scale of impact or the importance of remains.
- 3.7 The same scale will be employed to measure any beneficial effects for the historic environment that arise from the proposed development.
- 3.8 As appropriate, and when instructed, the **cumulative** impacts arising from other identified developments will also be considered and assessed.

# 4 Avoidance, Mitigation, Compensation or Enhancement

4.1 The study will identify opportunities to modify the design of the scheme to:

- o Avoid or mitigate potential adverse effects: and
- o Increase the environmental benefits through environmental enhancements, some of which might compensate, at least in part, for adverse effects.
- 4.2 Such avoidance, mitigation, compensation or enhancement opportunities (see Table 2) are likely to be identified at any stage in the evolution of a scheme.

Definitions of avoidance/mitigation/compensation/enhancement	
Avoidance:	Measures taken to avoid adverse effects.
Mitigation:	Measures taken to reduce adverse effects.
Compensation:	Measures taken to offset/compensate for residual adverse effects that cannot be avoided or mitigated. These usually take the form of replacing what will be lost.
Enhancement:	The enhancement of environmental interest.

Table 2

4.3 Avoidance, mitigation, compensation or enhancement proposals will be developed in line with planning policies, according to the varying degrees of impact significance and the application of appropriate strategies, methodologies and techniques.

### 5 Uncertainty

- 5.1 A degree of uncertainty is often attached to the baseline data sources used in any desk based assessed. These include:
  - The SMR can be limited because it depends on random opportunities for research, fieldwork and discovery. There can often be a lack of dating evidence for sites.
  - Documentary sources are rare before the medieval period, and many historic documents are inherently biased. Older primary sources often fail to accurately locate sites and interpretation can be subjective.
- 5.2 The limitations of an impact assessment of the proposed development may also include:
  - A lack of clarity surrounding the extent of some sites. This makes it difficult to provide a precise assessment of potential impact.
  - The possibility that unknown sites will be encountered along the route.
  - The subjectivity of those categorising the site, which may be reflected in the relative importance grading allocated to a site and therefore the assessment of impact.
- 5.3 So that the appropriate archaeological response/s can be identified, further consideration may be given to the need for and timing of further assessment and evaluation fieldwork in order to address issues of uncertainty.

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