

12-14 Eden Road and 85-87 High Street,
Haverhill
HVH 081

Archaeological Evaluation Report

SCCAS Report No. 2013/080

Client: Havebury Housing Partnership

Author: Simon Cass

July 2013

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12-14 Eden Road and 85-87 High Street,
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Report Date: July 2013

HER Information

Site Code: HVH 081

Site Name: 12-14 Eden Road and 85-87 High Street, Haverhill

Report Number 2013/080

Planning Application No: SE/11/1126

Date of Fieldwork: 04/06/2013

Grid Reference: TL 6741 4527 and TL 6743 4524

Oasis Reference: suffolkc1-151734

Curatorial Officer: Abby Antrobus

Project Officer: Simon Cass

Client/Funding Body: Havebury Housing Partnership

Client Reference: -

Digital report submitted to Archaeological Data Service:

<http://ads.ahds.ac.uk/catalogue/library/greylit>

Disclaimer

Any opinions expressed in this report about the need for further archaeological work are those of the Field Projects Team alone. Ultimately the need for further work will be determined by the Local Planning Authority and its Archaeological Advisors when a planning application is registered. Suffolk County Council's archaeological contracting services cannot accept responsibility for inconvenience caused to the clients should the Planning Authority take a different view to that expressed in the report.

Prepared By: Simon Cass

Date: 01/07/2013

Approved By: Andrew Tester

Position: Senior Project Officer

Date:

Signed:

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

Summary

Two evaluation trenches were excavated (to the rear of 85-87 High Street and on vacant land near the end of Eden Road). These trenches were 6.5m and 10.5m long respectively, and up to 0.7m deep. The trench to the rear of 85-87 High Street revealed highly disturbed domestic garden soils with three large modern features cut through the natural deposits, while the trench off Eden Road revealed two further modern features, though a significant amount of disturbance was apparent with no intact topsoil or undisturbed subsoil present.












No finds or features of archaeological interest were observed and no further archaeological fieldwork is recommended as being necessary. The Level 2 building recording survey has identified an interesting example of mid-19th century vernacular architecture with clay lump wall construction and further recording during the demolition of 85-87 High Street, is recommended.

Drawing Conventions

Plans

- Limit of Excavation 
- Features 
- Break of Slope 
- Features - Conjectured 
- Natural Features 
- Sondages/Machine Strip 
- Intrusion/Truncation 
- Illustrated Section  S.14
- Cut Number 
- Archaeological Features 

Sections

- Limit of Excavation 
- Cut 
- Modern Cut 
- Cut - Conjectured 
- Deposit Horizon 
- Deposit Horizon - Conjectured 
- Intrusion/Truncation 
- Top of Natural 
- Top Surface 
- Break in Section 
- Cut Number 
- Deposit Number 0007
- Ordnance Datum $\frac{18.45\text{m OD}}{\times}$

1. Introduction

A programme of archaeological investigation was requested by Abby Antrobus of Suffolk County Council Archaeological Service Conservation Team (SCCAS/CT) in connection with planning application SE/11/1126, covering the redevelopment of a derelict site for new residential accommodation and a ground floor office space.

2. Geology and topography

The 85-87 High Street site fronts onto the High Street to the south-west and is adjacent to and accessed via Duddery Lane on its south-eastern side. The Eden Road site is derelict land between 73-79 High Street and 6 Eden Road. At the southern edge the sites are at approximately 71 m AOD, falling to the north-east down towards the Stour Brook at a height of c. 63m AOD.

The internal levels within the sites were somewhat artificial, since a large amount of hardcore had been deposited in order to form a site compound surface at the Eden Road site and the garden to the rear of 85-87 High Street had been levelled and built up to create a flatter garden area.

3. Archaeology and historical background

The site lies within the historic and medieval town core, as recorded in the County Historic Environment Record (HER) no. HVH 067 and the ground works for this project were assessed as being likely to impact on deposits relating to potential early occupation in the area.

Previous work on the land between the present two sites (undertaken in April 2012 and reported on in May 2012) did not encounter any surviving archaeological levels, with significant modern truncation and demolition disturbance across the whole site although it was not clear how much of this activity was specific to that site (within the footprint of a demolished building) and how much might be general disturbance across the whole area.

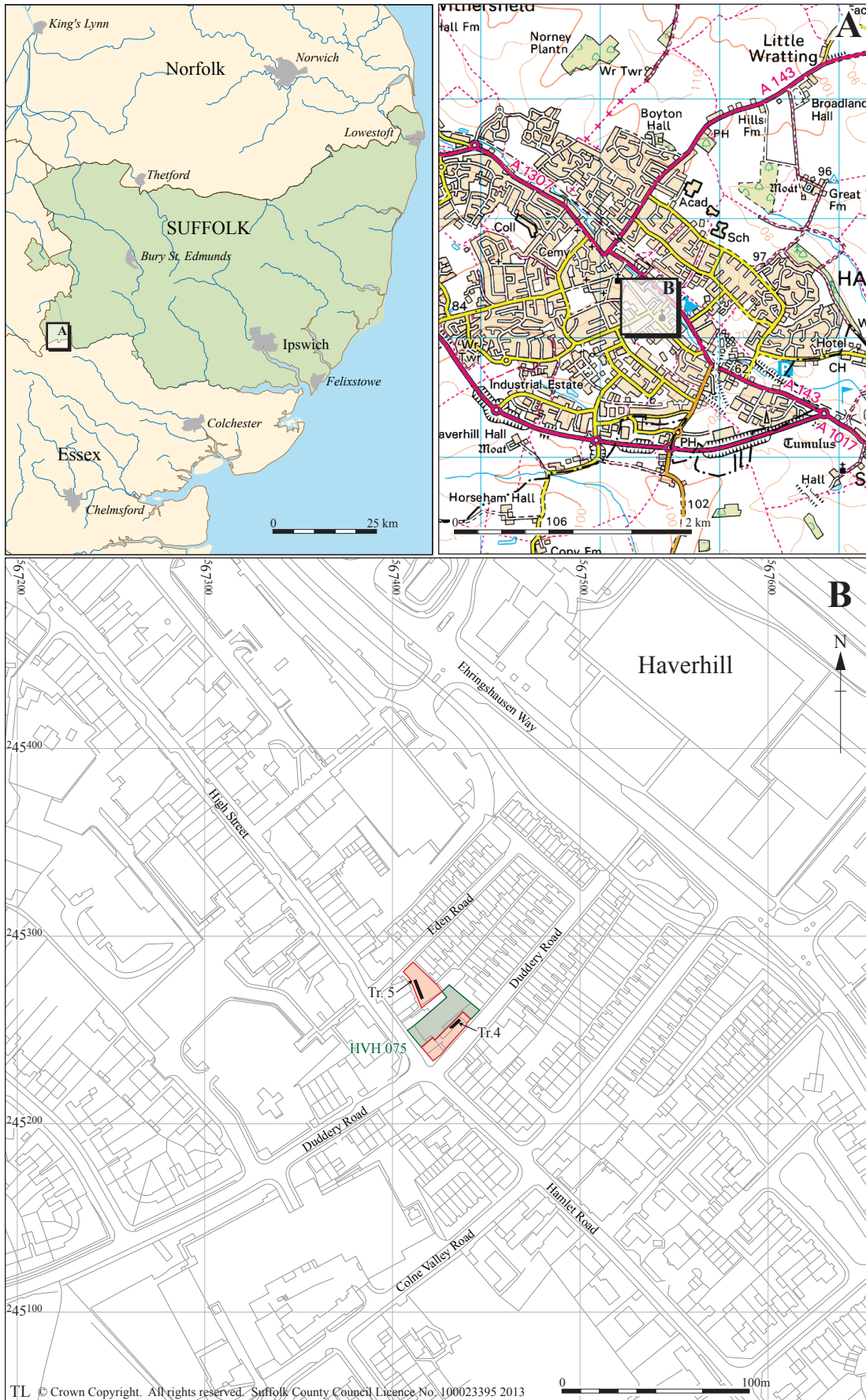


Figure 1. Location Map

4. Methodology

The Brief issued by SCCAS/CT was an informal/verbal specification, essentially extending the previous brief (included as Appendix 1) for the earlier phase of work to include these two properties and requiring that the two additional areas be subject to the same level of trial trenching. On this occasion two trenches were requested to be excavated, one at each property and measuring 10m and 15m long respectively. The trenches were located using hand-tapes and measuring from extant buildings and structural features visible on Ordnance Survey plans of the site.

The trenching was carried out by two 360⁰ mechanical tracked excavators using toothless 'ditching' buckets – a 0.8 ton machine to the rear of 85-87 High Street and an 8 ton machine off Eden Road. All machining was under the control and supervision of an experienced archaeologist and overburden was removed until the first archaeological horizon or top of the natural substrate was encountered. The trench behind 85-87 High Street was only 6.5m long due to the lack of space with upcast spoil and several sheds/outbuildings and concrete floors impeding excavation while the trench off Eden Road was 10.5m long, shortened from 15m due to a new boundary fence that had not appeared on maps shortening the site as well as a significant concrete hard-standing.

All deposits were recorded using SCCAS *pro forma* sheets and data was entered on a whole-site database during post-excavation archiving; plans and sections were hand-drawn at 1:50 and 1:20 where appropriate and all number sequences were carried on from those used in the previous phase of work in 2012. A photographic record was made using a high resolution digital SLR camera (6.2 megapixels) showing both details of the trenches and indicative pictures showing the site conditions.

A digital copy of the report will be submitted for inclusion on the Archaeology Data Service database (<http://ads.ahds.ac.uk/catalogue/library/greylit>) upon completion of the project.

5. Results

5.1 Trench results

Trench 4

This trench was 6.5m long, 1.3m wide and up to 0.8m deep. The stratigraphy encountered consisted of 0.4m of dark brown humic-rich sandy silt topsoil/garden soil with occasional small ceramic building material (CBM), glass and crockery fragments above a similar deposit 0.35m thick of dark brown sandy silt with more frequent CBM, roof slate, bottle glass, roof tile and china fragments interpreted as a (?) Victorian/modern made/disturbed ground layer. The fragments and lumps of cultural material were noticeably larger in this layer than in the higher deposit – potentially due to garden maintenance/turnover having removed the larger pieces from the upper soil level (in a similar way to de-stoning agricultural land).

This made/disturbed soil sat directly above natural red/brown silty sand and gravels and chalky patches, with three large modern intrusive features noted as cutting into the natural geological layers. Finds from this trench included brick lumps with 'LBC' stamped into the frog, green bottle glass, roof slate, blue/white china, white glazed china, modern window glass and frequent roof tile fragments.

No deposits or artefacts of archaeological relevance were observed from this trench.



Plate 1. Trench 4, facing north-east (2m scale)

Trench 5

This trench was 10.5m long, 1.5m wide and up to 0.7m deep, orientated approximately north-south. The exposed stratigraphy consisted of c.0.35m of modern hardcore/ demolition rubble and gravel above sheets of geo textile (the made ground surface for the recent site compound used during development of 83 High Street) which lay on a layer approximately 0.25m thick of mixed orangey brown silty clay with very frequent rubble/building detritus inclusions. This sealed natural orangey brown silty clays and chalky patches. Two modern features were observed, a large pit and a small posthole,

both of which contained CBM fragments and lumps of modern brick and tile, glass and modern china.



Plate 2. Trench 5 facing north (2m scale)

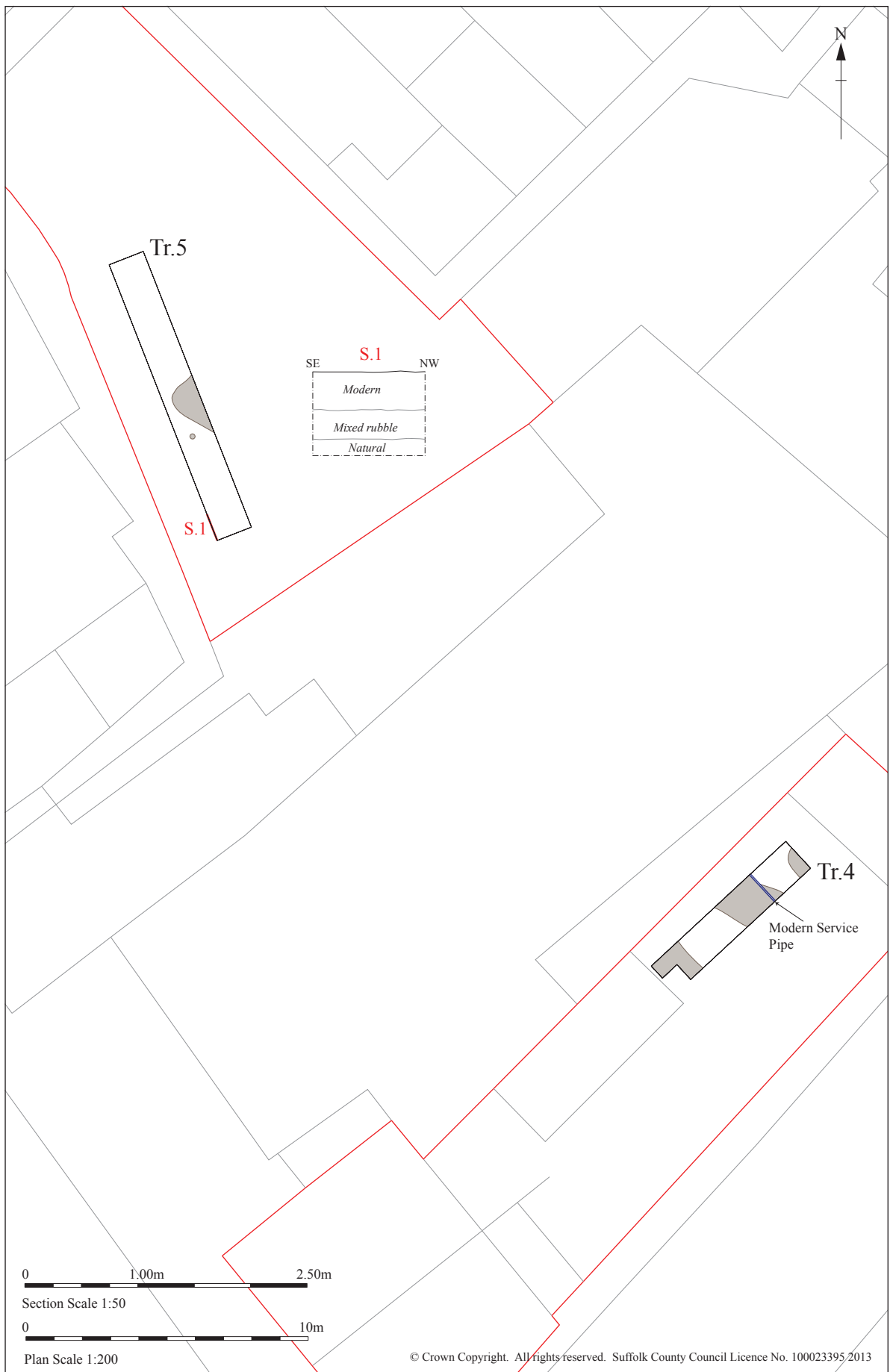


Figure 2. Detailed Trench Plans

6. Finds and environmental evidence

No finds of archaeological relevance were identified during this evaluation. Several brick lumps had full or partial 'LBC' stamps, others were visibly machine-made; roof slate, bottle glass and window glass were all evident through most of the deposits observed. Several different modern ceramic crockery types were observed including blue/white decorated and plain white china.

7. Discussion

The level of disturbance seen at the Eden Road site suggests that the site there had been similarly disturbed to that at 83 High Street, with no surviving undisturbed top or subsoil. It appears that archaeological levels are likely to have been damaged at least twice – the first time was probably during the creation of the houses along Eden Road and Duddery Lane in the latter 19th century and the quantity of brick and tile fragments and lumps would appear to reinforce this, with several of the bricks appearing to be similar to those used in the majority of the red-brick houses in the terrace. Examination of older Ordnance Survey maps covering the area also show a small row of houses on this site, built by the early 1960's and apparently demolished some time in the early-mid 1980's which is likely to have removed any surviving archaeological deposits at that time.

8. Conclusions and recommendations for further work

In conclusion it would appear that this area has suffered widespread and significant historical disturbance, most probably related to the construction of the terraced housing rows along Eden Street, Duddery Lane and along the High Street frontage both during the initial construction of terraced housing in the area and then again in the post-war period. No further work is recommended for the below ground works on these sites.

The building recording is discussed in Appendix 2. The unusual wall and roof construction of buildings 85 -87 High Street merit further recording when the construction is exposed. It is recommended that an archaeologist with specialist skills in building recording is present during the above ground demolition to record any unseen details of construction.

9. Archive deposition

Paper and photographic archive: SCCAS Bury St Edmunds

Digital archive: SCCAS R:\Environmental Protection\Conservation\Archaeology\
Archive\Haverhill/HVH 081 Evaluation

Digital photographic archive: SCCAS R:\Environmental Protection\Conservation\
Archaeology\Catalogues\Photos\HTA-HTZ\HTN 62-74

Finds and environmental archive: -

Store Location: -

10. Acknowledgements

The fieldwork was carried out by Phil Camps and Simon Cass by of SCCAS Field Team. Project direction and management was undertaken by Andrew Tester who also provided advice during the production of the report.

The report illustrations were created by Crane Begg and the report was edited by David Gill and Richenda Goffin.

Appendix 1. Brief and Specification

Brief and Specification for Archaeological Evaluation

83 HIGH STREET, HAVERHILL, SUFFOLK, CB9 8AN (SE/11/1126)

The commissioning body should be aware that it may have Health & Safety responsibilities.

1. The nature of the development and archaeological requirements

- 1.1 Planning permission is being sought from St Edmundsbury Borough Council for the erection of a new ground floor office and seven flats, with below ground parking. The site is that of a former warehouse and derelict commercial building at 83 High Street, Haverhill (grid ref. TL 674 452). The existing building is to be demolished. **Please contact the applicant for an accurate plan of the site.**
- 1.2 The planning authority has been advised by the Conservation Team of Suffolk County Council Archaeology Service that any planning consent granted should be subject to a condition that requires an acceptable programme of archaeological work to be carried out. This will ensure that the significance of any heritage asset on the site is recorded and understood before it is damaged or destroyed, in accordance with PPS5 *Planning for the Historic Environment* (Policy HE12.3).
- 1.3 The site (c. 0.04ha in area) is on the east side of the High Street, close to the corner with Duddery Road. The site slopes down to the east, from c. 70m OD, towards the watercourse that runs through Haverhill. The soil is characterised as deep loam over glaciofluvial drift. The rear of the site is largely covered with the base of the warehouse, concrete hard-standing, and there are differences in level/terracing accessed by steps.
- 1.4 The site lies on Haverhill's High Street, within the historic and medieval settlement core, as outlined on the County Historic Environment Record (HVVH 067). There is potential for remains relating to early occupation to be present on this site. The evaluation is therefore intended to determine the nature, date, extent, quality and levels of preservation of any archaeological deposits which may survive under and around more modern features. Any groundworks associated with the proposed demolition and subsequent development have the potential to cause significant damage or destruction to any archaeological deposits that exist.
- 1.5 The existing building is to be demolished. It will be a requirement that ground disturbance is avoided during demolition, until the archaeological potential of the site has been evaluated and any further mitigation strategies implemented.
- 1.6 In order to understand the significance of any archaeological remains and inform the nature and costings of any further mitigation strategy, a linear trenched evaluation is required.
- 1.6 The results of the evaluation will enable the archaeological resource, both in quality and extent, to be accurately quantified. Decisions on the need for and scope of any mitigation measures, should there be any archaeological finds of significance, will be based upon the results of the evaluation and will be the subject of an additional specification.
- 1.7 All arrangements for the field evaluation of the site, the timing of the work, access to the site, the definition of the precise area of landholding and area for proposed development are to be defined and negotiated with the commissioning body.

- 1.8 Detailed standards, information and advice to supplement this brief are to be found in *Standards for Field Archaeology in the East of England*, East Anglian Archaeology Occasional Papers 14, 2003.
- 1.9 In accordance with the condition on the planning consent, and following the standards and guidance produced by the Institute for Archaeologists (IfA), a Written Scheme of Investigation (WSI) based upon this brief and specification must be produced by the developers, their agents or archaeological contractors. This must be submitted for scrutiny and approval by the Conservation Team of the Archaeological Service of Suffolk County Council (SCCAS/CT) at 9-10 The Churchyard, Shire Hall, Bury St Edmunds IP33 2AR; telephone/fax: 01284 352443. The WSI will provide the basis for measurable standards and will be used to establish whether the requirements of the planning condition will be adequately met. The WSI should be compiled with a knowledge of the Regional Research Framework (East Anglian Archaeology Occasional Paper 3, 1997, 'Research and Archaeology: A Framework for the Eastern Counties, 1. resource assessment'; Occasional Paper 8, 2000, 'Research and Archaeology: A Framework for the Eastern Counties, 2. research agenda and strategy'; and Revised Research Framework for the Eastern Region, 2008, available online at <http://www.eaareports.org.uk/>).
- 1.10 Before any archaeological site work can commence it is the responsibility of the developer to provide the archaeological contractor with either the contaminated land report for the site or a written statement that there is no contamination. The developer should be aware that investigative sampling to test for contamination is likely to have an impact on any archaeological deposit which exists; proposals for sampling should be discussed with the Conservation Team of the Archaeological Service of SCC (SCCAS/CT) before execution.
- 1.11 The responsibility for identifying any constraints on field-work, e.g. Scheduled Monument status, Listed Building status, public utilities or other services, tree preservation orders, SSSIs, wildlife sites &c., ecological considerations rests with the commissioning body and its archaeological contractor. The existence and content of the archaeological brief does not over-ride such constraints or imply that the target area is freely available.
- 1.12 Any changes to the specifications that the project archaeologist may wish to make after approval by this office should be communicated directly to SCCAS/CT and the client for approval.

2. Brief for the Archaeological Evaluation

- 2.1 Establish whether any archaeological deposit exists in the area, with particular regard to any which are of sufficient importance to merit preservation *in situ*.
- 2.2 Identify the date, approximate form and purpose of any archaeological deposit within the application area, together with its likely extent, localised depth and quality of preservation.
- 2.3 Evaluate the likely impact of past land uses, and the possible presence of masking colluvial/alluvial deposits.
- 2.4 Establish the potential for the survival of environmental evidence.
- 2.5 Provide sufficient information to construct an archaeological conservation strategy, dealing with preservation, the recording of archaeological deposits, working practices, timetables and orders of cost.
- 2.6 This project will be carried through in a manner broadly consistent with English Heritage's *Management of Archaeological Projects*, 1991 (MAP2), all stages will follow a process of assessment and justification before proceeding to the next phase of the project. Field evaluation is to be followed by the preparation of a full archive, and an assessment of

potential. Any further excavation required as mitigation is to be followed by the preparation of a full archive, and an assessment of potential, analysis and final report preparation may follow. Each stage will be the subject of a further brief and updated project design; this document covers only the evaluation stage.

- 2.7 The developer or his archaeologist will give SCCAS/CT (address as above) five working days notice of the commencement of ground works on the site, in order that the work of the archaeological contractor may be monitored.
- 2.8 If the approved evaluation design is not carried through in its entirety (particularly in the instance of trenching being incomplete) the evaluation report may be rejected. Alternatively the presence of an archaeological deposit may be presumed in untested areas and the final mitigation strategy defined accordingly.
- 2.9 An outline specification, which defines certain minimum criteria, is set out below.

3. Specification: Trenched Evaluation

- 3.1 Three trenches of at least 5m long each are to be excavated to evaluate the area affected by development, sampling each level of the site. The trench or trenches are to be a minimum of 1.80m wide unless special circumstances can be demonstrated. If deep deposits or made ground is encountered, contingency strategies for working at depth may be applicable.
- 3.2 A scale plan showing the proposed locations of the trial trenches should be included in the WSI and the detailed trench design must be approved by SCCAS/CT before field work begins.
- 3.3 The topsoil may be mechanically removed using an appropriate machine with a back-acting arm and fitted with a toothless bucket, down to the interface layer between topsoil and subsoil or other visible archaeological surface. If excavation is mechanised a toothless 'ditching bucket' at least 1.50m wide must be used. All machine excavation is to be under the direct control and supervision of an archaeologist. The topsoil should be examined for archaeological material.
- 3.4 The top of the first archaeological deposit may be cleared by machine, but must then be cleaned off by hand. There is a presumption that excavation of all archaeological deposits will be done by hand unless it can be shown there will not be a loss of evidence by using a machine. The decision as to the proper method of excavation will be made by the senior project archaeologist with regard to the nature of the deposit.
- 3.5 In all evaluation excavation there is a presumption of the need to cause the minimum disturbance to the site consistent with adequate evaluation; that significant archaeological features, e.g. solid or bonded structural remains, building slots or post-holes, should be preserved intact even if fills are sampled. Where complex sequences of deposits are encountered, however, a single context system is to be adopted. For guidance:
 - For linear features, 1.00m wide slots (min.) should be excavated across their width;
 - For discrete features, such as pits, 50% of their fills should be sampled (in some instances 100% may be requested).
- 3.6 There must be sufficient excavation to give clear evidence for the period, depth and nature of any archaeological deposit. The depth and nature of colluvial or other masking deposits must be established across the site.
- 3.7 Archaeological contexts should, where possible, be sampled for palaeoenvironmental remains. Best practice should allow for sampling of interpretable and datable archaeological deposits and provision should be made for this. The contractor shall show what provision has

been made for environmental assessment of the site and must provide details of the sampling strategies for retrieving artefacts, biological remains (for palaeoenvironmental and palaeoeconomic investigations), and samples of sediments and/or soils (for micromorphological and other pedological/sedimentological analyses. Advice on the appropriateness of the proposed strategies will be sought from Dr Helen Chappell, English Heritage Regional Adviser for Archaeological Science (East of England). A guide to sampling archaeological deposits (Murphy, P.L. and Wiltshire, P.E.J., 1994, *A guide to sampling archaeological deposits for environmental analysis*) is available for viewing from SCCAS.

- 3.8 Any natural subsoil surface revealed should be hand cleaned and examined for archaeological deposits and artefacts. Sample excavation of any archaeological features revealed may be necessary in order to gauge their date and character.
- 3.9 Metal detector searches must take place at all stages of the excavation by an experienced metal detector user.
- 3.10 All finds will be collected and processed (unless variations in this principle are agreed SCCAS/CT during the course of the evaluation).
- 3.11 Human remains must be left *in situ* except in those cases where damage or desecration are to be expected, or in the event that analysis of the remains is shown to be a requirement of satisfactory evaluation of the site. However, the excavator should be aware of, and comply with, the provisions of Section 25 of the Burial Act 1857.
- 3.12 Plans of any archaeological features on the site are to be drawn at 1:20 or 1:50, depending on the complexity of the data to be recorded. Sections should be drawn at 1:10 or 1:20 again depending on the complexity to be recorded. All levels should relate to Ordnance Datum. Any variations from this must be agreed with SCCAS/CT.
- 3.13 A photographic record of the work is to be made, consisting of both monochrome photographs and colour transparencies and/or high resolution digital images.
- 3.14 Topsoil, subsoil and archaeological deposit to be kept separate during excavation to allow sequential backfilling of excavations.
- 3.15 Trenches should not be backfilled without the approval of SCCAS/CT.

4. General Management

- 4.1 A timetable for all stages of the project must be agreed before the first stage of work commences, including monitoring by SCCAS/CT. The archaeological contractor will give not less than five days written notice of the commencement of the work so that arrangements for monitoring the project can be made.
- 4.2 The composition of the archaeology contractor staff must be detailed and agreed by this office, including any subcontractors/specialists. For the site director and other staff likely to have a major responsibility for the post-excavation processing of this evaluation there must also be a statement of their responsibilities or a CV for post-excavation work on other archaeological sites and publication record. Ceramic specialists, in particular, must have relevant experience from this region, including knowledge of local ceramic sequences.
- 4.3 It is the archaeological contractor's responsibility to ensure that adequate resources are available to fulfil the Brief.
- 4.4 A detailed risk assessment must be provided for this particular site.

- 4.5 No initial survey to detect public utility or other services has taken place by the SCCAS/CT. The responsibility for this rests with the archaeological contractor.
- 4.6 The Institute of Field Archaeologists' *Standard and Guidance for archaeological field evaluation* (revised 2001) should be used for additional guidance in the execution of the project and in drawing up the report.

5. Report Requirements

- 5.1 An archive of all records and finds must be prepared consistent with the principles of English Heritage's *Management of Archaeological Projects*, 1991 (particularly Appendix 3.1 and Appendix 4.1).
- 5.2 The report should reflect the aims of the WSI.
- 5.3 A comprehensive list of all historical sources consulted (with specific references) should be included.
- 5.4 The objective account of the archaeological evidence must be clearly distinguished from its archaeological interpretation.
- 5.5 An opinion as to the necessity for further evaluation and its scope may be given. No further site work should be embarked upon until the primary fieldwork results are assessed and the need for further work is established.
- 5.6 Reports on specific areas of specialist study must include sufficient detail to permit assessment of potential for analysis, including tabulation of data by context, and must include non-technical summaries.
- 5.7 The Report must include a discussion and an assessment of the archaeological evidence, including an assessment of palaeoenvironmental remains recovered from palaeosols and cut features. Its conclusions must include a clear statement of the archaeological potential of the site, and the significance of that potential in the context of the Regional Research Framework (*East Anglian Archaeology*, Occasional Papers 3 & 8, 1997 and 2000).
- 5.8 The results of the surveys should be related to the relevant known archaeological information held in the County Historic Environment Record (HER). The report should also assess and present information from historic maps and available historical documentation.
- 5.9 A copy of the Specification should be included as an appendix to the report.
- 5.10 The project manager must consult the County HER Officer (Dr Colin Pendleton) to obtain an HER number for the work. This number will be unique for each project or site and must be clearly marked on any documentation relating to the work.
- 5.11 Finds must be appropriately conserved and stored in accordance with *UK Institute of Conservators Guidelines*.
- 5.12 Every effort must be made to get the agreement of the landowner/developer to the deposition of the full site archive, and transfer of title, with the intended archive repository before the fieldwork commences. If this is not achievable for all or parts of the finds archive then provision must be made for additional recording (e.g. photography, illustration, scientific analysis) as appropriate.
- 5.13 The project manager should consult the intended archive repository before the archive is prepared regarding the specific requirements for the archive deposition and curation, and regarding any specific cost implications of deposition.

- 5.14 If the County Store is the intended location of the archive, the project manager should consult the SCCAS Archive Guidelines 2010 and also the County Historic Environment Record Officer regarding the requirements for the deposition of the archive (conservation, ordering, organisation, labelling, marking and storage) of excavated material and the archive. A clear statement of the form, intended content, and standards of the archive is to be submitted for approval as an essential requirement of the WSI.
- 5.15 The WSI should state proposals for the deposition of the digital archive relating to this project with the Archaeology Data Service (ADS), and allowance should be made for costs incurred to ensure the proper deposition (<http://ads.ahds.ac.uk/project/policy.html>).
- 6.16 Where positive conclusions are drawn from a project (whether it be evaluation or excavation) a summary report, in the established format, suitable for inclusion in the annual 'Archaeology in Suffolk' section of the *Proceedings of the Suffolk Institute for Archaeology*, must be prepared. It should be included in the project report, or submitted to SCCAS/CT, by the end of the calendar year in which the evaluation work takes place, whichever is the sooner.
- 5.17 County HER sheets must be completed, as per the County HER manual, for all sites where archaeological finds and/or features are located.
- 5.18 An unbound copy of the evaluation report, clearly marked DRAFT, must be presented to SCCAS/CT for approval within six months of the completion of fieldwork unless other arrangements are negotiated with the project sponsor and SCCAS/CT.
- Following acceptance, two copies of the report should be submitted to SCCAS/CT together with a digital .pdf version.
- 5.19 Where appropriate, a digital vector trench plan should be included with the report, which must be compatible with MapInfo GIS software, for integration in the County HER. AutoCAD files should be also exported and saved into a format that can be imported into MapInfo (for example, as a Drawing Interchange File or .dxf) or already transferred to .TAB files.
- 5.20 At the start of work (immediately before fieldwork commences) an OASIS online record <http://ads.ahds.ac.uk/project/oasis/> must be initiated and key fields completed on Details, Location and Creators forms.
- 5.21 All parts of the OASIS online form must be completed for submission to the County HER. This should include an uploaded .pdf version of the entire report (a paper copy should also be included with the archive).

Specification by: Dr Abby Antrobus

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 Archaeological Service Conservation Team
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Tel: 01284 741231
 Email: abby.antrobus@suffolk.gov.uk
 Date: 12th October 2011

Reference: Haverhill/2011_1126 and 1125

This brief and specification remains valid for six months from the above date. If work is not carried out in full within that time this document will lapse; the authority should be notified and a revised brief and specification may be issued. If the work defined by this brief forms a part of a programme of archaeological work required by a Planning Condition, the results must be considered by the Conservation Team of the Archaeological Service of Suffolk County Council, who have the responsibility for advising the appropriate Planning Authority.

Summary Building Report

85-87 High Street, Haverhill

Introduction

Numbers 85 and 87 are a pair of semi-detached cottages located at the southern end of the High Street on the cross roads with Duddery Road, Duddery Hill and Hamlet Road. The buildings are roofed in Welsh slate with tall brick chimneys and these features outwardly appear to date from the mid-late 19th century. The exterior walls however are rendered in concrete, obscuring all details of their construction and fabric and potentially masking the remains of an earlier building. In order to complete the archaeological evaluation of the site a rapid photographic survey of the building's interior was made in an effort to determine its likely date. The survey consists of seventy three digital photographs and a sketch plan of each floor; each room is numbered on the plan to reference the photo record. The site was visited 05/07/2013.

Location and historical context

The High Street is a continuation of Market Hill, a medieval street on which the 13th century church and the market, which has been in existence since before Domesday, are immediate neighbours. The surveyed building is located 350m away from the church but is still within the suggested area of the medieval town as indicated on the county's HER (HVH 067). Until relatively recently the 'Hundred' and county boundary between Suffolk and Essex followed the centre line of Duddery Hill and Hamlet Roads and passed alongside the surveyed building.

Duddery Road and Eden Road which flank the site are the result of a late 19th expansion of the town's street plan and are lined with brick-built terraced houses. The tithe map of 1840 (Fig.1) provides an illustration of the town prior to the creation of these new streets and shows the properties (numbers 769, 770 and 765) that were lost to the change. The surveyed building is shown on the map (no 768) as a single building and is depicted seemingly with the same footprint as it has today. The accompanying tithe apportionment records that the building was owned by Daniel Gurteen, the son of the founder of Daniel Gurteen & Sons who were manufacturers of woven cloth and, by the end of the C19th century, the largest employers and extensive property owners in the town¹. It was occupied by Edward Gurteen and Grace Auber. Edward also owned the property next door where the tenant was Stephen Webb. Webb is listed in the 1844 Suffolk Directory as a drabbet maker and therefore probably an employee of the Gurteen family firm.

The first edition OS map shows the new streets and surveyed building divided into two; both the tithe, and Ordinance Survey maps record the west boundary of the rear yard inside the line of the NW gable so that this end of the building appears to impinge on the neighbouring plot. The arrangement of the back doors however indicates that the two halves of the building shared the rear yard which was reduced in size, losing part of the north end and the street access to south-east of the building, when Duddery Road was created.



Tithe map and apportionment 1840 (MS47/16 a-c)

Apportionment No.	Owner	Occupier	Occupation of occupier
769	Henry Jackson (also owner of the Sun Inn)	Mary Smith, Margaret Spencer John Charter	Straw hat maker Nurseryman
768	Daniel Gurteen	Grace Auber Edward Gurteen	Drabbet manufacturer
767	Edward Gurteen	Stephen Webb	Drabbet maker
771	James Hall	John Hall	Brick and tile manufacturer



2nd Edition OS map 1904 the site is unchanged from the 1876 1st edition

Figure 1. The surveyed building out lined in red on the Tithe and early Ordnance Survey maps

Building analysis

The building is divided into two unequal-sized cottages which are now, intriguingly, connected by the addition of an internal communicating door (Fig.3). No.85 is the larger of the two and is divided into three rooms on each floor (although the upstairs room F5 has been subsequently sub-divided further) whereas No.87 has only two. The rear half of the building(s) is built as a separate (in effect lean-to) bay, but is thought to be contemporary, and the first floor level at the front of the cottages is higher than at the rear. Access to the front bedrooms is from the rear rooms via a short flight of two steps. All of the downstairs rooms and the largest of the upstairs rooms (F1 and F3) are heated by fireplaces; seven in all served by three chimneys. Sanitation is external.

The building is constructed in a combination of clay lump (regular, pre-formed, air dried blocks made of mixed clay, chalk and straw) and timber-framing. The use of clay lump is restricted to the ground floor and where seen (where the south east gable is collapsing) the blocks are laid in a double skin; the two skins although touching are not bonded or keyed together. The clay lump is raised on a plinth of red-bricks as a barrier to the damp and exposed brick was seen on the south gable and the north-west corner. The external rear wall and the axial wall between the front and rear halves of the building were also solid and assumed to be the same construction. Where seen, the first floor exterior walls were constructed of lathe and plaster over a timber frame; the supporting frame was robust but (in the very limited area seen) exhibited no evidence of medieval carpentry either in the joints or provision for daub panels.

The roof has a shallow pitch with paired rafters attached to a replacement ridge board; the rafters rest on clasped purlins held in place against the principle rafters by collars. The principal rafters rest on substantial tie-beams that run across the building and bind the front and central spine wall together. Where the original roof structure survives, the timbers are left as minimally worked baulks and left in the round or half-round and there are examples of tie beams, collars and rafters all dealt with in this homespun way. All of the timber is soft-wood. Much of the roof structure has been renewed (long ago) with sawn timber and it is quite likely that the slate covering was also added when the roof was refurbished and may have replaced more locally produced tiles; the roof pitch is original and far too shallow for thatch.

Evidence from Room F2 suggests that the walls (even the exterior ones) were only lathed on one side leaving the studs exposed internally and the walls parsimoniously thin. Between the studs were recessed plaster panels which had been covered with a second layer of lathe and plaster attached to the front of the studs during a later 19th century refurbishment to create a flat wall. Similarly the ceiling joists of the downstairs rooms were also originally exposed with recessed plaster panels between; not unlike a farm granary. All of the lathes, including the later phase ones, were hand-split and retained their original lime and hair plaster.

The internal partitions are all lathe and plaster over more slender timber studs and, apart from additional walls sub-dividing Room F5 the cottages retain their original room layout. A bridging beam, supporting the ceiling joists, spans the middle of the front range of No.85 running between the chimney and the gable wall. It has a simple rounded corner moulding which runs uninterrupted through the partition wall and it is plain at the ends with no moulded stops. The bridging beam bestows on the room an elevated status, but also means that no floor joist in the building need be any longer than about 3m. Original plank and batten doors with long T-hinges, latches and handles hand-wrought in iron remain in some of the door openings although those connecting with the front rooms have all been replaced with Victorian four panel doors. These types of door fittings are not closely dateable and fit into the range of mid 17th-mid19th century.

Conclusion.

The style of the datable features on the house, namely the front door case and canopy and the fireplace surround would suggest that the building had been in existence for least twenty years before its inclusion on the 1840 tithe map. The building is of historic interest as an example of a pre-industrial, low-cost urban housing which retains much of its original structure and layout. The combination of apparently half clay lump and half timber framing is an interesting solution to domestic construction prior to the availability of cheap mass produced bricks. Whilst wholly-built clay lump cottages and agricultural buildings are characteristic of East Anglia from about 1850 this mix of techniques is uncommon. Given its appearance on the 1840 tithe map the building seems to be an early use of clay lump and perhaps represents some form of transitional method. The timber framing has only been glimpsed but seems to borrow from earlier agricultural building traditions with the use of robust timbers and long-established framing techniques, which were perhaps more familiar to the builders when it came to the complication of attaching a roof to walls.

The connection with the Gurteen family and the presence of a drabber and straw hat-maker in the adjacent properties is significant in Haverhill and contributing to an understanding of working practise in rural small towns in general. It illustrates how prior to centralisation of production within factories the various stages of a manufacturing process were often consigned to a work force toiling away in their own homes; their landlord and employer being one and the same. Gurteen's built their mechanised factory in the town later in 1856 (suffolkfhs.co.uk/groups/g-haverhill.html)

Initial impressions are that this building seems to represent an interesting development of cheap housing in Suffolk before the middle of the 19th century and would benefit from further study; it is therefore recommended that a further photographic record is made, by persons with a knowledge of historic buildings, during demolition to better understand the timber frame and its relationship with the clay lump that underpins it.

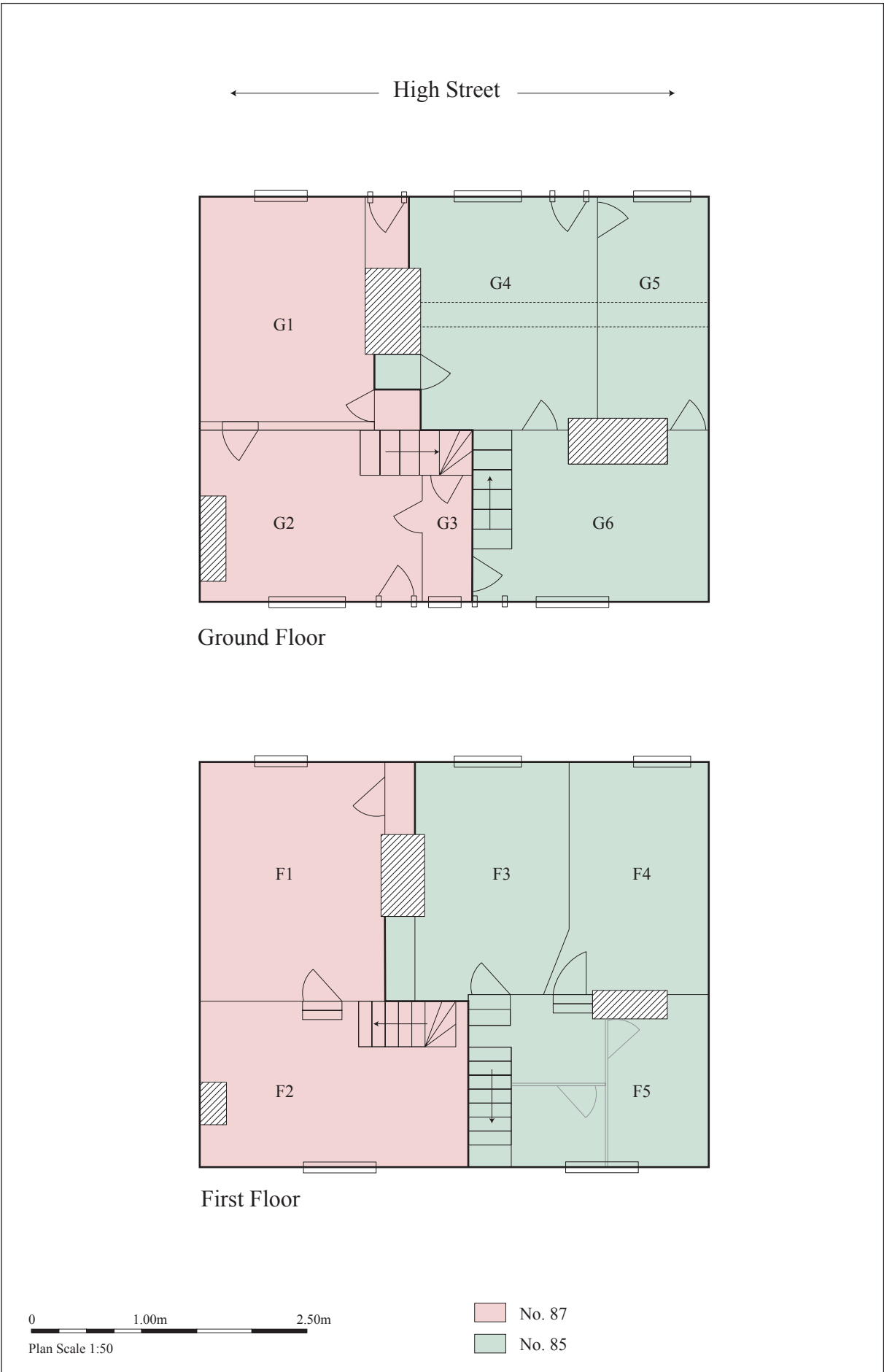


Figure 3. Floor plans of Nos. 85 and 87 High Street, Haverhill

¹ On 28th September 1784, D. Gurteen & Sons was established by Daniel Gurteen (1750-1813) a master weaver of Huguenot descent He specialised in weaving a material called Drabbett, which was used for making smocks and was worn by the agricultural workers of the time.

The business grew rapidly, and in 1880 at the onset of the industrial revolution, Daniel Gurteen III invested in mechanisation by installing a steam engine. The business expanded into the manufacture of men's clothing, silk smocks and by 1900 the company was employing some 2,500 people in and around Haverhill (Gurteen Co web site).



The front of Nos. 85 and 87 High Street viewed from the south. No 87 is to the left and the double fronted door cases are original and suggest an early 19th century date. The windows and slate roof are thought to be later replacements.



The rear of No 87 viewed from the north. The modern brickwork alongside the soil pipe follows the property boundary as shown on the tithe map of 1840 so that the north end of the building projects into the neighbouring plot in the manner of a flying freehold.



Rear of the building viewed from Duddery Road. The asymmetrical roof and the slight step in the gable wall suggest that the building is built in two bays, the rear being in effect a lean-to. The bays are contemporary.



Double skin of clay lump block forming the south gable wall in room G1. The wall changes to timber-frame construction at first floor level. Note that the two faces that make up the wall do not appear to be bonded or keyed together.



Roof structure over no 87 looking S. with clasped purlins. The purlins and the collar in the immediate foreground are made from timber left in the round; the plank-like collar at the far end is a replacement. Note the large tie beam which seems to have been made from two pieces of wood joined with a half-faced scarf joint. The well spaced studs suggest a late date.



Inside of the front wall in Room F1 showing the timber framing. The vertical stud had been altered possibly to create a larger window opening and there was no indication of medieval carpentry joints. The photo shows the back of the external render which has been replaced in the recent past.



South gable wall in room in F1 showing the original plaster recessed back from the face of the studs behind later plaster work. The now hidden studs appear to have been individually wall-papered in a virtuos display of decorating.



Bridging beam running across the centre of rooms G4 and 5. The moulded corners passed through the partition wall uninterrupted; this is not an indication that the partition is an insertion as there are no moulded stops on the beam ends.



The door between Rooms F1 and F2 at the rear of the house. The floor and ceiling heights are much lower at the rear and a raised box-like section has been built into the rear ceiling to allow passage through the door.



Gas light in room F1



Coat pegs in F1



Coat pegs in F3



Front door case



Fire place G1



Reused strap hinge F1

Selection of architectural features and fixtures retained within the cottages that date to the early and later 19th century

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