



**University of
Leicester**

Archaeological Services

**An Historic Building Survey
(Level 2) of outbuildings at
8-10 Market Street, Ashby,
Leicestershire.**

NGR: SK 35673 16738

Sophie Clarke



**A Historic Building Survey (Level 2)
of outbuildings
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Leicestershire**

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For: Lychgate Homes Ltd

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ULAS Report Number 2013-094
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Accession Number X.A58.2013

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A Historic Building Survey of outbuildings at 8-10 Market Street, Ashby de la Zouch, Leicestershire.

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Summary

An historic building survey was undertaken by the University of Leicester Archaeological Services (ULAS) of outbuildings located to the rear of E. Coxon and Sons Butchers, 8-10 Market Street, Ashby de la Zouch, Leicestershire on the 17th of May 2013. The survey covered a range of single storey outbuildings, including a slaughterhouse, lairage and animal stalls, which are the subject of a current planning application for Conservation Area Consent for demolition.

Previous archaeological survey undertaken by TR Projects has indicated that the earliest buildings on the site were constructed after 1881. The complex has undergone numerous phases of significant alteration and additions throughout the 20th century, reflecting the use of the site as a working slaughterhouse and butchery throughout this period.

The report and archive will be deposited with Leicestershire Museums under Accession Number X.A58.2013.

Introduction

In accordance with National Planning Policy Framework (NPPF) Section 12 *Conserving and Enhancing the Historic Environment* this document forms the report for an historic building survey (Level 2) on the outbuildings located to the rear of Coxon's Butchers, 8-10 Market Street, Ashby de la Zouch. Level 2 historic building surveys are defined in the English Heritage guidance document – *Understanding Historic Buildings: A guide to good recording practice* (2006). Planning consent (12/00832/FUL) has been granted for the demolition of the existing buildings and the erection of seven two-bedroom dwellings, with commercial use below.

Coxon's Butchers is located on the south side of Market Street in the centre of Ashby de la Zouch, located in the district of North-West Leicestershire (Fig.1). The outbuildings are located to the rear of Nos 8-10 Market Street, within a narrow, tarmac-covered yard area.



Figure 1 Site Location

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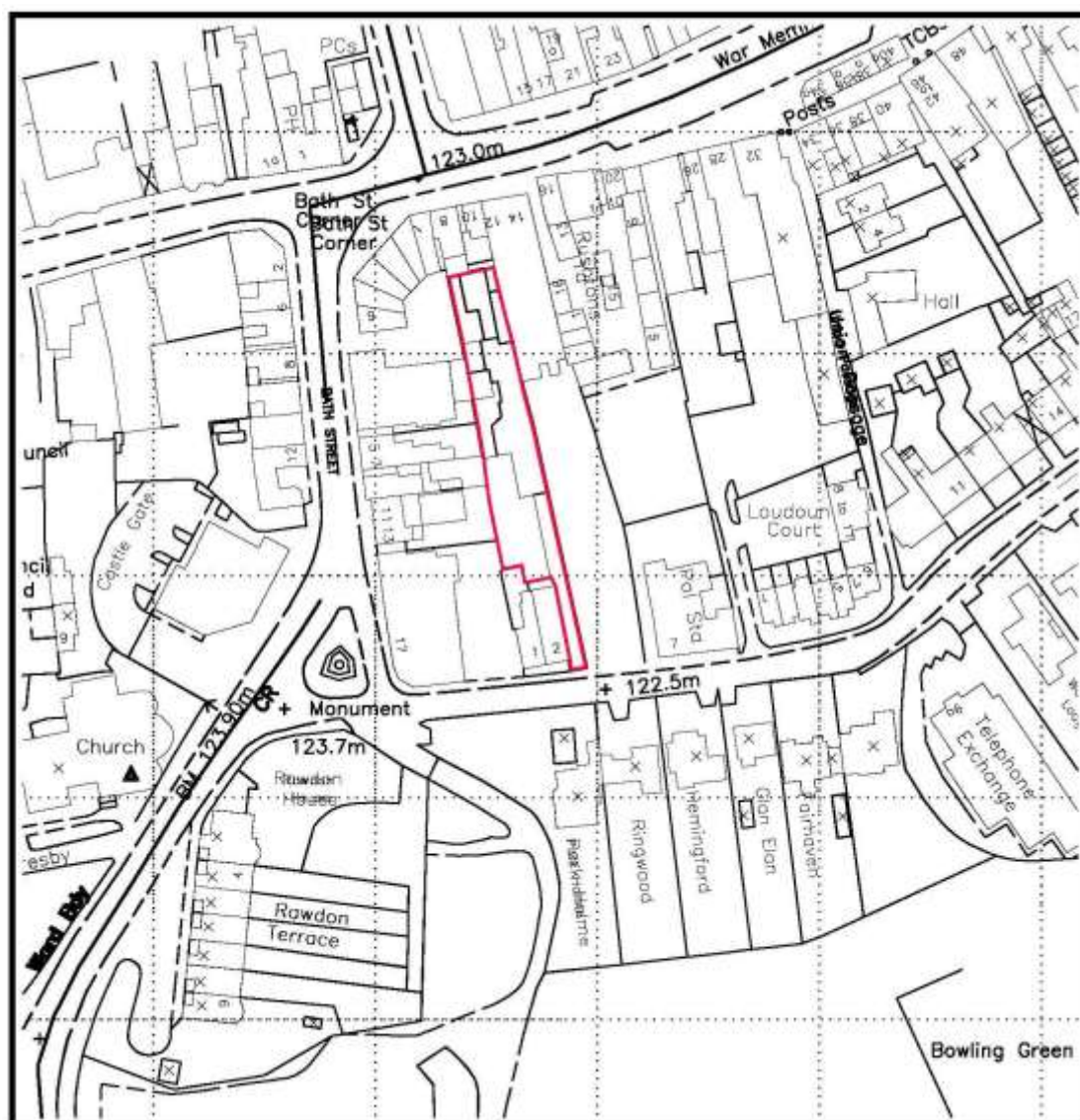


Figure 2. Site plan
Supplied by Lynchgate Homes Ltd

Background

An earlier historic building survey and plot analysis was undertaken in 2005 by TR Projects. This has provided a detailed historic site background, chronological development of the outbuildings and analysis of building materials used. This work is included here as Appendix I. This second phase of building survey has focussed on providing a more detailed photographic record of the site and a set of historically accurate, scaled floor plans. This work has been undertaken in line with the *Written Scheme of Investigation for Historic Building Recording* (ULAS 2013), in response to the request by the Senior Planning Archaeologist that a Level 2 historic building survey be completed before any demolition work takes place.

Objectives

The objectives of the historic building survey were:

- To provide a written, drawn and photographic record of all the buildings on site prior to the commencement of works with specific attention given to those elements proposed for demolition, conversion and/or alteration. This work to be undertaken to a standard that will allow the future interpretation of the building within the context for which it was originally designed and which subsequently evolved.
- To ensure the long-term preservation of the information through deposition of the record and a summary written report with an appropriate depository.

Methodology

Black and white 35mm photographs and digital colour photographs were taken throughout the survey. Notes and sketches were also made and scale site plans supplied by the client were used and modified to suit the purposes of this survey. The specific levels of detail used in the Level 2 survey followed the guidelines laid down in the RCHME (1996) and English Heritage (2006) specification, which were:

1. The Written Account:

- The precise location of the building, by name or street number, civil parish, town, etc, and National Grid reference and details of listing or scheduling.
- The date when the record was made, and the name(s) of the recorder(s).
- A statement describing the building's plan, form, function, age and development sequence. The names of architects, builders, patrons and owners should be given if known.
- An account of the building's overall form (structure, materials, layout) and its successive phases of development, together with the evidence supporting this analysis.
- An account of past and present uses of the building and its parts, with the evidence for these interpretations. An analysis of any circulation pattern or decorative, iconographic or liturgical scheme.

2. Drawn Record:

- Shall comprise plans (to scale or full dimensioned) of all main floors as existing. Small buildings of well-known types, or buildings with a repetitive structure (e.g. many industrial buildings) may be planned on one floor only, but a note or a sketch plan should be made to show the arrangement of other floors. Plans should show the form and location of any structural features of historic significance (e.g. blocked doors and windows; former fireplace openings; masonry joints; changes in internal levels).
- As a minimum, in all cases, the drawn record will include a sketch plan roughly dimensioned (when no more thorough drawn record is required). Such a plan may not always include structural details (e.g. timber framing).

- In each of the above cases, use may be made of available plans (i.e. those prepared as part of a planning application). In all cases these shall be checked by the historic building specialist and supplemented or amended where necessary.
3. Photographic Record:
- General view of views of the exterior of the building.
 - The overall appearance of principal rooms and circulation areas.
 - Detailed coverage of the building's external appearance. In the case of a building designed by an architect, or intended to be seen from a certain point of view, it is important to have regard to the builder's intentions and to record the effect of the design or of the building's placing.

All work followed the Institute for Archaeologists (IfA) *Code of Conduct* (2012) and adhered to their *Standard and Guidance for Archaeological Investigation and Recording of Standing buildings or Structures* (2008). In addition, Leicestershire County Council's *Guidelines and Procedures for Archaeological Work in Leicestershire* (1997) was followed.

Results

The following plans show the layout of the outbuildings (Figs 3-4). Figure locations are shown on Fig. 21.

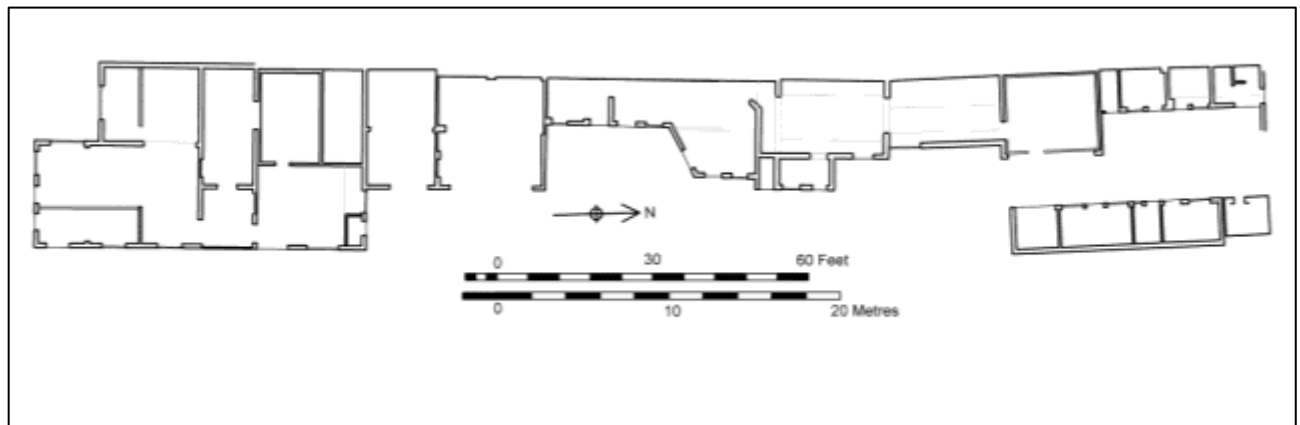


Figure 3. Plan of outbuildings to rear of No.s 8-10 Market Street, Ashby.

Derived from plans supplied by Daavid Granger Architectural Design

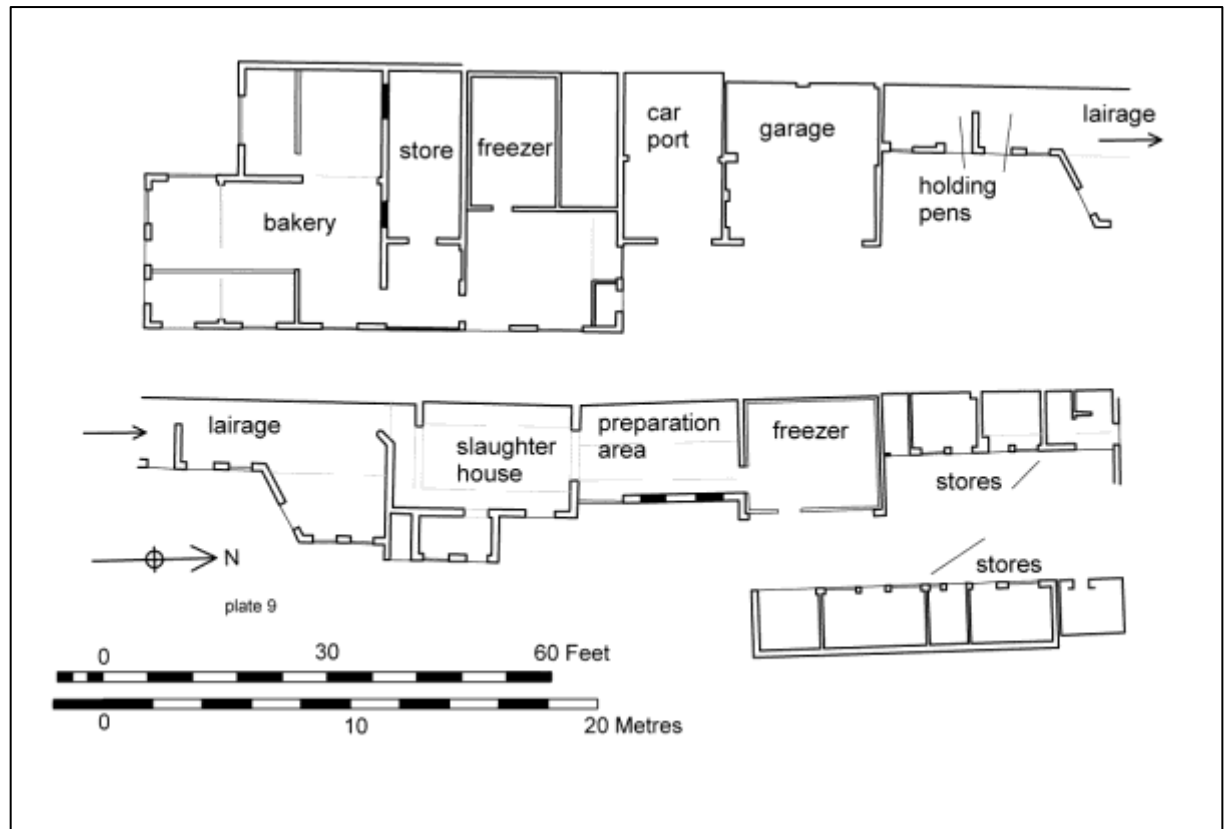


Figure 4. Annotated plan of outbuildings.



Figure 5. General view of yard area, looking south.

The principal range of outbuildings is located to the rear of No. 8 Market Street, aligned from north to south along the line of the western property boundary. At the southern end of the range is a large, early 20th century brick building of one and a half storeys, capped in a Welsh slate roof which is supported on a timber king-post roof truss (Figs 6-8). The building is described on the architect's drawings as a Bakery, with stores and a freezer constructed as later additions. The original structure has been subject to a number of alterations and refits throughout its period of use and there is no surviving evidence for an oven or chimney stack.



Figure 6. Bakehouse, looking north-west.



Figure 7. Bakehouse interior, looking south.

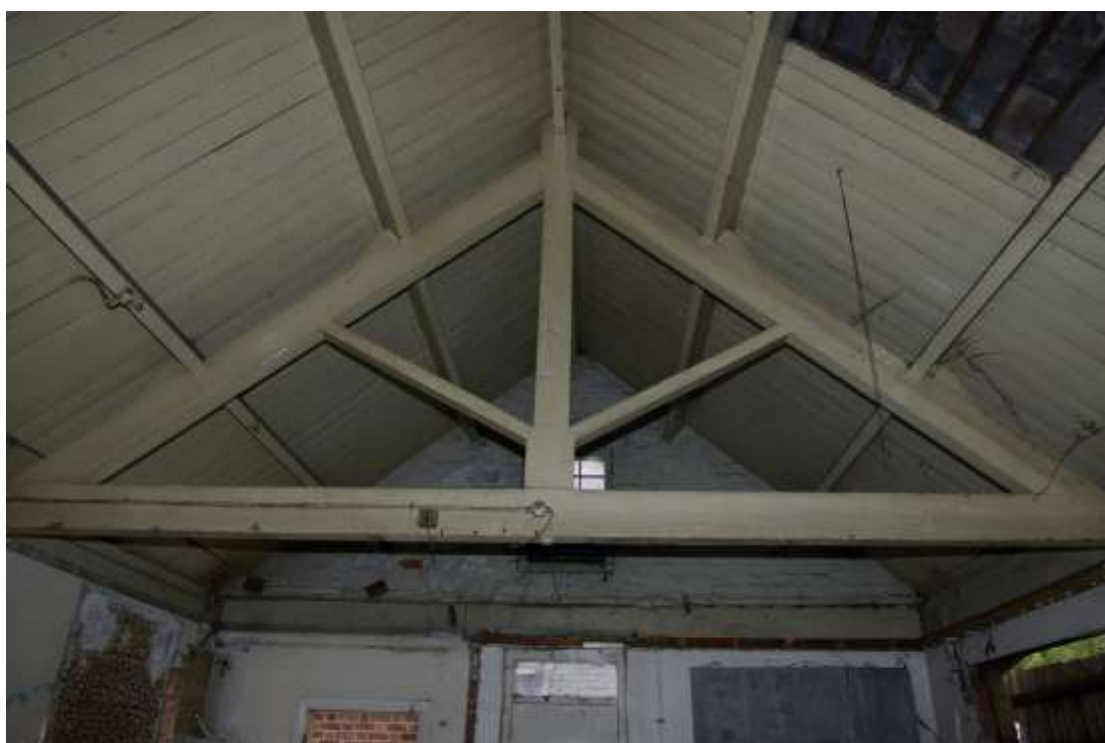


Figure 8. King-post roof truss in Bakehouse, looking south.

Adjacent to the bakery are the remains of the walls of two late 20th century brick structures, described on the architect's drawings as a garage and carport (Fig. 9).



Figure 9. Garage and carport, looking west.

To the north of this are a pair of holding pens which lead into a larger, open lairage space, from which animals would be moved into the slaughterhouse (Figs 10-11). The buildings, which appear on the 1st edition OS map of 1881, consist of single-story brick built units, beneath a mono-pitch, corrugated iron roof. Internal floors are of concrete and at the northern gable end, a short section of angled concrete walling projects into the lairage to provide a concealed access into the stunning area of the adjacent slaughterhouse (Fig.12).



Figure 10. Holding pens and lairage, looking west.



Figure 11. Holding pen, interior. Looking south.



Figure 12. Interior of lairage, with concealed opening into slaughterhouse. Looking north.

The slaughter house itself is a larger brick building of one and a half storeys in height, capped in a clay tile roof (Figs. 13-14). The east-facing elevation displays a number of blocked doorway and window openings, as evidence of how the way in which the building was used may have altered over time. The variety of brick types used is discussed in more detail in the earlier survey report of 2005 (see Appendix I). Internally, no early features are visible. Walls are rendered with whitewash and modern ceramic tiles, and the space is equipped in accordance with Food Safety Agency standards required for meat-processing (Figs. 15-17). Within the northern gable end wall of the preparation area, an inserted opening leads into the freezer room, constructed within a range that has been rather aptly described by David Smith of TR Projects as ‘20th century contingency building’ (Fig. 18).



Figure 13. Slaughterhouse, looking north-west.



Figure 14. Blocked window and doorway openings in east-facing façade of slaughterhouse. Looking west.



Figure 15. Stunning area within slaughterhouse. Looking south.



Figure 16. Pulley tracks for meat-processing. Looking north through slaughterhouse.



Figure 17. Preparation area, looking south.



Figure 18. Freezer room. Looking north-west.

On the opposite side of the building plot, to the south of No.10 Market Street, is a short range of single-storey brick outbuildings, with flat, cast-concrete roofs, which are likely to date to the mid-late 1940s (Figs 19- 20).



Figure 19. Looking north towards stores.



Figure 20. c.1940s stores.



Figure 21. Location of figures 5-20.

Archive

The archive consists of:

This report,

Contact sheets of 36 digital photographs,

36 35mm black and white photographs and negatives,

1 Photographic record sheets, combined black and white and digital,

Plans showing locations of archived photographs

1 annotated site plan

Architects elevation drawings

CD of this report and the digital photographs.

Publication

A summary of the work will be submitted for publication in the *Transactions of the Leicestershire Archaeological and Historical Society* in due course. A record of the project will also be submitted to the OASIS project. OASIS is an online index to archaeological grey literature.

Acknowledgements

The fieldwork was undertaken by Sophie Clarke, the project was managed by Vicki Score. Original architect's drawings were supplied by David Granger Architectural Design.

Bibliography

English Heritage 2006 *Understanding Historic Buildings. A guide to good recording practice*. London: English Heritage

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TR Projects, 2005. *A building archaeology assessment and plot analysis relating to 8-10 Market Street, Ashby de la Zouch, Leicestershire*.

ULAS, 2013. *Written Scheme of Investigation for Historic Building Recording: 8-10 Market Street, Ashby de la Zouch, Leicestershire*. ULAS 13-200.

Oasis Information

Project Name	8-10 Market Street, Ashby, Leicestershire
Project Type	Level 2 Building Survey
Project Manager	V Score
Project Supervisor	S Clarke
Previous/Future work	Building Survey
Current Land Use	Commercial buildings
Development Type	Change of use to domestic/commercial
Reason for Investigation	As a condition
Position in the Planning Process	Ongoing
Site Co ordinates	SP 35673 16738
Start/end dates of field work	17.5.13
Archive Recipient	LCC
Study Area	0.5ha

Appendix I: TRP REPORT (2005)

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