



**University of
Leicester**

Archaeological Services

**An Archaeological Watching Brief and
Historic Building Record at
22 High Street, Kibworth Beauchamp,
Leicestershire.**

NGR: SP 68267 93667

Andrew Hyam



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22 High Street, Kibworth Beauchamp,
Leicestershire.**

NGR: SP 68267 93667

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For: Mr R Gamble

Approved by

Signed: ...



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Andrew Hyam

Summary

An archaeological watching brief and Level 2 historic building survey was undertaken by the University of Leicester Archaeological Services (ULAS) at 22 High Street, Kibworth Beauchamp, Leicestershire. The work took place between the 30th of January and the 4th of February 2014 during the ground works for a small driveway and the redevelopment of a 19th-century outbuilding to the rear of a Grade II listed late 18th-century house. The site lies at the heart of the village core hence the requirement for a watching brief.

No archaeological features or deposits were observed during the watching brief.

The fieldwork was carried out by A.R.Hyam. The archive will be deposited with Leicestershire Museums Service under Accession Number X.A13.2014

Introduction

In accordance with National Planning Policy Framework (NPPF) Section 12 *Conserving and Enhancing the Historic Environment* this document forms the report for an archaeological watching brief and Level 2 historic building record at 22 High Street, Kibworth Beauchamp, Leicestershire, NGR SP 68267 93667. Planning consent has been given for the conversion of an outbuilding into a dwelling house (planning application 13/0170/FUL, revised scheme of 13/00399/FUL and 13/00618/LBC). As a planning condition the Senior Planning Archaeologist at Leicestershire County Council requested that a programme of archaeological work and a suitable level of historic building recording take place during the redevelopment.

Background

The village of Kibworth Beauchamp lies immediately to the south and south-west of its close neighbour Kibworth Harcourt. Both lie approximately 6km north-west of Market Harborough and 6km to the south-east of Leicester (Fig. 1). Kibworth Beauchamp is positioned to the south of the main A6 London Road and is on a gentle slope which drops away to the south-east. The development site is located on the southern side of High Street near to its junction with Station Street and New Road. Number 22 High Street is a Grade II listed building (listing number 1061570) and dates to the later 18th century (Fig. 2). The listing is as follows:

KIBWORTH BEAUCHAMP HIGH STREET (South Side) SP 69 SE 6/68 No. 22 GV II House. Late C18. Red brick and Welsh slate roof with brick end stacks. 2 painted stuccoed sill bands and brick dentilled eaves. 3 storeys of 3 1/1 sash windows 3 C20 1-light 2nd floor windows. Cambered lintels. Central wooden doorcase with pilasters and bracketted broken pediment. 6-panelled door and overlight, the glazing bars of which form an elaborate pattern of diamonds and other shapes.

To the rear (south) of Numbers 22 and 24 is a small yard area which leads to a pair of large two storey outbuildings. Access to the yard is presently from High Street through a covered entrance created when Number 24 was extended to join the west wall of Number 22 (Fig. 3). The buildings, which until recently belonged to Number 22, were formerly used as stables, stores and haylofts which, although not individually listed, form part of the curtilage of the property (Fig. 4). The focus of this programme of work is Building 1 which runs on an east to west alignment parallel to the rear of Number 24. Behind, to the south of, Building 1 is a large south-facing garden which has now been partially truncated by a new housing development covering a number of former rear gardens. Access to the redeveloped Building 1 will be from a service road running through the new housing development. Building 2, which runs north to south along the eastern boundary of the site, does not form part of this report.

The First Edition Ordnance Survey county series map of 1886 shows Number 22 and its surrounding outbuildings very much as they survive today. The layout remains virtually unchanged until the 1973 edition when a small rectangular addition to the north-east corner of Building 1 appears. This addition remains on current maps although it is not clear what function this serves.

The watching brief component of the work covered the groundworks for a small pull-in, driveway and hard standing area leading from the new estate road into the south-west corner of the garden belonging to Building 1. The building survey component covers Building 1 which had undergone some modifications and redevelopment before the start of this survey. A measured drawing of the building has been prepared by the client, Mr R Gamble, and this has been used as the basis of the survey drawings used here (Fig. 5).



Figure 1 Kibworth Beauchamp location

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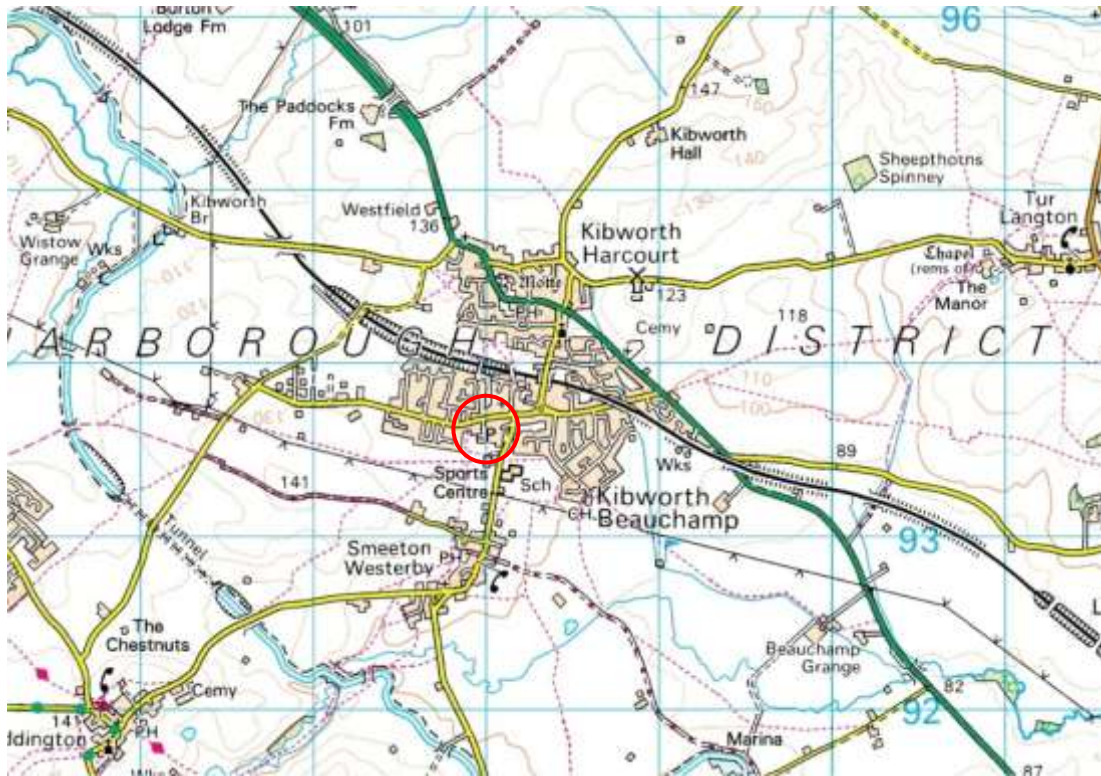


Figure 2 Site location

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Figure 3 22 High Street
Looking south west. Site entrance between the two cars

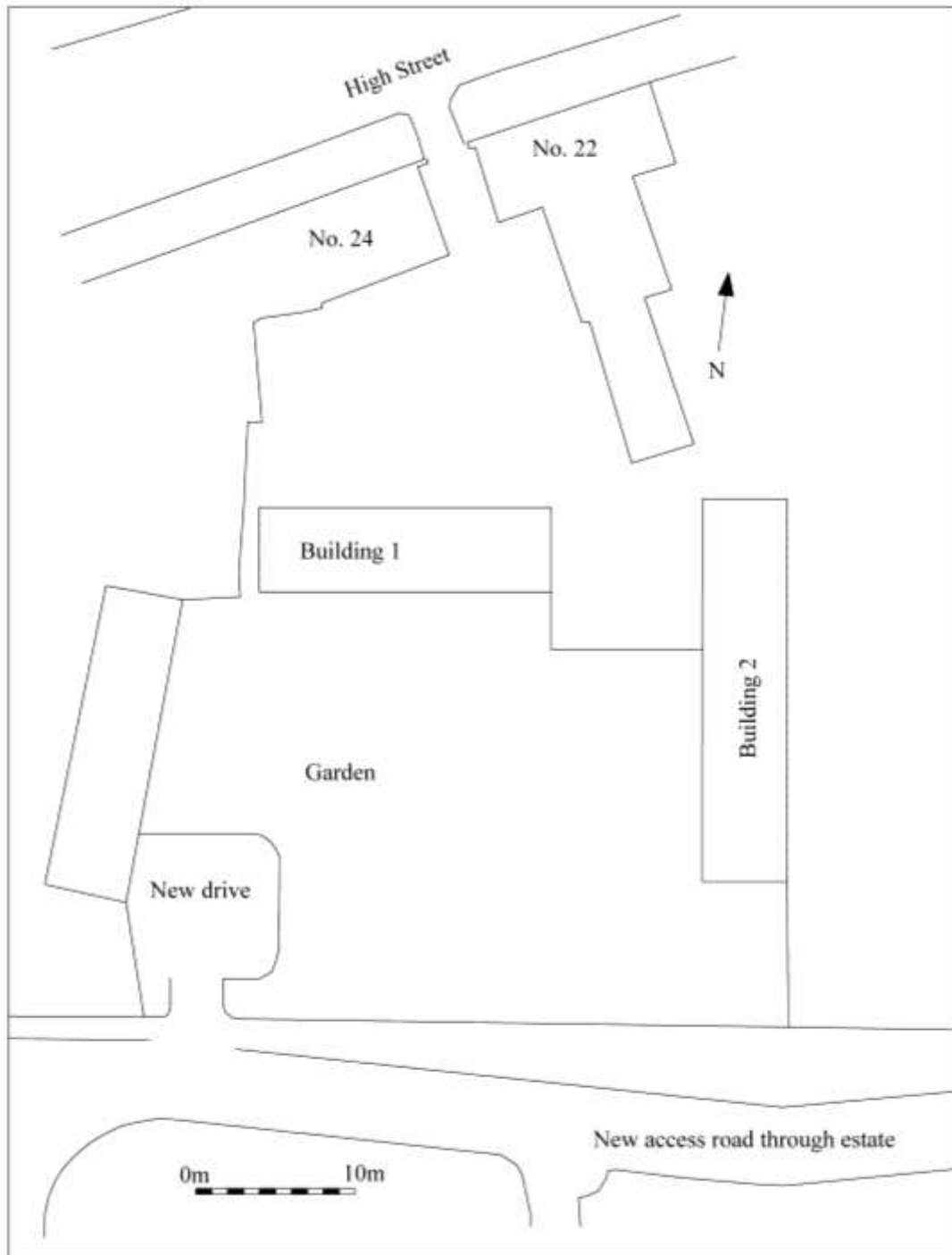


Figure 4 Site layout



Figure 5 Elevations and plans
Modified from drawings supplied by Mr R Gamble

Objectives

The purpose of the archaeological watching brief may be summarised as follows:

- To identify the presence/absence of any archaeological deposits.
- To describe, record and if possible provide a date range for the stratigraphy.
- To produce an archive and report of any results to inform the need for further work and to provide supplementary data for the Heritage Assessment.

The objectives of the historic building survey were:

- To provide a written, drawn and photographic record of all the buildings on site prior to the commencement of works with specific attention given to those elements proposed for demolition, conversion and/or alteration. This work to be undertaken to a standard that will allow the future interpretation of the building within the context for which it was originally designed and which subsequently evolved.
- To ensure the long-term preservation of the information through deposition of the record and a summary written report with an appropriate depository.

Methodology

The Watching Brief

A tracked mini-digger fitted with a toothless ditching bucket was used to excavate the driveway under continuous archaeological supervision. Should significant archaeological remains be identified during the watching brief, there was provision for the implementation of a programme of excavation and recording as necessary, using additional personnel if required.

All groundworks and deposits were recorded by notes, sketches and photographs. The recording methodology followed that specified in the ULAS Design Specification. All work followed the Institute for Archaeologists (IfA) *Code of Conduct* (2008) and adhered to their *Standards and Guidance for Archaeological Watching Briefs* (2008) and the *Guidelines for Archaeological Work in Leicestershire and Rutland (LMARS)*.

The Historic Building Record

Survey Drawings

A measured survey of the buildings including floor plans and external elevations had already been prepared by the client. Scaled printouts from this survey were verified on site for accuracy and amended as necessary with the addition of historic architectural details. These were transferred to a CAD package and revised to conform to the architectural drawing conventions set out in the English Heritage guidelines.

The drawn record comprises:

- Plans and elevation drawings (to scale or fully dimensioned) showing the location of any structural features of historic significance (eg blocked doors/windows)
- Sections to illustrate the vertical relationships within a building.
- Drawings to show the form of any architectural decoration.

Written record

- A written record was maintained on site in the form of field notes and annotations on survey drawings.
- The written component of the report includes:
 - The precise location of the building, by name or street number, civil parish, town etc and national Grid Reference
 - A note on any statutory or non-statutory designations
 - The date the record was made, the names of the recorders, and the location of project archive
 - A brief statement describing the building's type or purpose, materials and possible dates of construction and alteration.
 - A note of the buildings past and present relationship to its setting.
 - A table of contents and list of figures or illustrations
 - Full bibliographic and other references, or a list of sources consulted

Photographic record

- A photographic record of the investigations was made to English Heritage Level 2, using a 35mm format SLR camera with black and white print film supplemented by colour digital photographs. The photographic record comprises:
 - General views of the building in its setting or landscape
 - A record of the building's exterior appearance.
 - A record of interior space, fixtures and fittings
 - Particular attention was paid to those structures and fragments of structures, likely to predate the late 19th century 1st edition OS mapping

Results

The Watching Brief

Because of the new layout of the redeveloped site, access to the rear of Building 1 will be via a driveway from a road leading through the new estate leading from Weir Road. The new driveway forms a small rectangle and is located in the south west corner of the garden belonging to Building 1 (see Fig. 4). The drive will extend northwards from the estate road and measures approximately 7m square which will be large enough to provide access and hard standing for additional cars.

Prior to redevelopment, the site of the proposed drive formed part of a larger garden and was partially lawn and partially border (Fig. 6). The area had been heavily tracked on by plant and equipment belonging to the adjacent redevelopment which had caused a great deal of disturbance to the dark grey sandy silt topsoil which had an approximate thickness of between 0.1 and 0.15m. Removal of the topsoil revealed a subsoil consisting of a dark brown clayish silt with patches of mid orange brown clay silt. The subsoil contained a large amount of modern brick debris and extensive root disturbance was noted. Approximately 0.2 to 0.25m of subsoil was removed to expose areas of mid yellow-brown sandy clay natural substratum. The maximum depth of excavation for the drive was 0.4m below current ground level which was only deep enough to expose some areas of natural covering approximately 75% of the new drive (Fig. 7). However, the natural that could be seen was generally clean and undisturbed although there was a lot of evidence of tree and shrub root disturbance.

No archaeological features or deposits were seen during this small watching brief.



Figure 6 Location of drive before excavation
Looking north east. Building 1 on left of picture, Building 2 in centre



Figure 7 Stripped drive
Looking south west

The Historic Building Record

Building 1 is a two-storey structure built on an east to west alignment to the rear of the houses fronting onto High Street. It is constructed of red bricks measuring 244mm long by 75mm high by 115mm wide, laid in courses of three stretchers and one header. Some of the bricks are nearly vitrified and are blue in colour. The roof covering is of Welsh slate with blue ceramic ridge tiles. The style of the building and the choice of materials suggest it to be of a mid to late 19th century origin.

North Facing Elevation

The north elevation is of a single phase of construction with no indication of brick joints suggesting any building extension (Figs. 8 and 9). The brickwork at the eastern end ground floor appears to be relatively fresh and may have been rebuilt quite recently. This may be the case as, currently, there is no doorway into the ground floor eastern room. A trace in the brickwork of possible flashing marks where a small lean-to type structure may have been, which would relate to the structure shown on current maps. No trace of this structure remains and the ground in front has been laid as a small lawn and border area. Access to the ground floor middle and western ground floor rooms is via two separate doors on this elevation. The middle room has a wide doorway into a small stable. The door for this room is a substantial four-panelled door, probably re-used from elsewhere (Fig. 10). The door into the western room is a plank-built door more in keeping with an agricultural building. No glazing survives in the ground floor windows, some of which have been blocked using imperial sized bricks, suggesting that they were blocked some time ago. The windows have flat-headed brick arches whilst the doorways have simple flat lintels made of timber. Some of the first floor windows have also been blocked with bricks. Where the first floor glazing survives it can be seen to consist of thin vertical metal glazing bars with

small rectangular panes of glass (Fig. 11). The central first floor window has a horizontal wooden hatch door set below the brick blocking (Fig. 12).



Figure 8 North facing elevation
Looking south east



Figure 9 North facing elevation
Facing south west



Figure 10 North elevation stable door

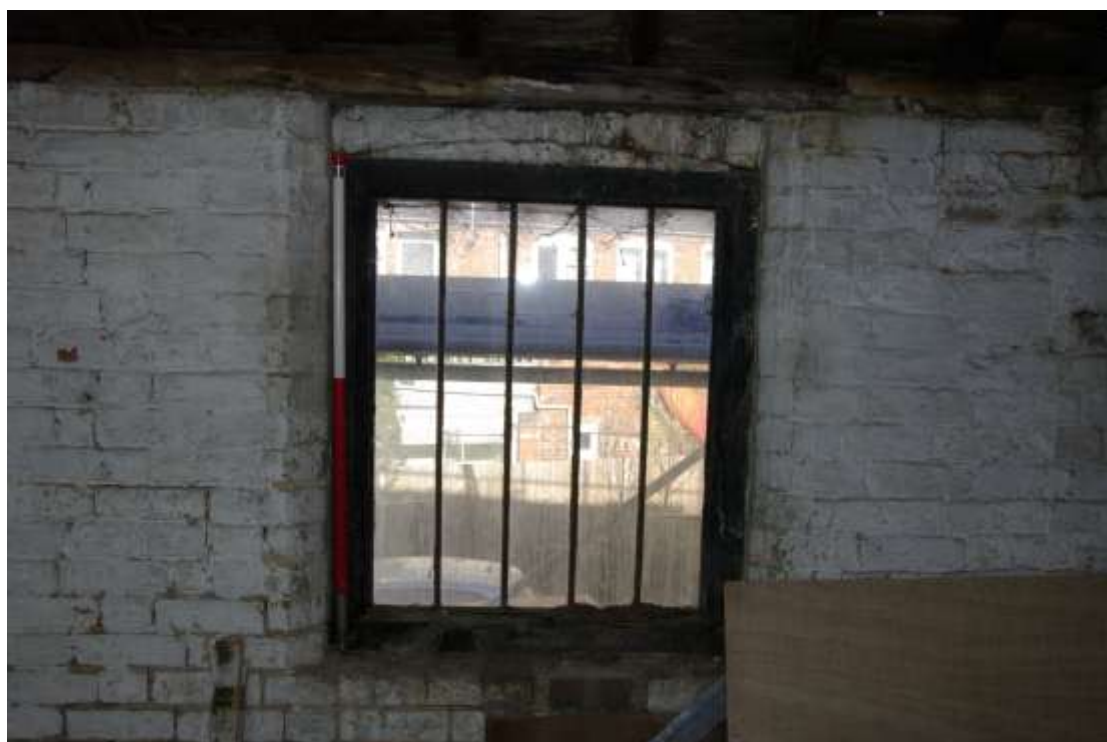


Figure 11 North facing elevation first floor window detail
Looking north from inside building, 1m scale.



Figure 12 Modified window on north facing elevation
Looking south west

West facing elevation

The west facing elevation is a plain brick-built gable ended wall separated from the adjoining property by a narrow footpath. The gable end at, eaves height, is currently being rebuilt due to instability issues. The brick courses have the same three stretchers and one header bonding as on all other elevations.

East facing elevation

The east facing elevation faces towards the north west corner of Building 2 and is separated from it by approximately 9 metres. The plain brick-built gable end matches that of the west facing elevation and has no obvious blocked doors or windows (Fig. 13).

South facing elevation

The south facing elevation follows a similar pattern of irregularly spaced windows at ground and first floor level (Figs. 14 and 15). At the time of the survey the brickwork was being repointed and the first floor western corner had been demolished prior to rebuilding. Two rebuilt chimney stacks had also been removed down to eaves height as they had been causing serious structural problems (Fig. 16). Both the ground floor and first floor windows are a mix of vertically glazed windows, as seen on the north facing elevation, and similar windows but with an opening top third (Fig. 17).



Figure 13 East-facing elevation
Looking west



Figure 14 South facing elevation
Looking north east



Figure 15 South-facing elevation
Looking north west



Figure 16 South-facing elevation
Photograph taken by Mr R Gamble prior to remedial works.



Figure 17 South-facing elevation first floor window
Looking south, 1 m scale

Ground Floor

The ground floor is divided into three uneven-sized rooms (see Fig. 5).

Ground floor – west room

The westernmost room is the largest of the three ground-floor rooms (Figs. 18 and 19). The room has a modern concrete floor which covers the base of a cast-iron post. The post supports one of two north to south oriented stop-chamfered beams. This post appears to be a later addition, probably added because the beam is supported over a window lintel. A 0.76m (30 inch) wide fireplace has been boarded over on the south wall (Fig. 20). Open wooden stairs on the east wall lead up to the first floor. A doorway in the north east corner of the room used to lead into the middle room but has been blocked with relatively old brickwork.

Ground floor – middle room

The middle room has clearly been used as a small stable and has stable paviours on the floor (Fig. 21 and 22). A wooden partition runs from east to west across the centre of the room to create two stalls. A cast-iron post, which matches that seen in the west room, supports a stop-chamfered beam. The south and east walls have recently been panelled with plywood which has also boxed in a fireplace in the south east corner.



Figure 18 Ground floor, west room
Looking north east



Figure 19 Ground floor, west room, post detail
Looking south west, 1m scale



Figure 20 Ground floor, west room fireplace
Looking south west



Figure 21 Ground floor, middle room
Looking south east



Figure 22 Ground floor, middle room
Looking north east

Ground floor – east room

There is currently no doorway into the eastern room, so an inspection had to be made through the windows (Figs. 23 and 24). None of the original flooring remains as this has been removed to rebuild and re-skin the south wall. The original bricks have been re-used on the outside and modern ones used internally.

First Floor

The first floor of Building 1 forms a single long room partially divided by the stairs leading up from the ground floor (Figs. 25 and 26). Four roof trusses support the roof structure, a fifth new truss has been added for additional structural support at the east end of the building. The original trusses consist of a king post with raking struts and cleated purlins supported on the backs of the principal rafters (Fig. 27). The socketed king post is held onto the horizontal truss with a metal stirrup which is pegged using an iron peg (Fig. 28). Both fireplaces on the south wall have been blocked and the chimney stacks removed at eaves height. Rebuilding work in the past has caused significant structural damage to the outside walls and stacks. This is in the process of being remedied by rebuilding the stacks and parts of the walls. The western gable end has been removed as has much of the wall around the south-west corner which has left some windows temporarily isolated.



Figure 23 Ground floor, east room
Looking south



Figure 24 Ground floor, east room
Looking north



Figure 25 First floor
Looking south east, 1m scale



Figure 26 First floor
Looking west, 1m scale



Figure 27 First-floor roof truss
Looking west



Figure 28 First-floor roof truss detail

Discussion

The watching brief did not identify any archaeological features or deposits. This was a very small area and barely deep enough to expose very much of the natural substratum. The area had also been quite heavily disturbed by root activity and to a certain extent by building in the adjacent estate. However enough of the stripped area was exposed to show that there were no archaeological features present in this area.

The building recording shows that Building 1 is a mid to late 19th-century structure which was constructed in a single phase. The style of building and materials used would narrow down the construction date to well into the second half of the 19th century at the earliest but, at the same time, pre-dates the first edition OS map of 1886. The use of metal stirrups supporting the timberwork of the roof trusses also suggests a mid to late 19th-century origin.

Together with Building 2 the pair of buildings are quite a substantial addition to the property and probably represent a key change in the use of the grounds. This may have something to do with the local hunting community which was growing rapidly around this time. It may also be connected with the growth of the village caused by the coming of the nearby railway. The use of stop-chamfered beams supporting the first floor indicates that the owner was sufficiently interested in the building to add small embellishment such as these. Despite this the building remains a relatively functional agricultural structure typical of similar outbuildings seen across the region.

Archive

The archive consists of:

This report,

1 pro-forma watching brief form,

1 photo record sheet for the watching brief,

2 pro-forma photo record sheets combined for black and white and digital from the building survey,

1 contact sheet of 13 digital photographs from the watching brief,

1 contact sheet of 42 digital photographs from the building survey,

Contact sheet and negatives of 28 35mm black and white photographs from the building survey,

1 cd of this report and the digital photographs.

Publication

A summary of the work will be submitted for publication in the *Transactions of the Leicestershire Archaeological and Historical Society* in due course. A record of the project will also be submitted to the OASIS project. OASIS is an online index to archaeological grey literature.

Acknowledgements

Thanks are due to the client Mr R Gamble for supplying original survey drawings and photographs of the building.

Bibliography

Brown, D. 2008 *Standard and Guidance for the Preparation of Archaeological Archives* (Institute for Archaeologists).

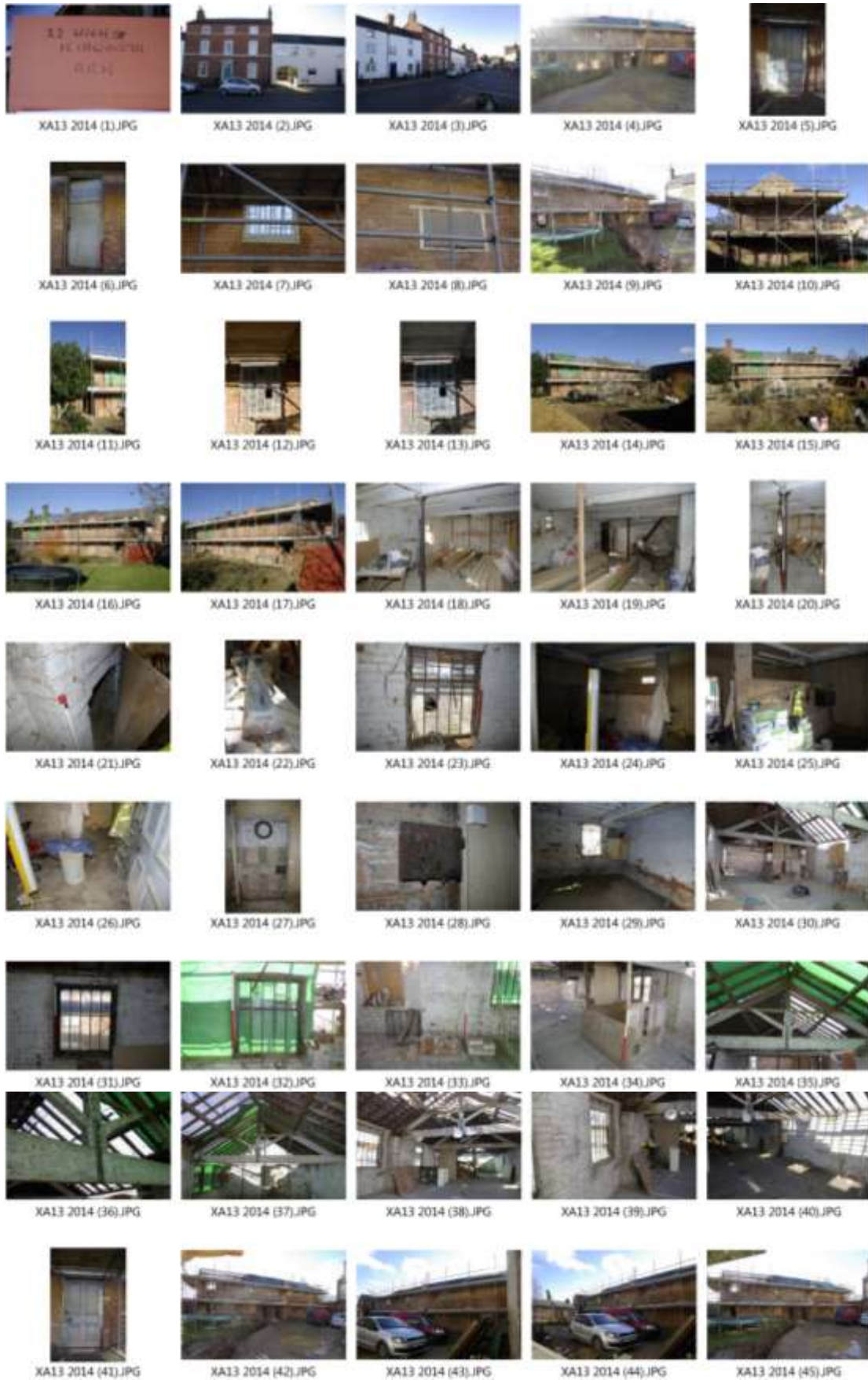
IfA, 2008, *Standards and Guidance for Archaeological Watching Briefs*

English Heritage 2006 *Understanding Historic Buildings. A guide to good recording practice*. London: English Heritage

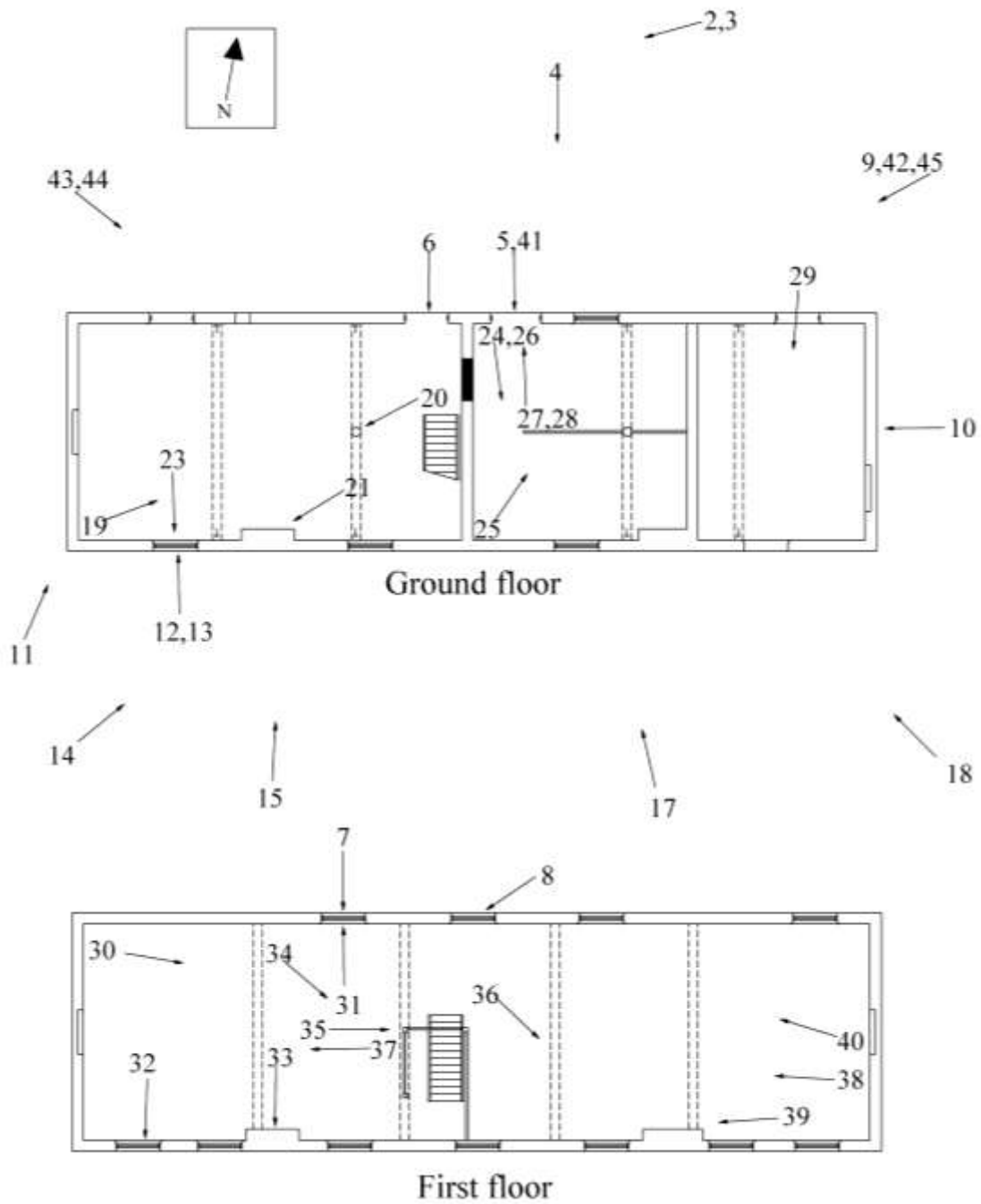
Institute for Archaeologists' (IfA) *Code of Conduct*, adhering to their *Standard and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures*.

Written Scheme of Investigation for Historic Building Recording. *22 High Street, Kibworth Beauchamp, Leicestershire*. ULAS

Appendix 1 Digital photographs from building survey



Appendix 2 Digital photograph locations



Appendix 3 OASIS Information

Project Name	22 High Street, Kibworth Beauchamp
Project Type	Watching brief and Level 2 building survey
Project Manager	R Buckley
Project Supervisor	A Hyam
Previous/Future work	None
Current Land Use	Agricultural
Development Type	Residential
Reason for Investigation	As a condition
Position in the Planning Process	On going
Site Co ordinates	NGR SP 68267 93667
Start/end dates of field work	30.1.2014 – 4.2.2014
Archive Recipient	LCC
Study Area	100m ²

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