

ARCHAEOLOGICAL EVALUATION REPORT

SCCAS REPORT No. 2010/215

40 Peckham Street, Bury St Edmunds BSE 353

A. Tester and A. M. Breen
©November2010
www.suffolkcc.gov.uk/e-and-t/archaeology

Lucy Robinson, County Director of Economy, Skills and Environment
Endeavour House, Russel Road, Ipswich, IP1 2BX.

HER Information

Planning Application No: SE/10/0755

Date of Fieldwork: November 2010

Grid Reference: TL 852 647

Funding Body: MPM Properties

Curatorial Officer: Abby Antrobus

Project Officer: Andrew Tester

Oasis Reference: Suffolk c 1-87700

Digital report submitted to Archaeological Data Service:
<http://ads.ahds.ac.uk/catalogue/library/greylit>

Contents

	Page
Summary	
1. Introducti	1
2. Geology and topography	1
3. Archaeological and historical background	1
4. Methodology	2
5. Results	5
6. Finds	12
7. General Discussion	14
8. Recommendations	15
9. Archive deposition	16
10. List of contributors and acknowledgements	16
11. Bibliography	16
Disclaimer	16

List of Figures

1. Site location and HER plan	3
2. Trench location plan	4
3. Trench 1 plan and sections	9
4. Trench 2 plan and sections	10
5. Trench 3 plan and sections	11

List of Tables

1. Finds Quantities	12
---------------------	----

List of Appendices

1. Selected plates
2. Documentary Report
3. Context List
4. Pottery spotdates
5. Brief and Specification.

Summary

An archaeological evaluation was carried out on land behind 40 Peckham Street, Bury St Edmunds. Three trial trenches uncovered a clay building platform in association with a probable clay oven and at least two hearths. There were also several pits that were cut through a buried soil layer which was present particularly towards the east and north of the site. The pits are likely to be contemporary with the clay platform and several contained medieval pottery that is dated 12th-15th century. The orientation of the clay platform falls approximately at right angles to Long Brackland Street and it is possible that this may be evidence for a substantial cross-wing from a property on that street. It is clear from the evaluation that the settlement evidence represents a significant archaeological resource from an area of the medieval town from which little is known.

1. Introduction

An archaeological evaluation was carried out on land behind 40 Peckham Street as the first part of a condition on planning application SE/10/0755. The requirements of the evaluation were set out in a Brief and Specification by Abby Antrobus of the Conservation Team at Suffolk County Council Archaeological Service dated 19 August 2010 (Appendix 3). The condition includes a cartographic and documentary search alongside the trenching to allow an informed assessment of the archaeological potential of the site. The planning application is for the building of houses and garages.

2. Geology and topography

The site occupies ground on a west facing slope leading towards the Tayfen, which was a minor river in marshland before the area was built over. The site rises from the road front at 37m OD to 38.5m OD at the rear of the property. The natural geology comprises silt and gravel with sand that overlies chalk.

3. Archaeological and historical background

The settlement of Bury St Edmunds is suggested to have grown around the Anglo-Saxon monastery, which was founded by King Siegbert of the East Angles in the 7th century. While the early history of the town is largely unknown the settlement was massively expanded following the martyrdom of King Edmund by the Danes in 869AD and the removal of his body to the town in the later Saxon period. The Abbey was expanded by the first Norman Abbot Baldwin who also commissioned the setting out of the town grid of streets. The area of the site falls within the boundary of the Norman town that was defined more clearly in the 12th century when a massive ditch and wall were added. Archaeological evidence suggests that the ditch was 10-12m wide and ran, on the western side of the town, beneath St Andrews Street.

A full documentary search for the site is included as Appendix 2. It is clear that Peckham Street was recently built and named after the rope maker William Peckham. No. 40 Peckham Street was probably the earliest house on the Street and was occupied by the brewer William Diaper and later Eliza Cocksedge. Documentary evidence

records something of the late medieval settlement on Long Brackland Street but they do not allow individuals or trades to be associated with particular properties. It does suggest that land was held by the Abbey but that some was also held by private individuals. There is no evidence to suggest that the area between Long Brackland Street and the town wall were developed although records for this area are few.

Sites recorded on the Suffolk Historic Environment Record (HER) within 100m of the development area are shown in Figure 1. These include BSE 070, which indicates the site of a putative stone tower that falls along the probable line of the town wall and is indicated on Thomas Warren's map of Bury from 1791 (Pl. 1). BSE 129 indicates the site of an archaeological monitoring that identified a medieval or early post-medieval building. BSE 175 identified evidence for medieval and post-medieval building in the form of pits. BSE 156 indicates the site of the early gas works built in 1849. The putative line of the town wall is also marked the the town ditch is thought to have been continuous along the outside of the town wall.

4. Methodology

A series of three trenches was excavated using a JCB type excavator fitted with a 1.6m wide flat bladed bucket. The trenches were planned and partially excavated and sample sections recorded of the trench profiles. Not all of the features within the trenches were excavated, it is axiomatic that complex archaeology is best dealt with by open area excavation where possible and it became clear during the machine stripping that the site contained archaeology of this kind. The decisions on what to investigate were based on the need to provide sufficient information to achieve a general understanding of the site, including dating evidence, so that an appropriate mitigation strategy could be adopted for planning purposes and so that archaeological contractors could provide a costing for any further work that might be required (Section 2 of the Brief and Specification).

Trenches were planned at scales of either 1:20 or 1:50 as appropriate and all sections were at 1:20. All finds were brought back with the exception of those that were very modern. A single sequence continuous numbering system was used for site recording and a high resolution digital photographic record was made of the site. All finds are held in archive in Shire Hall, Bury St Edmunds.



Figure 1. Site location showing development area (red)
HER sites (green)

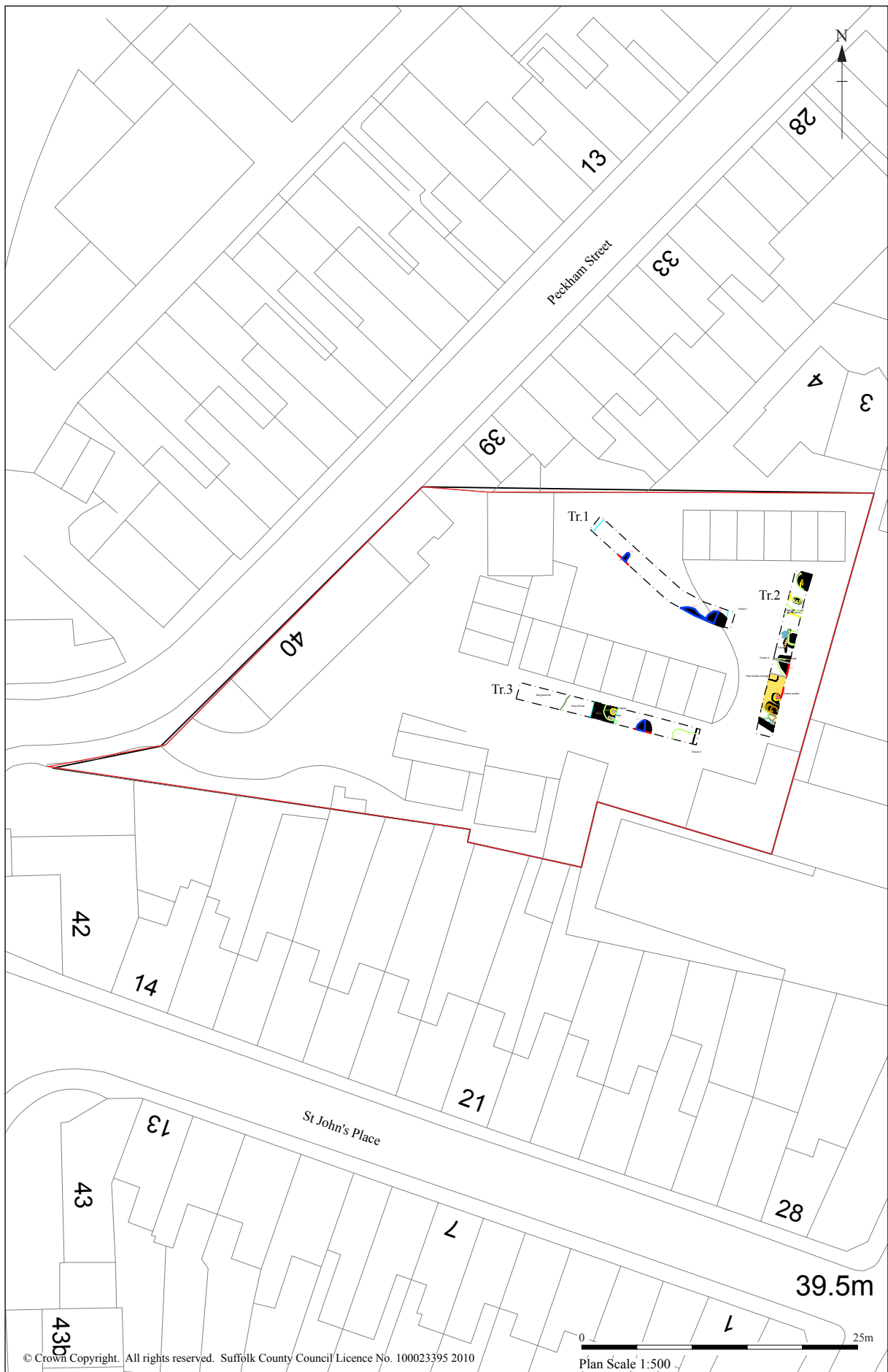


Figure 2. Trench location plan

5. Results

Figs.3-5

Introduction

In the following descriptions the features are discussed sequentially within the trenches with a full context listing included as Appendix 1. Not all of the features within the trenches were excavated.

Trench 1

This trench was c.15.5m in length and varied in depth between 1.4m and 1.15m from west to east. The profile was recorded above the two features that were excavated. This showed a variable depth of topsoil with light modern rubbish between 0.1m and 0.3m thick. Below this was a dark grey, silty, topsoil, context 0037, which overlaid a mid grey/green silty layer, numbered 0019, from which 5 sherds of medieval pottery were recovered dating from the 13th-15th century recovered from the spoil heap.

Three features were recorded in Trench 1. At the north-west end a shallow linear feature, 0002, was fully excavated within the trench and recorded in the baulk (Section 1). It was c.0.3m long and 0.2m wide where it showed in the base of the trench but the cut for this feature could not be identified within the section because the fills were very similar. Two sherds of medieval pottery were recovered that are dated to the 12th-14th century.

Towards the south-east end of the trench a probable pit, 0006 was identified in the south side of the section. It was at least 2.5m long and 0.5m wide. The fill was of green brown silt but there were also streaks of ash and it is likely that this is a pit. A single sherd of pottery dated to the 15th-16th century was recovered from the surface. This feature was partly concealed by the baulk and it was decided that no further sampling was required to establish its general form for the purposes of the evaluation.

Pit 0004 was partly beneath the southeast corner of the trench and was recorded against the section (Section 2). The minimum dimensions are 1.75m x 1.1m. The section reveals that the pit was 0.7m deep and was filled with mid brown/green silty sand with pale yellow sandy clay at the base. An iron nail and a fragment of bone were also found.

Trench 2

Trench 2 was 14.4m in length and varied in depth from 0.75m and 0.8m from north to south. Section 4 reveals a small amount of tarmac at the north end. Beneath this across the trench was dark, silt, topsoil, context 0032, which was 0.5m-0.6m deep. This layer contained modern finds (c.19th-20th centuries). Beneath this layer at a depth of about 0.6m a series of features were exposed across the trench.

There are two probable pits at the north end of the trench: 0009 appears oval in shape with a mid-brown clay fill and was at least 1.4m long. It was partially removed by pit 0010, which was at least 1.2m wide and had brown silt with clay in the upper fill, 0011, from which 2 sherds of medieval pottery were recovered from the surface.

Feature 0020 was a small oval pit that contained an animal skeleton in a matrix of crushed slacked lime. It is possible that this represents an animal burial. A spread of dark silts to the east of this contained fragments of modern china and glass (c.19th century). It was felt that sufficient evidence was available to characterise this feature.

Approximately 5.5m from the north end of the trench there was a sequence of features that appeared to be related to a clay surface. Feature 0025 consisted of a packed layer of pebbles, and bordering this on the east side was a linear spread of degraded clunch (0024) that was 0.2m wide x 1.6m long and included a slightly larger piece of clunch at the south end. To the north of this was a possible pit or posthole 0022. An upper layer of green brown silt was removed from this feature (0023) to reveal a solid layer of yellow clay. Although no finds were recovered from layer 0023 it was similar to the buried soil in Trench 1 and probably of medieval date. A decision was taken therefore to avoid further partial excavation of what was likely to be a structural feature that could be better recorded by open area excavation.

South of 0022 was a layer of silty clay, 0028, that extended for approximately 5m to the south. It contained some pebbles and chalk fragments and was of varying thickness; in Section 5 it was at least 0.3m deep. A small sondage was excavated through the clay between 7m and 8.4m from the north end of the trench, which exposed clay structure context 0026. This feature is recorded in Section 3, which shows several lenses of charcoal and burning context 0027 with a layer of charcoal at the base of the feature,

Although not fully excavated 0026 it is likely to be the remains of an oven or kiln and was either contemporary with or earlier than surface 0028.

Approximately 1.7m to the south of 0026 was the remains of a structured hearth, 0029, which consisted of closely packed tiles set on edge and braded in a cross pattern. The tiles were not sampled but they were all of a powdery buff orange which would be consistent with a late medieval to post-medieval date. Approximately 0.7m to the south of this was a further hearth, 0030, that was sub-rectangular, being 0.6m wide and at least 1.2m in length.

The solid clay surface 0028 finished immediately beyond the hearth and there was a small area of natural subsoil; this was bordered by a layer of brown silt flecked with chalk and burnt clay, context 0033. Partially overlying the natural from the south of the trench was a discrete patch of clay context 0034.

There was a general alignment to these layers that ran north northwest to south southeast and this orientation was continued with a layer of decayed mortar and small flints, 0031 that was 0.4m wide and ran across the trench. The ground beyond this appeared to be natural subsoil.

Trench 3

Trench 3 was 19m in length and varied in depth between 0.6m and 1m from northwest to southeast. From the northwest end the topsoil was quite disturbed with natural silt and gravel at 0.6m.

There were two possible pits, 0014 and 0015 and they were both cut through a layer of green/brown silt, 0016. Pit 0014 was 0.6m in diameter, circular with an outer layer of clay and an inner fill of green/brown silt. 0015 was c.1.5m wide and was filled with clay but included a concentration of yellow clay with flints in the centre with patches of cream coloured mortar in the outer fill. Both features began to appear quite high in the section.

Pit 0012 was half sectioned from the base of the trench where it was 0.4m deep but was shown to be 0.7m deep from the site baulk and was therefore cut through 0.3m of buried soil. It was at least 1.2m wide and was filled with a green brown loam which became paler towards the base. A deeper area in the base of the pit may have

indicated the location of a central post but this is uncertain. This feature contained lumps of charcoal and soil samples were taken. Finds included a hone stone, a flint blade and four sherds of medieval pottery dated 12th-14th century.

At the northern end of the trench a large pit at least 2m long (or perhaps two very similar but intercutting pits) context 0017 was identified running beneath the baulk. A single sherd of medieval pottery dated 13th-15th century was recovered from the surface, context, 0018, which was a silty green brown loam and similar to the fill of Pit 0012.

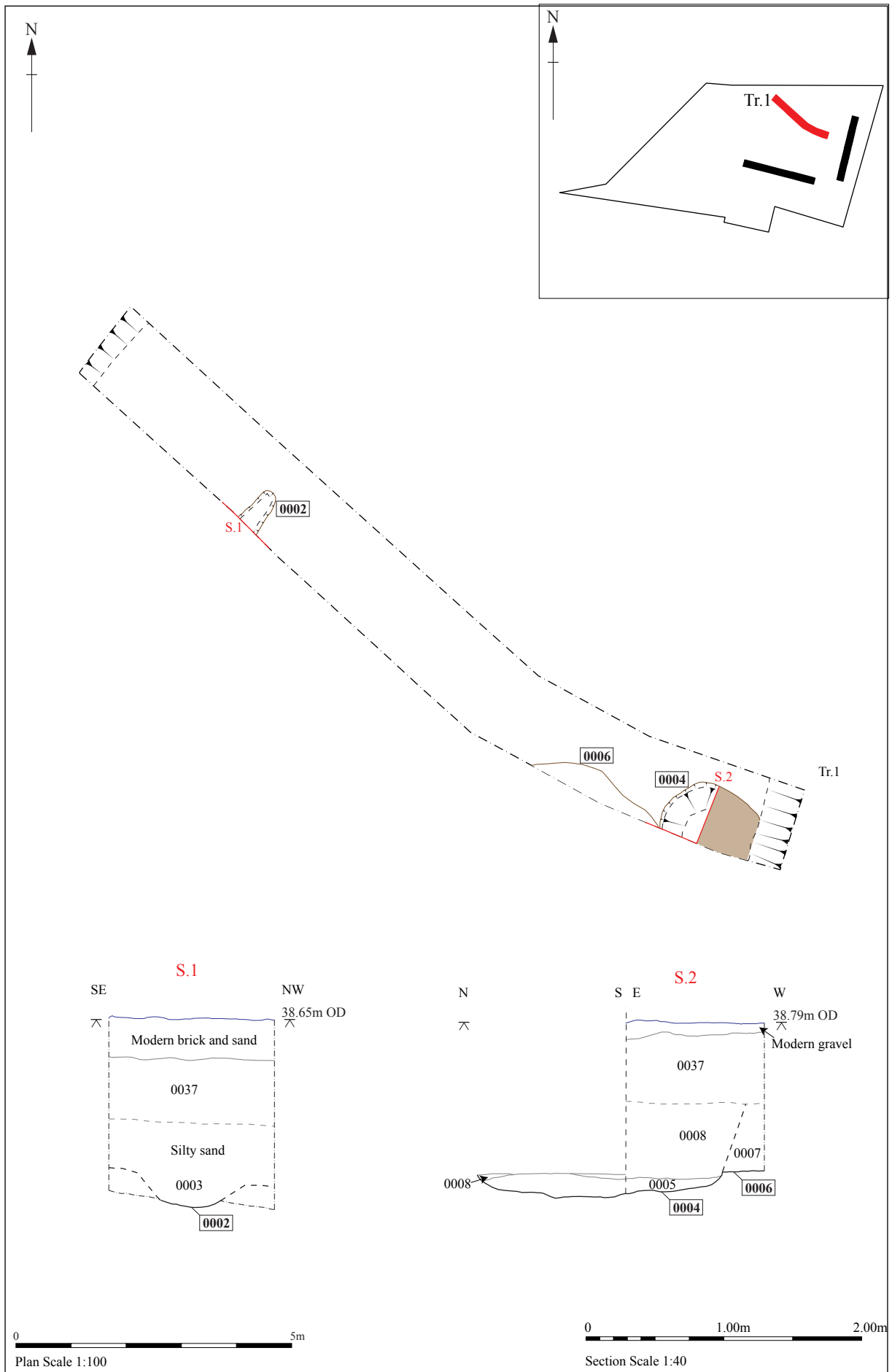


Figure 3. Trench 1, plan and sections

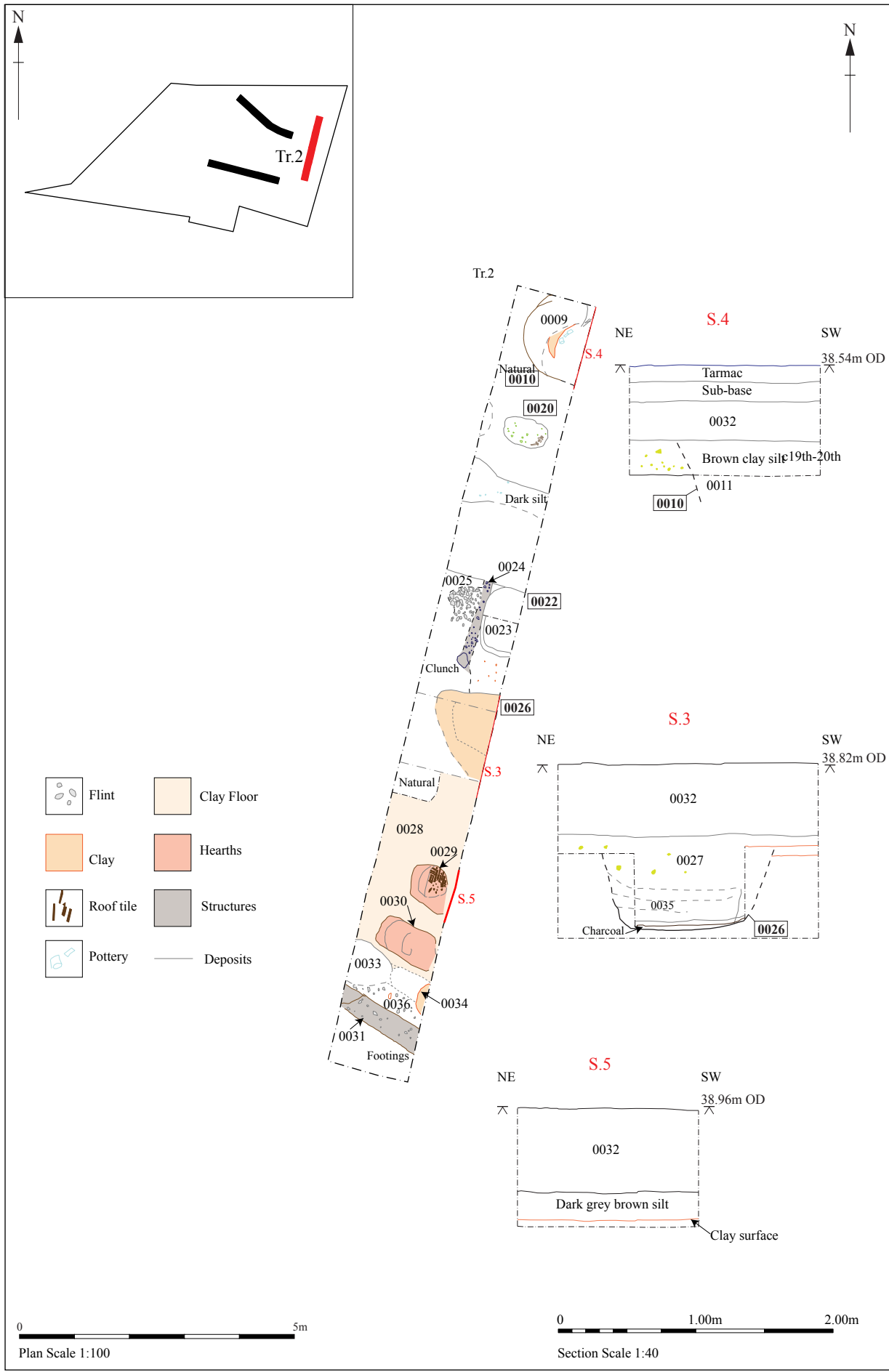


Figure 4. Trench 2, plan and sections

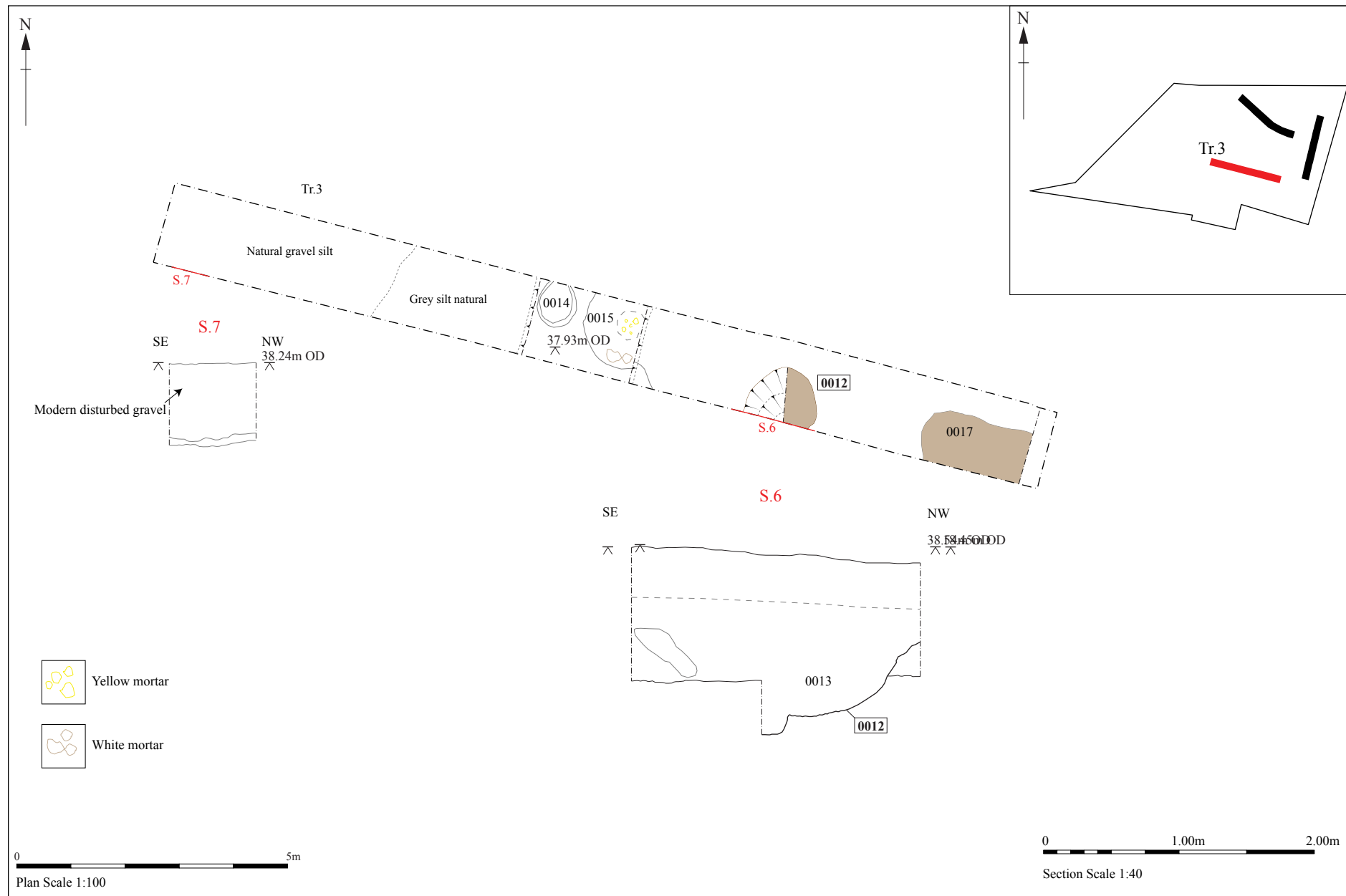


Figure 5. Trench 3, plan and sections

6. The Finds

Introduction

Finds were collected from 8 contexts, as shown in the table below.

Context	Pottery		CBM		Flint		Animal bone		Miscellaneous	Spotdate
	No.	Wt/g	No.	Wt/g	No.	Wt/g	No.	Wt/g		
0001			1	58	1	3				Unstrat
0003	2	3								L12th-14th C
0005							1	32	1 iron nail @ 13g	
0007	1	13					2	72		15th-16th C
0011	2	22								L12th-14th C
0013	4	97			1	7			SF1001	L12th-14th C
0018	1	8								L12th-14th C
0019	5	26								13th-15th C
Total	15	169	1	58	2	10	3	104		

Table 1 Finds quantities

6.1 Pottery

A total of fifteen fragments of pottery was recovered from the evaluation (169g). The pottery which is almost all medieval, has been fully catalogued (Appendix 4).

Fragments of Bury medieval coarsewares were identified in pitfills and layers of buried soil, dating from the L12th-14th century. The most common fabric is Bury Medieval Coarseware, but several sherds of Bury Sandy Fine ware were also present. Many of the sherds have clear evidence of external sooting from being used as cooking vessels. A fragment of a glazed reduced ware is similar to Yarmouth Glazed ware (YARG), dating from the 13th-15th C. A single possible sherd of Hollesley-type ware was present in buried soil 0019.

A sherd of a slipped transitional redware jug made in a Late Colchester-type ware (COLL) was recovered from an unexcavated pit 0006, dating to the 15th-16th century.

6.2 Ceramic building material

A single fragment of fully oxidised roofing tile was collected as an unstratified find. It has a medium sandy fabric with flint and ferrous inclusions and is post-medieval. It has been re-used and may have come from Structure 0028 but this is unproven.

6.3 Flint

Identifications by Colin Pendleton

Two fragments of worked flint were recovered (10g). These are catalogued below.

1. A patinated small blade with a snapped unpatinated break. There is a small area of limited edge retouch forming a slight notch which is part of another small area of retouch, or possible recent damage. The blade is Mesolithic or Neolithic, but has later retouch/damage. Unstratified.

2. An unpatinated blade with steep retouch down one edge. The tip of the blade has snapped. There are parallel blade scars on the dorsal face. It has a sub-triangular cross-section. The blade is Mesolithic or Neolithic and came from pitfill 0013, which also had medieval pottery.

The presence of two Mesolithic or Neolithic flints is of interest, as flints of a similar date have been recovered elsewhere in Bury St Edmunds, notably at the Cathedral (BSE 052), and 16 Northgate Street (BSE 324). The frequency of flints of this date from the town suggests that there may have been some significant prehistoric features of this date in the area.

6.4 Iron

An iron nail was present in pitfill 0005 with a single fragment of animal bone.

6.5 Small Finds

A stone hone or whetstone was recovered from pitfill 0013 (SF1001). It is an irregular rectangular shape, and all four sides are dished from having been used for sharpening. Dimensions: L60mm, W29mm (max), H24mm.

6.6 Animal bone

Identifications by Mike Feider

Three pieces of animal bone were identified (104g). A fragment of unfused bovine metacarpal was recovered from pitfill 0005. The distal end of a deer humerus and the remains of small horn core, probably a cow were present in pitfill 0007.

6.7 Environmental Evidence

Environmental samples have been despatched for assessment and the results will be added to the archive. In general terms there are unlikely to be any waterlogged deposits

due to the depth of the water table and the porous nature of the subsoil. Charcoal was, visible in low concentrations within the pit fills.

6.8 Discussion

The presence of the Mesolithic or Neolithic flints provides further evidence for prehistoric activity of this date taking place in the vicinity. In addition a small quantity of medieval pottery was recovered from pits and other features from the evaluation, dating for the most part to the 12th-14th century. The group consists for the main part of Bury coarsewares, but a single glazed ware was also identified. The site lies within the confines of the Norman town, so the pits are likely to represent evidence of occupation nearby.

7. General Discussion

The evaluation trenching has demonstrated the survival of buried medieval soils in two of the three trenches. The soil profile was best preserved in Trench 1 where it had been enhanced with a large build-up of dark, garden type, soil in the post-medieval period. In Trenches 1 and 3 there were seven features in total that cut the buried soil of which five produced medieval pottery and three were sampled by excavation. Medieval pottery was also present in the buried soil. In Trench 3 the buried soil sloped from east to west being preserved at the east end, close to the surface towards the middle of the trench but absent at the western end. This may be the result of truncation. The preservation of the medieval soil may be better towards the north side of the site where there is a massive difference in depth either side of a long standing boundary wall, which is indicated on the Warren map (Pl. 1, Appendix 1) that marks the north edge of the plot.

Trench 2 also contained evidence of pit excavation that produced medieval finds, but the largest feature was a substantial clay surface, with at least one clear edge on the south side, indicated by a mortar spread, which is likely to be the base of a wall, possibly the footing for a sill beam. The total width of disturbance, including various spreads and structural features that were not excavated on the north side, is 8.5m. Included within this is evidence for two hearths and one probable oven. It is noteworthy that 19th century finds were observed immediately above the base of the trench and there appears to be no medieval buried soil surviving above the clay in Trench 2. It

would appear from the evidence that the ground has been truncated but whether this was a recent, post-medieval occurrence, or perhaps medieval and associated with the building is uncertain. It is clear that the overlying dark silt contains relatively modern finds.

When all three trenches are considered, it provides compelling evidence for settlement of the site during the medieval period with a clay platform for a building and pits dating from the 12th-15th centuries. The sampled pits were relatively shallow when considered alongside urban pits such as those encountered on Upper Baxter Street for example (Tester 2003) and this may represent a single outlier building rather than concentrated settlement where there was more pressure on space. From the documentary evidence (Appendix 2) it is clear that it can be established that many of the properties on Long Brackland Street were owned by the Abby during the late medieval period but there is nothing to suggest that the area of the site was developed independently of Long Brackland Street. It is perhaps worthy of note that the alignment of the wall base from Trench 3 was probably at right angles to Long Brackland Street; this may be evidence that the building was a substantial cross-wing from a property on that street (this would be similar to a property that runs parallel to this which is shown on the Warren map of Bury from 1791 (Pl.1, Appendix 1). Whatever the nature of the settlement it does represent a significant archaeological resource from an area of the medieval town from which little is known.

The noted presence of Mesolithic or Neolithic flint is not unsurprising on a gravel terrace but is a reminder that other material may lie undiscovered, masked by later deposits.

8. Recommendations

Because of the preservation of the site, the significance of the finds and the potential threat it is recommended that the only mitigation strategy which could adequately record the building remains and its environs would be open area excavation. Based on the proposed development plan this should include the footprint of the buildings at the east end of the site including at least the full area of Trench 2 in order to expose a sufficiently large area of the clay platform to interpret the structural features. Allowance should also be made for limited sampling of the buried soil in order to establish its date and likely origins. Further recording would depend on the level of disturbance but a close monitoring of below ground works allowing the excavation of any discrete features may

be sufficient to record the evidence from any new building on the Peckham Street frontage, service trenches and landscaping associated with the entrance and car parking areas.

9. Archive deposition

Paper and photographic archive: SCCAS Archive Store Bury St Edmunds

Digital archive on SCC server svr-etd077\Arc\Archive Field Proj\BSE\BSE353

Finds and environmental archive: SCCAS Finds Store Bury St Edmunds.

10. List of contributors and acknowledgements

The evaluation was carried out by Andrew Tester, David Gill and Robert Brooks. The graphics were prepared by Crane Begg and Ellie Hillen. Jonathan Van Jennians processed the finds and Richenda Goffin prepared the finds report and edited the report. The cartographic and historical survey was by Anthony Breen a freelance historian.

11. Bibliography

Statham, M., 1988, *The Book of Bury St Edmunds*

Tester, A., 2003, *High Baxter Street, BSE 202, Arch Excavation Report*, SCCAS Report No 2003/18.

Disclaimer

Any opinions expressed in this report about the need for further archaeological work are those of the Field Projects Team alone. Ultimately the need for further work will be determined by the Local Planning Authority and its Archaeological Advisors when a planning application is registered. Suffolk County Council's archaeological contracting services cannot accept responsibility for inconvenience caused to the clients should the Planning Authority take a different view to that expressed in the report.

Appendix 1. Selected Plates

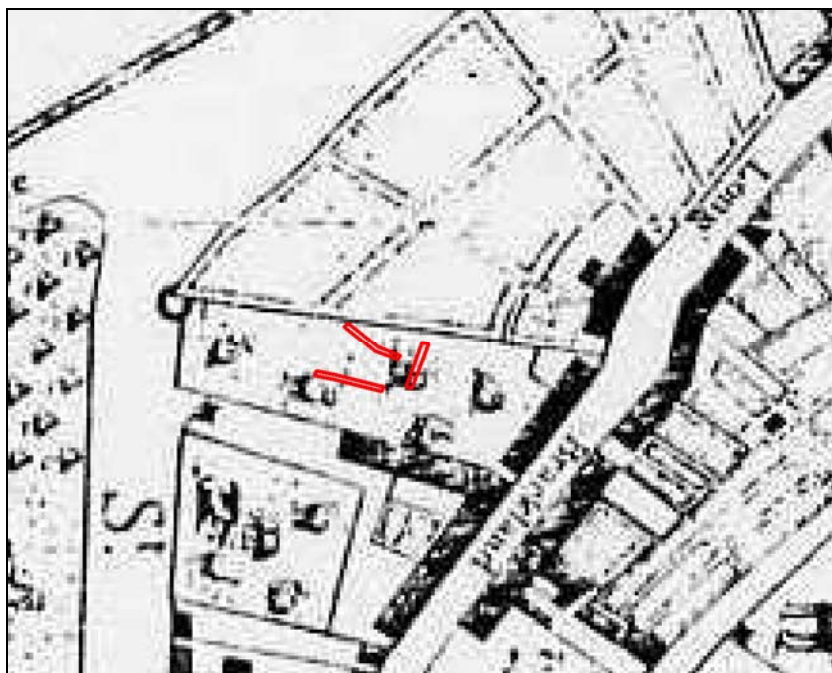


Plate 1. Extract from the Warren map of Bury from 1791 with the approximate location of the trenches indicated.



Plate 2 Trench 1 looking west with pit 0004 in the foreground (1m scales).



Plate 3. Trench 1 Section 2 looking south (1m scale).



Plate 4. Trench 2 north end facing east (1m scales).



Plate 5. South end of Trench 2 facing north. Mortar foundation 0031 in the foreground with hearths 0030 and 0029 visible in clay surface 0028 (1m scales).



Plate 6. Trench 2 facing south with clay oven 0026 centre left (1m scales).



Plate 7. Trench 3 looking west (1m scales).



Plate 8. Features 0014 and 0015 looking north (1m scales).

Appendix 2

40 Peckham Street, Bury St Edmunds: Documentary Report

Introduction

The research for this report has been carried out at the Suffolk Record Office in Bury St Edmunds. In advance of this research, the Suffolk Archaeological Service have supplied copies of the current Ordnance Survey map, together with a copy of the first edition 1:2500 Ordnance Survey map published in 1886 but surveyed in 1883 – 84 (Pl.1) and a copy of Thomas Warren's 1747 map of Bury (Pl.2). In comparing these maps the area between St John's Place to the south and Ipswich Street to the northeast appear to have been two properties in 1747. Most of the area was subdivided into various garden plots but with a single dwelling at the south-eastern corner adjoining the street that was then known as Long Brackland. Long Brackland was one of the medieval streets of Bury St Edmunds and was contained entirely within the town's former medieval walls; this street is now divided into St John's Street and Long Brackland. On Thomas Warren's 1791 plan of the borough a copy of which hangs on public display in the record office most of the land again appears as a single property numbered on the map 122 described as a garden and measured at 2 acres 2 roods. The owner of the property in 1791 was Benjamin King. On this 1791 map the owners of the adjoining property to the north is named as 'Mattocks' and to the south as 'H. Hare Esq.', unfortunately there are no references to these proprietors in the record office's card indexes. In order to trace the earlier history of this site it is necessary to identify earlier owners and occupiers of this site and to link their names to surviving property records.

Most of the property in Bury St Edmunds had been, until the dissolution of the monastery in 1539, the property of the abbey. Following the dissolution these properties passed to the crown and the revenues from the estates administered by the court of Augmentation later absorbed by the court of the Exchequer. A large number of detailed accounts were prepared by the court of Augmentation, in the immediate post dissolution, listing the then owners of the properties of the former abbey. In some instances it is possible to establish the positions of these properties through linking the names of the owners to properties more fully described in late medieval records. Before the dissolution the abbey's estates were divided between the several offices of the abbey with the main estates under the sacrists and cellarers. The owners of other medieval properties can be identified through the geographic descriptions given in late medieval deeds where a property was situated at a street corner or adjoining a known public building. Other properties can be traced through the fact that shortly after the dissolution they passed to a public institution such as the Guildhall Feoffment or King Edward's Grammar School as both these institutions have carefully preserved their records and these are now deposited at the record office. These various sources are discussed below.

The house at 40 Peckham Street is different from the remaining houses in the row that all appear to have been constructed at a similar date using a variety of both red and cream bricks. This house stands apart from the row and is constructed of flint with red brick at the corners of the building.

Ordnance Survey Maps, Directories and Rate Books

On the record office held a copy of the 1885 1:1250 Ordnance Survey plan of this area (sheet number XLIV.7.6). On the plan the street is named as Peckham Street and this site is on the eastern side of the road between the junction of St Andrew Street North to the west and an Iron Works fronting St John' Street to the east. The iron works was probably that listed as 'Carter William, Thomas engineer, boiler maker & agricultural implement maker, St John's iron works' in Kelly's 1888 'Directory of Suffolk'. In the directory the commercial properties in Bury St Edmunds are listed in an alphabetical sequence under the names of their then owners and William Peckham rope and twine maker is listed at 22 Peckham Street. He is again listed as a 'ropemaker' in the trade directory for 1885. On the 1885 plan there is a rope walk marked behind the houses on the northern side of the street. In 1879 and in 1875 his address is given as 'New Street'. In the 1875 directory a William Clabon Diaper is also listed in 'New Street' and his trade is given as 'brewer'. He is not listed in 1879. In 1874 the listing for William Peckham is somewhat fuller describing him as 'rope, twine, sheep net, sacking cloth, and cover manufacturer, & shop keeper' at 17 Peckham's walk' William Diaper is also listed but at the 'Exchange'. In the trade directory of 1869 William Peckham is listed at 6 Ipswich Street. The present site of 22 Peckham Street is on the north side of the street at the eastern end and not close to this site. The property is now modern flats.

On the 1885 plan a house or houses built at 40 Peckham Street occupy the street frontage with a pump to the rear of the property and with some ancillary structures separated from the house or houses. These secondary building adjoin the northern property boundary. The remaining parts of the site form a large garden. There is a further elongated plot of land at the southeast corner of the site with a gated entrance from St John's Street. On the evidence of this map it is uncertain whether or not this plot of land was part and parcel of the iron works site.

In the record office's card index there is just one reference to any pre 1900 deeds relating to Peckham Street. In a deed dated 9 April 1879 a house in the street is described as 'All that newly erected messuage or dwelling house ... being No 23 New Street otherwise Peckham's Row leading from Ipswich Street to St Andrews Street in the parish of St James in Bury. The position of this plot of land is shown on a rough plan attached to a copy of an abstract of title in the same bundle of documents. This house was at the north eastern corner of the street on the southern side and the deed describes its position as 'fronting upon the New Street towards the north'. The name of the owner of the adjoining property to the east is omitted from the deed, but on the plan in the abstract of title the owners are named as 'Robert Harrison's executors'. Alfred Andrews was a party to this 1879 deed and was described a builder (ref.1443/51). Another party to the deed was John Smythies Greene who is described as a 'gentleman' and he may have acted as the financier for building the houses. Both Andrews and Greene are mentioned in the earliest deed mentioned in the recital clause dated 11 June 1870. The abstract of title mentions earlier deeds dating from 1864 when Joseph Dutton 'late of Bury St Edmunds but then of Brentwood in Essex Railway superintendent' sold the property to Alfred Andrews. Joseph Dutton had purchased this land measured at only 3 roods and 14 perches from George Anthony Partridge though the date of this earlier exchange is not

given the property was then described as 'situated near Long Brackland ... abutting on the new road leading from Ipswich Street to St Andrew Street'. In the trade directory for 1874 Alfred Andrews is listed at 61-62 St John's Street and described as 'timber merchant' and 'brick, tile and drain pipe manufacturer and builder'. He is not listed in 1875.

Though the land was part of the ecclesiastical parish of St John's, this parish was formed from the late medieval parish of St James's in 1838. In terms of civil administration the parish remained part of St James's. The deeds of 1870-79 describe the land as being in the parish of St James's, Bury St Edmunds and there are rate-books covering the period 1757-1893 in the Borough Collection (N3/7/1-45). In the rate book for 1875-1876 there is no listing for Peckham Street instead both William Claben Diaper and William Peckham are listed under a sub heading 'New Street' under 'Ipswich Street'. Diaper was the tenant to 'Harrisons' executors' (ref. N3/7/32). In the same rate book Alfred Andrews is listed under St John's Street as owning three houses, including one with 'workshops & yards; together with his 'Marine Stores'. The rate book for 1871-1872 has a list of streets at the beginning of the book but there is no reference 'Peckham Street' or 'Ipswich Street'. Ipswich Street is listed in the last list of streets bound in front of the rate list for January 1873, however in within the rate lists there appear to be further references to other streets and closes though most are not named in full. Alfred Andrews is listed under St John's Street for his house, workshops & yards, his timber yards and shed and also for his 'foundry' (ref. N3/7/30). As late as December 1882 there is still no reference to 'Peckham Row' instead under Ipswich Street 'New Street' there are just three names Mr Peckham occupied a house and ropewalk the property of the gas company, 'Ebenazar Parker Lockwood' owned land the property of 'Harrison Executors' and a Louisa Cocksedge owned a house. She is not listed in the contemporary directory (ref. N3/7/35).

Richard Payne's Maps of Bury

Richard Payne maps of Bury St Edmunds are geographically inaccurate as he distorts the medieval street grid in the area to the south of the present Abbey Gate Street. Despite this fault he was first employed as the surveyor of the 1816 enclosure map of the parishes of St Mary and St James (ref. 373/5) (Pl.3). He then produced two maps of the borough in 1833 and 1834 and his maps were used as the basis of the 1845 tithe map of the two parishes (ref. T77/2) (Pl.4). His 1834 map was published and shows this site of Benjamin King's garden had been subdivided with the northern part of the garden area used as the site of the town's gas works. The remaining areas of the site were still used as garden set out in an elaborate pattern of paths and beds. The same house as shown on the two Thomas Warren maps is still shown adjoining 'Long Brackland' but with a secondary structure fronting what is now St John's Place to the south. At the junction of St Andrew's Street there is a building shown at the same angle as the present 40 Peckham Street, but this structure is likely to have been on the northern side of the road.

Payne's 1833 manuscript map (ref. 586/2) (Pl.5) is more important for the identification of landowners as a number of individual plots including this site are numbered. The numbers are linked to the owners and occupiers of each piece in a series of four schedules. In the

'Particulars of a survey of Bury St Edmunds' (ref. E8/2/1(4)) the plots are listed in a numeric sequence with 128 the later gas works site beginning described as a 'garden' then in the ownership and occupation of Abraham Gall, this plot was measured at 2 roods and 30 perches. The remaining area including this site is numbered 129 and described as a 'garden and hot house' the property of John Lomax and measured at 2 acres. Samuel Cooper owned the piece to the south numbered 130. This piece was in his occupation and simply described as 'Paddock & Malt Office 2 roods 32 perches'. The next piece numbered 131 was described as 'House, Offices and Paddock' measured at 3 roods 7 perches and was then the property of Henry Edwards and in the occupation of his tenant Henry Browne. Once again the names of Samuel Cooper and Henry Edwards do not appear in the record office's card index. On the map there is a gap in the properties between 131 and 131a listed in the particulars as 'Quakers Meeting House'. In a second schedule 'Particulars of Lands in Bury St Edmunds' (ref. E8/2/1(3)) the lands are listed under their individual owners and normally prefixed with the plot number, though this detail is omitted from Abraham Gall's property. Apart from the plot 129 John Lomax also owned '132 house, offices, yards & gardens' measured 2 roods 13 perches. This second plot later became the site of St John's Church. Samuel Cooper owned other properties numbered 161a and 162a, but Henry Edwards held just this single property in Long Brackland. The particulars list the properties of the 'the trustees of the Guildhall Feoffment' including the pieces numbered 126 and 127 unfortunately none of their properties were in this street. The houses in each street are listed in two separate schedules for the parishes of St James and St Mary. Again Abraham Gall is listed under 'Saint Andrew's Street' though the property is now described as 'garden and outbuilding'. The houses in Long Brackland are numbered but this part of the street has since been renamed St John's Street and only certain properties such as 35 Meeting House and Burying Ground the property of the 'Quakers' Society' or 37 Benjamin Reach's 'Bushell Inn' can be readily identified today. John Lomax owned several properties numbered 73-91 but the site of the house fronting Long Brackland may be the same as that listed at 22 then in the occupation of George Lomax but the property of William Barker (ref. E8/2/1(1)).

The enclosure map simply shows the outline of the piece of land without showing the house on Long Brackland. It is interesting in that the northern area later used as a gas works is shown shaded in green and numbered 1-3. This land was subject to enclosure and may well represent an area of the former town ditch.

Property Deeds

Unlike the other proprietors John Lomax, a 'gardener' is mentioned in number of deeds including those for the site of St John's Church (ref. FL 544/1/7,8). Another bundle of deeds covering the years 1819-1822 relate to his property in Southgate Street.

There is another set of deeds for a property in Long Brackland (ref. HD 2114/1). He purchased this property in 1832 from John Steele however it is difficult to relate the property description to this site. In the deed the property is described as 'All those two messuages or dwelling houses and the outhouses yards and grounds to the same belonging situate and being in Bury Saint Edmunds aforesaid in or near a certain street called the Long Brackland and

fronting thereon easterly and abutting upon the ground of (blank) Story westerly and adjoining to the tenement sometimes since Herons late the said John Alderton and now David Wright northerly and another messuage or dwelling house and ground late of John Watson and Samuel Watson and now of Samuel Raynham southerly which said messuages or dwelling houses hereby bargained and sold were late in the tenure or occupation of Stephen Ashen and Benjamin Leech and are now in the tenure and occupation of (blank) Bethell and Edward Leech'. The previous deeds in this bundle are between Mr John Watson and others to Mr John Alderton and trustee and are dated 1791. The property description is similar to that in the 1832 deed though the houses are further described as 'were anciently in the occupation of Robert Parker and Ann Middleditch or their assigns and were lately occupied by Francis Hilton and John Cooke and since by Robert Goodrich a beer brewer and the said Francis Hilton and are now occupied by Isaac Howlett and the aforesaid Robert Goodrich were sometime freehold and inheritance of Thomas Alvis'. Benjamin King is not mentioned.

The previous deeds in the same bundle are dated 1747 are between George Broadwater and Margaret his wife and Thomas Crouch and Susan his wife who sold the property to Mrs Mary Johnson. In these deeds the property description is shorten to 'All those (then) two new erected messuages or tenements scituate and being in Bury ... in a certain street there called the Long Brackland next the tenement late Herons on the north as the same then or were late in the tenure or occupation of Robert Parker and Ann Middleditch'. Thomas Alvis bought this property in February 1689 from Jacob Ransome the property to the north was still described as 'late Herons' and the occupants were still Robert Parker and Ann Middleditch.

Those these deeds may possibly relate to the house or houses fronting Long Brackland they do not appear to relate to the garden area. Between 1747 and 1791 the property description was revised and there is no mention of Benjamin King or the occupiers of the adjoining properties as shown on Thomas Warren's 1791 map.

There is a single deed for a property in Long Brackland dated 1 November 1692 (ref. EXY4/W1/168). The property is described as 'all that messuage or tenement wherein the said Thomas Burrough and one Henry Wilson now dwell with a barne, thereunto belonging and also of all that close of ground or orchard and a nursery thereunto belonging containing together by estimacon two acres (more or lesse) and also of all those four cottages or tenements now in the tenure or occupacon of Nathaniel Rutter, William Chenery, John Dean and William Foul which said cottages or tenements are situate standing and being ... in or neere to the said streete ... and abut in part on the yard garden nursery and close aforesaid'. Though the property description is vague the link between a house and a close of 2 acres suggests that this is the same site as shown on the 1791 map. This deed contains the phrase in Norman French 'sur connizance de droit come ce que ils ont de lour' shows that the previous transfer had been by a fine enrolled at the high court in London.

Though the rate books for this parish have survived from 1757 onwards the early books are not a continuous sequence, in particular there is a gap in the records for 1790-1796. In the rate book for 1771-1777 (ref. N3/7/2) there are listed under Long Brackland in the rate list for 1777 'Widow Mattock for House and Ground £5, Samuel Rutter for house and ground £10,

Benjamin King for house £7, John Cook for tenements £2' and then 'Thomas Watson junior for house £2'. This is the John Watson mentioned in the deeds of 1791. In the rate list for 1785 there is William Underwood 'for ground late Mattocks £2 10s, James Summers house & ground £10, Benjamin King House £7 Thomas Watson Tenement £2'. In the list for 1789, there are 'late James Summer House 10s, Benjamin King House £4 7s' and next 'Isaac Howlett Tenement £2'. Isaac Howlett is again mentioned in the deeds of 1791 as a tenant of the property (ref. N3/7/3). This appears to confirm that the deeds for Lomax's property in Long Brackland are those for this site.

Post Dissolution and Medieval Accounts

Within the borough collection there is one post medieval rental, pre 1547, for the borough. This was originally copied in 1616 from an account then held at the Exchequer and recopied in 1645. This account lists just the names of the owners of 19 properties in Long Brackland together with the names of the previous owner and the rent for each property. Seventeen properties are described as tenements or as a messuage that is a dwelling house there are two closes listed and a garden. The names of the former owners can be linked to the Sacrist's rental of 1526 also in the Borough Collection, but this earlier rental lists just 8 properties. Though the descriptions of the properties given in the 1526 are fuller they do not form a continuous sequence of adjoining properties. The rental includes two references to void pieces (Breen 2000). The properties in this sacrist rental are more fully described in an earlier rental of 1433-34 now at the British Library (BL Harl 58) and a photostat copy of this document is valuable at Bury (ref. 1055). In the earlier rental there are 10 properties listed under 'Longbrakelond'. Additions written superscript within the text of the rental offer a list of later owners of the properties linking the two rentals. As an example John Gamette owned the first property listed and above the description there is the additional text 'modo Ryder' that links this property to that of 'Robert Curray for a tenement late Thomas Ryder' in 1526.

There is a much fuller post dissolution rental or 'ministers' account' at the National Archives (ref. SC6/HenVIII/3434). Again the document does not give a full description of each property and simply lists the names and rentals and former owners. In this rental there were 25 properties in Long Brackland. The earliest post dissolution account 1538-1540 has been published (Redstone PSIA). In this account the abbey's properties in Bury are subdivided under the estates of the former officials of the abbey with only the occasional reference to individual streets such as in the chamberlain's account where there is the reference under 'dilapidations and allowances' to 'a parcel of a curtilage in the tenure of William Poley in Longbrakelond', though William Poley's tenement is listed under a separate heading for the 'office of the late hostillar, custodian of the shrine, Lez Undercrofts and the Precentor (Cantator).

Not all of the properties in Longbrack Land were the property of the abbey. The abbot Henry de Stanton (c. 1361) had granted certain properties to the Hospital of St Nicholas including: 'Walter le Redere' for two tofts, 'The toft of Margaret of Honington', 'Gervase Le Barker for a toft', 'Mr David of Tavistock for a capital messuage' and 'John Lawshall for a capital messuage' (Harper-Bill 1994).

There are considerable difficulties in piecing together these various references to properties in Long Brackland to recreate a picture of the late medieval street.

Conclusion

Peckham Street takes its name for the rope maker William Peckham who lived at 22 Peckham Street. His rope walk was on the northern side of the street. Most of the houses appear to have been built on the land that had been the property of the executors of 'Harrison' however there appears to be no deeds for these properties. The builder of the houses may have been Alfred Andrews who owned a house and business premises including a foundry in St John's Street, but he may have relinquished his interest in the development before the houses were built between 1883 and 1885. Number 40 Peckham Street appears to be an entirely separate development and possible a house occupied by the brewer William Diaper and later Eliza Cocksedge. It does not appear to have been a commercial property when first built.

Through identifying the owners of the properties Samuel Cooper and John Lomax, as given in Richard Payne's schedules to his 1833 map with deeds covering the period 1689 to 1832 it is possible to suggest a succession of owners, however these details do not match the names given in the rate books. The deed of 1692 may relate to this site but is not linked to other documents however the description of the two acre plot does described it as a garden and nursery. John Lomax was a gardener. It is possible that the garden area as shown on the various maps had been in use as a garden or nursery from before 1692.

There are considerable difficulties in piecing together these various references to properties in Long Brackland to recreate a picture of the late medieval street.

There appears to be no scope for further documentary research.

Anthony M Breen November 2010

References

Maps

Plate 1. Extract from the 1886 ordinance survey map of Bury

Plate 2. The Warren Map of Bury from 1791

1:1250 ordinance Survey Plan sheet number XLIV.7.6 published 1885(not illustrated)

Plate 3. 373/5 Enclosure Map of Bury St Edmunds 1816

Plate 4. T77/2 Tithe Map Bury St Edmunds Parishes of St James's and St Mary's 1845

Plate 5. 586/2 Richard Paynes 1833 Map of Bury.

E8/2/1(1-4) Schedule or Particulars of Richard Payne's 1833 survey

Rate Books St James's Bury St Edmunds

N3/7/2 1771-1777

N3/7/3 1785-1789

N3/7/4 1797-1803

N3/7/30 1871-1872

N3/7/32 1875-1876

N3/7/35 1881-1882

Deeds

1443/51 deeds 23 Peckham Street 1864-1879

HD 2114/1 Deeds Property in Long Brackland 1695-1832

EXY4/W1/168 Deed Property in Long Brackland 1692

Photostat

1055 Photostat Copy of the Sacrist Rental 1433-1434 (BL Harl 58)

Published Sources

Anthony Breen 'The Bury Rentals 1526 & 1547' Suffolk Family History Society 2000

Christopher Harper-Bill 'Charters of the Medieval Hospitals of Bury St Edmunds' Suffolk Records Society Suffolk Charters, Boydell Press, Woodbridge 1994

Lilian Redstone 'First Ministers' Account' of the Possessions of the abbey of St Edmund' Proceedings of the Suffolk Institute Volume XIII 1909

Trade Directories

Kelly's Directory of Suffolk 1875

Kelly's Post Office Directory of Suffolk 1879

Kelly's Directory of Norfolk and Suffolk 1883

William White's Directory of Suffolk 1885

Kelly's Directory of Suffolk 1885

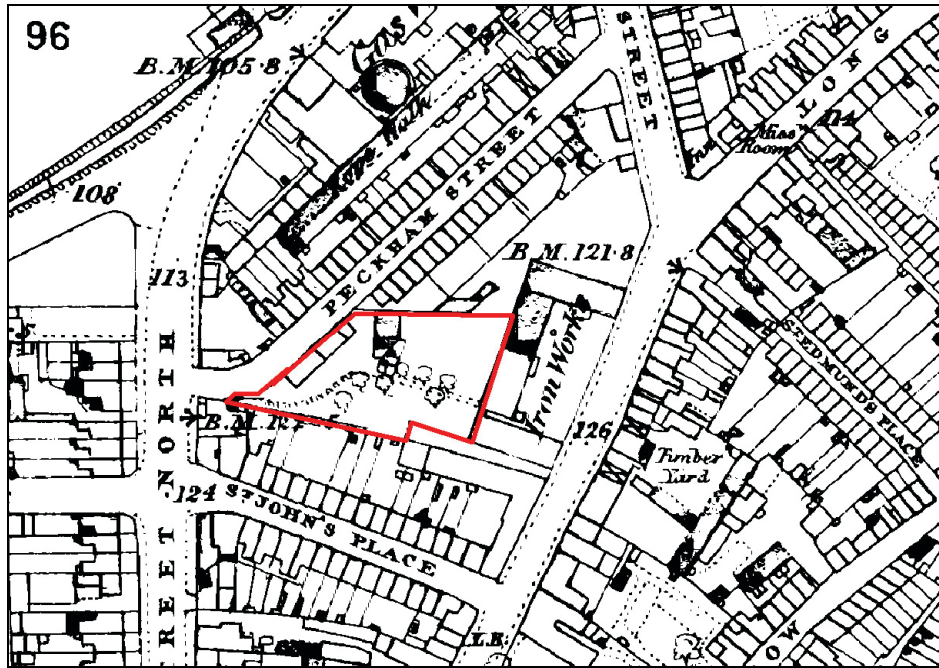


Plate.1 Extract from the 1886 ordinance survey map of Bury.



Plate 2. The Warren map of Bury from 1791



Plate 3. T77/2 Tithe Map Bury St Edmunds Parishes of St James's and St Mary's 1816



Plate 4. T77/2 Tithe Map Bury St Edmunds Parishes of St James's and St Mary's 1845



Plate 5. 586/2 Richard Payne's 1833 Map of Bury

Appendix 3

BSE 353 Context summary

Context no.	Feature/cut no.	Identifier	Description
0001		finds	Unstratified finds from trench 1
0002	0002	Ditch	Possible ditch trench 1
0003	0002	layer	fill of 0002
0004	0004	Ditch	Ditch cut south of 0006
0005	0004	pit fill	fill of 0004
0006	0006	pit cut	unexcavated pit
0007	0004	fill of 0006	fill of unexcavated pit
0008	0004	ditch fill	top fill of ditch
0009	0009	Pit	Probable pit cut by 0010
0010	0010	Pit	Probable pit cuts 0009
0011	0010	pit fill	Fill of 0010
0012	0012	Pit cut	Pit cut with possible stake hole
0013	0012	Pit fill	Fill of 0012
0014	0014	Pit cut	Pit cut like 0015 no relationship
0015	0015	Pit	Very distinctive yellow clay
0016	0016	Layer	Buried soil? Cut by 0014 and 0015
0017	0017	Pit cut	probable pit at east end of trench
0018	0017	Pit fill	Fill of 0017
0019	0019	Buried soil	green/brown soil towards the base of the trench.
0020	0020	Pit cut	small oval shape
0021	0020	Pt fill	Lime fill of small pit with animal bone showing through, possible burial?
0022	0022	Pit cut	Unexcavated feature oval shaped may be pit or posthole
0023	0023	Pit fill	layer of loam removed showing solid clay beneath, nothing further removed. Possible structural feature
0024	0024	Structure	Layer of degraded clunch and mortar, possibly structural
0025	0025	Structure	layer of dry clean pebbles, packed good surface
0026	0026	Pit	Pit, mostly removed in sondage. Oval shaped
0027	0026	Pit fill	Mostly solid clay but with some burnt surfaces and a layer of charcoal towards the base. This may turn out to be an oven
0028	0028	Surface	Layer of yellow boulder clay with odd chalk inclusions deposited as a surface. A little over 6m wide and retained at the eastern by mortar spread 0031
0029	0029	Hearth	Structured hearth with roof tile set on edge. Some reduced core most not.
0030	0030	Hearth	Rectangular shape possibly 0.7m wide and at least 1.2m long.
0031	0031	Foundation	Suggested footing c.0.4m wide with decayed chalk and mortar in the fill. Possibly foundation for sill beam?
0032	0032	Topsoil	dark Silt topsoil between 0.5 and 0.6m deep.
0033	0033	Layer	Layer of brown silt flecked with chalk and burnt clay
0034	0034	Spread	A small area of clay intrudes into the trench from the south side
0035	0026	Oven debris	Banded collapsed dome.
0036	0036	Spread	Small flints in a brown silt
0037	0037	layer	Dark buried topsoil post- medieval to modern

Appendix 4 BSE 353 Spotdate table

Context No	Ceramic Period	Fabric	Form	Sherd No	Estimated No Vessels	Weight (g)	State	Comments	Context date
0003	MED	BMCW	BODY	1	1	2	S		
0003	MED	BMCW	BODY	1	1	1			L12th-14th C
0007	MED/PMED	COLL	BODY	1	1	13		Slipped and glazed jug sherd	15th-16th C
0011	MED	BMCW	BODY	2	2	22	S		L12th-14th C
0013	MED	BSFW	BODY	2	2	34	SA	Includes knife-trimmed jar base	L12th-14th C
0013	MED	BMCW	BODY	2	2	62			
0018	MED	BMCW	BODY	1	1	8		Cp base	L12th-14th C
0019	MED	BSFW	BODY	1	1	7	S		
0019	MED	BMCW	BODY	1	1	2			
0019	MED	BMSW?	BODY	1	1	10	SA	Sandy with organic voids	
0019	MED	YARG	BODY	1	1	1			13th-15th C
0019	MED	HOLL?	BODY	1	1	5			

Appendix 5 Brief and Specification



The Archaeological Service

Economy, Skills and Environment
9-10 The Churchyard, Shire Hall
Bury St Edmunds
Suffolk
IP33 2AR

Brief and Specification for Archaeological Evaluation

40 PECKHAM STREET, BURY ST EDMUNDS, SUFFOLK (SE/10/0755)

The commissioning body should be aware that it may have Health & Safety responsibilities.

1. The nature of the development and archaeological requirements

- 1.1 Planning permission (SE/10/0755) for the erection of nine dwellings, plus a first floor extension, with associated works, on Land to the Side and Rear of 40 Peckham Street, Bury St Edmunds (TL 852 647) has been granted by St Edmundsbury Borough Council conditional upon an acceptable programme of archaeological work being carried out (Condition No. 2).
- 1.2 The Planning Authority has been advised by the Conservation Team of Suffolk County Council Archaeology Service that any consent should be conditional upon an agreed programme of work to record and advance understanding of the significance of any heritage asset before it is damaged or destroyed, in accordance with PPS5 *Planning for the Historic Environment* (Policy HE12.3).
- 1.3 The site (which measures c. 0.16ha. in area) is located on the south side of Peckham Street at c.35.00m OD. The soil is loam over chalk drift and chalk.
- 1.4 This application is within an area of high archaeological importance, defined in the Replacement St Edmundsbury Borough Local Plan 2016 (Appendix B). It is located within the historic settlement core recorded in the County Historic Environment Record (HER no. BSE 241), and is just inside the line of the medieval town wall, close to the site of a bastion or turret (BSE 070).

There is high potential for heritage assets of archaeological interest to be situated at this location. Any groundworks associated with the proposed development have the potential to cause significant damage or destruction to any underlying heritage assets of archaeological interest.

- 1.5 In order to understand the significance of the heritage assets, and to assess the impact of the proposed development on any heritage assets of archaeological interest, the following work will be required:
 - A desk-based assessment;
 - A linear trenched evaluation.
- 1.6 The results of this evaluation will enable the archaeological resource, both in quality and extent, to be accurately quantified. Decisions on the need for and scope of any mitigation measures, should there be any archaeological finds of significance, will be based upon the results of the evaluation and will be the subject of an additional specification.
- 1.7 All arrangements for the field evaluation of the site, the timing of the work, access to the site, the definition of the precise area of landholding and area for proposed development are to be defined and negotiated with the commissioning body.

- 1.8 Detailed standards, information and advice to supplement this brief are to be found in *Standards for Field Archaeology in the East of England*, East Anglian Archaeology Occasional Papers 14, 2003.
- 1.9 In accordance with the condition on the planning consent, and following the standards and guidance produced by the Institute for Archaeologists (IfA), a Written Scheme of Investigation (WSI) based upon this brief and specification must be produced by the developers, their agents or archaeological contractors. This must be submitted for scrutiny, and approval, by the Conservation Team of the Archaeological Service of Suffolk County Council (SCCAS/CT) at 9-10 The Churchyard, Shire Hall, Bury St Edmunds IP33 2AR; telephone/fax: 01284 352443. The WSI will provide the basis for measurable standards and will be used to establish whether the requirements of the planning condition will be adequately met. The WSI should be compiled with a knowledge of the Regional Research Framework (East Anglian Archaeology Occasional Paper 3, 1997, 'Research and Archaeology: A Framework for the Eastern Counties, 1. resource assessment'; Occasional Paper 8, 2000, 'Research and Archaeology: A Framework for the Eastern Counties, 2. research agenda and strategy'; and Revised Research Framework for the Eastern Region, 2008, available online at <http://www.eaareports.org.uk/>).
- 1.10 Before any archaeological site work can commence it is the responsibility of the developer to provide the archaeological contractor with either the contaminated land report for the site or a written statement that there is no contamination. The developer should be aware that investigative sampling to test for contamination is likely to have an impact on any archaeological deposit which exists; proposals for sampling should be discussed with the Conservation Team of the Archaeological Service of SCC (SCCAS/CT) before execution.
- 1.11 The responsibility for identifying any constraints on field-work, e.g. Scheduled Monument status, Listed Building status, public utilities or other services, tree preservation orders, SSSIs, wildlife sites &c., ecological considerations rests with the commissioning body and its archaeological contractor. The existence and content of the archaeological brief does not over-ride such constraints or imply that the target area is freely available.
- 1.12 Any changes to the specifications that the project archaeologist may wish to make after approval by this office should be communicated directly to SCCAS/CT and the client for approval.

2. Brief for the Archaeological Evaluation

- 2.1 Establish whether any archaeological deposit exists in the area, with particular regard to any which are of sufficient importance to merit preservation *in situ*.
- 2.2 Identify the date, approximate form and purpose of any archaeological deposit within the application area, together with its likely extent, localised depth and quality of preservation.
- 2.3 Evaluate the likely impact of past land uses, and the possible presence of masking colluvial/alluvial deposits.
- 2.4 Establish the potential for the survival of environmental evidence.
- 2.5 Provide sufficient information to construct an archaeological conservation strategy, dealing with preservation, the recording of archaeological deposits, working practices, timetables and orders of cost.
- 2.6 This project will be carried through in a manner broadly consistent with English Heritage's *Management of Archaeological Projects*, 1991 (MAP2), all stages will follow a process of assessment and justification before proceeding to the next phase of the project. Field evaluation is to be followed by the preparation of a full archive, and an assessment of

potential. Any further excavation required as mitigation is to be followed by the preparation of a full archive, and an assessment of potential, analysis and final report preparation may follow. Each stage will be the subject of a further brief and updated project design; this document covers only the evaluation stage.

- 2.7 The developer or his archaeologist will give SCCAS/CT (address as above) five working days notice of the commencement of ground works on the site, in order that the work of the archaeological contractor may be monitored.
- 2.8 If the approved evaluation design is not carried through in its entirety (particularly in the instance of trenching being incomplete) the evaluation report may be rejected. Alternatively the presence of an archaeological deposit may be presumed, and untested areas included on this basis when defining the final mitigation strategy.
- 2.9 An outline specification, which defines certain minimum criteria, is set out below.

3. Specification: Desk-Based Assessment

- 3.1 Collation and assessment of the County Historic Environment Record to identify known sites and to assess the potential of the application area.
- 3.2 Collation and assessment of all cartographic sources relevant to the site to identify historic landuse, the siting of old boundaries and any earlier buildings. Where possible copies should be included in the report.
- 3.3 Collation and assessment of historic documentation relevant to the site that would contribute to the archaeological investigation of the site.
- 3.4 Assess the historical significance of existing buildings on the site.
- 3.5 Examination of available geotechnical information to assess the condition and status of buried deposits and to identify local geological conditions. Relevant geotechnical data should be included as appendices to the report.
- 3.6 Ascertain whether there are other constraints on the site (e.g. SSSI, County Wildlife Site, AONB, etc).
- 3.7 A site visit to determine any constraints to archaeological survival.

4. Specification: Trenched Evaluation

- 4.1 Trial trenches are to be excavated to cover the area of new development, which is c.80.00m². These shall be positioned to sample all parts of the site where significant ground disturbance is proposed. Trenches are to be a minimum of 1.80m wide unless special circumstances can be demonstrated; this will result in c.44.00m of trenching at 1.80m in width.
- 4.2 If excavation is mechanised a toothless 'ditching bucket' at least 1.50m wide must be used. A scale plan showing the proposed locations of the trial trenches should be included in the WSI and the detailed trench design must be approved by SCCAS/CT before field work begins.
- 4.3 The topsoil may be mechanically removed using an appropriate machine with a back-acting arm and fitted with a toothless bucket, down to the interface layer between topsoil and subsoil or other visible archaeological surface. All machine excavation is to be under the direct control and supervision of an archaeologist. The topsoil should be examined for archaeological material.

- 4.4 The top of the first archaeological deposit may be cleared by machine, but must then be cleaned off by hand. There is a presumption that excavation of all archaeological deposits will be done by hand unless it can be shown there will not be a loss of evidence by using a machine. The decision as to the proper method of excavation will be made by the senior project archaeologist with regard to the nature of the deposit.
- 4.5 In all evaluation excavation there is a presumption of the need to cause the minimum disturbance to the site consistent with adequate evaluation; that significant archaeological features, e.g. solid or bonded structural remains, building slots or post-holes, should be preserved intact even if fills are sampled. For guidance:
- For linear features, 1.00m wide slots (min.) should be excavated across their width;
- For discrete features, such as pits, 50% of their fills should be sampled (in some instances 100% may be requested).
- 4.6 There must be sufficient excavation to give clear evidence for the period, depth and nature of any archaeological deposit. The depth and nature of colluvial or other masking deposits must be established across the site.
- 4.7 Archaeological contexts should, where possible, be sampled for palaeoenvironmental remains. Best practice should allow for sampling of interpretable and datable archaeological deposits and provision should be made for this. The contractor shall show what provision has been made for environmental assessment of the site and must provide details of the sampling strategies for retrieving artefacts, biological remains (for palaeoenvironmental and palaeoeconomic investigations), and samples of sediments and/or soils (for micromorphological and other pedological/sedimentological analyses. Advice on the appropriateness of the proposed strategies will be sought from Dr Helen Chappell, English Heritage Regional Adviser for Archaeological Science (East of England). A guide to sampling archaeological deposits (Murphy, P.L. and Wiltshire, P.E.J., 1994, *A guide to sampling archaeological deposits for environmental analysis*) is available for viewing from SCCAS.
- 4.8 Any natural subsoil surface revealed should be hand cleaned and examined for archaeological deposits and artefacts. Sample excavation of any archaeological features revealed may be necessary in order to gauge their date and character.
- 4.9 Metal detector searches must take place at all stages of the excavation by an experienced metal detector user.
- 4.10 All finds will be collected and processed (unless variations in this principle are agreed SCCAS/CT during the course of the evaluation).
- 4.11 Human remains must be left *in situ* except in those cases where damage or desecration are to be expected, or in the event that analysis of the remains is shown to be a requirement of satisfactory evaluation of the site. However, the excavator should be aware of, and comply with, the provisions of Section 25 of the Burial Act 1857.
- 4.12 Plans of any archaeological features on the site are to be drawn at 1:20 or 1:50, depending on the complexity of the data to be recorded. Sections should be drawn at 1:10 or 1:20 again depending on the complexity to be recorded. All levels should relate to Ordnance Datum. Any variations from this must be agreed with SCCAS/CT.
- 4.13 A photographic record of the work is to be made, consisting of both monochrome photographs and colour transparencies and/or high resolution digital images.
- 4.14 Topsoil, subsoil and archaeological deposit to be kept separate during excavation to allow sequential backfilling of excavations.

4.15 Trenches should not be backfilled without the approval of SCCAS/CT.

5. General Management

5.1 A timetable for all stages of the project must be agreed before the first stage of work commences, including monitoring by SCCAS/CT. The archaeological contractor will give not less than five days written notice of the commencement of the work so that arrangements for monitoring the project can be made.

5.2 The composition of the archaeology contractor staff must be detailed and agreed by this office, including any subcontractors/specialists. For the site director and other staff likely to have a major responsibility for the post-excavation processing of this evaluation there must also be a statement of their responsibilities or a CV for post-excavation work on other archaeological sites and publication record. Ceramic specialists, in particular, must have relevant experience from this region, including knowledge of local ceramic sequences.

5.3 It is the archaeological contractor's responsibility to ensure that adequate resources are available to fulfill the Brief.

5.4 A detailed risk assessment must be provided for this particular site.

5.5 No initial survey to detect public utility or other services has taken place. The responsibility for this rests with the archaeological contractor.

5.6 The Institute of Field Archaeologists' *Standard and Guidance for archaeological field evaluation* (revised 2001) should be used for additional guidance in the execution of the project and in drawing up the report.

6. Report Requirements

6.1 An archive of all records and finds must be prepared consistent with the principles of English Heritage's *Management of Archaeological Projects*, 1991 (particularly Appendix 3.1 and Appendix 4.1).

6.2 The report should reflect the aims of the WSI.

6.3 The objective account of the archaeological evidence must be clearly distinguished from its archaeological interpretation.

6.4 An opinion as to the necessity for further evaluation and its scope may be given. No further site work should be embarked upon until the primary fieldwork results are assessed and the need for further work is established.

6.5 Reports on specific areas of specialist study must include sufficient detail to permit assessment of potential for analysis, including tabulation of data by context, and must include non-technical summaries.

6.6 The Report must include a discussion and an assessment of the archaeological evidence, including an assessment of palaeoenvironmental remains recovered from palaeosols and cut features. Its conclusions must include a clear statement of the archaeological potential of the site, and the significance of that potential in the context of the Regional Research Framework (*East Anglian Archaeology*, Occasional Papers 3 & 8, 1997 and 2000).

6.7 The results of the surveys should be related to the relevant known archaeological information held in the County Historic Environment Record (HER).

- 6.8 A copy of the Specification should be included as an appendix to the report.
- 6.9 The project manager must consult the County HER Officer (Dr Colin Pendleton) to obtain an HER number for the work. This number will be unique for each project or site and must be clearly marked on any documentation relating to the work.
- 6.10 Finds must be appropriately conserved and stored in accordance with *UK Institute of Conservators Guidelines*.
- 6.11 Every effort must be made to get the agreement of the landowner/developer to the deposition of the full site archive, and transfer of title, with the intended archive repository before the fieldwork commences. If this is not achievable for all or parts of the finds archive then provision must be made for additional recording (e.g. photography, illustration, scientific analysis) as appropriate.
- 6.12 The project manager should consult the intended archive repository before the archive is prepared regarding the specific requirements for the archive deposition and curation, and regarding any specific cost implications of deposition.
- 6.13 If the County Store is the intended location of the archive, the project manager should consult the SCCAS Archive Guidelines 2010 and also the County Historic Environment Record Officer regarding the requirements for the deposition of the archive (conservation, ordering, organisation, labelling, marking and storage) of excavated material and the archive. A clear statement of the form, intended content, and standards of the archive is to be submitted for approval as an essential requirement of the WSI.
- 6.14 The WSI should state proposals for the deposition of the digital archive relating to this project with the Archaeology Data Service (ADS), and allowance should be made for costs incurred to ensure the proper deposition (<http://ads.ahds.ac.uk/project/policy.html>).
- 6.15 Where positive conclusions are drawn from a project (whether it be evaluation or excavation) a summary report, in the established format, suitable for inclusion in the annual 'Archaeology in Suffolk' section of the *Proceedings of the Suffolk Institute for Archaeology*, must be prepared. It should be included in the project report, or submitted to SCCAS/CT, by the end of the calendar year in which the evaluation work takes place, whichever is the sooner.
- 6.17 County HER sheets must be completed, as per the County HER manual, for all sites where archaeological finds and/or features are located.
- 6.18 An unbound copy of the evaluation report, clearly marked DRAFT, must be presented to SCCAS/CT for approval within six months of the completion of fieldwork unless other arrangements are negotiated with the project sponsor and SCCAS/CT.
- Following acceptance, two copies of the report should be submitted to SCCAS/CT together with a digital .pdf version.
- 6.19 Where appropriate, a digital vector trench plan should be included with the report, which must be compatible with MapInfo GIS software, for integration in the County HER. AutoCAD files should be also exported and saved into a format that can be imported into MapInfo (for example, as a Drawing Interchange File or .dxf) or already transferred to .TAB files.
- 6.20 At the start of work (immediately before fieldwork commences) an OASIS online record <http://ads.ahds.ac.uk/project/oasis/> must be initiated and key fields completed on Details, Location and Creators forms.
- 6.21 All parts of the OASIS online form must be completed for submission to the County HER. This should include an uploaded .pdf version of the entire report (a paper copy should also be included with the archive).

Specification by: Dr Abby Antrobus

Suffolk County Council
Archaeological Service Conservation Team
Environment and Transport Service Delivery
9-10 The Churchyard, Shire Hall
Bury St Edmunds
Suffolk IP33 2AR
Tel: 01284 352444
Email: abby.antrobus@suffolk.gov.uk

Date: 19 August 2010

Reference: BSE/2010_0755

This brief and specification remains valid for six months from the above date. If work is not carried out in full within that time this document will lapse; the authority should be notified and a revised brief and specification may be issued.

If the work defined by this brief forms a part of a programme of archaeological work required by a Planning Condition, the results must be considered by the Conservation Team of the Archaeological Service of Suffolk County Council, who have the responsibility for advising the appropriate Planning Authority.

