

ARCHAEOLOGICAL EVALUATION REPORT

Former Cattle Market Site Bury St Edmunds BSE 252

A REPORT ON THE ARCHAEOLOGICAL EVALUATION, 2005
(Planning app. no. SE/04/2197)



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Acknowledgements

This project was funded by Centros Miller Ltd and was monitored by R.D. Carr (Suffolk County Council Archaeological Service, Conservation Division).

The excavation was carried out by a number of archaeological project assistants, (John Duffy James Rolfe and Anna West,) all from Suffolk County Council Archaeological Service, Field Team. Finds processing was carried out by Richenda Goffin and Gemma Adams.

Summary

An evaluation of the site of the former cattle market demonstrated that the existing car parks have been universally built up over earlier deposits and there is little evidence of truncation of the archaeological levels. The earliest features were a large rubbish pit, which produced 13th-15th century pottery and a possibly medieval well, but beside this there was little indication of occupation activity prior to the demolition of the town defences (15m to the east and outside the development area) at the time of the dissolution. Evidence of late 17th-early 18th centuries buildings were found fronting St Andrew's Street probably the remains of those shown on Thomas Warren's map of 1741. Away from the street frontage the trenching suggested that much of the development area was pastoral until the transfer of the cattle market from the centre of town.

A paved surface of well-laid yellow bricks over a strata of rammed chalk topped with a gravel dressing; evidence of the original cattle market surface were found the extent of these coincides with the area of the animal pens as shown on the 1880 OS maps.

SMR information

Planning application no.	SE/04/2197/P
Date of fieldwork:	August-October 2005
Grid Reference:	TL 8507 6429
Funding body:	Centros Miller Ltd
OASIS reference	Suffolk c1-9172

1. Introduction

An archaeological evaluation and monitoring was undertaken at the site of the former Cattle Market, off St Andrew's Street South, Bury St Edmunds to determine the archaeological implications of the proposed redevelopment of the area (Figure 1). The evaluation undertaken in accordance with the Brief and Specification written by R.D. Carr of Suffolk County Council Archaeological Service (SCCAS) Conservation Team dated 9th June 2005 and was a condition of the consent on planning application (SE/04/2197/P). It included the excavation of trial trenches and the monitoring of soil investigation holes, excavated for engineering assessment. The evaluation was commissioned by consultants PCDM Ltd on behalf of the developers Centros Miller Ltd who funded the project, and was completed between August-October 2005 by members SCCAS Field Project Team.

The site is centred at TL 8507 6429 within the Area of Archaeological Importance as defined in the Local Plan. The site is outside the town's defences; the line of the medieval town ditch runs along St Andrew's Street, but these were thought to have been dismantled and infilled soon after the dissolution of the Abbey to allow the town to expand. By the time the earliest known map of the town was drawn in 1741, St Andrews Street was already well established with tenements built up along both sides of the road. It is possible that an extra mural road linking the western town gates (Westgate and Risbygate) was in existence from the medieval period. From the 16th century the areas to the west of St Andrews Street, to the south of the development area are known to have contained industrial areas and evidence of lime kilns, chalk workings and wool combing have been found (BSE 077 and 095). Bronze-Age pottery sealed within an ancient buried soil horizon has been found on neighbouring sites (BSE 181) and is the earliest evidence of occupation within the area of the town. The high chalk topography of the site is typical of Bronze-Age settlement.

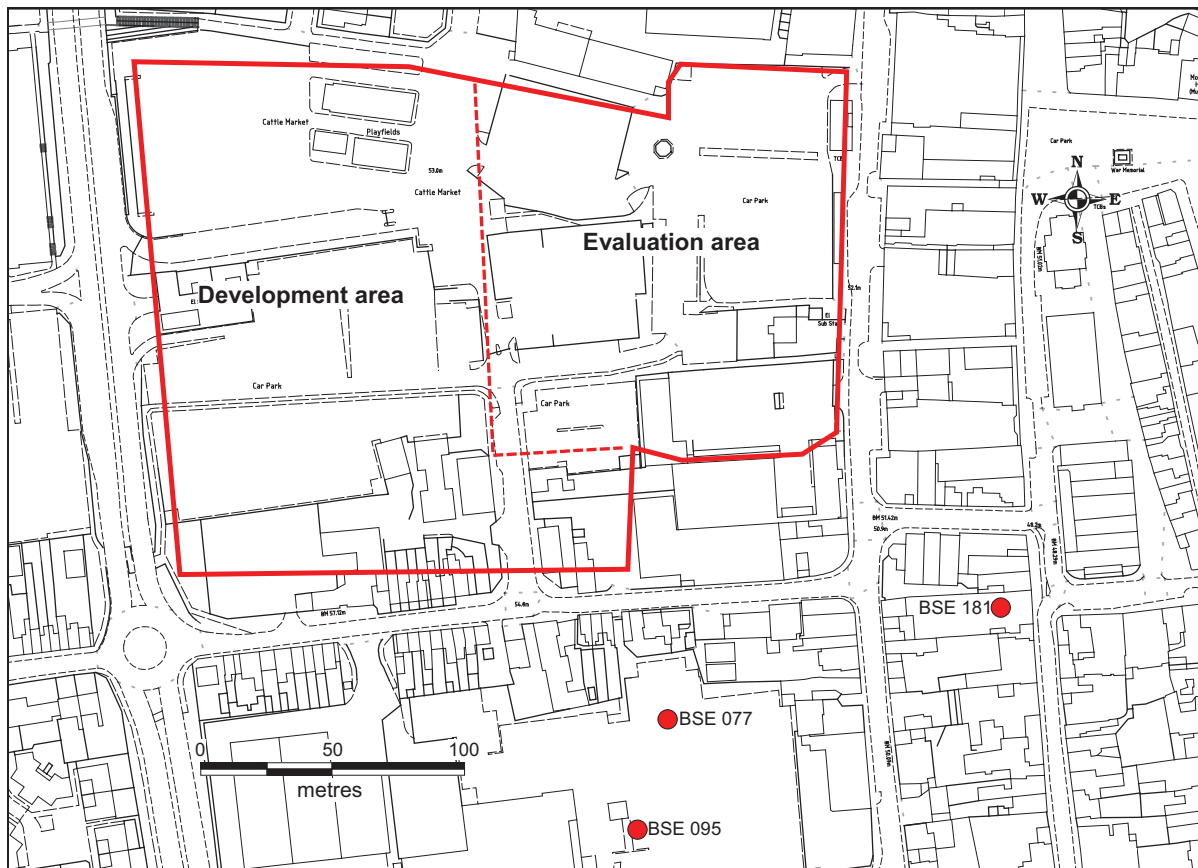


Figure 1. Site location plan

The specification required both a documentary study and sampling by trial trench to complete the evaluation. The documentary was to be completed in advance of the field-work in order to inform and target the trenching plan. Trial trenching was required only over the eastern half of the development area where substantial ground disturbance is to occur, this has been outlined in Figure 1 of the Brief and Specification (Appendix 2).

2. Historical Background by A.M. Breen

A documentary search was completed in advance of the fieldwork, below is a summary of the findings and the full documentary report is included in Appendix 1. Centros Miller (Bury St Edmunds) Ltd undertook a progression of the historic maps of this area and a general discussion of the archaeological potential of this site as part of an environmental statement (Chapter 10 “Cultural Heritage and Archaeology”). This material has not been revisited in this report.

The earliest documentary reference to the line of St Andrew’s Street appears in the deed of 1403, though it is quite possible that the lane existed before that date. The earliest reference to the street by name is in the accounts of 1542 and 1547 and these refer to a former barn and part of a tannery business, although the use of this site as a tannery seems to be doubtful. This property passed to the Guildhall Feoffment Trust in 1557, who retained an interest until 1934. Using the trust papers it is possible to obtain an accurate description of the area, from the lease, in 1657. This part of the site was still a barn surrounded by other barns, orchards and gardens. The lease stipulates the preservation of various fruits, apples, pears, wardenes and plums. At the same time there are further references to St Andrews Street as being part of the backside of various properties in the town. These properties breached the town walls and once the town ditch had been filled in, additional pieces of land were added to their curtilages.

In 1823 part of Brown’s Close was sold for the construction of the houses along Prospect Row. The reference in the deed of 1796 to access to a “half part of a well” may suggest some secondary structures within the close. It may also suggest that there were no galleried chalk mines within the area, though documentary sources for chalk mining are very limited and this possibility cannot be excluded.

In 1827 the then ‘Corporation of Bury’ took the controversial decision to move the livestock market from inside the town and acquired the site in St Andrews Street for this purpose.

The overall impression is that this is not a significant area of medieval or post medieval activity. The significance of the site lies with its later use as a livestock market. Livestock markets have disappeared entirely from East Anglia and most of Britain though they were a significant factor in the formation of our towns and cities.

3. Methodology

The trial trenches were excavated by a back-acting wheeled digger fitted with a 1.8m toothless bucket. The trenching sampled those areas that will be affected by the proposed development, the western half of the development area was not sampled as this intended for car parking and no significant ground disturbance will occur. The trenching scheme was designed to sample all areas of the site and in particular the frontage along St Andrew’s Street, which had been identified as the area of greatest archaeological potential. The area of trenching was 3% of the specified area and 3.8% of the site alongside St Andrew’s Street; this variation from the brief and specification (appendix 2) was undertaken after consultation and with the agreement of conservation officer Mr R.D Carr. Trenches 2 and 3 (Figure 2) could not be completed as the restriction of the use of a breaker meant that the thick concrete, associated with cattle market auction pens, could not be penetrated. This shortfall may have to be addressed during the further phase of work.

The machine, working under constant archaeological supervision, stripped to the top of the archaeological levels. Any possible archaeological features were sampled by hand excavated section to at least the minimum requirements of the specification. Solid or bonded structural remains were recorded and left intact. Plans and sections were recorded at 1:20. Levels, digital and film photographs were routinely taken and the positions of the trenches were plotted against the national grid using a Total Station Theodolite.

The *starter pit* and *deep trench* test holes were excavated under the guidance of the archaeologist, stopping at the archaeological levels to allow for the recording of the any deposits as above.

All pre-modern finds were retained for analysis. Site data has been input onto an MS Access database, the finds and site records have been archived in the small and main stores of Suffolk County Council Archaeological Service at Bury St Edmunds and with the County Sites and Monuments Record under the parish code BSE 252 and a copy of the report lodged with the OASIS on-line database (ref suffolk c1 9172).



Figure 2. Trench plan

4. Results

Eleven trial trenches were excavated and a further five testholes monitored, the positions of the trial trenches are shown in Figure 2 and the findings described by trench below.

4.1 Archaeological Trench 1

Trench 1 ran E-W, close to the northern edge of the site and behind the St Andrew's Street frontage. Immediately below the tarmac was a surface of well-laid yellow bricks 0113, which extended over the entire length of the trench. The bricks (9"x 4¾"x2") were machine made in a fine white firing clay and were stamped Woolpit on the reverse face. The top surface of bricks were worn or the laminated where the overlying tarmac had adhered to them. Set within the bricks had been cast iron stanchions these were cut off at 30cms and reburied in pits dug through the brickwork, probably in their original settings. The bricks overlay strata of crushed chalk topped with gravel, and muddy occupation deposits these were interpreted as a sequence of yard surfaces. The top of the subsoil was exposed c.75cm below the car park surface and at this level a number of cut features could be observed.

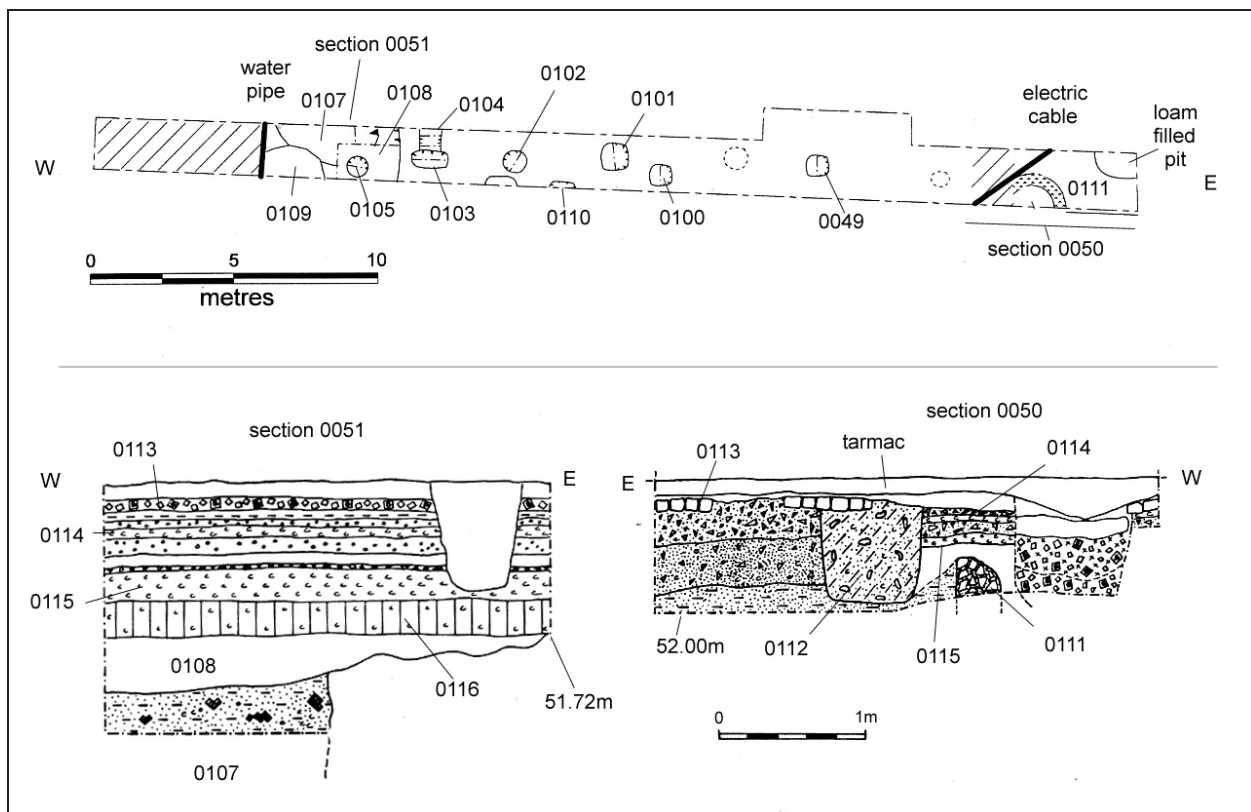


Figure 3. Trench 1 plan and sections

Well 0111

At the east end of the trench was recorded a well shaft lined with mortar flint **0111** (Figure 3). The well was circular in plan with a projected internal diameter of 1.2m and the lining was 40cm thick. Other than flint there was no other form of building material used in its construction and the mortar, a pale brown sandy lime mortar, was consistent with the mortar types seen in Medieval or early post-medieval structures elsewhere in the town. The lining projected above the level of the subsoil and was cut through the worked loam soils at the base of the soil profile but was sealed beneath the layers of chalk and gravel. The ground over the well had suffered from a recent collapse and chalk from the overlying layers and yellow bricks from surface, 0113, were found within the shaft. Once identified the well was not excavated beyond the top 20cms.

Pits/postholes

Seven postholes and two larger pits (Figure 4) were sampled by hand excavation and recorded; each is described below.

0049, 0100 and **0110** were thought to be part of the same structure as they were all similar in character and size, and all filled with a fine chalk rubble. 0110 was recorded in the trench side and was cut through the chalk layers 0114 and 0115 from just below the brick surface 0113.

0101 was a sub square pit 70cm across and 40cm deep; it was sealed beneath the chalk layer 0115 and was not revealed until loam layer 0116 had been removed. It was infilled with a single homogenous fill of fine silt loam flecked with charcoal and chalk, which was indistinguishable from layer 0016. It was cut into a natural pocket of orange silt and stopped when it the underlying chalk was encountered.

0102 was a pit similar to 0101 it measured 50cm across and was 20cm deep sealed by the chalk and infilled with soil similar to 0116. The depth of the feature also seemed to be determined by the start of the chalk.

0103 was a rectangular pit/posthole filled with silt loam flecked with charcoal the upper fill containing early post-medieval tile and brick similar to and probably associated with 0105. Shallow slot **0104**, extended from 0103, its straight edged shape and flat bottomed profile suggests that it was probably part of a structure along with posthole 0103.

Posthole **0105** was cut into the top of layer 0108, which sealed the large pits 0106 and 0107. It measured 50cm in diameter and 20cm deep and the upper fill included mortar and, brick and tile fragments similar to 0104.

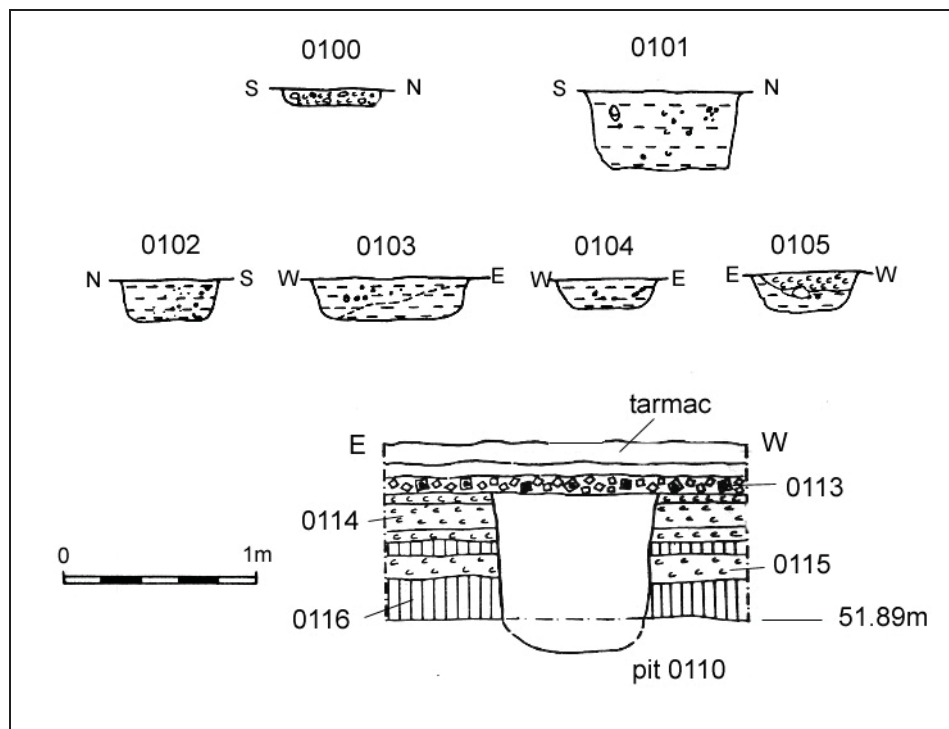


Figure 4. Trench 1 posthole sections

At the western end of the trench were large pits, **0107** and **0109**. These pits were 3m and 2m across, the fills were sampled but the pits were not fully excavated. Pit 0107 was sealed beneath a layer of chalky clay **0108**, which had slumped into the top of the underlying pit as its contents

decayed. The western end of the trench remained un-machined because the presence of a cast iron pipe and concrete made further excavation impractical, so the extent of 0108 in this direction is unknown. 0107 was a deep vertical sided pit; it was filled with a brown sandy silt flecked with chalk and with large patches of charcoal, metal-working waste and deposits of fired clay were also recovered. There was no indication that the burning had occurred *in situ* within pit **0107**, and the contents were interpreted as disposal of industrial waste. Pottery collected from the pit suggested a 13th-14th century date for the infilling.

Pit **0109** was a deep straight sided cut filled with a homogenous a clean brown silt; it was cut from below chalk 0115 and later than 0107. The top was sampled but produced no datable finds.

4.2 Archaeological Trench 2

Archaeological trench 2 was intended to sample a part of the development area where recent buildings (the covered auction pens associated with the cattle market) are known to have stood to assess the impact of these on possible archaeological layers. Below the car park surface however a thick layer of concrete was encountered which due to the prohibition on the use of mechanical “breakers” it was impossible to break through. Testholes in several places within the compounded area (2-2) were opened and all revealed underlying concrete. The extent of the concrete reflected the area of the footprint of the covered cattle pens that had until recently stood on the site.

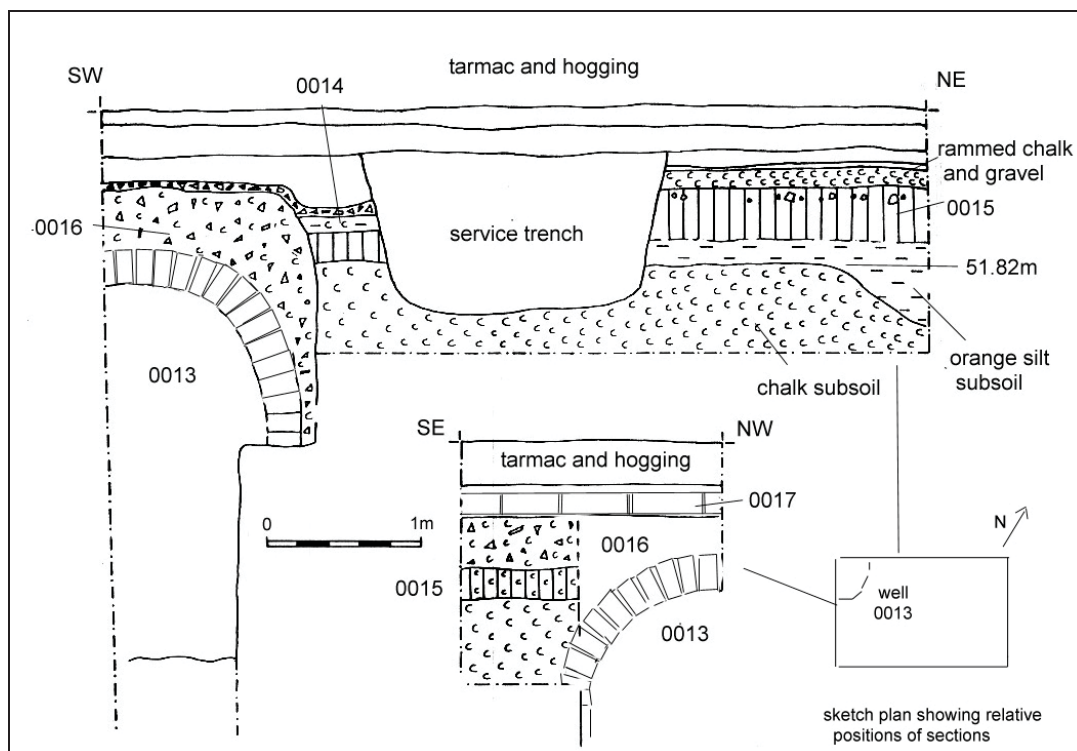


Figure 5. DT 202/Trench 2 sections

The area was sampled by engineering “*deep trench*” DT202 (Figure 2) on the intended line of archaeological trench 2. The excavation of this was observed and the sections recorded. The banded layers of gravel and crushed chalk, which were seen in trench 1, continued into this area. The chalk, **0014**, was laid over a horizon of loam, **0015**, into the upper part of which was trodden a rubble of crushed brick and coke suggesting that this had been until relatively recently (the beginning of the 19th century) the ground surface. The base of this loam soil horizon, although well sorted, was free of any material. A capped well, **0013** was recorded in the NW corner of the trench. The shaft was unlined, relying on the integrity of the chalk to remain open. The bottom of

the well had partly infilled with mortar and brick rubble to a depth 4.30m from the car park surface and the total depth of the well was 5-6m. The shaft had been capped with a brick dome, which sprang from a ledge cut into the natural chalk. The bricks were without frogs and measured 9"x 4½"x 2¾" suggesting a late 18th or early 19th century date. The construction date of the well is unknown and although unlikely it is conceivable that it is medieval. However, the construction pit for the cap, **0016** was cut through chalk layer, 0014 which suggests that the well may not have been capped until the middle of the 19th century and may have still been in use during the early life of the cattle market; possibly for watering livestock.

A surface of well laid yellow bricks, **0017** was recorded at the west end of DT 202, immediately below the concrete, sealing chalk layer 0014 and well cap pit 0016. The bricks were stamped Woolpit, and the same as those used to create the surface 0113 in trench 1. The eastern side of the brick surface was defined by concrete edging.

4.3 Archaeological Trench 3

Trench 3 was positioned on the western edge of the development, where the ground levels will be truncated for a proposed ramp. The services plan showed that the location of the scheduled trench was at a complicated junction of services so, after consultation with the curatorial officer, the trench was relocated into the adjacent area. The area sampled by the relocated Trench 3 was laid with thick concrete; three 1m² testhole (Figure 6), were excavated as a linear trench proved impossible to dig.

Testhole A

Testholes A and B were sited so that their eastern face ran along the edge of a former cattle market building, revealing what remained of the structure and its impact on the ground levels. There were two layers of concrete beneath the tarmac; recent surfaces associated with the floor levels of demolished cattle market buildings. Beneath the concrete was a layer of yellow floor bricks, **0018**, these were retained by a curb or low wall made up of red bricks laid on edge, **0019**. These bricks dated to the 19th century but had been reset in a more recent shallow footing filled with a dry-lean concrete mix. The footing cut a layer of crushed chalk, which had been laid down to create a surface. Below the brick surface 0018, was a possible trench, evidence of an earlier footing. This had been grubbed out and infilled with brick rubble; the bricks were probably 18/19th century and the mortar was lime based. At the base of the soil profile, and overlaying the chalk, was a deep deposit of completely worked topsoil 0021.

Testhole B

The layers and building evidence that was observed in *testhole A* continued into *B*. In addition posthole 0024, which contained the stump of an oak post, was recorded sealed beneath the brick surface.

Testhole C

Testhole C was situated to the east of A and B, west of and out-side the footprint of the supposed former building. The section showed a slightly sloping surface of crushed chalk laid in two thin deposits, **0026**, over a deep buried topsoil deposit similar to that seen in testholes A and B. The chalk was cut by a posthole **0028**, containing a softwood post; a modern feature, probably a telegraph pole.

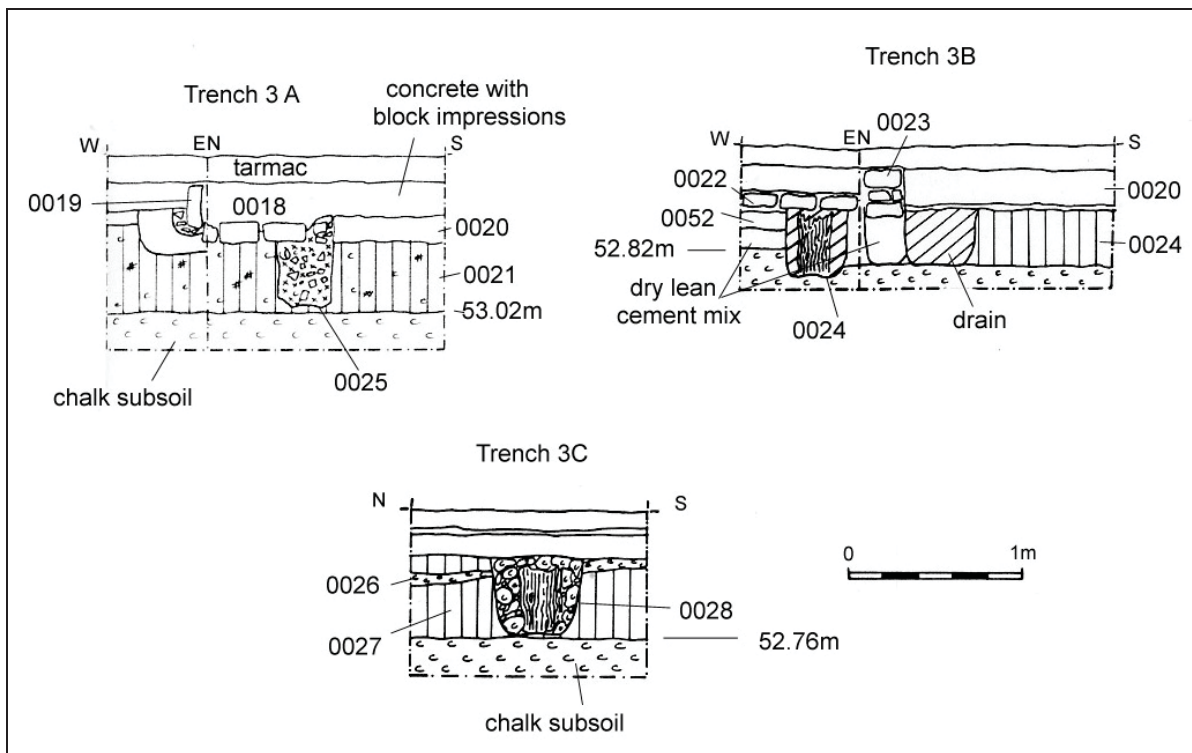


Figure 6. Trench 3 sections

4.4 Archaeological Trench 4

Two early post-medieval walls were recorded running across trench 4; one **0011** across the northern end and the other **0012** across mid trench (Figure 7). At the southern end of the trench the remains of 20th century building were recorded these were substantial and built within deep modern-type footings.

Wall **0011** was at least 80cm wide and survived to a height of about 30cm. It was well constructed in mortar, flint and brick, the bricks were handmade in a red-purple firing, sandy textured clay, measured 9" x 2½" x 4¼" and possibly dated to the 17th century. They were laid in a single course as headers. The mortar was a pale course sandy lime mortar consistent with an early post-medieval date suggesting the bricks had not been re-used. The wall was built off the clean chalk sub-soil; butted against it was the well worked topsoil seen in other trenches and there was no evidence of a cut for a footing trench.

Wall **0012** was built in brick and flint rubble it was 30cm wide and raised on a shallow footing 70cm wide. The bricks measured 9" x 2½" x 4¼" and were in an orange sandy fabric with grog and iron inclusions, the bricks have shallow frogs. The bricks suggest an early 19th century date for the wall.

Both the walls were truncated by the car park surface, with the sub-base of the tarmac being laid directly onto the tops of the walls.

The modern building at the southern end of the trench cut through a surface of moulded *stable blocks*, **0030**, these had been relaid over a large deep pit, **0032**. The northern edge of the pit was defined but the southern extent is unknown, the flat bottomed and straight sided profile could imply that this a pit of a grubbed out cellar, but no structure remained. Fragments of roofing slate and other recent building materials suggest that the pit was infilled during the late 19th or 20th century.

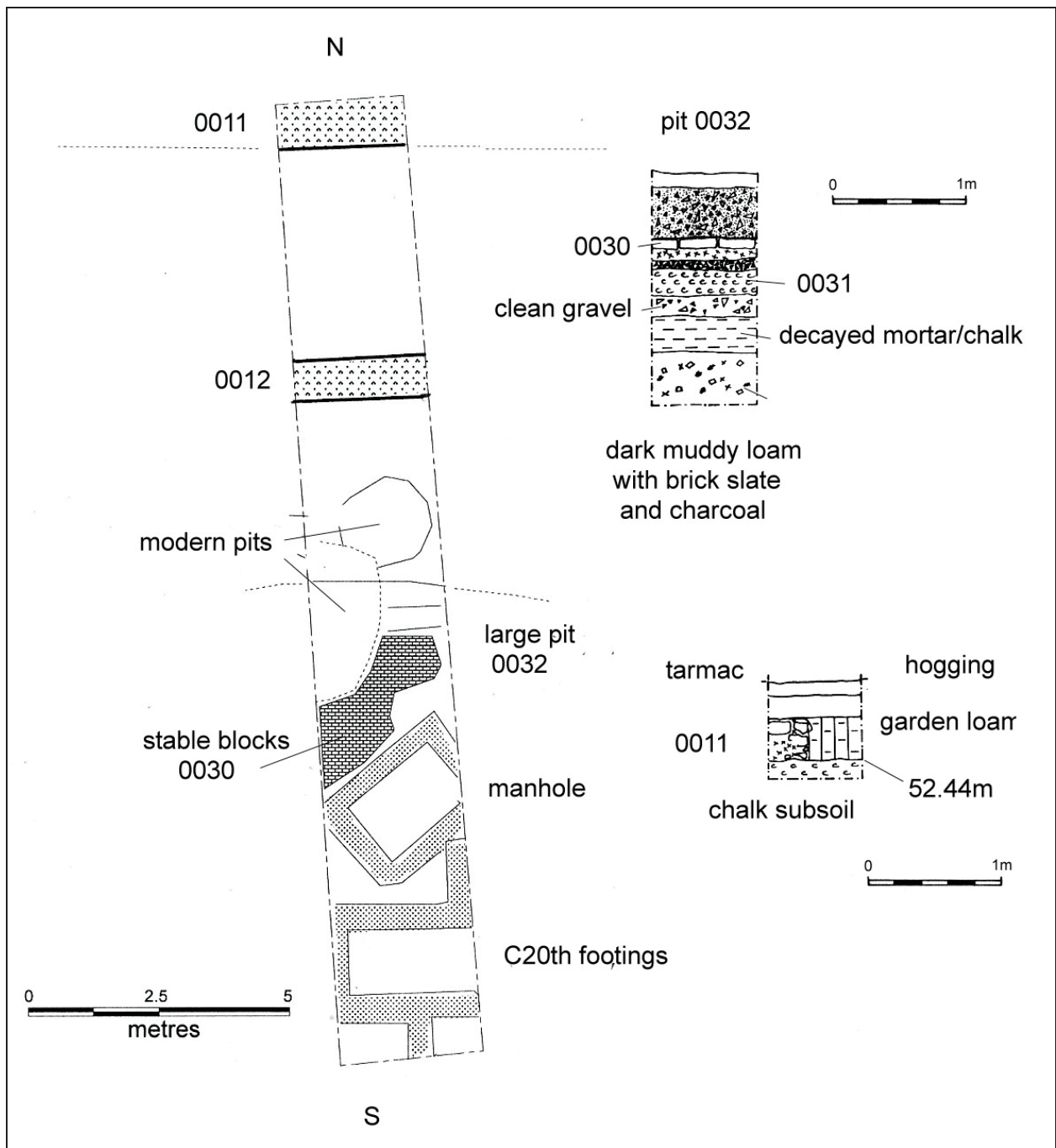


Figure 7. Trench 4 plans and sections

4.5 Archaeological Trench 5

There was a thick layer of brick rubble, 0029, immediately below the tarmac in Trench 5 (Figure 8). The rubble was comprised of machine made white and red bricks dating to the 19th century. Beneath the rubble was a thin layer of rammed chalk 0034, which lay in a narrow strip 1.1m wide at the north end of the trench. Below the chalk was a deep soil layer of completely re-worked loam, 0033, this was flecked with chalk, charcoal and fragments of daub but produced no artefactual material. At the base of the soil profile was a clean mid brown sandy loam, possibly the base of the original topsoil. At mid trench was a broad, shallow, circular pit, 0008. It was 2.8m across and cut into the chalk subsoil by 30cm and was sealed beneath 0033. It was infilled with bands of pale yellow/green silty clay and decayed chalk; all of the available pit was excavated but produced no datable finds

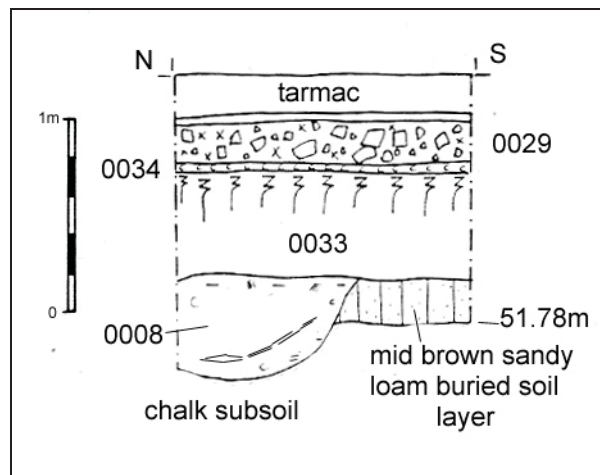


Figure 8. Trench 5 section

4.6 Archaeological Trench 6

Trench 6 ran close, and parallel to the St Andrew Street frontage. At mid trench there was evidence of a building, which consisted of three equal length and parallel wall stubs 0003, 0006 and 0007 (Figure 9). The walls were 4m long, this appeared to be their full length although there was no evidence of a return wall running at right angles to them. There were two distinct constructions in different materials that demonstrated two phases of build.

Wall **0003** represented the earliest phase of build; it ran along the east edge of the trench so that the face was partly truncated by the machine and it was recorded in longitudinal section. It was a rubble construction, built of flint and brick bonded in a pale brown sandy lime mortar. The bricks were hand-made in yellow and red firings clays and measured $8\frac{3}{4}'' \times 2\frac{1}{4}''$ and dated to C17th. The wall was sealed beneath a floor surface of terracotta tiles, **0002**, that extended to and were associated with a later wall **0007**. The tiles were laid on a bed of mortar and were recorded over an area of 3.6m. The wall 0007 paralleled 0003 and the tile surface 0002 butted against it. The wall was laid as a double row of stretchers and was presumably the bottom row of a brick wall laid in English bond. The bricks were plain and measured $8\frac{3}{4}'' \times 4\frac{1}{4}'' \times 2\frac{1}{4}''$ and bonded in a lime mortar. **0006** paralleled **0007** and was similarly built but survived to three courses, all of the walls were the same length suggesting where the position of the north and south walls may have been but there was no physical evidence of these. The space between 0006 and 0007 was filled with loam.

At the southern end of the trench, were the remains of a wall running east-west across the trench, **0005**. The wall consisted of a large cut limestone block set on two courses of brick with a damp course of slate between the two. There was evidence that the block was set at the junction of two walls and that the building continued as lines of rubble both south and east of the limestone block. There was no indication that this was part of the same structure, represented by walls 0003, 0006 and 0007, but a deposit of building rubble spanned the area between them. All of the building evidence was cut into a buried loam, 0004 and the existence of sandy silt at the base of the soil profile, which represented either a buried ancient soil horizon or glacial till suggested that the complete soil profile was intact.

At the northern end of the trench were the remains of a brick built structure, this was raised off a concrete footing and relatively recent.

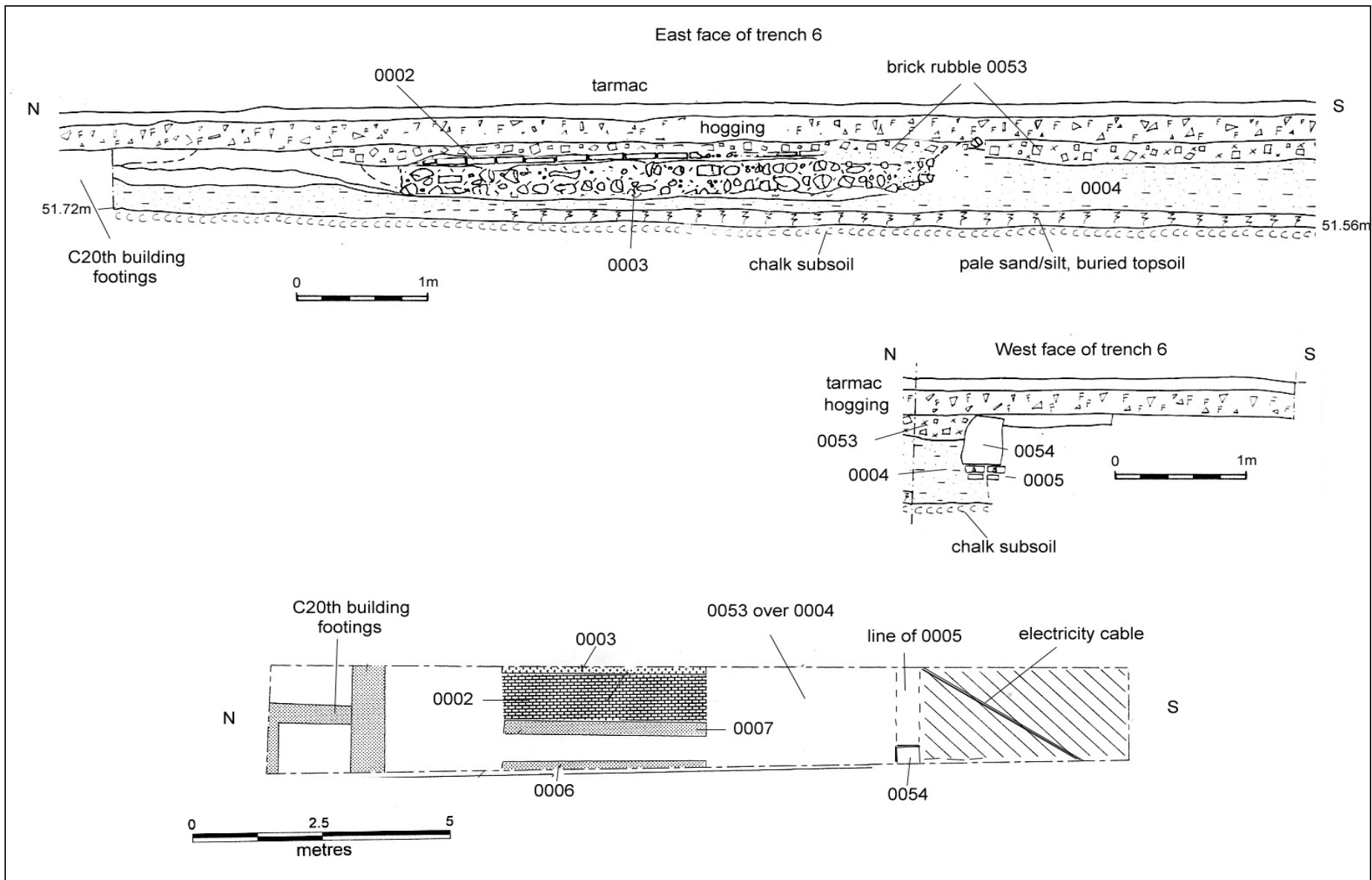


Figure 9. Trench 6 plan and sections

4.7 Archaeological Trench 7

No archaeological features were observed in trench 7. The trench sides demonstrated that the present ground level was raised on a deep layer of demolition rubble overlying the original ground surface (Figure 10). The demolition layer comprised a dense brick rubble 40cm deep. The bricks were mainly handmade (9"x 4¼"x 2½") bonded with a lime mortar but included 20th century LBC flettons. The rubble overlies a re-worked garden loam, which included recent domestic debris. This suggested that this deposit, although possibly from a building constructed in the 17th century, it had not been demolished until the 20th century. The depth of buried loam/topsoil at the base of the soil profile suggests that although the top had been worked no truncation of the ground level had occurred, and the 17th century building that had produced the rubble 0055 had not been at this location.

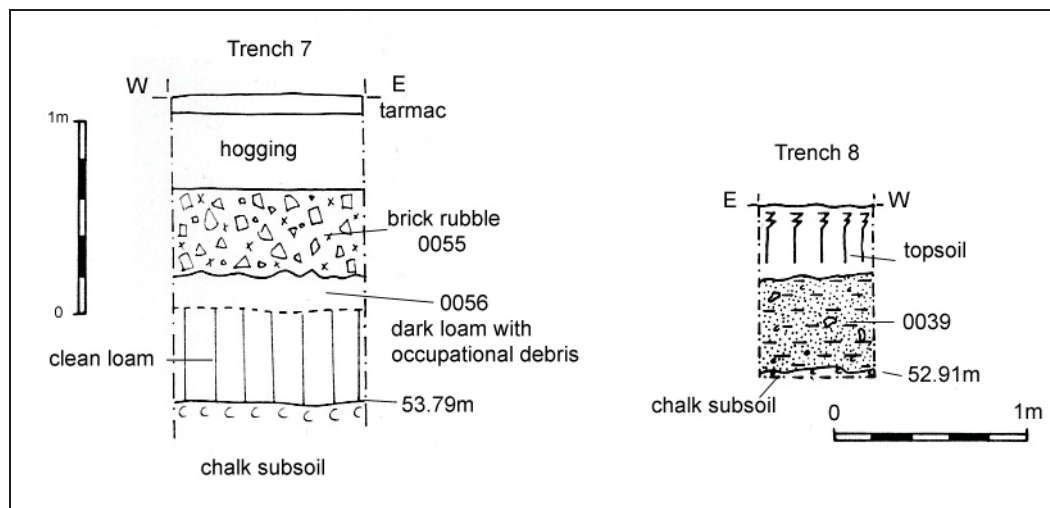


Figure 10. Trench 7 and 8 sections

4.8 Archaeological Trench 8

The former plot occupied by No.59 St Andrew St. was sampled by a larger open area test-pit in what was the rear garden, and a machine cut sondage alongside the street frontage. The test-pit exposed the surface of the natural chalk, 90cm below the present surface, over an area of 50sqm. There were no archaeological features in this area and the overlying soil profile featured a disturbed brown chalky silt beneath the topsoil. Both soils were 'clean' and archaeologically sterile.

In the testhole close to the street frontage a narrow rubble wall, **0035**, that ran N-S paralleling St Andrews St was recorded (Figure 11). It was constructed of mortared flint and brick rubble bonded with a hard, sandy textured lime mortar. The bricks within the wall were handmade possibly dating to the 18th century. The wall was shallow set, the base just cutting into the top of the original buried topsoil layer **0039**; a clean clay silt similar to that seen at the base of the soil profile in the testhole in the rear garden. Built up against the wall was a muddy silt layer, with crushed roof tile and degraded chalk and clay, possibly material from the demolition of clay lump building. This was sealed beneath a thin layer of chalk, which maybe a surface and an indication of the ground surface associated with wall 0035.

Only a short length of wall 0035 remained as it was truncated by later well **0036**. The well was capped with a brick dome built of 18th century bricks although these were re-used and bonded with a cement based mortar. The brick dome extended into the shaft to form part of the lining but the treatment of the shaft at depth was unseen. It was filled with modern mid C20th rubbish.

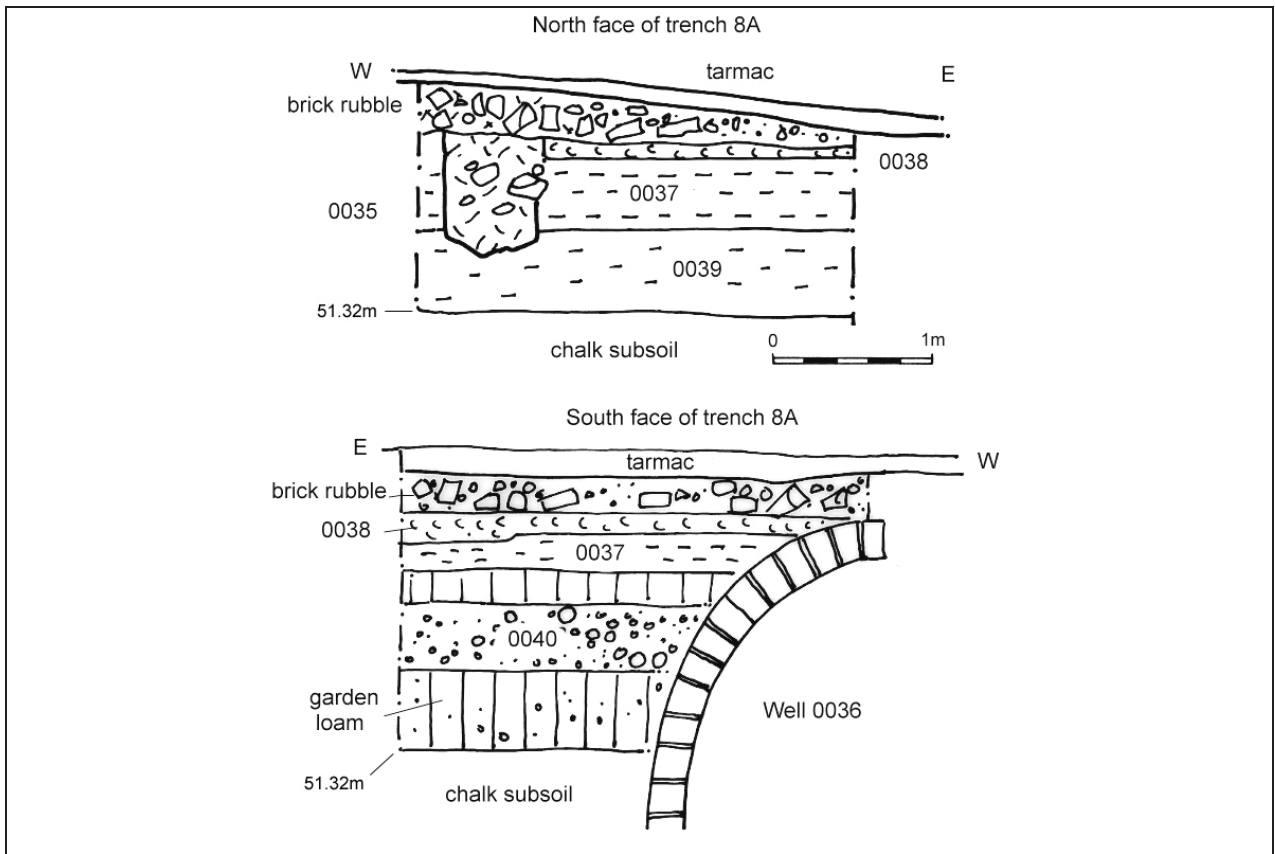


Figure 11. Trench 8A sections

4.9 Archaeological Trench 9

A wide brick wall, **0041** built in two phases during the 19th and 20th century was recorded at the western end of trench 9 (Figure 12).

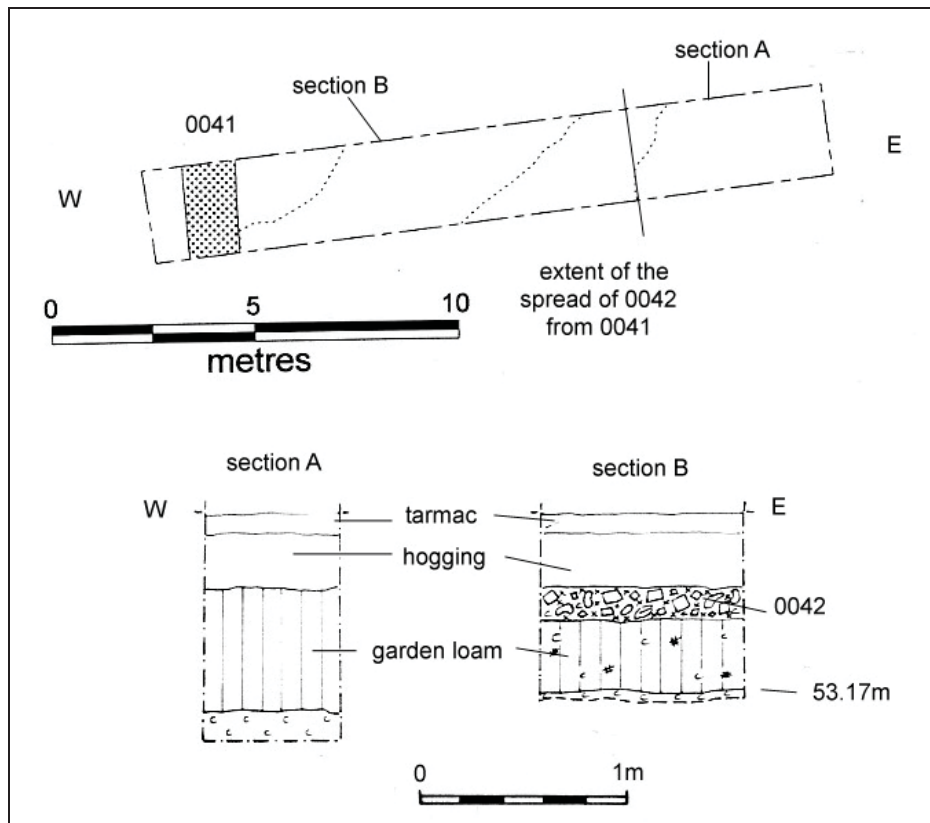


Figure 12. Trench 9 plan and sections

The wall was part of the rear of the terrace of buildings that once fronted Prospect Row. A thick layer of brick rubble from the demolition of these buildings was recorded extending over an 11m length of the trench. The rubble was immediately below the car park formation layers and overlay the loam of the former rear gardens of these properties. The chalky till of the subsoil was exposed 90-100cm below the tarmac surface. There was no indication of the soil truncation and the absence of archaeological features and artefactual material demonstrates no earlier occupation in this area.

4.10 Archaeological Trench 10

A narrow mortared flint wall, **0043** ran across the west end of trench 10, it was built within a shallow footing trench that was entirely within the topsoil (Figure 13). A 19th century brick wall was built off **0043** and faced the eastern elevation. The walls were part of the properties fronting Prospect Row and a continuation of those recorded in Trench 9. The walls bounded a rammed chalk surface in the north west corner of the trench separating it from a post Victorian deposit of black silt and domestic debris. To the west of the wall a spread of brick rubble was recorded along the trench length, similar to that seen in trench 9 and part of the demolition of the buildings. The chalk subsoil was at 90cm below the car park surface. A pit, **0044**, was excavated and recorded at mid trench. It was filled with a dark silt, flecked with chalk, charcoal and finely crushed fragments of brick. **0044** was thought to cut through the buried loam at the base of the soil profile although this was not clear. The pit produced no datable material.

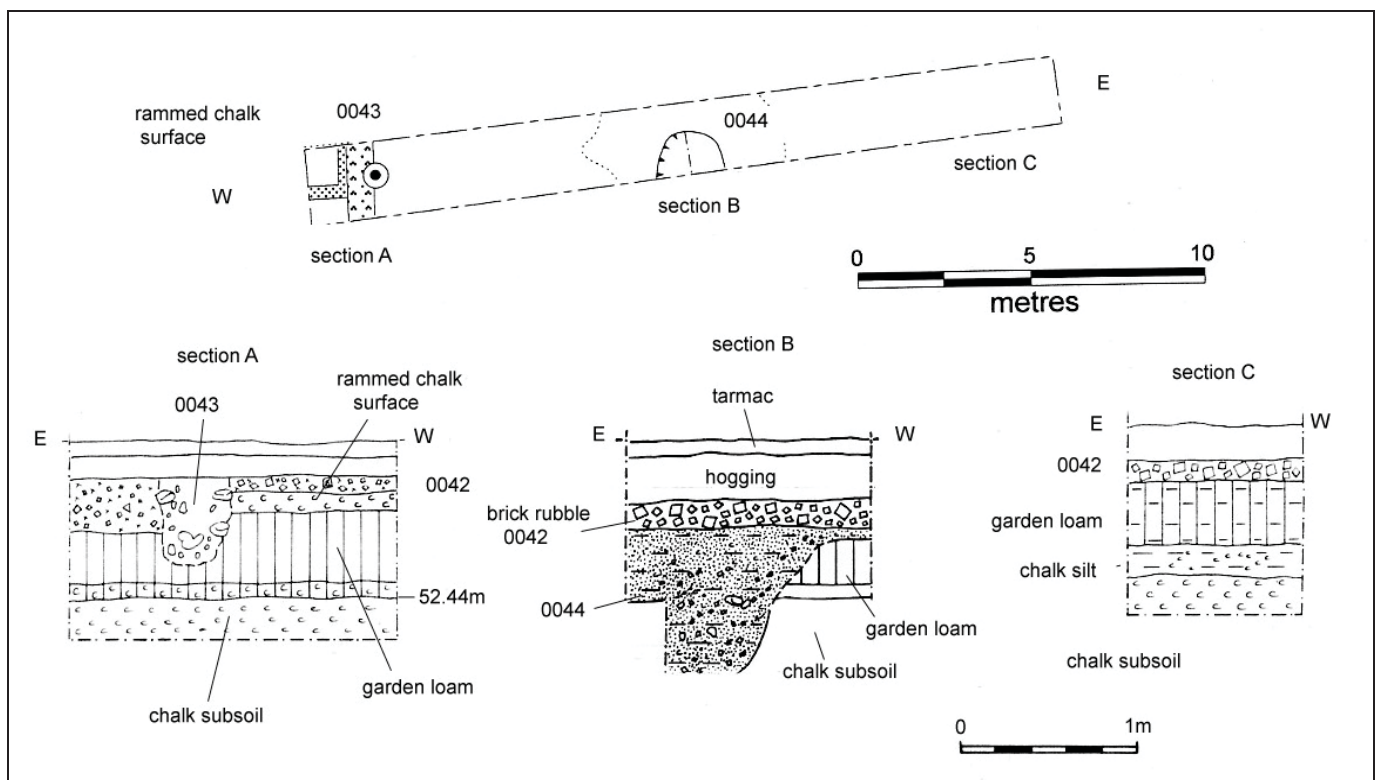


Figure 13. Trench 10 plan and sections

4.11 Archaeological Trench 11

Trench 11 was excavated in the car park of the Royal Mail sorting office, close to the St Andrew's St frontage. Excavation of the trench was frustrated by the extent of the underground services, which had either destroyed or obscured those area closes to the street. A stub of brick wall, **0048**, dating to the late 18th century crossed the trench 8.5m back from the frontage, and an associated demolition layer rubble layer, **0045** was recorded across the trench just below the car park formation layer (Figure 14). Two pits **0046** and **0047** were seen only in section against the north face of the testhole. Both were sealed beneath the rubble layer but their date and

relationship with the wall 0048 was unclear. The rubble was within a matrix of muddy loam and this overlay a clean orange silt, the soil profile appeared to be intact with no evidence of truncation.

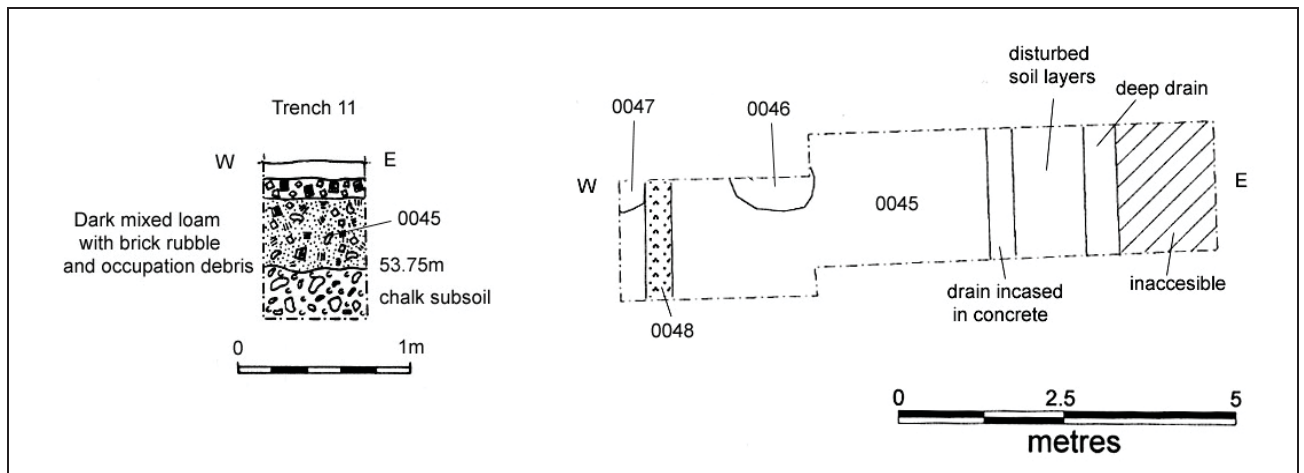


Figure 14. Trench 11 plan and section

4.12 Test pits

Observations were made of the engineering test-pits and starter holes. The *deep trench* test-holes were generally excavated within the areas of the archaeological trenches, subsequent to the archaeological work, and were excavated in the presence of a monitoring archaeologist. The smaller test-holes and starter pits were treated as watching briefs.

Engineering deep trench 1 (DT 101)

This was a 5 x 3m hole excavated to undisturbed subsoil level. The area sampled by the trench was completely within an enormous pit, and all of the trench sides showed the strata of the backfilling soils that lay in flat and level horizons (Figure 15). The hole was recorded to 3m deep but the base was *c*5m. The backfill comprised bands of chalky silts with varying concentrations of small chalk nodules, occasional animal bones and a band of mussel shells, all food waste, which were the only artefactual material observed within the fills. Over the pit was an organic rubbish layer contained 19/20th century china and glass, and a spread of demolition rubble; a continuation of the layer seen in Archaeological Trenches 5 and 6.

A second deep trench was excavated 0.85m to the east of deep trench 1 this was outside the area of the pit, suggesting that the shape of the pit was a vertical sided shaft. In this second trench, the chalk subsoil was encountered at 1.2m below the car park, below the rubble and recent rubbish layers seen in trench 1 and a deep horizon of well worked garden loam.

Test hole 207

The brick surface 0113 observed in Archaeological Trench 1 continued into the area sampled by test hole 207. This was laid directly over a deep loam and the chalk horizons, associated with the earlier surfacing of the cattle market were not seen.

Test hole 205

Test hole 205 was excavated at the rear of the Royal Mail office sorting office car park and demonstrated a soil profile of brick rubble over clean loam. A similar profile was observed in test hole 208.

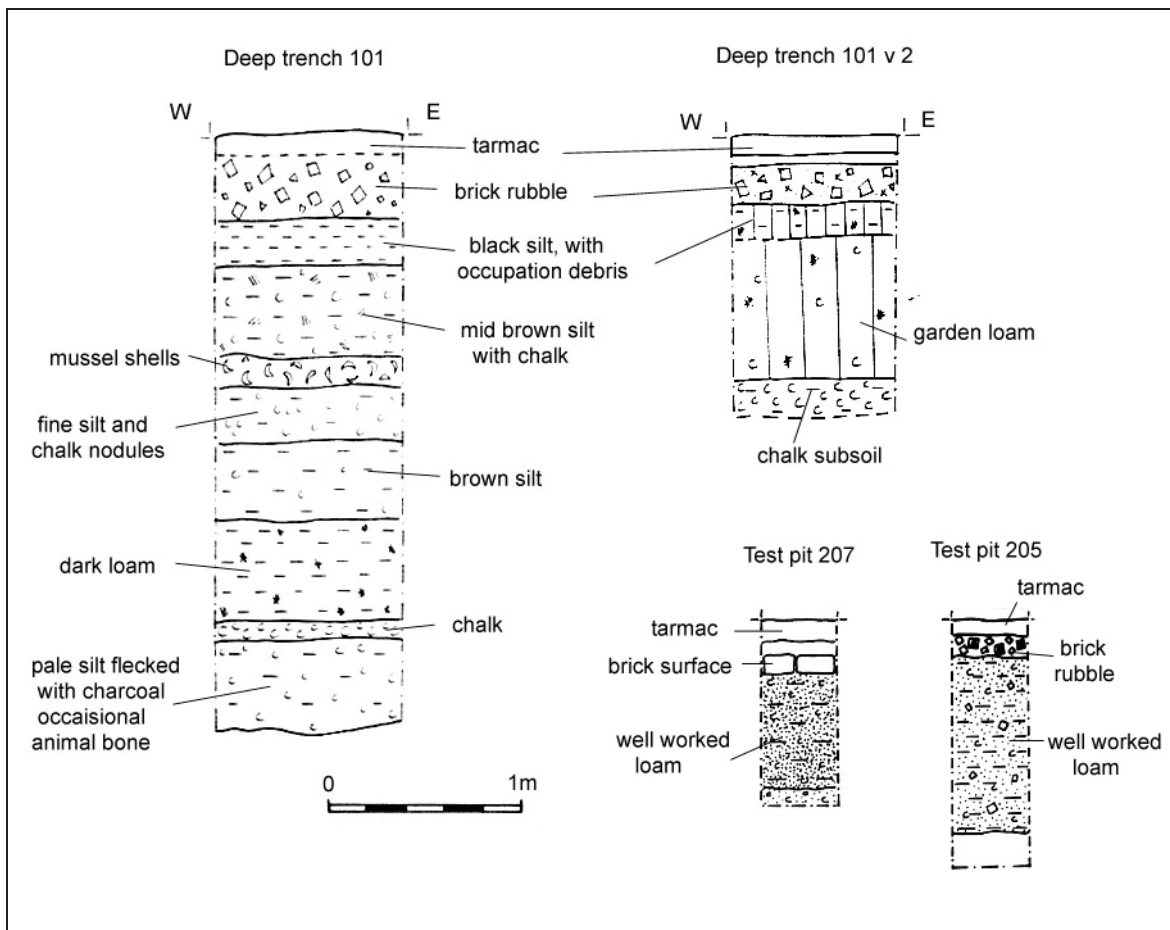


Figure 15. Testhole sections

5. Finds and environmental evidence by Richenda Goffin

5.1 Introduction

Finds were collected from 11 contexts, as shown in the table below.

Context	Pottery		CBM		Clay Pipe		Animal bone		Miscellaneous	Spotdate
	No.	Wt/g	No.	Wt/g	No.	Wt/g	No.	Wt/g		
0002			1	2346						P-med
0003			1	3170						P-med
0004			14	759					Vessel glass 1 @ 3g, coal 1 @ 17g	P-med
0005			1	3012						P-med
0006			1	3402						P-med
0007			1	2342						P-med
0029			2	4930						P-med
0100	1	9	1	39	1	9	1	1	Fe ?nail x 1 @ 8g	16th-18th C
0103	1	3	3	119	1	2				17th-19th C
0105			9	239			7	135		P-med
0108	4	22	1	75			3	41	Fired clay 1 @ 44g, slag 1 @ 74g	13th-14th C
Total	6	34	35	20433	2	11	11	177		

Table 1: Finds quantification from BSE 252

5.2 Pottery

A total of six fragments of pottery were recovered, weighing 0.034kg. A sherd of Glazed red earthenware was present in the shallow pitfill 0100 in Trench 1, dating to the sixteenth to eighteenth century. A fragment of oxidised medieval coarseware was identified in the fill 0103 of a rectangular pit or posthole, dating to the late 12th to 14th century. This fill also contained finds which are later in date.

The largest quantity of pottery was found in layer 0108. A fragment of a Bury Sandy ware flat-topped jar dating to the 13th-14th century was present, together with three other sherds of Bury coarseware. One of these is sooted internally and another fragment contains a white internal residue.

5.3 Ceramic building material

Ceramic building material was recovered from all 11 contexts (35 fragments @ 20.433kg). In some cases samples of bricks had been taken. The remainder of the assemblage is made up of roof tiles. A full catalogue of the ceramic building material is presented in Appendix 1.

A number of complete or near complete bricks were recovered from the excavation. Most of them were made in red sandy fabrics which are post-medieval. An almost complete brick from 0002 has mortar on all sides apart from the upper surface and has been used in a floor surface. It is made from a fine pale orange sandy fabric with silty bands. It is thinner than many of the later bricks and is likely to be Tudor in date.

Most of the bricks were partially covered with mortar. A complete brick in 0005, a brick course in Trench 6 is buff/maroon in colour and is made from a finer sandy matrix. This is a LB9/10 type brick, which dates from the 17th –19th century (Drury 165).

The fragmentary remains of three floor tiles were identified. One very small fragment was recovered from the buried topsoil deposit 0004. It is made from a white silty fabric with grog inclusions, and dates to the late 17th - 18th century (Drury 166). The remains of a large plain floortile was identified in the layer 0029 of crushed rubble in Trench 5. The tile is made from a sandy fabric with silty streaks as well as ferrous and grog inclusions, and is post-medieval in date. A very small fragment of possible floortile with only a small amount of the original surface remaining was present in posthole 0105. It is made from a fine pink orange fabric which is also post-medieval.

Twenty-six fragments of roof-tile were recovered weighing 1.079kg. The majority are post-medieval tiles made from sandy oxidised fabrics. There are two examples of pegholes for attachment, one of which is round and the other square.

Three fragments of medieval rooftile were present, dating to the 13th-15th century. One of these is residual and is accompanied by later tiles in posthole/pit 0103. This fragment is made from a buff fabric with a grey core. The matrix contains sparse white flecks which may be calcareous inclusions (Drury type RT6). A similar tile, which is more orange in colour was recovered from pitfill 0100. The third rooftile fragment was found in layer 0108. It is made from a coarse fabric which has a grey core and grog inclusions (Drury RT1).

Fired clay

A single fragment of fired clay was found in layer 0108. It is made from a very fine fabric which contains moderate fine silver mica and sparse chalk inclusions up to 4mm in length. No structural impressions were identified, so its function is uncertain.

5.4 Clay pipe

Two fragments of clay tobacco pipe were identified. The remains of a pipe bowl was recorded in pit/posthole fill 0100. It is undecorated with a fairly wide mouth with ovoid base, and dates to the eighteenth century (Oswald 37). A burnt stem fragment found in fill 0103 cannot be closely dated.

5.5 Vessel glass

A small fragment of a post-medieval glass vessel was present in the buried topsoil 0004. The fragment is part of the shoulder of a small bottle or phial.

5.6 Metalwork

A single corroded fragment of iron in pit/posthole fill 0100 is likely to be the remains of a nail.

5.7 Miscellaneous

A fragment of slag-like material was recovered from the layer 0108. Although resembling tapslag, it is heavy and slightly magnetic.

5.8 Animal bone

Fragments of animal bone were recovered from three contexts.

Part of the metatarsus or leg bone of a bird was identified in posthole 0100. Fragments of horse and sheep molars were present in posthole/pit 0105. Sheep bones recovered from layer 0108 comprise two metatarsii, and the remains of a metacarpus.

5.9 Discussion

The majority of the artefacts recovered from the excavation date to the post-medieval period. The earliest finds were found in the layer 0108 and are fragments of pottery and roof tiles dating to the 13th-15th century.

6. Discussion

The evaluation has demonstrated that there is little evidence of soil truncation and the existing car parks have been universally built up over earlier deposits and soil horizons. Any archaeological deposits are likely therefore to have been buried and well preserved. All of the trenches exhibited deep soil profiles; generally rubble from the demolition of post medieval brick built structures associated with the cattle market over a deep well worked loam. There was no sign of prehistoric or Saxon activity and evidence of the site's occupation predating the cattle market was confined to the areas formerly occupied by the properties fronting St Andrew's Street and to the rear of Prospect Row, and post medieval in date. Away from these areas the trenching suggested that much of the development area was pastoral until the transfer of the cattle market from the town and its subsequent enlargement.

The earliest occupation evidence was a large rubbish pit, which produced pottery and tile dated to the 13th-15th century. Burnt clay, and metal working slag was also found within the pit and suggested that industrial processes might have occurred nearby. The early pottery would suggest that the pit is probably part of a property fronting Risbygate Street, as it is known that this street was occupied at this time. The pit was located some way from either the St Andrew's Street or Risbygate Street frontages and is indicative of the long narrow plots typical of the medieval period. The mortared flint lined well uncovered at the eastern end of Trench 1 was also early and possibly medieval in date, as although this not closely datable, the structure contained no material to indicate that it was later.

Knowledge of the medieval town, supported by the documentary search suggests that there was little development of the area until the town wall and ditch were removed following the dissolution. The earliest documentary reference to the line of St Andrew's Street appears in the deed of 1403, where it is described as a common way between the Risby and West gates, though it is quite possible that the lane existed before that date. The earliest reference to the street by name is in the accounts of 1542 and 1547 with regard to a former barn, which occupied part of the cattle market site. This property passed to the Guildhall Feoffment Trust after the dissolution and the trust papers describe the area in the lease of 1657 as, a barn surrounded by other barns, orchards and gardens. The evidence of the fieldwork supports this description of the area, as all of the (pre cattle market) structural evidence on the site was of this date or slightly later. Behind the buildings there was a lack of occupation evidence but the trenches all exhibited an extensive and deep, buried topsoil characteristic of worked agricultural land.

The remains of buildings were found in trenches 1, 6 and 8 and were part of the houses and properties that formerly fronted St Andrew's Street. Walls built in flint and in brick, and a tiled floor surface, dated the construction of these to the late 17th-early 18th centuries, which suggest that they are probably the remains of the buildings shown on Thomas Warren's map in 1741. It is also notable that all of the pre-19th century occupation evidence found in the evaluation is within the bounds of the plots shown on the 1741 map. The survival of the floor surface demonstrates the level at which the buildings have been demolished, but those parts of the building below this have been well protected and are sealed beneath their own rubble. The potential therefore exists to record these floor plans. The posthole in trench 1 indicates that there were timber built structures away from the St Andrew's Street frontage. Pottery, a clay pipe bowl and building material indicated that these structures were likely to be contemporary with the brick and flint buildings on the street but their more rusticated construction suggests that these were the remains of sheds and outbuildings. All of these buildings are important to the understanding of the growth of the town as they represent a watershed moment in its development, when the town first starts to expand beyond the walled limits of its medieval plan. The 17th-18th century buildings had shallow footings and the ground level that pre-dates their construction still survives. The potential for evidence of earlier activity exists, but no evidence of this was found.

All other structural remains (other than those associated with cattle market buildings) related to the terrace of buildings, built in the 19th century that once fronted Prospect Row, and property boundary walls dating to 18th and 19th centuries recorded in trench 4. As well as the boundary wall stubs recorded in trench 4, consideration must be made for some of the standing walls which divide the car park as many of these pre-date the cattle market. These walls are part of the archaeological townscape and provision for their analysis ought to be part of any future work.

Structure and surfaces associated with the Cattle market were recorded across the sample area. A paved surface of well-laid yellow bricks was recorded, immediately below the tarmac, in trenches 1, 2, 3 (A and B) and test pit 207. The brick surface spread over an extensive area, covering most of the northern half of the site, and coincides with the area of the animal pens as shown on the 1880 OS maps. The bases of cast iron stanchions, part of the pens that had been cut off and buried, were also found along with the concrete settings for iron posts. Plans exist relating to the original post 1827 market and include such details as the "*plans of the proposed iron standards for the sheep pens*" dated 12th May 1897 and reveal details such as "*the base of each post was embedded 9 inches into a concrete block*".

Below the brick surface were two distinct layers of rammed chalk topped with a gravel dressing, they occurred wherever the later brick surface was found and lay in flat horizontal bands. These

probably represent the original cattle market surface, or preparation for a surface, and date from 1827. A durable surface would have been necessary to prevent the area becoming a quagmire under the animal feet and to allow for mucking out. In September 1879 the Fairs and Markets Committee recommended that land recently acquired for the market by the council was to be *“levelled and rammed ... the land fenced off into two sheep pens and a passage”*.

Two areas of the site were sampled, where until recently auction pens stood. These buildings were floored with concrete and because of restrictions on the use of a breaker were sampled with only small testholes. The limited sample however showed that the impact of the buildings was minimal and those soil layers dating from before the market survive beneath them. It must be understood however that the examination of this area was cursory and further work may be necessary.

7. Recommendations

All of the archaeological evidence is within 50cm of the current car park surface and is likely to be threatened by the proposed development. The evidence of the buildings along the frontage of St Andrews street is good and the potential exists to record the ground plan and associated occupation debris of this range. This ought to be completed, as it is important to the understanding of the growth of the town and would be best achieved by open area excavation. The posthole structure identified in Trench 1 is not understood or closely dated and the large medieval rubbish pit requires placing in context. Further work is required in this area to achieve this and a further exploration of this part of the site is required.

Many of the standing walls within the development area pre-date the cattle market and relate to the buried archaeological deposit. A record of these walls would be desirable and enhance the understanding of the area.

The end of livestock market trading in Bury St Edmunds and throughout East Anglia is a fundamental change in the character of our market towns it is therefore appropriate to suggest that a detailed social history of the livestock market should be considered. The original deeds of later acquisitions of lands are still in the possession of the borough's solicitors and should be examined along with plans that detail the layout of the market pens, railings and stalls. This should be coupled with some detailed archaeological recording of the structural evidence.

Archaeology alone cannot detect in detail how the market functioned or the motivation for its continued use and final end. The systematic collection of a select number of interviews with participants in the market's trading may be a desirable objective of a fuller historic report.

David Gill
November 2005

Disclaimer

Any opinions expressed in this report about the need for further archaeological work are those of the Field Projects Division alone. The need for further work will be determined by the Local Planning Authority and its archaeological advisors when a planning application is registered. Suffolk County Council's archaeological contracting service cannot accept responsibility for inconvenience caused to clients should the Planning Authority take a different view to that expressed in the report

References

Drury, P. J., 1993, 'Ceramic Building Materials' in Margeson, S., Norwich Households Medieval and Post-Medieval Finds from Norwich Survey Excavations 1971-78, EAA report No 58

Oswald, A., 1975, Clay Pipes for the Archaeologist, British Archaeological Reports 14

Documentary search report: Former Cattle Market Site, Bury St Edmunds

Introduction

This report has been prepared as part of the archaeological assessment of this site. Centros Miller (Bury St Edmunds) Ltd has prepared an environmental statement. Under chapter 10 “Cultural Heritage and Archaeology”, there is a progression of the historic maps of this area and a general discussion of the archaeological potential of this site. This material has not been revisited in this report. An outline of the historical development of the Cattle Market is readily available on-line through St Edmundsbury District Council’s website under the title “The History of Bury St Edmunds Markets”. The controversial decision to remove the cattle market from the town and to establish it on part of this site was taken in 1827 and the market was opened the following year. Between 1836 and 1858 “The council gradually acquired more land on St Andrews Street for the market” and the site remained in use until 1958. In that year the market “was moved westwards ... to provide car parking for the town centre”. From 1989 “serious consideration was given to relocating the livestock market to allow for retail redevelopment” and “the decision to redevelop the site was finally taken in 1998”.

The purpose of this report is to examine in detail the historical sources relating to the site in particular those that highlight areas of archaeological potential. The environmental statement offers an outline of the medieval development of the town of Bury St Edmunds and notes that the area beyond Risbygate was a suburb of the town as early as 1250. It is important to note that the Abbey through its various officials received rents from a large number of properties both in the town and the surrounding fields. Other properties were held by the various medieval hospitals. Following the dissolution of the abbey in 1539, a number of these ecclesiastical estates passed into the hands of either the borough or the Guildhall Feoffment Trust. The surviving records for both the medieval and post medieval periods though incomplete offer excellent potential for documentary research from the late 13th century onwards.

The research for this report was begun at the Suffolk Record Office in Bury St Edmunds. As it was apparent that not all the borough’s records had been deposited and that a significant number of documents had been retained by the borough, permission was sought from legal services department to examine those records relating to the site that were still in current use. A large number of documents, in particular the deeds for the site acquired in 1828, are with the borough’s solicitors and are not at present available for research. The sources that are available are sufficient to outline the development of the site, though ideally all historic source material should be examined.

Livestock markets unlike the former corn markets have not left a legacy of imposing public buildings. The end of livestock market trading in Bury St Edmunds and throughout East Anglia together with most of Britain is a highly significant development. The existence of a livestock market has been possibly the most important factor that led to the creation of towns and the earliest documents relating to our towns and cities always include clauses relating to the right to hold a market. Clearly a fundamental change has taken place and it is therefore appropriate to suggest that a detailed social history of the livestock market should be considered. In its final phase the surfacing of the market and its covering, arrangement of the stalls and areas of trading, will have been altered to conform with new legislation relating to animal welfare and the prevention of disease. These changes may not be apparent in the archaeological record, though they should be considered in an historic survey. Archaeology alone cannot detect in detail how the market functioned or the motivation for its continued use and final end. The systematic

collection of a select number of interviews with participants in the market's trading may be a desirable objective of a fuller historic report.

Maps and Illustrations

The outline of the redevelopment area has been superimposed over the historic maps reproduced in the environmental statement. For further documentary research the most important maps are those that identify the owners or occupiers of the individual plots of land. Warren's 1791 Map of Bury offers this additional detail and can be used as a basis to sub-divide the site into three areas. These areas are (a) the properties along the western site of St Andrew Street South (Figure 16). The two closes (b) called Brown's Close between the rear of the St Andrew's Street properties and the market path. The third area is named as Barwick's Close on the 1791 map. This field joins Chalk Road to the west though only the eastern side of the field is within the development area. As this third area is to be used for car parking, it is not necessary to examine earlier records in detail. Readily available sources show that it was part of an arable field in the early 18th century and the Barwick family were owners of property in this area.

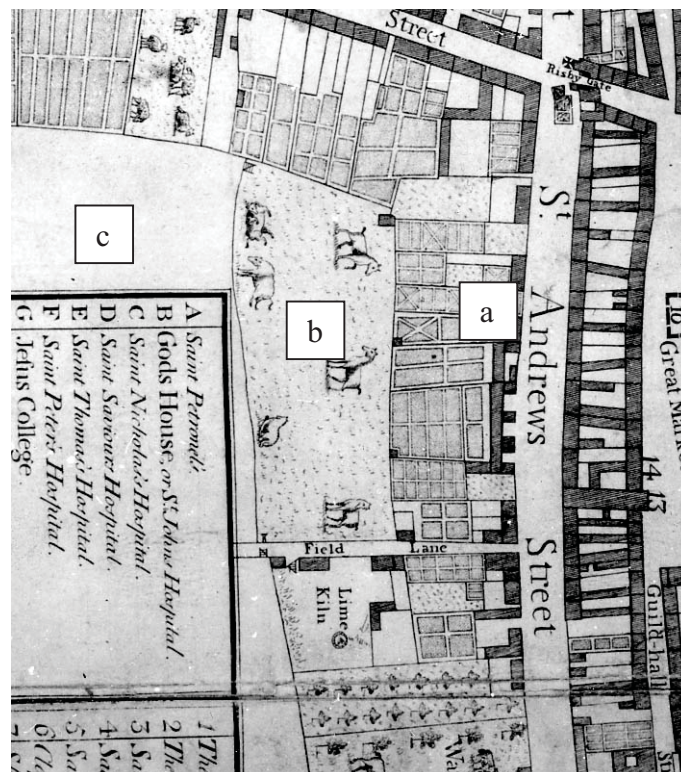


Figure 16. Extract from Thomas Warren's Map of 1791

References to Brown's Close appear in a number of documents and this area was pasture until the southern end of the close was sold in around 1823 for houses built along Prospect Row.

The main area of interest is the street frontage along St Andrews Street. On the 1791 map the name of the owners of one property is omitted. This property depicted in a lighter shade is situated between those owned by Syday to the north and Yardley to the south. It was owned by the Guildhall Feoffment Trust and is shown on two detailed plans of the trust's properties. The earliest plan of this property is included amongst receivers' accounts for the years 1738 – 1832 (ref. H2/3/4/33). The plans by Thomas Warren show nearly all the Feoffment property. The property in St Andrews Street is described as a "messuage occupied by Joseph Betts" (Figure 17). The owners of the adjoining properties are named, to the north "Mrs Cook's Garden Ground" and "Mrs Neaves Building" to the south "Mr John Drewet's Garden" and to the west

“Brown’s Close”. William Drewett’s name appears on the 1791 map of Bury as the owner of the northern part of Brown’s Close and another property on St Andrew’s Street.



Figure 17. Property of Joseph Betts

Amongst the 1741 plans, there is a plan of a small tenement in Risbygate Street and adjoining this property to the west was the Waggon Inn owned by Mr Barwick (Figure 18). A note entered into the accounts against this plan states that it was sold in 1794. The next plan in 1741 shows the watchtower and watering place outside Risbygate. This was in the occupation of Mr Benjamin Barwick.

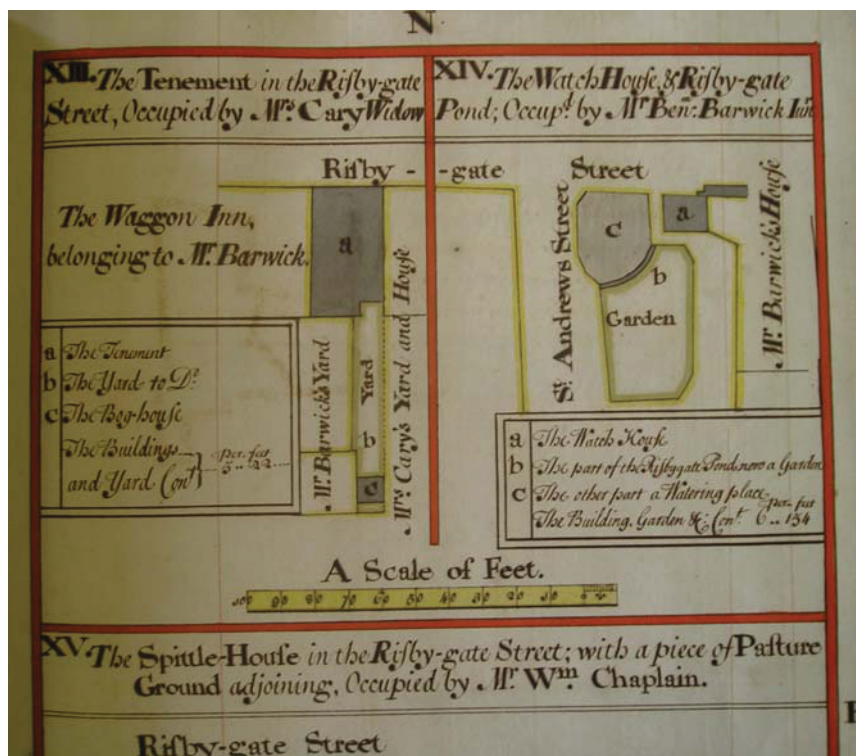


Figure 18. Property owned by Mr Barwick 1741

There are numerous 18th and 19th century paintings and prints of Bury St Edmunds. Significantly none of these show either the Risbygate or a view of the town from the west.

In 1822 the surveyor J.G. Lenny prepared further detailed plans of the trust's properties (Figure 19). These are contained in a single volume inscribed in June 1822 (ref. H7/1/2). The plans include several areas relevant to this site.

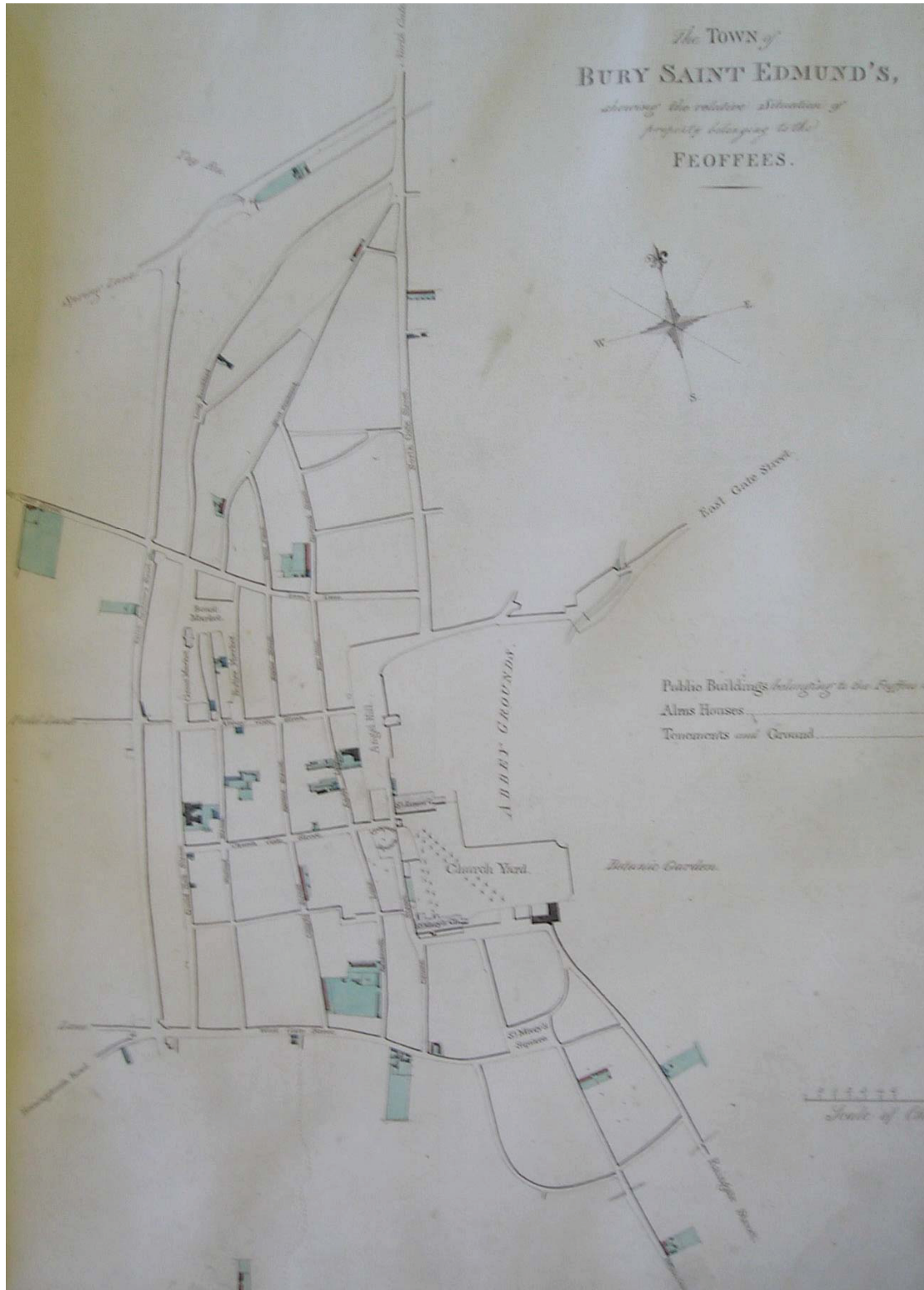


Figure 19. Feoffment Trust properties 1822

The property in St Andrews Street was let to a Major Wilson who owned the property to the north while Edmund Squire owned the property to the south. In 1827 the borough purchased the property of Major later Colonel Wilson for the cattle market (Figure 20).

The trust rented their property to the borough from circa 1839 until it was sold to the borough in 1934 (ref. GB 500/8/22/2). A plan based on the Ordnance Survey maps shows Feoffment property on the Cattle Market in 1934 (Figure 21) and the file contains notes on the land leased to the borough. The distance from the road to the rear of the property was 211 feet.

Lenny’s plans also show the site of the former watchtower and two small cottages on the eastern side of St Andrews Street. These cottages stood at the western end of Woolhall Street and were later demolished to make way for a public urinal. (Figure 22)



Figure 20. Feoffment property let to Major Wilson

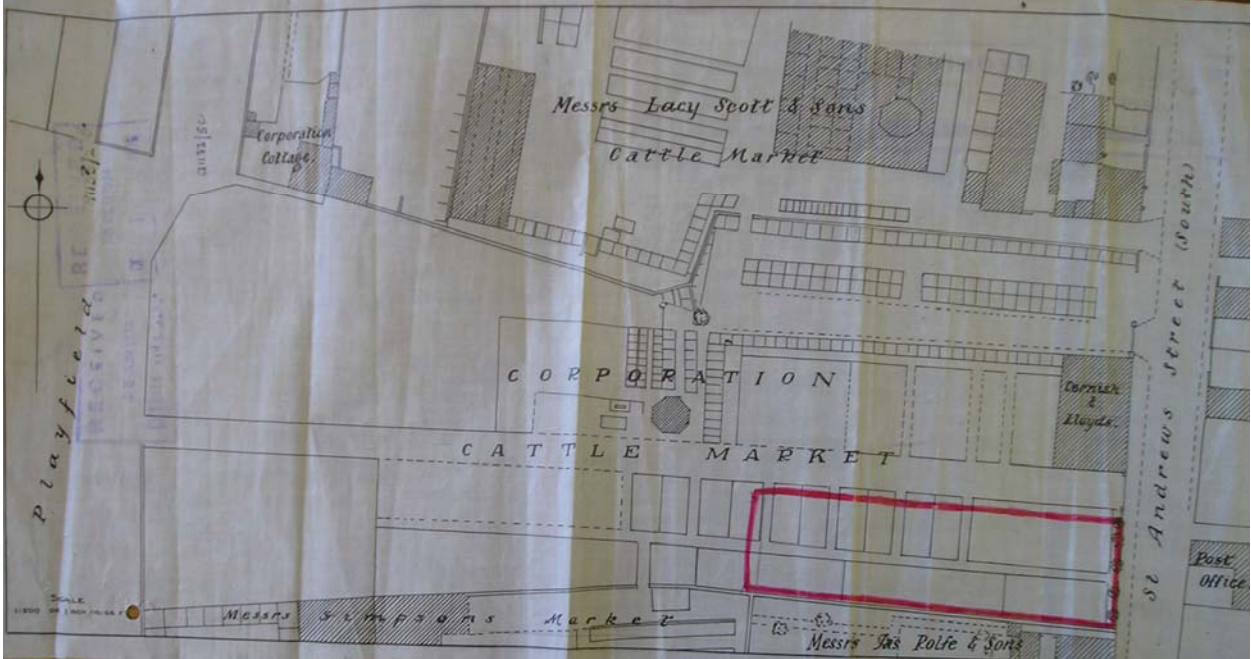


Figure 21. Feoffment property on the Cattle Market 1934

There are a few additional points to note from these map sources. The first is the entire cattle market site and all the land in the development area was in the medieval parish of St James’.

Until the 19th century there were only two parishes in Bury and the boundary between this parish and St Mary's runs along the present King's Road, formerly Cemetery Road, and earlier known as Field Lane. Perambulations of the parish boundaries would have used the lane and did not cross this site. The second point is though a "market path" is marked in the 1791 map, there are also market paths in other parts of the town. This path was probably re-routed into the present public footpath. The final point is on the earlier 1776 plan of the town of Bury included in the environmental survey, there is no break in the line of buildings fronting Guildhall Street and the Market Place through to St Andrews Street. The only public access between the two areas was through Risbygate. Woolhall Street is first shown on the 1791 map. The five medieval gates of Bury were still standing as late as 1766 though they "were soon afterwards taken down by order of the Corporation, for the more convenient passage of carriages" (White). Evidence from deeds described later in this report suggests that individuals had access to St

Andrews Street through the "back side" of their properties.

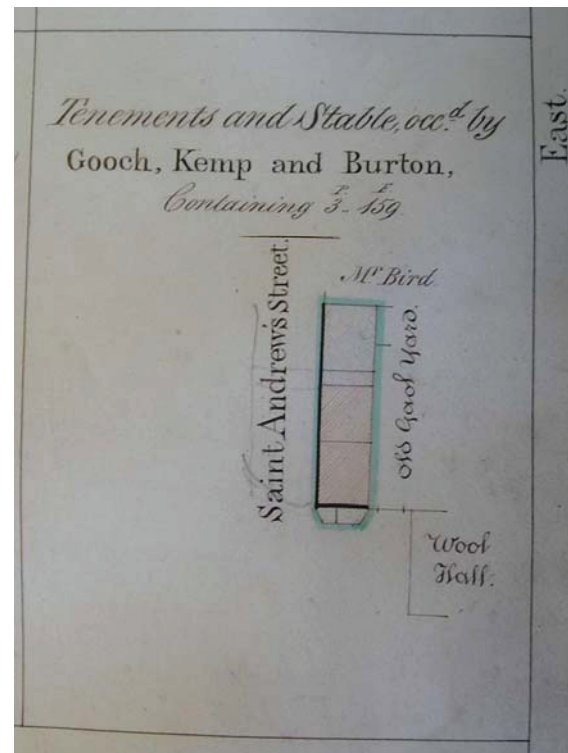


Figure 22. Cottages at the western end of Woolhall Street demolished to make way for a public urinal

The Medieval Period

The emphasis here is to examine records that relate to St Andrew Street. In the medieval period there was another street known as "Master Andrewstrete alias Hencotestrete", historians have found that this street later became Bridewell Lane.

There are relatively few references to St Andrew Street and all are to be found in documents after 1540. The town rental of 1295 omits any reference to this street (Redstone). The heading of the original rolls describes the document as "All the lands, meadows, pastures, mills, granges and dovecotes underwritten belong to the various officials within the Abbey of St Edmund". The document however does include "Rents of the Hospital of St Peter". These properties are in "Rysby Gate Field" and along Rysby Gate Street. The charters of the town's medieval hospitals have been published (Harper-Bill). In the introduction to this work, the author mentions the 1295 rental and then describes "Another rental of St Peter's, from about the same date". This rental is now in King Edward VI Grammar School Collection and is described in the catalogue as "early 14th century" (ref. E5/9/305.1). Again there is no mention of St Andrews Street. One of the hospital's tenements is listed as "of the tenement of William Horneset formerly Robert Hayl in Longebrekellond" above this entry there is a later note "now John Trenchmer formerly Stephen Motte". John Trenchmer acquired two pieces of land in Spyntelmellefield in 1437 and Stephen Motte a draper died in 1423. The reference to "Spyntelmellefeld" is dated 11th April 1437 (ref. 449/2/16). The deed relates to two pieces of land, one of which is described as "between the land

belonging to the cellarer of St Edmund's south and the highway called Newmarket Weye north". The other piece also joined on to the road but was between "land of the Cellarer on the east and the land of Nicholas Drury west". Another entry from the hospital rental is "Roger Le Potter XII d twice *now Robert Chandler next Rysbygate*". A Robert Chaundler is mentioned in a deed dated 25th February 1403 as owning a property in Risbygate Street. This document is in the Iveagh Collection held at the record office in Ipswich. A catalogue for this collection is available at Bury and is sufficiently detailed to render the examination of the original records largely unnecessary. In a deed dated 25th February 1403 "A garden with dovehouse ... outside Rysbygate" is described as "between the garden of Robert Chaundeler and the garden of St John, one head abutting on Le Spyntelmellefeld the other on a way leading from Rysbygate to Westgate" (ref. Ipswich HD 1538/170/2). In a later deed dated 20th April 1485, there is a reference to a "common way leading from Rysbygate to Spyntmellegapp" (ref. Ipswich HD 1538/170/3).

The historian M. D. Lobel produced two maps of Bury in the 15th century in her work. On her map the area of this site, south of "Risbygate Strete", is marked as part of "Spynthilmilfeld" and the mill itself is marked as to the south of "Spynthilmilweye" the present Kings Street. The maps are based on a Sacrist's Rental of 1433-34. The original rental is at the British Library and is part of the manuscript volume Harl 58. The record office has a Photostat copy of the rental (ref. Acc 1055) and gain St Andrews Street is not mentioned. The content of the original volume has been fully described (Thomson) and includes a list of Hadgovel tenancies from 1354 together a list of reliefs, fines paid on entry to a property, granted by the Sacrist from 1329 - 1529. It is possible that these might contain an early reference to St Andrew Street, though it appears to be unlikely. A later sacrists' rental for 1526 has been published (Breen) and again there is no reference to St Andrew Street. This work includes a later borough rental dated to 1547 and this is described later in this report.

There are only five surviving rentals for the Cellarers' estate and unfortunately none are held in Suffolk. The earliest circa 1260 is held at the Bodleian Library in Oxford, a 14th century account is held at Chicago University Library and another two dated 1515 and 1524 are held at the National Archives in London, the final account is at the British Library. Details of the cellarers' property in Bury are to be found in one of the Cellarers' registers held at Cambridge University Library. A section of one register is "subdivided into ancient and general privileges to *temp.* Hen. V, then into streets, mostly with private charters, followed by the cellarer's customs in the town, also subdivided topographically" (Thomson). These sources might possibly contain further medieval references to this street.

Amongst the records of the parochial Crosier's Charity held at the record office as part of the Barrow Parish Collection (ref. EL 13/12). There is a collection of medieval deeds relating to lands outside of Westgate, Bury. This land is still shown as owned by Barrow Town Lands on the 1791 map. The earliest deed is dated November 1353 and mentions "Le Spyntelnefeld". A later deed in this collection and dated 15th November 1457 mentions a "road from Risbygate to Teyven". This road is again mentioned in a Feoffment rental of 1558

Following the dissolution of the abbey in 1539, its property and the properties of other religious institution passed the crown. The former ecclesiastical estates were under the administration of the court of Augmentation until the properties were granted out to new owners. The "First Ministers' Account" for the years 1539-40 produced by the court's officials has been published but does not appear to contain any reference to Master Andrew Street (L. Redstone). There is another account for 1542 now held at the National Archives (ref. SC6/HenVIII/3434). It has not been published but does include a separate heading for St Andrewstrete, though only one property is described. The same entry appears in the published borough rental for 1547 (Breen).

Both accounts name John Gowtye as paying 12d “for free rent of a barn there now called a Tannehouse”. The Gowty family had been present in Bury from the early 15th century. There are wills of William Gouty dated 1427, for John Gouty, barker 1455 for Alice Gowty widow dated 1493, for her son John Gowty elder dated 1507 and for John Gowty tanner dated 1526. A brief examination of the wills of Alice and the two Johns failed to produce further references to St Andrew Street. The 1507 will of John Gowty does mention a property in Long Brakelond (Later Long Brackland and Now St John’s Street). Another John Gowty, tanner is mentioned in a deed in the Feoffment Collection (ref. H1/5/23/16) in relation to “two messuages and a cottage in Long Brackland” which were sold to William Tassell in 1542. One of these properties abutted on the town ditch on the west and had formerly been owned by another tanner Walter Hoo. A “Tannehouse” or tannery requires a considerable amount of water as the hides are immersed in a series of pits filled with tanning extracted from bark normally bark from coppiced oak trees. Tanning is acidic and a tannery built on chalk soil would have to guard against any leaching from the alkaline soil. There is the allied process of tawing commonly used for kips that is the skins of younger animals and it is possible that a tannery at this period was engaged in both methods of production. There are further references to a John Gowty in two of the Barrow deeds dated 1468 and 1472 and amongst the lands are several pieces in “Teyven” as well as the piece of land on the road from Risbygate to Teyven.

Post Medieval Records

In 1548 the various guilds and chantries in Bury were abolished in a further phase of reformation of the Church of England. The following year the Guildhall Feoffment began to acquire these lands and to administrate the income “for the relief of the poor and other godly purposes”. In 1555 “the former chantry lands were conveyed to feoffees and became known as ‘new purchased lands’”. In 1557 William Tassel granted various messuages to the feoffment including one in St Andrews (See H1/1/3). The Feoffment accounts for 1569 – 1622 have been recently published (Statham). St Andrew Street is first mentioned in a rental of “new purchased land” dated 1565 (ref. H1/1/8). The entry reads “*Item of William Davy for the ferme of a berne in Seynt Andrewes Strete withowte the Rysbiegate with diverse peceis of londe in the Westfeild of Bury leaton to Thomas Browes by Indenture bearinge date the xvi daye of December in the iiii th and firste yeres of the reignes of Kinge Philipp and Quene Mary [1554] for xx yeres from Michaelmas next by the date of the saide indenture iii li xviii s viii d [£3 18s 8d].*”

St Andrew Street does not appear to have extended to the north of Risbygate. In another rental dated 1558 (ref. H1/1/3) there is a reference to “*Of Stevyn Heyward gent for the ferme of a tenement adioynnyng to his tenement in Rysbygatestrete And for a gardeyne plot lyeing on the west side of the waye leading from the Rysbygate towards the Northgate V s*” (ref. H1/1/3 & H1/1/1). This piece is described in 1607 as “nere Teyfen diche”.

In another rental dated 1587, the entry is “*Item of Thomas Carre for a bearne in St Andrewes Strete without Risbiegate with diverse peeces of lond in the West Fieldes of Burie late in the occupation of Richard Coppinge, letton to the said Richard Copping by indenture dated the last daie of Januarie in the 12th yere of the reign of our soveraign ladie Quene Elizabeth [1570] for 21 yeres from Michaelmas then next folowinge, and for non payment by the space of 7 weekes to re-enter £3 18s 8d*”. In 1607, there is the reference to “*And with £12 18s 0d received of Thomas Turnor for the rent of a bearne in St Andrewes Strete and diverse pieces of land in the Westfield*”. The next reference is in 1621 “*Christopher Cox, for a peece of ground in St Andrewes Strete whereupon a barne lately built, sometyme in the tenure of Thomas Turner £1 0s 0d*”.

Some of the feoffment land was leased in 1657 to Abraham Wright of Cheveley, Cambridgeshire. This document offers a full property description; *“All that their garden orchard or piece of ground with a stable thereupon buylt at the east end of the said orchard with the appurtenances scituate lying and being in the towne or Borough of Bury St Edmonds aforesaid in the parishe of St James therein or thereunto a streete there called St Andrewes Streete that is to say betweene a garden grounde or orchard nowe or late in the tenure or occupacon of David Robinson or his assignee or assignes on the south part and the orchard garden or grounde nowe or late occupied by the owners tenants or farmers of the Inne knowen by the name or signe of the White Harte in Bury aforesaid the north parte the east head thereof abutteth upon the streete aforesaid called St Andrewes Streete and the west head upon the land late of Mathew Lane and now or late in the tenure or occupacon of Anne Knight widowe or her assignes except and allwayes reserved out of this present dimise unto the aforesaid feoffees their heires and assignes free liberty of ingress egress and regress into through and out of all singuler the dimised premises and to and for their servants and workmen at all tymes seasonable and convenient duringe this present dimise to survey and viewe the sayd appurtenances”* (ref. H1/3/10/12). The lease is dated 7th September 1657 and was for a term of 9 years from Michaelmas 1656 at a yearly rent of 40 s. There were further clauses relating to the tenants duty to keep the property in good repair and maintain the *“Apple, peare, warden and plome trees and other fruyte trees”* replacing any that had decayed.

The White Hart was situated at 13 Risbygate Street and the deeds for this property 1722 – 1888 have been deposited at the record office (ref. 441/1-21). The earliest document is described in the catalogue as a “Mortgage by William Brown, victualler of Bury, to Thomas Evans, gent of Bury “White Hart” Inn, Risbygate (formerly occupied by William Beart, gent, now William Brown) purchased 1722 of Robert Sturgeon. The abuttals are described as “On the east a messuage etc late occupied by Grace Rice, widow now of Robert Sturgeon on the west in part the messuage of Benjamin Berwick occupied by Francis Diggon collar maker on the south by a close occupied by William Brown and on the north by Risbygate Street”. Samuel Cork “Merchant and leather cutter” is mentioned in the deeds for this property from 1779 to 1794 and his name appears on the 1791 map of Bury. In a lease dated January 1796 the close to the south was described as occupied by John Pooley. In 1823 the property is described as three cottages and in 1836 as “three lately repaired & enlarged cottages or tenements and two cottages in their yard”. This same collection of documents includes a deed of dated 19 July 1841 for two roods of land abutting to the east on the “Cattle Market (late garden of Major Eyre then Major Wilson)”.

The receivers’ accounts 1738 – 1832 lists all the Feoffment tenants and link the two sets of plans 1741 and 1822. Joseph Betts is listed from 1739 until 1751. In that year John Green became the tenant of *“a stable in St Andrews Street”*. He is listed each year until 1772 when the property passed to Gery Cullum, gent. He was tenant for only two years as John Ralling is listed in 1773. By 1805 Joshua Kitson is listed and in 1830 the tenant is named as Cottingham (Late Burton). The rent varied, from £2 under Joseph Betts to £2 5s under John Ralling and Joshua Kitson to £5 under Cottingham.

The Feoffment property in St Andrew’s Street was incorporated in the Cattle Market in 1839. *“It being represented to this meeting [13th May 1839] that there is in the Cattle Market in this town and adjoining it and belonging to this charity a stable and a piece of land which would be an improvement to the market if added thereto”* (ref. H2/6/3.1) At the same time *“the promoters of the proposed new church in this town are desirous of acquiring a piece of the said market next St Andrews Street which they consider as the most desirable site for the proposed church”*. The suggestion was to allow part of the northeast corner of the market to be used for the church and for the borough to take the stable in exchange. On 9th June 1879 the tenant of the stables was persuaded to surrender her tenancy, the trustees having resolved *“That the stable be then offered*

to the town council ... with the right to pull down and add the site thereof to the cattle market marking out the boundary thereof so that it may at any time hereafter be easily ascertained". In the following January the tenant of the "Three King's" requested to be allowed to occupy the stables. The extracts mention the wall between the feoffment property and Mr Rolfe to the south was the property of the feoffment.

Later records in the feoffment collection contain the same details. The position of the piece in St Andrews Street is shown in a plan of 1934 (ref GB 500/8/22). The position is directly opposite to the Post Office. This was used as part of the Cattle Market before 1840 and in December of that year the Fairs and Markets Committee recommended *"that a rent of Five Pounds per annum be offered for the land"*. In the same year the feoffees granted a lease of 75 years *"of land opposite to their cottages"*. In September 1879 after the old stables had been offered to the council they were to be *"levelled and rammed ... the land fenced off into two sheep pens and a passage"*.

There were other small pieces of land in St Andrew Street notably the two cottages on the eastern side at the end of Woolhall Street and the watchtower outside Risbygate. Some records fail to distinguish between each property.

The Backside

There are numerous references to St Andrews Street in property deeds from the early 17th century onwards, though the catalogue entries are slightly misleading in that the main property frontage is always on a street within the former walled town and the references to St Andrews Street is to the "backside" of the properties. Details relating to properties in Long Brackland (Now St John's Street) are particularly interesting as the owners' names also appear on the 1791 map of Bury on the properties adjoining the cattle market.

In the will of John Copesey dated 24th July 1630 there is a reference to "my orchard, barn, stable, and grounds in the backside in St Andrews Street". In the will of John Normanton dated 28th August 1637 he left his "inn in Bury called the King's Arms, now in the occupation of Henry Hammond innholder, my brewhouse other houses, yards, stables, outhouses orchards and gardens belonging to the inn in or near the street called St Andrews or the Backside" (Evans). The exact location of these two properties is unclear.

In a parcel of deeds for the "Black Boy Public House" in Guildhall Street the former maltings to the rear of the property are described in 1724 as being in *"a certain street or place called Saint Andrews Street otherwise the Backside"*. Earlier 17th century deeds in the same bundle do not mention St Andrew Street. A piece of roadside waste possibly on the line of the former town ditch was sold by the corporation to the owner of this property in February 1819 (ref. E4/21).

In a deed dated 10th November 1721 Judith Caston acquired a property in Long Brackland and "newly erected messuage" described as "in St Andrews Street alias Backside", (ref. 553/110). John Drewett, a distiller is mentioned in deeds relating to a property in Long Brakeland abutting "on St Andrews Street otherwise the Backside" (ref. 742/37,38). His will is dated 16th November 1765 and was proved on the 14th September 1769 (ref. 742/89). He left his property to his wife Ann for the term of her natural life and after her death to his son William Drewett whose name appears on the 1791 map. The witnesses to this will were Charles Le Grice, Joshua Cobham and John Le Grice. There are further references to John Drewett in some deeds retained by the borough (ref. A293). The deeds relate to a property on the south side of Prospect Row but described in 1796 as *"All that piece of pasture ground containing by estimation two acres or th'abouts then in the occupation of the said Edmund Squire parcel of a close called Brown's Close lying in the parish of St James ...between the way or lane called Field Lane and the*

residue of the said close to the North abutting upon an enclosure of arable land then late the Revd John Barwick ... west and the gardens and grounds of divers persons east together with one moiety or half part of the well there except & always reserved to William Drewett his assigns owners for the time being of the residue of the said Brown's Close free liberty of passage at all times into upon from and over". John Drewett, William's father has acquired the property in 1742. This property eventually came into the ownership of the auctioneers Simpsons.

The relationship between property in Long Brackland and St Andrews Street is found in other deeds. William Yardley a butcher and Henry Leech a cutler are both mentioned in deeds dated 1782 (FL544/1/1 & FL545/11/46). Their names appear on the 1791 map of Bury. The deeds relate the property formerly owned by John Rutter of Darsham "*only son and heir at law of John Rutter late of Bury St Edmunds aforesaid clerk deceased which said John Rutter was a devisee in fee named in the will of Mary Rutter ... widow his mother deceased*". Mary Rutter had died in 1734 and an extract of her will mentions her property in Long Brackland and another "*in or near St Andrews Street otherwise called the Backside*".

Amongst the deeds retained by the borough, there is a series of documents relating to the former Three King's Inn that stood on the market place a little way to the south of the Post Office (ref. A4631). In 1808 the property included "*The west side of St Andrew's Street and abutting the street to the east upon a garden and barn in the occupation of Mr Edmund Squire west upon the said garden in the occupation of Edmund Squire in part and a stable in the occupation of Thomas Bridgman in the other part north and upon the workshop of Mr Laver Oliver in part and a part of the ground of Mr Robert Maulkin in the other part south*". The abstract of title again goes back to 1740 when Ann Bigg sold the property to Thomas Wright and his wife Elizabeth. In 1773 the main property was described as "*two messuages two gardens and two orchards ... before Charles Le Grice and John Le Grice gents*" again there is the phrase "*in or near a place called the backside or St Andrew Street*".

Another set of deeds in the possession of St Edmundsbury Council (ref. A4632) relate to another property on St Andrew Street. In an indenture dated 25th September 1773 between John Tilbrook and William Dalton this property is described as "*The Backside or St Andrew Street ...with the outhouses, buildings yards, gardens and appurtenances thereunto belonging ...were sometime since in the several occupations of Robert Lambert a malt grinder and John Jenepe the elder of the Wool Business and now or late were in the several the estate of John Tilbrook the grandfather who by his last will and testament dated 17th June 1750 etc*" unlike other references to the backside this property abutted the street to the east. William Dalton sold the property to Henry Leech in 1791.

Though the deeds for the property owned by "Syday" in 1791 have not been deposited at the record office. The name Mrs Syday is marked against a large house on the 1791 map. The position of this building was on the western side of St Andrews Street and to the north of Risbygate Street.

The Cattle Market

At an assembly of the common council of the Borough held on 23rd January 1827, a report was received from the "Committee To the Fairs and Markets" (ref. D4/1/5). Amongst their recommendations "*Respecting the Markets – On measuring the present Beast Market they are of opinion that it is not sufficient for the accommodation of the increased number of stock weekly driven there as much of the present space must be appropriated to roads they therefore recommend to the consideration of the Corporation (to obitate? the present inconvenience some*

more commodious place has been considered and submit that the premises in St Andrews Street the property of Major Wilson being not distant from the present Beasts Market as a convenient spot with the view your committee have enquired thro' the medium of a friend) the price of the said premises and are informed that nine hundred guineas is the sum named they have also directed their attention to find out a better accommodation on the Corn market and are of the opinion that the present Market Cross might be converted".

The corporation acting on the committee's recommendation "*resolved that Major Wilson's Estate should be purchased for the corporation at a sum not exceeding nine hundred guineas and that the market for Cattle should be removed there and that the consideration of the further part of the report be postponed to a future day and Mr Deck is authorized to treat for the Estate on behalf of the Corporation*".

At the following meeting held on 9th February 1827, a "requisition" was presented to the corporation that "*We the undersigned Tradesmen and Innkeepers respecting owners tenants and occupiers of messuages and premises situate in and near the Market places of the said Borough having been informed that it is intended to remove the Cattle and Butter Markets in the Borough from the places where the same are now held respectfully beg leave to represent that such removal would be greatly to our prejudice in our several callings and also materially depreciate in value our houses and premises so situated. And we therefore humbly request that any removal of the markets of this Borough (should such be contemplated) may not be carried into effect*". This petition is dated 8th February 1827. At the same meeting the committee of Fairs and Markets "*reported that they had bought Major Wilson's House with the Fixtures at the sum £920*".

Possibly as a result of the petition at the next assembly held on 1st June 1827, it was decided that, "*further consideration of the question relative to the removal of the Cattle Market would be adjourned till this day month*". At the same meeting "*The committee appointed to alter the Cattle Market declined to act any further*". When the assembly next met on 29th June, a motion was proposed in favour of their previous decision that, "*so far as relates to the removal of the Cattle Market be confirmed, the Corporation having purchased the Estate of Colonel Wilson therein referred to, and that a committee be appointed to take the necessary measures to form the New Cattle Market and to carry into full effect the above resolutions*". A committee of five, Robert Maukin, James Mathew, John Symonds, William Frewer and John Jackson were appointed for this purpose and ordered to report "*from time to time their proceedings*". There are no further reports until the 5th May 1828. At that meeting a vote of thanks was proposed "*to Charles Blomfield esquire as Alderman for his firm and manly conduct in supporting the rights and orders of the Corporation on the thirtieth of April Last relative to the removal of the Cattle Market. That he be requested to preserve in his exertions to further the resolutions of the Corporation and to take such measures as he may be legally advised to adopt in preventing a further resistance to such order. That all expenses incurred be defrayed from the funds of the corporation*".

Further committee reports are concerned with regulations for the fairs and markets held on Angel Hill and show concerns about public drinking and the sales of alcohol from temporary stalls.

In the Borough Collection there is a lease for a year dated 3rd January 1820 of "*a new Built capital freehold messuage or tenement ... in a certain street or place there called St Andrews Street ... do abut upon the said street towards the east upon a piece of ground now or late of William Johnson in part and upon a piece of pasture ground late in the occupation of Edward Gooch and now of Edmund Squire his undertenants or assigns in other part towards the west upon a piece of garden ground belonging to and in the occupation of John Thompson Silversmith*

in part and upon a piece of garden ground belonging to the feoffees of the Guildhall feoffment ... to the south upon the piece of pasture ground or passage next ... described in part and upon the yard belonging to the Waggon Inn in other part towards the north". The document continues *"and also all that piece of ground or passage on the north side ... abutting on Saint Andrew's Street ... east upon the said yard belonging to the Waggon Inn towards the west upon the premises hereinbefore described ... south and upon the estate of Mr John Green towards the north".* The counterpart of this document, the release has not been deposited (ref. EE500/11/8).

Amongst the White Hart deeds there is a conveyance dated 19th July 1841 between George Rollinson and John Cambridge of Bury part of the property is described as 2 roods of land behind Risbygate Street. The abuttals were "On the south: other part of same close lately sold to George Portway & now laid into the Cattle Market, on the East the Cattle Market (late garden of Major Eyre, then Major Wilson)".

Plans of the Market

Some details of later acquisitions of lands can be found in the Borough Council Minutes (ref. EE500/1/5-8). The original deeds are still in the possession of the borough's solicitors and have not been examined for this report. There are a series of plans of part the market. These are for proposed works and their context can be best understood in relation to contemporary the minute books. As a result of changes in the copyright laws permission should be sought from the county archivist before these documents are copied.

All the plans relate to the original post 1828 market area and included details of various pigpens situated to the north of the main avenue. The base of each post was embedded 9 inches into a concrete block. The "plans of the proposed iron standards for the sheep pens" dated 12th May 1897 show the same details. These pens were situated on the southern side of the main avenue into the market from St Andrews Street. The weighbridge situated to the west of the octagonal settling house was embedded 4 feet 6 inches below the ground surface according to plans dated 28th November 1892 (ref. EE500/46/1-9). Other plans show the iron railings to the north of the market.

Prospect Row

There are two photographs of the houses in Prospect Row was taken in 1963 "looking north towards the Cattle Market. The houses were empty at the time and were demolished a few months later" (ref. K736/64). Another view was taken of "The backs on the east side of Prospect Row... This photo was taken standing at the back of No 34 (The 3rd house to the north of the Wellington Public House) looking northward". The buildings had a brick frontage while the rear walls was built largely of flint. These were built in 1823 and a number of the original deeds are still held by the borough. Apart from the land later acquired by Simpsons most of the plots of land are very small and no doubt represent individual properties. The references are listed at the end of this report.

The Cricket Field

In the Borough collection, there is a "Schedule of Deeds and Writings relating to a piece called the Cricket Field in Bury Saint Edmunds belonging to the Mayor, Aldermen and Burgesses of Bury Saint Edmunds". Unlike an abstract of title this document does not include a description of the property. It simply lists earlier documents and includes the names of the previous owners. The first reference is to the will of John Eley Wright of Lawshall dated 1st September 1729. A

Benjamin Barwick and his wife Grace are mentioned in an indenture of lease and release dated 20th and 21st August 1762. Benjamin Barwick's will was dated 22nd April 1763. The next item listed are the "Indentures of Lease and Release between John Barwick Sams of Caius College, Cambridge and Hurst Wharton Barwick of Bury Saint Edmunds". John Barwick Sams is named as the owner of Barwicks Close shown on the 1791 map. After this date it is difficult to follow the ownership of the property as the details offered in this document are very brief. On 22nd May 1843 the property was acquired by the Borough and subsequently mortgaged to a Captain William Hubbard.

The borough holds the original 1843 deed for the Cricket Field (ref. A14). The land is described as "*All that piece or parcel of land formerly arable but now pasture containing by estimation six acres twenty perches*".

Another parcel of deeds still held by the Borough is for the property on St Andrews Street immediately to the south of the Guildhall Feoffment property. The Borough purchased this site in 1969. The earliest deed is dated 3rd May 1930 when the property passed from Henry James Rolfe deceased to R. Ernest Rolfe. An abstract records an earlier transfer in 1897 (ref. A448). There is a boundary stone in the rear wall of this property and it together with any similar markers should be recorded.

Mineral Extraction

The environmental statement notes that "a large ventilation shaft possibly for galleried chalk mines was revealed by a collapse during construction work" at a site on the northern side of Risbygate Street. On Warren's 1776 map limekilns are shown on the southern side of Field Lane (now Kings Road). In the wider area there was another kiln at the end of Chalk Lane (Now Chalk Road) as shown on the 1886 Ordnance Survey map and further kilns were located in the area of Out Westgate and Hospital Road. The earliest documentary references to limekilns is in the 1295 town rental though as the abbey was rebuilt in stone in the 11th century there must have been lime situated around the town at a much kilns earlier date.

The chalk for the kilns at Out Westgate and that south of Kings Road appears to have been dug from open pits as shown on various maps. The kiln at the end of Chalk Lane was supplied with chalk dug from galleried chalk mines. The galleries appear to have been to the north and south of Jacqueline Close. In most parishes tenants were allowed to extract sands, gravels and other minerals from areas of common. The enclosure map for Bury (ref. D19/7) shows that the area of this site was not close to any area of common or waste. The continuity and scale of production from the limekilns in Bury suggest a far more organized process of extraction.

Though there are no documentary references to chalk workings within the area of this development, the possibility cannot be excluded.

Conclusion

The earliest documentary reference to the line of St Andrew's Street appears in the deed of 1403, though it is quite possible that the lane existed before that date. The earliest reference to the street by name is in the accounts of 1542 and 1547 and these refer to a former barn but then part of a tannery. The use of this site as a tannery seems to be doubtful. The owner in the two rentals was John Gowty who sold his lands in Long Brackland (Now St John's Street) to William Tassell. In 1557 William Tassell's lands passed to the Guildhall Feoffment Trust, who retained an interest in the property until 1934. Using the trust papers it is possible to obtain an accurate description of the area in the mid 17th century from the lease of 1657. This part of the site was still a barn surrounded by other barns, orchards and gardens. This lease stipulates the preservation of various fruits, apples, pears, wardenes and plums. At the same time there are further references to St Andrews Street as being part of the backside of various properties in the town. These properties breached the town walls and once the town ditch had been filled in additional pieces of land were added to their curtilages.

The field names Barwick's and Brown's come from the owners of these properties in the early 18th century. It is possible that earlier deeds for these properties exist amongst the records retained by the borough's solicitors, though they are unlikely to add significant additional details of land use.

In 1823 part of Brown's Close was sold for the construction of the houses along Prospect Row. The reference in the deed of 1796 to access to a "half part of a well" may suggest some secondary structures within the close. It may also suggest that there were no galleried chalk mines within the area, though documentary sources for chalk mining are very limited and this possibility cannot be excluded. In 1827 the then corporation of Bury took the controversial decision to move the livestock market from inside the town and acquired the site in St Andrews Street for this purpose. The details of further acquisition of land may be found in the papers retained by the borough or their solicitors. Some of these deeds are likely to include details of the easement of the properties such as the responsibility for the construction and maintenance of walls. Some of these walls retained property markers these should be recorded in their original positions before any wall is demolished.

The overall impression is that this is not a significant area of medieval or post medieval activity. The significance of the site lies with its later use as a livestock market. Livestock markets have disappeared entirely from East Anglia and most of Britain though they were a significant factor in the formation of our towns and cities.

Anthony M Breen June 2005

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D4/1/5 Corporation Assembly Minute Book 9th August 1805 - 21st December 1835

D19/7 Certified Copy (1835) Enclosure Award (Under Act of 1814), Lands in the Borough of Bury St Edmunds with plans of Allotments (1816) & of Roads & Footpaths.

Borough Properties: Markets and Fairs

E500/20/1 Copy of Resolution of the Guildhall Feoffees relating to a piece of the Feoffment's land forming part of the Cattle Market 18th December 1840

E500/20/9 Licence of the Board of Agriculture and Fisheries relating to the applicability of the Markets and Sales Order of 1903 to certain portions of the Cattle Market (with plan) 13th June 1905

E500/20/10 Draft agreement for hire of part of the Cattle Market and half a barn: Corporation – Messrs Simpson and Sons 1913

EE 500/11/8 House in St Andrews Street Lease for a year: Vincent Edward Eyre, BSE, esq and George Brown, Tostock, esq – Robert Wilson Didlington, Norfolk esq ('New built capital message') 3rd January 1820.

E500/11/16 Schedule of Deeds and Papers 1729 – 1848 Cricket Field

EE 500/46/1-9 Plans the Livestock Market 1865 – 1897

Documents held by St Edmundsbury Borough Council By Permission

A14 Deed for the Cricket Field 1843

A 7, 63, 83, 97, 147, 165 Deeds individual properties on the West Side of Prospect Row 1823 onwards

A 293 East Side Prospect Row Deeds 1823 onwards for property later Simpsons

A 448 Cattle Market Deeds formerly Rolfe 1897 – 1969

A 4630 East Prospect Row Abstract of Title from 1740 onwards to W.T Simpson 1st September 1857

A4631 Deeds relating to the "Three Kings" 1740 – 1860

A4632 Deeds relating to property St Andrew Street 1773 – 1860

Photograph Collection (SRO Bury)

K736/64 Prospect Row 1967

Guildhall Feoffment Trust (SRO Bury)

Plans

H2/3/4/33 Receivers' accounts, with rental of all feoffment property, 1739 – 1832 and coloured plans of property in Bury surveyed by Thomas Warren 1741

H7/1/2 Coloured plans of Feoffment property in ... Bury St Edmunds, surveyed by J.G. Lenny 1822

GB 500/8/22/2 Plan of Feoffment property at the Bury Cattle Market with notes on land leased out, 1840 – 1879 2 items 1934

Rentals

H1/1/8 Rental Newly Purchased Lands in Bury, Horringer and Melford 1565

Leases

H1/3/10/12 Lease of Garden and Stable in St Adnrew's Street Bury Feoffees to Abraham Wright of Cheveley, Cambridgeshire 1657

Archdeaconry of Sudbury Wills (SRO Bury)

R2/4/23 Alice Gowty 1493

R2/4/195 John Gowty the elder 1507

R2/6/133 John Gowty tanner 1526

Miscellaneous Deeds (SRO Bury)

553/110 Deed Edward Odeham to Thomas and Mary Darnell includes "Newly Erected Messuage in St Andrews Street alias the Backside".

441/1—21 Deeds of 13, Risbygate Street 1722 – 1888

441/48 Conveyance 2 roods of land late part of a close of Edmund Squire 19th July 1841

449/2/16 Hengrave Collection Quitclaim "Two pieces of land in Bury St Edmunds in ... Spyntelmellefield" 11th April 1437

742/37,38 Property John Drewett in St John's Street 1727

742/89 Office Copy of will of John Drewett 1765

EL 13/12/1 – 21 Barrow Parish Records Crosier's Charity Lands in Bury St Edmunds, Chevington Way 1356 - 1569

FL 544/1/1 Release John Rutter of Darsham yeoman to William Yardley of Bury Butcher and Henry Leech the younger cutler Houses in Long Brackland

FL 545/11/45 Deeds and Papers relating to property in Long Brackland, Bury St Edmunds 1731 – 1782 Includes copy extract of the will of Mary Rutter 1734.

Iveagh Collection Suffolk Record Office, Ipswich

HD 1538/170/2 Deeds 1403 Property in Risbygate Street

HD 1538/170/3 Messuage on Great Market, Bury etc ...on common way leading from Rysbygate to Spyntelmellegapp" 1485

Published Sources

A.M. Breen "The Bury Rentals 1526 & 1547" Suffolk Family History Society 2000

Christopher Harper-Bill (ed.) "Charters of the Medieval Hospitals of Bury St Edmunds", Suffolk Charters Series Vol. XIV, 1994

Nesta Evans "Wills of the Archdeaconry of Sudbury 1630 -1635" Suffolk Records Society Volume XXIX, 1987

Nesta Evans "Wills of the Archdeaconry of Sudbury 1636 -1638" Suffolk Records Society Volume XXXv 1993

M.D. Lobel "The Borough of Bury St Edmund's: A Study in the Government and Development of a Monastic Town". Clarendon Press, Oxford 1935

L. J. Redstone "The First Ministers account of the Possessions of the Abbey of St Edmund" PSIA Vol. XIII 311-324

V. B. Redstone "St Edmund's Bury and Town Rental for 1295" PSIA Vol. XIII 191-222

Margaret Statham "Accounts of the Feoffees of the Town Lands of Bury St Edmunds, 1569 – 1622", Suffolk Record Society Volume XLVI, 2003

Rodney M Thomson "The Archives of the Abbey of Bury St Edmunds", Suffolk Records Society Volume XXI, 1980

William White "History, Gazetteer and Directory of Suffolk" Sheffield 1844

Appendix 2

SUFFOLK COUNTY COUNCIL ARCHAEOLOGICAL SERVICE - CONSERVATION TEAM

Brief and Specification for an Archaeological Evaluation

(Phase 1 of a multi-phase programme of archaeological work)

CENTROS MILLER DEVELOPMENT, FORMER CATTLE MARKET SITE
BURY ST EDMUNDS

The commissioning body should be aware that it may have Health & Safety responsibilities, see paragraph 1.8.

1. Background

- 1.1 Planning consent [SE/04/2197/P] has been approved by the Council, but is not yet issued, for a major development at land bounded by St Andrew's Street South, Risbygate Street, Kings Road and Parkway, Bury St Edmunds.
- 1.2 The planning consent will contain a condition requiring the implementation of a programme of archaeological work before development begins (Planning Policy Guidance 16, paragraph 30 condition). **An archaeological evaluation of the consent area is required as the first part of that programme of archaeological work; decisions on the need for, and scope of, any further work will be based upon the results of evaluation and will be the subject of additional briefs.**
- 1.3 The development area lies partially within the Area of Archaeological Importance defined in the Draft Replacement Local Plan (the area of St Andrew's Street over the line of the medieval town ditch). A desk-top evaluation was provided as part of the Environmental Statement that accompanied the application; the desk-top adequately assessed the archaeological potential of the area and the potential impact of the development.
- 1.4 The proposed development falls into two zones: areas with substantial ground disturbance (principally east of the line of Prospect Row) and areas where there will be only resurfacing to the existing surface parking. This is defined in an exchange of e-mail and map on 27th and 28th April 2005 with Mark Walsh of St Edmundsbury and Guy Graham for the developer. The area defined for the field evaluation – the area where there will be ground disturbance - is based on this information (Figure 1). Should there be design changes anywhere within the application boundary which affect the predicted degree and extent of ground disturbance there may be a need to extend the areas and methodology of the evaluation defined here.

- 1.5 All arrangements for the field evaluation of the site, the timing of the work, access to the site, the definition of the precise area of landholding and area for proposed development are to be defined and negotiated with the commissioning body.
- 1.6 Detailed standards, information and advice to supplement this brief are to be found in *Standards for Field Archaeology in the East of England*, East Anglian Archaeology Occasional Papers 14, 2003.
- 1.7 In accordance with the standards and guidance produced by the Institute of Field Archaeologists this brief should not be considered sufficient to enable the total execution of the project. A Project Design or Written Scheme of Investigation (PD/WSI) based upon this brief and the accompanying outline specification of minimum requirements, is an essential requirement. This must be submitted by the developers, or their agent, to the Conservation Team of the Archaeological Service of Suffolk County Council (Shire Hall, Bury St Edmunds IP33 2AR; telephone/fax: 01284 352443) for approval. The work must not commence until this office has approved both the archaeological contractor as suitable to undertake the work, and the PD/WSI as satisfactory. The PD/WSI will *provide the basis for measurable standards* and will be used to establish whether the requirements of the planning condition will be adequately met.
- 1.8 Before any archaeological site work can commence it is the responsibility of the developer to provide the archaeological contractor with either the contaminated land report for the site or a written statement that there is no contamination. The developer should be aware that investigative sampling to test for contamination is likely to have an impact on any archaeological deposit which exists; proposals for sampling should be discussed with this office before execution.
- 1.9 The responsibility for identifying any restraints on field-work (e.g. public utilities or other services, tree preservation orders, etc) rests with the commissioning body and its archaeological contractor. The existence and content of the archaeological brief does not over-ride such restraints or imply that the target area is freely available.

2. **Brief for the Archaeological Evaluation**

- 2.1 Identify the date, approximate form and purpose of any archaeological deposit within the application area, together with its likely extent, localised depth and quality of preservation. The periods of archaeological interest run from the prehistoric up and including the formation of the cattle market.
- 2.2 Documentary evidence is thought to be crucial to an understanding of the site and its adequate evaluation because of the close spatial association with the medieval town, the known presence of housing tenements from the 17th century, the known usage of adjacent areas for chalk extraction and early modern industrial functions and the extended use of the land as a regional cattle market. Documentary study is to be given greater weight than might be considered normal in an evaluation.

- 2.3 Evaluate the likely impact of past land uses and natural soil processes, notably the impact of the historic Cattle Market and possibly earlier industrial use. Define the potential for existing damage to archaeological deposits. Define the potential for colluvial deposits, or erosion losses and their impact and potential to mask or remove any archaeological deposit. Define the potential for artificial soil deposits (e.g. those associated with industrial usage and chalk extraction and processing) and their impact on any archaeological deposit.
- 2.4 Establish the potential for waterlogged organic deposits in the proposal area. Define the location and level of such deposits and their vulnerability to damage by development where this is defined.
- 2.5 Provide sufficient information to construct an archaeological conservation strategy, dealing with preservation, the recording of archaeological deposits, working practices, timetables and orders of cost.
- 2.6 Evaluation is to proceed sequentially: the documentary study is to precede the field evaluation.. The results of the documentary study are to be used to inform the trenching design. This sequence will only be varied if benefit to the evaluation can be demonstrated.
- 2.7 This project will be carried through in a manner broadly consistent with English Heritage's *Management of Archaeological Projects*, 1991 (*MAP2*), all stages will follow a process of assessment and justification before proceeding to the next phase of the project. Field evaluation is to be followed by the preparation of a full archive, and an assessment of potential. Any further excavation required as mitigation is to be followed by the preparation of a full archive, and an assessment of potential, analysis and final report preparation may follow. Each stage will be the subject of a further brief and updated project design, this document covers only the evaluation stage.
- 2.8 The developer or his archaeologist will give the Conservation Team of the Archaeological Service of Suffolk County Council (address as above) five working days notice of the commencement of ground works on the site, in order that the work of the archaeological contractor may be monitored.
- 2.9 If the approved evaluation design is not carried through in its entirety (particularly in the instance of trenching being incomplete) the evaluation report may be rejected. Alternatively the presence of an archaeological deposit may be presumed, and untested areas included on this basis when defining the final mitigation strategy.
- 2.10 An outline specification, which defines certain minimum criteria, is set out below.

3. **Specification A: Documentary Study**

- 3.1 Examine all the available cartographic sources (e.g. those available in the Suffolk County Record Office). Record any evidence for historic or archaeological sites (e.g. buildings, topography, field names) and history of previous land uses. Where permitted by the Record Office make either digital photographs, photocopies or traced copies of the document for inclusion in the report.
- 3.2 Undertake documentary research to define the early history of the entire development area defined in the planning application (this is likely to include usage from the medieval period up to and including the establishment of the stable Cattle Market function). It will be necessary to consult primary sources, these must be examined by a recognised historian rather than an archaeologist. Where possible define the function and form of any buildings, the agricultural and industrial use of the area and the location and form of the access routes to and from the area.

4. **Specification B: Field Evaluation**

Field evaluation is to be informed by the documentary study and can only be outlined at this stage. A 'worst case' scenario is outlined in paragraph 4.1. In practice it is probable that areas with frontage to St Andrews Street will require either 5% evaluation or an acknowledgement by the developer that full archaeological excavation of this area will be required if a lesser percentage shows significant archaeological content; areas over 60m back from the frontage are likely to be successfully evaluated by 2 to 3% evaluation. Some evaluation is likely to be possible during soil investigations by the developer and may be allowable before the documentary study provided it does not compromise the St Andrews Street frontage and is of small scale.

- 4.1 In the area defined in Figure 1 trial trenches are to be excavated to cover a minimum 5% by area of the entire site and shall be positioned to sample all parts of the site. Linear trenches are thought to be the most appropriate sampling method. Trenches are to be a minimum of 1.8m wide unless special circumstances can be demonstrated. If excavation is mechanised a toothless 'ditching bucket' must be used. The trench design must be approved by the Conservation Team of the Archaeological Service before field work begins.
- 4.2 The topsoil may be mechanically removed using an appropriate machine fitted with toothless bucket and other equipment. All machine excavation is to be under the direct control and supervision of an archaeologist. The topsoil should be examined for archaeological material.
- 4.3 The top of the first archaeological deposit may be cleared by machine, but must then be cleaned off by hand. There is a presumption that excavation of all archaeological deposits will be done by hand unless it can be shown there will not be a loss of evidence by using a machine. The decision as to the proper method of further excavation will be made by the senior project archaeologist with regard to the nature of the deposit.

- 4.4 In all evaluation excavation there is a presumption of the need to cause the minimum disturbance to the site consistent with adequate evaluation; that significant archaeological features, e.g. solid or bonded structural remains, building slots or post-holes, should be preserved intact even if fills are sampled.
- 4.5 There must be sufficient excavation to give clear evidence for the period, depth and nature of any archaeological deposit. The depth and nature of colluvial or other masking deposits must be established across the site.
- 4.6 The contractor shall provide details of the sampling strategies for retrieving artefacts, biological remains (for palaeoenvironmental and palaeoeconomic investigations), and samples of sediments and/or soils (for micromorphological and other pedological/sedimentological analyses. Advice on the appropriateness of the proposed strategies will be sought from P Murphy, English Heritage Regional Adviser for Archaeological Science (East of England). A guide to sampling archaeological deposits (Murphy and Wiltshire 1994) is available.
- 4.7 Any natural subsoil surface revealed should be hand cleaned and examined for archaeological deposits and artefacts. Sample excavation of any archaeological features revealed may be necessary in order to gauge their date and character.
- 4.8 Metal detector searches must take place at all stages of the excavation by an experienced metal detector user.
- 4.9 All finds will be collected and processed (unless variations in this principle are agreed with the Conservation Team of SCC Archaeological Service during the course of the evaluation).
- 4.10 Human remains must be left *in situ* except in those cases where damage or desecration are to be expected, or in the event that analysis of the remains is shown to be a requirement of satisfactory evaluation of the site. However, the excavator should be aware of, and comply with, the provisions of Section 25 of the Burial Act 1857.
- 4.11 Plans of any archaeological features on the site are to be drawn at 1:20 or 1:50, depending on the complexity of the data to be recorded. Sections should be drawn at 1:10 or 1:20 again depending on the complexity to be recorded. Any variations from this must be agreed with the Conservation Team.
- 4.12 A photographic record of the work is to be made, consisting of both monochrome photographs and colour transparencies.
- 4.13 Topsoil, subsoil and archaeological deposit to be kept separate during excavation to allow sequential backfilling of excavations.

5. General Management

- 5.1 A timetable for all stages of the project must be agreed before the first stage of work commences, including monitoring by the Conservation Team of SCC Archaeological Service.
- 5.2 The composition of the project staff must be detailed and agreed (this is to include any subcontractors).
- 5.3 A general Health and Safety Policy must be provided, with detailed risk assessment and management strategy for this particular site.
- 5.4 The Institute of Field Archaeologists' *Standard and Guidance for Archaeological Desk-based Assessments* and for *Field Evaluations* should be used for additional guidance in the execution of the project and in drawing up the report.

6. Report Requirements

- 6.1 An archive of all records and finds must be prepared consistent with the principles of English Heritage's *Management of Archaeological Projects*, 1991 (particularly Appendix 3.1 and Appendix 4.1).
- 6.2 The data recording methods and conventions used must be consistent with, and approved by, the County Sites and Monuments Record.
- 6.3 The objective account of the archaeological evidence must be clearly distinguished from its archaeological interpretation.
- 6.4 An opinion as to the necessity for further evaluation and its scope may be given. No further site work should be embarked upon until the primary fieldwork results are assessed and the need for further work is established
- 6.5 Reports on specific areas of specialist study must include sufficient detail to permit assessment of potential for analysis, including tabulation of data by context, and must include non-technical summaries.
- 6.6 The Report must include a discussion and an assessment of the archaeological evidence. Its conclusions must include a clear statement of the archaeological potential of the site, and the significance of that potential in the context of the Regional Research Framework (*East Anglian Archaeology*, Occasional Papers 3 & 8, 1997 and 2000).
- 6.7 Finds must be appropriately conserved and stored in accordance with *UK Institute of Conservators Guidelines*. The finds, as an indissoluble part of the site archive, should be deposited with the County SMR if the landowner can be persuaded to agree to this. If this is not possible for all or any part of the finds archive, then provision must be made for additional recording (e.g. photography, illustration, analysis) as appropriate.

- 6.8 The site archive is to be deposited with the County SMR within three months of the completion of fieldwork. It will then become publicly accessible.
- 6.9 Where positive conclusions are drawn from a project (whether it be evaluation or excavation) a summary report, in the established format, suitable for inclusion in the annual 'Archaeology in Suffolk' section of the *Proceedings of the Suffolk Institute for Archaeology*, must be prepared. It should be included in the project report, or submitted to the Conservation Team, by the end of the calendar year in which the evaluation work takes place, whichever is the sooner.
- 6.10 County SMR sheets must be completed, as per the county SMR manual, for all sites where archaeological finds and/or features are located.
- 6.11 At the start of work (immediately before fieldwork commences) an OASIS online record <http://ads.ahds.ac.uk/project/oasis/> must be initiated and key fields completed on Details, Location and Creators forms.
- 6.12 All parts of the OASIS online form must be completed for submission to the SMR. This should include an uploaded .pdf version of the entire report (a paper copy should also be included with the archive).

Specification by: R D Carr

Suffolk County Council
 Archaeological Service Conservation Team
 Environment and Transport Department
 Shire Hall
 Bury St Edmunds
 Suffolk IP33 2AR

Tel: 01284 352441

Date: 9 June 2005

Reference: /BSE-Cattle Market eval.doc

This brief and specification remains valid for 6 months from the above date. If work is not carried out in full within that time this document will lapse; the authority should be notified and a revised brief and specification may be issued.

The work defined by this brief forms a part of a programme of archaeological work required by a Planning Condition, the results must be considered by the Conservation Team of the Archaeological Service of Suffolk County Council, who have the responsibility for advising the appropriate Planning Authority.

Appendix 3: BSE 252 context list

<i>context</i>	<i>feature</i>	<i>trench</i>	<i>identifier</i>	<i>description</i>	<i>cut</i>	<i>cutb</i>	<i>over</i>	<i>under</i>
0001				Unstratified finds				
0002	6		layer	Floor surface of early post medieval terracotta tiles, overlies mortared flint wall 0003		0003		
0003	6		wall	Rubble wall running along the east face of the trench. Sealed beneath floor surface 0002. Constructed of flint and brick bonded in a pale brown sandy lime mortar. The bricks are in yellow and red firings clays and measure 22cm x 6cm and date to C17th.				0002
0004	6		layer	Soil horizon at the base of the soil profile. Dark-mid brown loam well worked buried topsoil horizon. Cut by 0003		0003		
0005	6		wall	Brick course below limestone block on the wets trench face south end				
0006	6		wall	Short wall of bonded bricks running N-S and parallelling 0007. bricks 22 x 11x 6cm and laid in English bond, mortar lime based.				
0007	6		wall	brick wall parallels 0005, double skin of stretchers (this is a single course of an english bond wall) lime mortar probably same as 006				
0008	5		pit	Shallow pit at the centre of trench 5. Broad, shallow and flat bottomed profile, 2.8m across and cut into the chalk. Infilled with bands of pale yellow/green sity clay and decayed chalk and chlak nodules.				
0011	4		wall	Wall running east-west at the at the north end of trench 4. Well made mortared flint and brick wall. The bricks within the wall are laid as a course of headers bricks generally 9x 2.5 x 4.25 inches bricks hand well-made in a fine sandy textured clay. C18th-early C19th. Also includes some reused earlier bricks (17th). Built off the subsoil. Mortar pale sandy lime mortar.				
0012	4		wall	wall at mid trench				
0013	DT 202		well	Unlined well shaft cut into the natural chalk and capped with a dome of bricks the well was infilled to a depth 4.30m from the carpark surface. The construction hole for capping the well cut through the chalk layer 0014				
0014	DT 202		layer	Layer of crushed chalk and gravel immediately below the concrete and tarmac of the carpark surface.		0016	0015	0017
0015	DT 202		layer	Buried topsoil layer at the base of the soil profile within DT 202. Below 0014		0016		0014
0016	DT 202		pit	Construction hole and cap for well 0013 cuts 0014		0014		0017

0016

0017	DT 202	layer	Surface of well laid yellow bricks at the west end of DT 202, immediately below the concrete and sealing chalk layer 0014 and well cap pit 0016. Bricks stamped Woolpit, the same layer as 0113 in trench 1. The eastern side of the brick surface was defined by concrete edging.	0016
0018	3A	layer	Bricks laid on edge, yellow bricks similar to those that make up the surfaces in trenches 1 and DT 202. The edge of the spread of the bricks is marked by an edging of early 19th century red bricks laid on edge these are however reused and have been set in a concrete based mix. Also seen in testhole 3B	
0019	3A	structure	A row of early C19th red bricks laid on edge. These form an edge or retain the bricks 0018 and a concrete surface 0020. The bricks are re-used or re-set within a dry concrete mix.	
0020	3A	layer	Concrete pad/ surface laid against 0019 and butting 0018. Also appears in testhole 3B. Overlies well worked loam 0021	
0021	3A	layer	Dark well worked loam at the base of the soil profile below concrete 0020. Also appears in Testhole 3B	
0022	3B	layer	Bricks laid on edge, yellow bricks similar to those that make up the surfaces in trenches 1 and DT 202. The edge of the spread of the bricks is marked by an edging of early 19th century red bricks laid on edge these are however reused and have been set in a concrete based mix. Also seen in testhole 3A (same as 0018).	
0023	3B	structure	Dwarf wall built of C19th red bricks, continuation of line of 0019 in testhole 3A and forming a retaining wall to surfaces 0022 and 0020. Bricks reused or relaid on a concrete-based dry footing.	
0024	3B	posthole	Posthole containing the stump of an oak post. Sealed beneath 0022	
0025	3A		Posthole or slot butt endfilled with brick rubble loose with a dry lime mortar rubble.	
0026	3C		Two thin layers of crushed chalk immediately beneath the a layer of concrete and above the buried topsoil layer 0027. This is sloping horizon	
0027	3C		Buried topsoil horizon at the base of the soil profile directly over the chalk subsoil.	
0028	3C		Posthole containing a soft wood post probably a telegraph pole	
0029	5		Layer of crushed brick rubble immediately from the below the carpark surface in trench 5	
0030	4	layer	Surface or path made up of moulded stable bricks. Bricks laid in a cement based bedding over a layers of gravel and a thick deposit of rammed chalk, 0031. Over pit 0032.	0031
0031	4	layer	Thick layer of rammed chalk and clean gravel laid in horizontal horizons in the the top of large pit 0032.	

0032	4	pit	very large pit at the southern end of trench 4. Northern edge identified but the southern extent unknown. Slate and post Victorian building material in basal fills. Flat bottomed and straight sided grubbed out cellar???
0033	5	layer	Deep soil layer of completely re-worked loam below chalk 0034 and brick rubble 0029, this was flecked with chalk, charcoal and fragments of daub but produced artefactual material
0034	5	layer	thin layer of rammed chalk, exists only in a narrow band at the north end of the trench.
0035	8	wall	Narrow mortared flint and brick rubble bonded with a hard sandy textured lime mortar. It ran N-S paralleling St Andrews St. but only a short length remains; it being truncated by later well 0036. The bricks handmade possibly C18th, the wall was shallow set, the base just deeper than the debris layer 0037. ground level possibly represented by chalk layer 0038
0036	8	well	Well capped with a brick dome. Re-used early 19th/ 18th century bricks bonded with a cement based mortar. The bricks extend into the shaft to form a lining but how the shaft was treated at depth was unseen. In filled with modern mid C20th rubbish.
0037	8	layer	Muddy silt layer, with crushed tile and degraded chalk and clay, possible demolition of clay lump building. below 0038
0038	8	layer	Thin layer of rammed chalk forming surface butts against and possibly associated with wall 0035
0039	8	layer	clean clay silt similar to that seen at the base of the soil profile in the testhole in the rear garden of no 59
0040	8	layer	clean gravel layer below 0038 seen only in the south section of the testhole.
0041	9	wall	A wide brick wall built in two phases during the 19th and 20th century was recorded at the western end of trench 9. The wall was part of the rear of the terrace of buildings that once fronted Prospect Row.
0042	9	layer	A thick layer of brick rubble from the demolition of (?)0041 extending over an 11m length of the trench. The rubble was immediately below the carpark formation layers and overlay the loam of the former rear gardens of these properties
0043	10	wall	Narrow mortared flint wall, running across the west end of trench 10, built within a shallow footing trench that was entirely within the topsoil. A 19th century brick wall built off 0043 and faced the eastern elevation. The wall were part of the properties fronting Prospect row and a continuation of those recorded in trench 9. The walls bounded a rammed chalk surface in the north west corner of the trench separating it from a post Victorian deposit of black silt and domestic debris.
0044	10	pit	Circular pit, excavated and recorded at mid trench. Filled with a dark silt, flecked with chalk, charcoal and finely crushed fragments of brick. Probably cut through the buried loam at the base of the soil profile although not clear. The pit produced no datable material

context feature trench identifier description cut cutb over under

0048	11		A stub of brick wall, shallow set and construe dating to the late 18th century crossed the trench ??m back from the frontage	
0049	1	posthole/pit	sub square pit/posthole in the deep trenchin trench 1 filled with chalk rubble simmlar to and probably associated with 0100 an 0110	
0050	1		section of the the east end of the trench south face - across well 0111	
0051	1		section across pits 0107 and westend of trench	
0052	3B	layer	rammed chalk similar to 0114	
0053	6	layer	brick rubble, demolition rubble from the destruction of (?) walls 0007, 0006 pre victorian brick rubble	
0054	6	layer	Limestone block, dressed limestone block finely carved, situated at the junction of two walls. Block supported on a course of bricks 0005 and separated from them by roof slate	
0055	TP 205			
0100	1	posthole/pit	shallow sub-square pit filled with chalk rubble. 50cm by 10cm deep.	
0101	1	posthole/pt	sub-square, deep vertical sided pit/posthole filled with a homogenous single fill of fine brown silt/loam flecked with chalk and charcoal. Sealed beneath chalk 0115.	
0102	1	posthole/pit	sub-square, deep vertical sided pit/posthole filled with a homogenous single fill of fine brown silt/loam flecked with chalk and charcoal. Sealed beneath chalk 0115.	
0103	1	posthole/pit	rectangular posthole/pit filled with silt loam flecked with chalk and charcoal. Top fill contains brick and tile similar to 0104 suggesting the two are associated.	
0104	1	posthole/pit	shallow slot extending from 0103 filled with muddy mixed silts.	
0105	1	posthole/pit	posthole cut into the the to of pit group 0106 and cutting chalk/clay layer 0108. Filled with chalk and orange silt including tile, brick frags similar to 0103.	
0106	1	pits	Group of deep pits at the western end of trench 1. At least two sepeate cuts (0107 and 0109)	
0107	1	pit	Deep pit, 3m across, filled with sandy silt flecked with chalk and burnt clay looks like industrial residues, some slag, buring not in situ. 0107 sealed by clay layer 0108 and cut by 0109	0109 0108
0108	1	layer	layer of clay/chalk part of 0106 and overlying 0107	0107

<i>context</i>	<i>feature</i>	<i>trench</i>	<i>identifier</i>	<i>description</i>	<i>cut</i>	<i>cutb</i>	<i>over</i>	<i>under</i>
0109	1		pit	deep straight sided pit, filled with clean sandy silt. cut from just below chalk 0115 small sample dug - no finds.				0107
0110	1		pit	Pit/posthole similar to 0100 cut from below bricks 0113 but through chalk layers 0115 and 0114				
0111	1		well	Well, lined with mortared flint, pale brown sandy lime mortar with large inclusions possible medieval no post med material within the build. Lining 40cm thick and internal diameter c.1.2m Sealed beneath chalk layers 0115. Suffered collapse long after disuse and overlying layer including bricks 0113 and concrete slumped into shaft.				
0112	1		pit	Pit see in section, appears only in south trench face. Cut chalk and sealed by bricks 0113. In filled with dark orange brown clayey sand, chalk and flint.				
0113	1		surface	brick surface, extensive surface of well laid bricks. Bricks in a yellow firing clay and stamped Woolpit on reverse. C19th cattle market surface bricks also seen in trenches ?????				
0114	1		layer	layer of finely crushed chalk				
0115	1		layer	layer of finely crushed chalk below 0114				
0116	1		layer	Muddy well worked loam, below 0016 and at the base of the soil profile in trench 1				