



UNIVERSITY OF
LEICESTER

Archaeological Services

**A Level 3 Historic Building Survey at
the Queens Buildings,
37-43 Rutland Street,
Leicester**

NGR: SK 59177 04496

Andrew Hyam



ULAS Report No. 2017-100
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A Level 3 Historic Building Recording

At the Queens Buildings

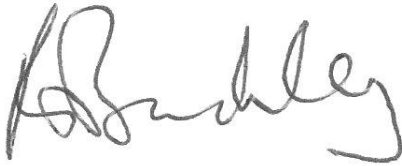
37-43 Rutland Street

Leicester

NGR: SK 59177 04496

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For: Staniforth Architects

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Queens Buildings in 1937 seen from the cinema (now Athena) construction site
<http://specialcollections.le.ac.uk/cdm/singleitem/collection/p16445coll8/id/84/rec/6>

A Level 3 Historic Building Recording at the Queens Buildings, 37-43 Rutland Street, Leicester

NGR: SK 59177 04496

Andrew Hyam

Summary

A Level 3 historic building recording was undertaken by the University of Leicester Archaeological Services (ULAS) at the Queens Buildings, 37-43 Rutland Street, Leicester between January and March 2017. The survey studied the former Alfred Tyler and Sons warehouse and commercial property built by Harding and Topott towards the end of the 19th century. More recently the building has been used as a snooker hall, nightclub and hairdressing salon but is currently unused.

Built in a style known as Edwardian Baroque the main facades of this building are highly decorated with many different architectural details. Internally the former warehouse is much more functional with few of the embellishments seen outside. A number of compromises have had to be made within the building in order for it to fit into the rather awkward street corner site. The building is located in an important part of the city and has always been a prominent part of the street scene. It is located in the heart of the regenerated Cultural Quarter of the city.

The report and archive will be deposited under Accession Number A1.2017

Introduction

In accordance with National Planning Policy Framework (NPPF) Section 12 *Conserving and Enhancing the Historic Environment* this document forms the report for a Level 3 Historic Building Survey of the Grade II listed Queens Buildings, 37-43 Rutland Street, Leicester, NGR 59177 04496. Historic building surveys are defined in the Historic England guidance document – *Understanding Historic Buildings: A guide to good recording practice* (2016). Planning permission has been sought by Staniforth Architects for the change of use of ground and basement floors of 37-43 Rutland Street, Leicester from nightclub (sui generis), retail unit (class a1) and snooker club (d2) to retail (a1), financial and professional services (a2), cafe/restaurant (a3), bar/pub (a4) and office (b1); change of use of first to fourth floors from snooker club (d2) to 14 flats (c3) (14 x 2bed); alterations. The work will be undertaken under planning application reference 2016/1806.

Documentary records and historic mapping analysis show that the former boot and shoe manufacturer's warehouse was built in the late 19th or very early 20th century. Such structures are a rapidly diminishing resource and Leicester City Council have requested that a Level 3 Historic Building Survey take place before the redevelopment work takes place. Until recently the building was used as a nightclub, snooker club, karaoke club and commercial premises all of which contained modern wall coverings, false ceilings and other fittings which masked the original fabric of the building. The building survey

took place after most of the modern fittings had been removed but before any conversion work took place.

The building is located on the corner of Rutland Street and Queen Street and faces out onto the newly refurbished Orton Square (Figs 1 and 2). To the north-west of the Queens Building, across Orton Square, is the modern Curve Theatre, to the north is the Athena Building formerly the Odeon Cinema built in 1937. To the south is Saint George's Church and churchyard. The building, as already noted, has most recently been used for a number of purposes but is now located in the heart of the city's Cultural Quarter making it a prime candidate for re-use in line with the new revived character of the area.

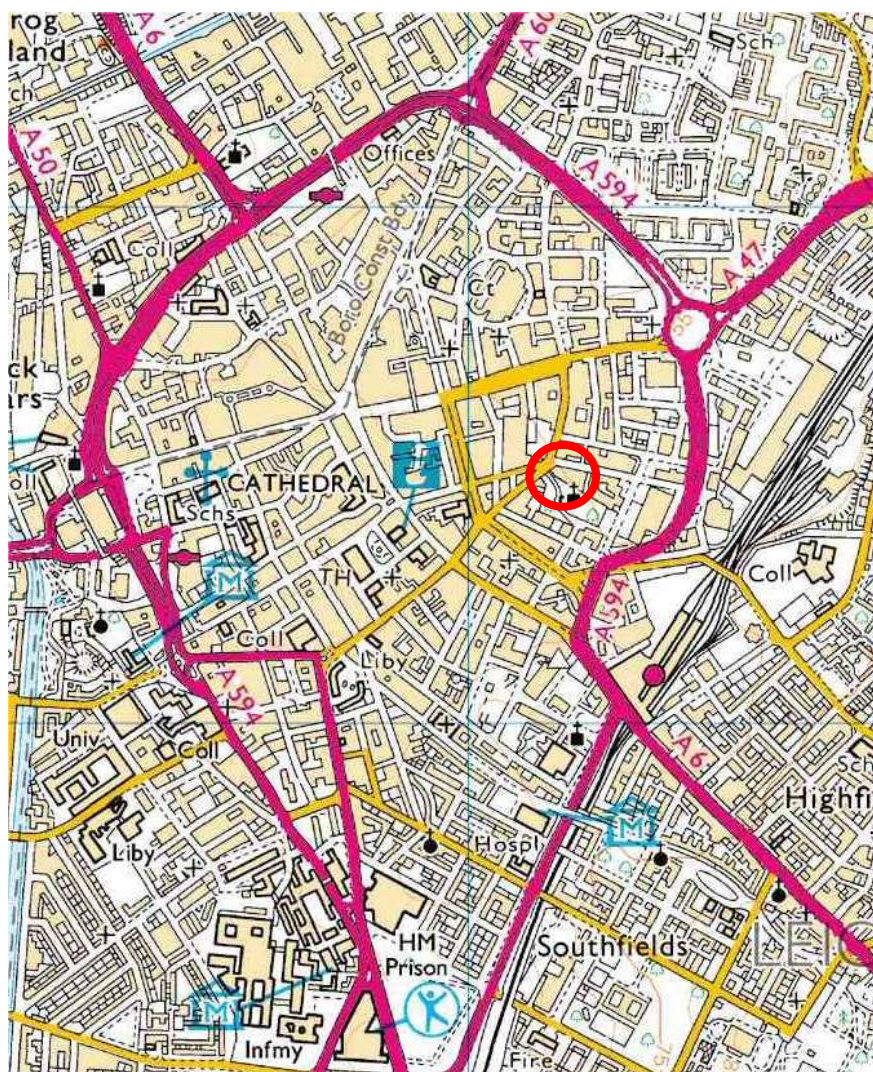


Figure 1 Site location
Ordnance Survey Licence number AL 10002186.

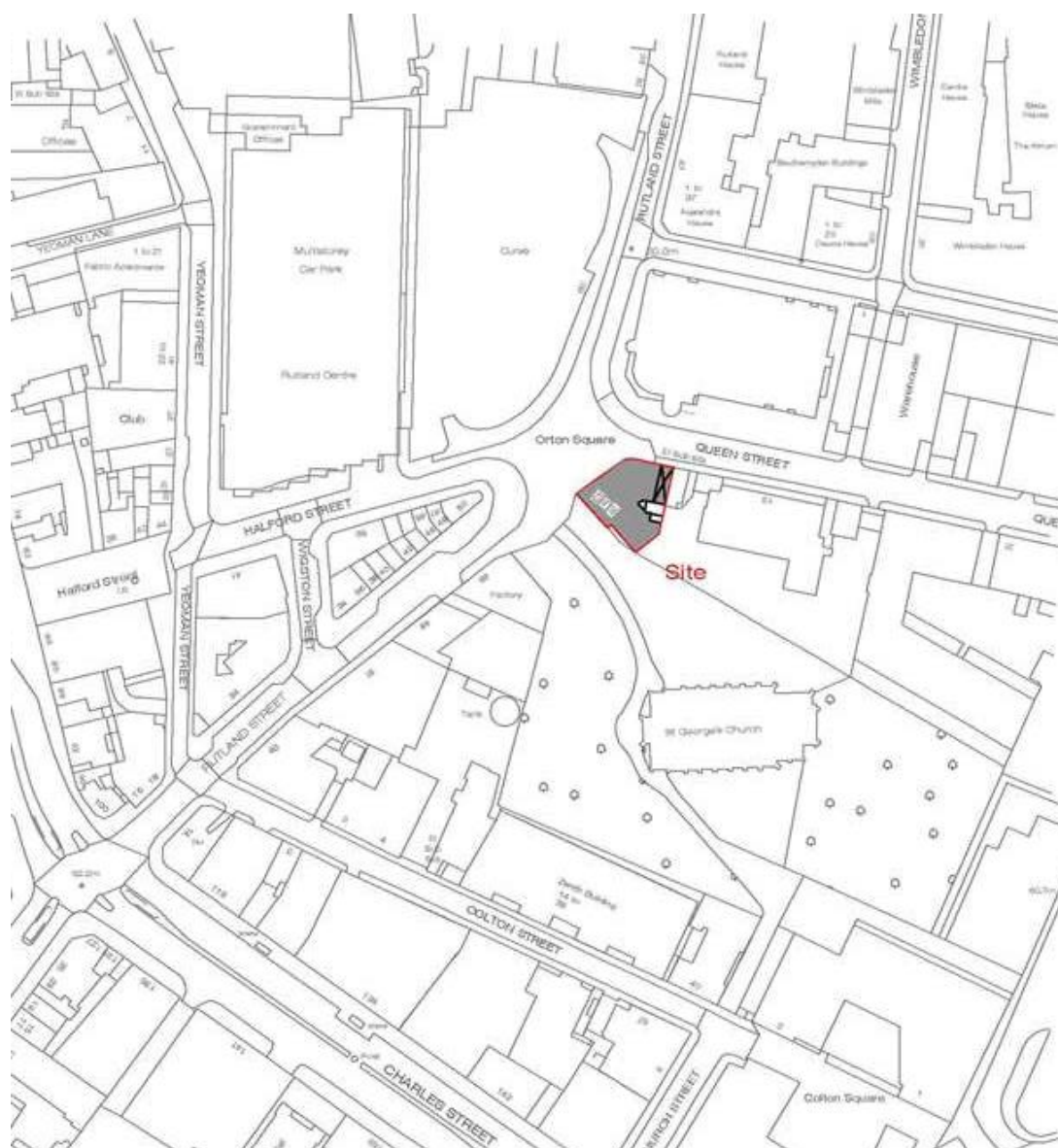


Figure 2 Site location
Map supplied by client

Background

The hosiery industry, the boot and shoe industry, and to a lesser extent light engineering formed the backbone of Leicester's industrial strength from the mid-19th century through to their eventual decline in the 1980s and 1990s. The virtual death of these industries has led to a large number of redundant factories and warehouses throughout the city and many have now been demolished. Over the past few years the buildings which remain have begun to be recognised as a valuable but diminishing resource and efforts have been made to preserve them for re-use wherever feasible.

In Leicester the footwear industry began to change from a cottage industry to a mechanised factory system between the years 1850 and 1900. Traditionally outworkers made their products at home and sent or brought them in to the city as finished goods. By the mid-19th century with the introduction of mechanisation and the introduction of the production line this piecemeal industry needed to change to a centralised system.

Consequently many footwear and hosiery factories grew up around the outskirts of the town during this time. It was not unusual for many companies to be engaged in the manufacture of both footwear and hosiery products. The well-known Leicester hosiery firm Corah & Sons, for instance, was also producing shoes under the name of Cooper and Corah in 1861. A number of footwear factories were located around the Rutland Street and Queen Street area with many companies finding the need to both store and showcase their products in separate buildings closer to the city centre.

The firm Alfred Tyler and Sons was one such Leicester firm who decided to build a warehouse on the corner of Rutland Street and Queen Street occupying numbers 37 to 43. The local architectural firm of Harding and Topott were chosen to design their new building. Alfred Tyler appears to have been one of a number of Tylers involved in boot and shoe manufacture in Leicester at the time. Details are not clear if they all originated from the same family. Alfred Tyler and sons appear to have been a relatively small company when compared to the larger and more well-known Leicester firms such as the Co-operative Boot and Shoe Manufacturing Society, Freeman Hardy and Willis Limited among others.

The area around 37-43 Rutland Street was until quite recently a typical example of Leicester's industrial townscape with a number of factories forming the majority of buildings. Many premises have since been removed although some of the more notable former industrial buildings nearby have been converted and are now used for dwellings and small businesses. A prime example of this is the former warehouse further north along Rutland Street which is known as Alexandra House. Although 37-43 was not designed by a particularly well-known architect it is of sufficient interest and local significance to ensure its survival an area of the city which is undergoing a major programme of rejuvenation.

Evidence suggests that the building at 37-43 Rutland Street, which according to Kelly's Directory was called the Queen Buildings, and that Alfred Tyler and Sons only used parts of the building for warehouse and offices. Plans from the Records Office Leicestershire, Leicester and Rutland also show that some of the rooms were available to third parties for rent as offices and warehousing with only some rooms and floors being used by Tylers. This is discussed in more detail in the results section below.

More recently, the building has been used as a snooker club and a nightclub. The nightclub occupied the basement with the snooker club occupying the second and third floors. At ground floor level the rooms were most recently occupied by a hairdressers and a karaoke bar. The building has also been known as Shahista House for a number of years. At the time of the survey the snooker club had ceased operation and the ground floor hairdressers and karaoke bar had just shut. Each floor was surveyed after a soft strip had taken place to remove most modern furnishings along with modern wall, floor and ceiling coverings. The survey work therefore took place over a number of stages beginning with the 2nd, 3rd and 4th (attic) floors and the external elevations. This was followed by part of the ground floor and some areas of the basement. The 1st floor was then surveyed next along with the rest of the basement. The final stage of work surveyed the remaining rooms of the ground floor along with other details revealed by the ongoing soft strip. No modifications to the fabric of the building took place until after each floor had been fully surveyed.

The building was Grade II listed in May 2001 under list entry number 1246129. With the following description:

UID: 487554

718/0/10152. 37-43 RUTLAND STREET 25-MAY-01

GV II

Commercial premises. c.1900. Red brick with stone dressings and slate roofs with rear corner stack. Edwardian Baroque style. Corner site curving round into Queen Street. 4 storeys and attic. 16-window range at first floor. The ground floor, mainly entrances or shop premises, has an arcade feature with stone banding and decoration, now mainly painted. Above this there are tall brick pilasters banded with stone and with composite capitals. These link the 1st and 2nd floors and support an entablature with bracketed cornice. In between, the windows on each floor are mainly paired those to 1st floor with shouldered architraves and swagged keystones. Those above have Ionic columns with central blocks and a lintel band which curves inward over each window where there is a bracket to support it. Above this and the entablature is a balustrade with circular and square moulded balusters. Behind the balustrade a series of Diocletian windows echoing the arcade on the ground floor. Above this is a series of gables with oeil-de-boeuf windows. The main entrance bay in Rutland Street has a canted bay to first floor and an octagonal lantern to the gable level with a tiled pyramidal roof. The gable ends are blank and the rear walls facing the internal angle have simple fenestration. The INTERIOR has been altered but the entrance lobby to Rutland Street retains parts of an ornamental frieze and the lower part of the staircase has its original iron balustrade. This building with its richly decorated facade forms an important part of a significant group of historic buildings in the area including the adjacent Church and the former Odeon Cinema opposite.

Source - Historic England

Objectives

The objectives of the historic building survey are as set out in the *Written Scheme of Investigation for Historic Building Recording, Queens Building, 37-43 Rutland Street, Leicester LE1 1RE* hereafter the WSI.

The purpose of the work is to record and advance understanding of the significance of the affected heritage asset:

The overall objectives of the historic building survey were:

- To provide a written, drawn and photographic record of all the buildings on site prior to the commencement of works with specific attention given to those elements proposed for demolition, conversion and/or alteration. This work to be undertaken to a standard that will allow the future interpretation of the building within the context for which it was originally designed and which subsequently evolved.

- To ensure the long-term preservation of the information through deposition of the record and a summary written report with an appropriate depository.

Methodology

Digital colour photographs were taken throughout the survey. Notes and sketches were also made and scale site plans supplied by the client were used and modified to suit the purposes of this survey. The specific levels of detail used in the Level 3 survey followed the guidelines laid down in the RCHME (1996) and Historic England (2016) specification, and which are fully discussed in the WSI.

Research into the history and use of the building made use of available information from the following sources:

Records office for Leicestershire, Leicester and Rutland
University of Leicester Library – trade directories and image archive
Previous Ordnance Survey maps of the area (ULAS library)
Goad Insurance Plans

Results

Documentary and cartographic evidence

The 1888 edition of Kelly's Directory shows Alfred Tyler and Sons to be located at 18¹/₂ Halford Street with Alfred Tyler living at 86 London Road. By the time of the 1899 edition their address has changed to Queen Buildings, 41 Rutland Street. This is undoubtedly the building which is now subject to the historic building survey. Giving the address as number 41 indicates that they may not have occupied all of the building. All of the editions up to and including the 1928 edition show the same address but they are not present in the 1932 edition suggesting either a cessation of trading, a change of company name or that company had been taken over by a competitor. The name of the building changes in the directory from time to time and is variously called the Queen Buildings, Queens Building and Queens Buildings. It seems probable that as it is located on the corner of Queen Street it was intended to be called the Queen Buildings. A number of other Tyler firms associated with the footwear trade come and go from the Kelly's listings during this time. It is not clear if they were part of the same family or simply shared a common name which is perhaps less likely.

Historic map evidence shows that the First Edition Ordnance Survey published in 1886 indicates that there was a timber yard on the site of number 37-43. There are many boot and shoe factories already in existence within the immediate locality of the site. By the time of the 1904 edition the present building with the same footprint as exists today has replaced the timber yard (Fig. 3). Another property runs along the eastern side of 37-43. The outline of the building remains unchanged throughout subsequent editions with

the exception of an electricity substation appearing between the 1934 and 1954 editions. A photograph held by the Special collections at the University of Leicester taken in 1937 during the construction of the nearby cinema shows the electricity substation in place at this date. The photograph is shown at the front of this report. None of the Ordnance Survey maps show the function of the building although there are a number of boot and shoes manufacturers shown nearby. This may be because the building was used as a warehouse and as such could be used for any number of purposes. However, from the 1910 edition onwards the ground floor rooms are shown as separately numbered entities suggesting that these were used for separate businesses and not just for Alfred Tyler's products.

A Goad Insurance plan is held by the British Library shows the site in 1892 and shows that at this date it was still a timber yard next to a sawmill. A composite map held by the Records Office for Leicester Leicestershire and Rutland (ROLLR) shows a plan which appears to date from 1892 with overlays from before 1920 and into the 1930s. This shows the site as the Queen Buildings (not Queens) as offices, showrooms and a leather warehouse (Fig. 4). The plan also shows the adjacent saw mill as having been replaced by a hosiery warehouse.

The ROLLR also holds two plans produced in 1897 by the architects Harding and Topott showing amended plans for proposed warehouses for Alfred Tyler and Sons (Figs 5 and 6). The principal aim of the plans appears to be to seek approval from the Leicester Corporation Highway and Sewerage Committee who passed the plans in June 1897. Alfred Tyler and Sons also signed the plans on the 21st of July 1897 agreeing to the planning conditions set by the Borough of Leicester Highway and Sewerage Committee. Although there were lavatories on all floors, except the basement and attic, the notes on the plans state that only 10 male staff would be using the building. The plans, whilst extremely useful, are not intended to include every architectural detail and may not show the building as it was built. The 1897 plan shows that much of the basement and ground floor were to be let as offices, storage and warehouse space. The main entrance however is clearly marked as Messrs Tyler's Principal Entrance. This has no doorways into the ground floor and must simply have led up to their first floor offices, Buying Room and Reception Room.

Harding and Topott were a local firm of architects based at 15 Hotel Street who appear to have specialised in small-scale industrial buildings. They are also responsible for some local library buildings. The firm gained some reputation for their decorative and well-built houses built on the outskirts of the growing city, many of which still survive to the present day. It is not clear who chose the style of Edwardian Baroque but they seem to have favoured quite highly decorated buildings.



Figure 3 1904 Ordnance Survey map
Sheet: XXXI.II Site highlighted

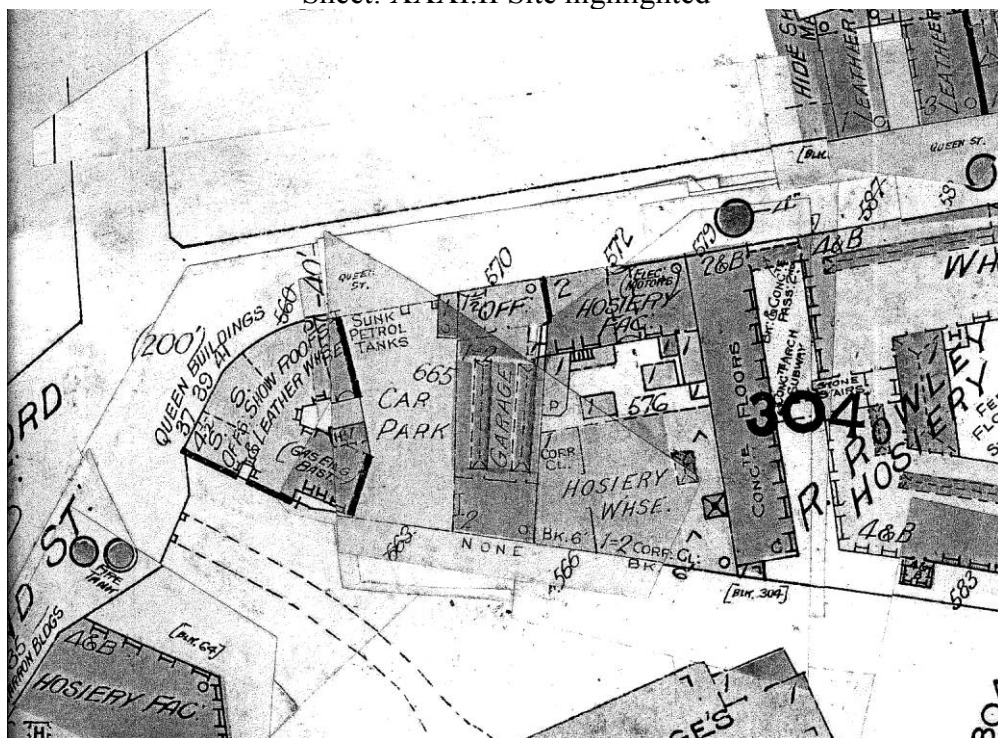


Figure 4 Goad plan sheet 40 with multiple overlays
ROLLR DE4702/25/1

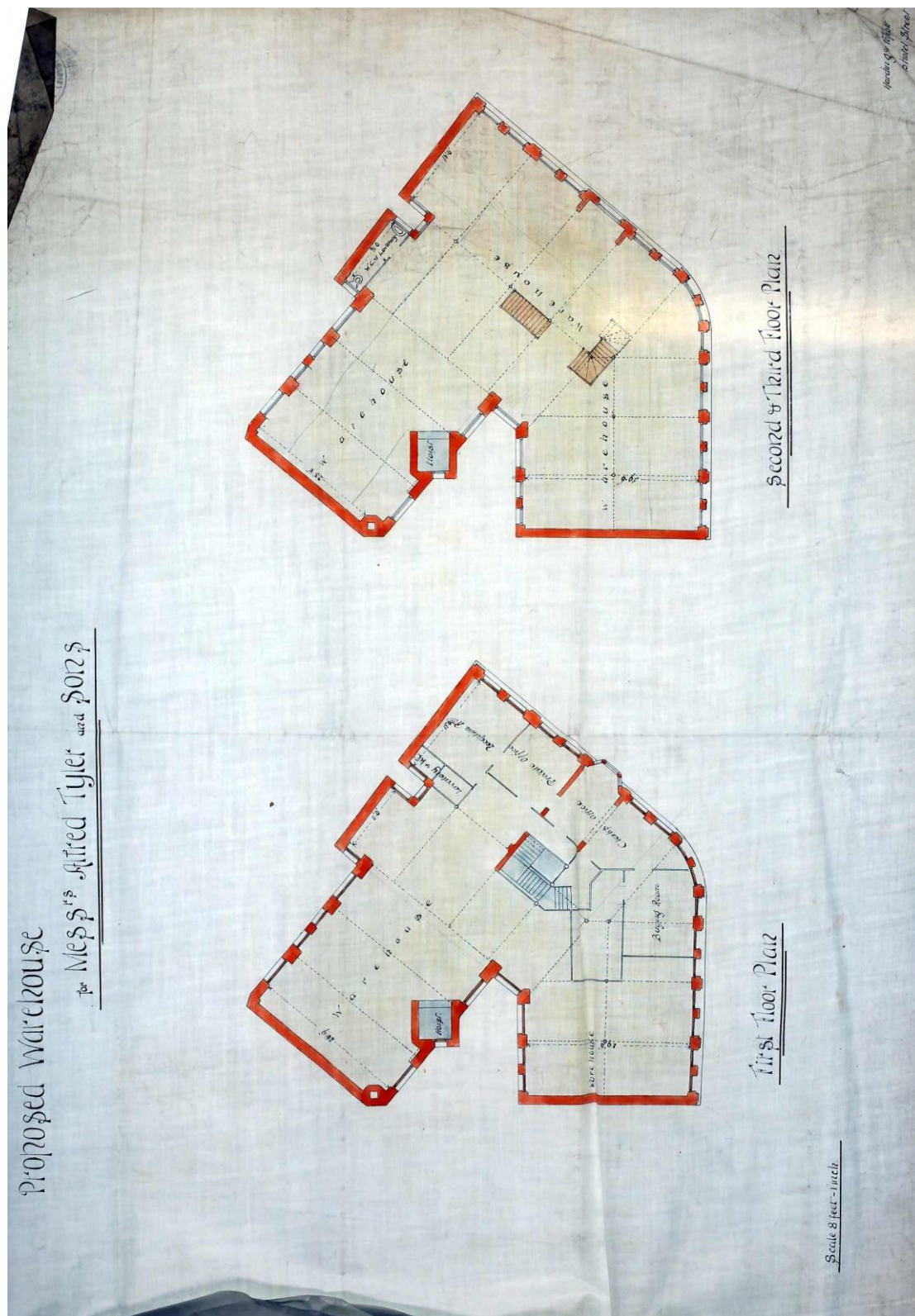


Figure 6 1897 proposals for first, second and third floor plans
ROLLR 1897/4654. North to the right

The building survey

As noted earlier, the Queens Buildings stand on the corner of Queen Street and Rutland Street with its principal elevations facing to the north-west and the north-east. Undecorated red brick facades face south-westwards into a part of Saint George's Church graveyard and south-eastwards into a small car park and the buildings along Queen Street (Figs 7 to 10). In order to create a continuous view of the building and to avoid any sharp corners the façade has been curved around the corner of the two streets. Although this has produced a pleasing frontage from the street the obtuse angle has created a rather awkward internal structure with some difficult to use spaces and rooms as discussed in more detail below.



Figure 7 View from Queen Street looking west
Curve Theatre on right



Figure 8 View from north end of Rutland Street
Looking south. Athena building on left, Curve on right



Figure 9 View looking northwards along Rutland Street



Figure 10 Principal façade, north-east and north-west facing elevations
Looking south-west

Outside

North-east facing elevation

The north-east facing elevation faces out onto Queen Street with the former cinema on the opposite side of the road. As the shortest of the two principal elevations it consists of four storeys plus an attic with each floor having a different design contributing to an overall late Victorian or Edwardian loosely Gothic style described in the listing as Edwardian Baroque (Figs 11 and 12). Built against the eastern side of the elevation is an electricity substation with art deco embellishments.

The ground floor of the Queens Building is built of red brick with stone detailing and a rendered base. Part of the rendering at pavement level has been chipped off as part of the present refurbishment programme and has revealed evidence of bricked-up windows into the basement. The rendering must therefore be relatively modern. Most of the stone banding and archway detailing on the ground floor has been painted white with the keystones on the segmental arches being picked out in black making this floor stand out in contrast to the floors above (Fig.13). The eastern ground floor corner of this elevation has a tall gateway leading through the building to a small loading bay. The wooden plank-built double gates have strap hinges and a small single doorway set into the larger door (Fig. 14). The segmental arch of the gateway matches that of the ground floor windows and this theme continues along the entire ground floor principal elevation. As the elevation curves round to the north-west elevation a recessed full height single doorway leads to a set of stairs down to basement level. There is no evidence of a flush doorframe which indicates that this has always been a recessed door. The two main ground floor windows on this side of the building have been boarded

over with evidence of brickwork blocking behind the boards. This was possibly carried out when the ground floor rooms became a nightclub. The 1897 plan (Fig. 5) suggests that the right hand window may also incorporate a doorway but the rendering has masked any evidence of a step or opening.

A broad stone band which extends around the entire frontage separates the first and ground floors. Some of the stonework has been cleaned to reveal the true colour of the stone above the recessed doorway. The 1st floor has pairs of windows separated by red brick pilasters with stone cornice decoration which extend as high as the 4th floor and terminate as small free-standing pinnacles at attic height (Fig. 15). Above each 1st floor window is a carved keystone with a draped swag superimposed across it. The wood-framed windows have a large fixed pane with two smaller tilting panes at the top.

The 2nd floor is separated from the 1st by recessed brick panels set below each window. Each pair of windows has stone column pilasters with Ionic capitals supporting concave stone lintels. The wooden-framed windows are the same as on the 1st floor. The composite capitals within the brick pilasters support a stone entablature at the division between 2nd and 3rd floor level where the building style once again changes.

At 3rd floor level the windows change to a series of double width Diocletian arches which are similar, but not the same as, the segmental arches seen at ground floor level. The multi-paned windows have wooden frames and centrally opening panels. These are discussed in more detail in the 3rd floor section below. Running around the frontage at 3rd floor level is a stone balustrade with square and circular moulded balusters. Each circular baluster has a single ionic capital with the square balusters having two.

The attic or 4th floor has a series of steeply pitched gables with oval recessed windows described as *oeil-de-boeuf* (bull's eye) in the listing description, although this style is more commonly termed as an ox-eye window in this country. With its moulded copings this style of ornamented gable and window is often seen on grand French baroque country houses and is yet another style used on this building. Where the façade curves around to the north-west facing elevation a short length of parapet separates the gables.

North-west facing elevation

The same decoration continues around from the north-east facing frontage. The key differences being that this slightly longer elevation, which faces onto a more important thoroughfare, has the main entrance and the addition of a tower and lantern (Figs 16 and 17). The main entrance at ground floor level is reached via a set of three quite steep steps which have been covered with modern glazed ceramic tiles (Fig. 18). The double doors are probably original but have had modern boards attached to the inside and outside which are likely to hide an earlier panelled door. The doorway has a flat-arched wooden frame with carved stone spandrels with a floral decoration (Fig. 19). Above the door is a large rectangular panel with a board advertising the snooker hall. Presumably this once held the name of Tyler's. Above this panel is a large stone keystone set into the centre of the recessed doorway. The keystone has been carved into the form similar to a floriated or Green Man (Fig. 20). To the left (east) of the doorway is a small enamel plate with a fire shut-off switch above it showing it to be made by Claude General Neon Lights Ltd of London WC2 (Fig. 21). Claude General were launched by the General

Electric Company in 1930 and specialised in illuminated signs for commercial premises. The company changed its name in 1960. The ground floor windows have been boarded over with the furthest window to the west having a small plain modern door leading into what was recently the karaoke bar. For some reason the keystones of the segmental arch above this door have not been painted black.

Above the main entrance doors at 1st floor level is a three-sided bay window built of stone which breaks the pattern of windows seen elsewhere on this floor which continue round from the north-east facing elevation (Fig. 22). The 2nd floor windows also match those on the north-east except for above the main entrance where the flat entablature is broken by a shallow arch and keystone of a different style to those on the ground and 3rd floors. Above this, on the 3rd floor, the Diocletian arch has been replaced by a larger version of an oeil-de-boeuf window. The reason for this window rather than an arch is to support the weight of a large octagonal lantern at attic height. The lantern is glazed at the front and has moulded panels around the sides representing more foliate faces similar to the keystone above the entrance (Fig. 23).

South-west facing elevation

The south-west facing elevation looks out into St George's churchyard and is remarkably plain for what was still a very visible façade (Figs. 24 and 25). The gable end of the main range fronting onto Rutland Street has a stepped parapet with brick detailing along the roofline and three string courses of stone to break the otherwise plain red brick wall. A recess runs up the building from ground floor to attic which has windows on all three recessed faces which serve the internal toilets. The windows have wooden frames. At ground floor level two flat-headed windows with concrete lintels have been inserted. The windows appear to be sash windows and may date to around the mid-20th century. The south-west facing elevation steps back half way along where the rear range begins. This range has four wooden-framed windows per floor except for the basement and attic floors (Fig. 26). The basement wall is exposed at this point behind a retaining wall, and an outside double doorway can be seen along with evidence of three bricked-up windows which continue the pattern of windows from the floors above (Fig. 27). The ground up to 3rd floor windows have wooden frames with large lower panes and opening upper central panes. More photographs of the windows are shown in the internal floor descriptions below. In order for the building to fit into the plot the south-eastern corner has a shallow chamfer which butts against the churchyard wall.

South-east facing elevation

The south-east facing elevation presents a number of faces created by the rear range and the front range as it curves around to the north east (Figs 28 and 29). All of the elevations are undecorated red brick with no windows on the directly south-east facing frontages. Narrow windows are visible on the step in from the front range to the rear range on the western side of the building. The remaining windows face into an angled recess between the two ranges where a fire escape has been inserted (Fig. 30). The fire escape rests on steel girders spanning the gap and resting on girders set into the modified windows. The fire escape has cast iron treads some of which bear the name

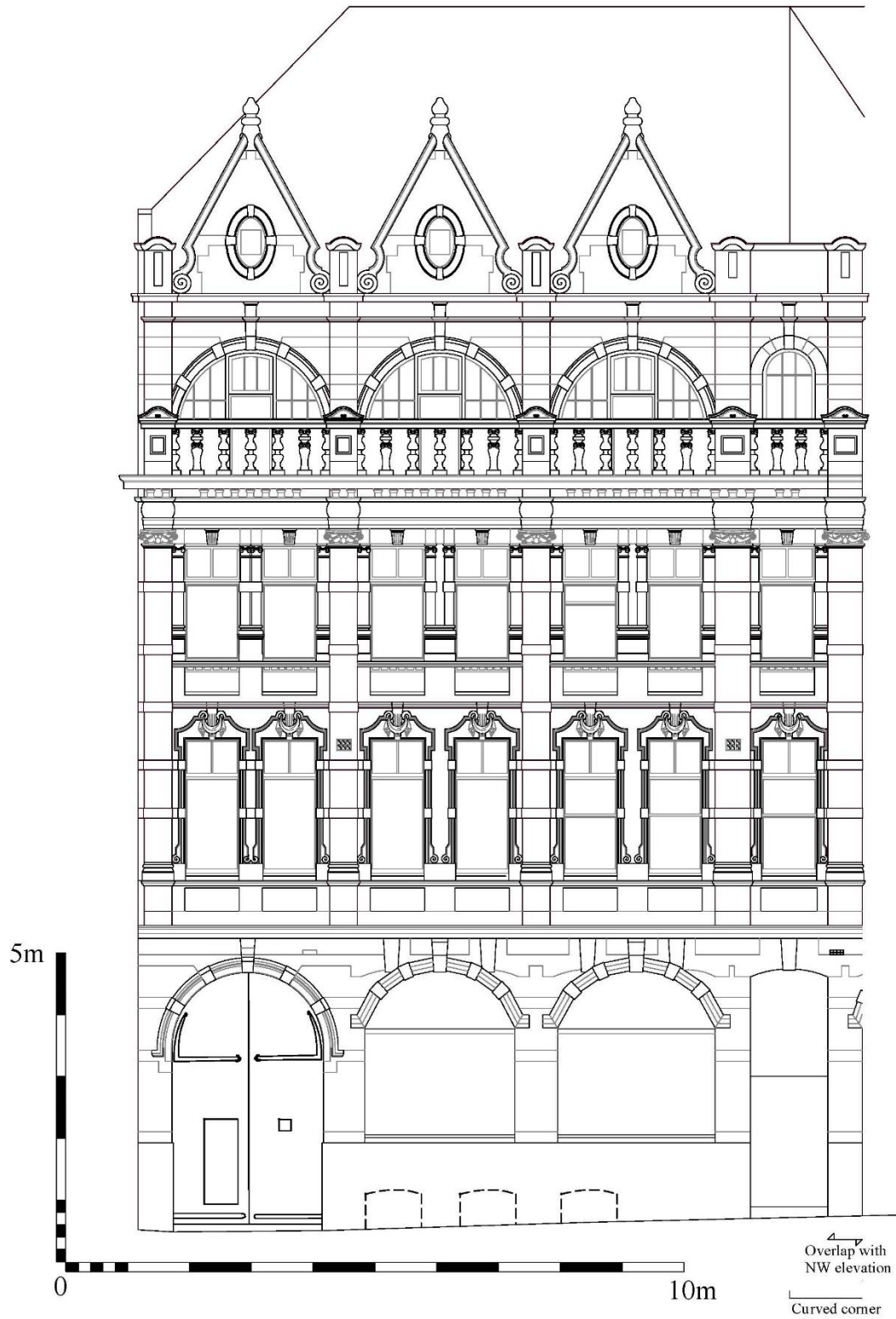
of John Coltman Co, Leicester on them. A chimney to the west of the fire escape has a chamfered corner and has been capped off. This serviced the boiler located in the basement.

At ground level within the angle of the ranges is a small yard and loading bay which is reached via the passageway from Queen Street (Fig. 31). The walls of the passageway have a variety of modern graffiti and artwork painted on them. The yard is quite compact with steps leading down to the basement on the north-west side. The loading bay is a simple timber platform which has had modern board stairs built against it to allow for pedestrian access (Fig. 32). The loading platform is at the same level as the floor height of the rear range. The platform also serves the outside facing doors of a small goods lift which extends from the basement up to the attic. The 1897 plans show this as a goods hoist suggesting that it was perhaps intended to be a manually operated system. Counterbalance weights removed during the soft strip bear the name of R Waygood and Co London. Richard Waygood opened a factory in London in the 1840s making hand operated hoists and lifts. They changed their name to R. Waygood and Co in 1897 and became Waygood-Otis in 1914 so it is probable that this lift was fitted when the building was first built and not as a later addition.

Internal description continue after the external illustrations.



Figure 11 North-east facing elevation
Looking south-west



North-east facing elevation

Figure 12 North-east facing elevation
Modified from drawing supplied by client



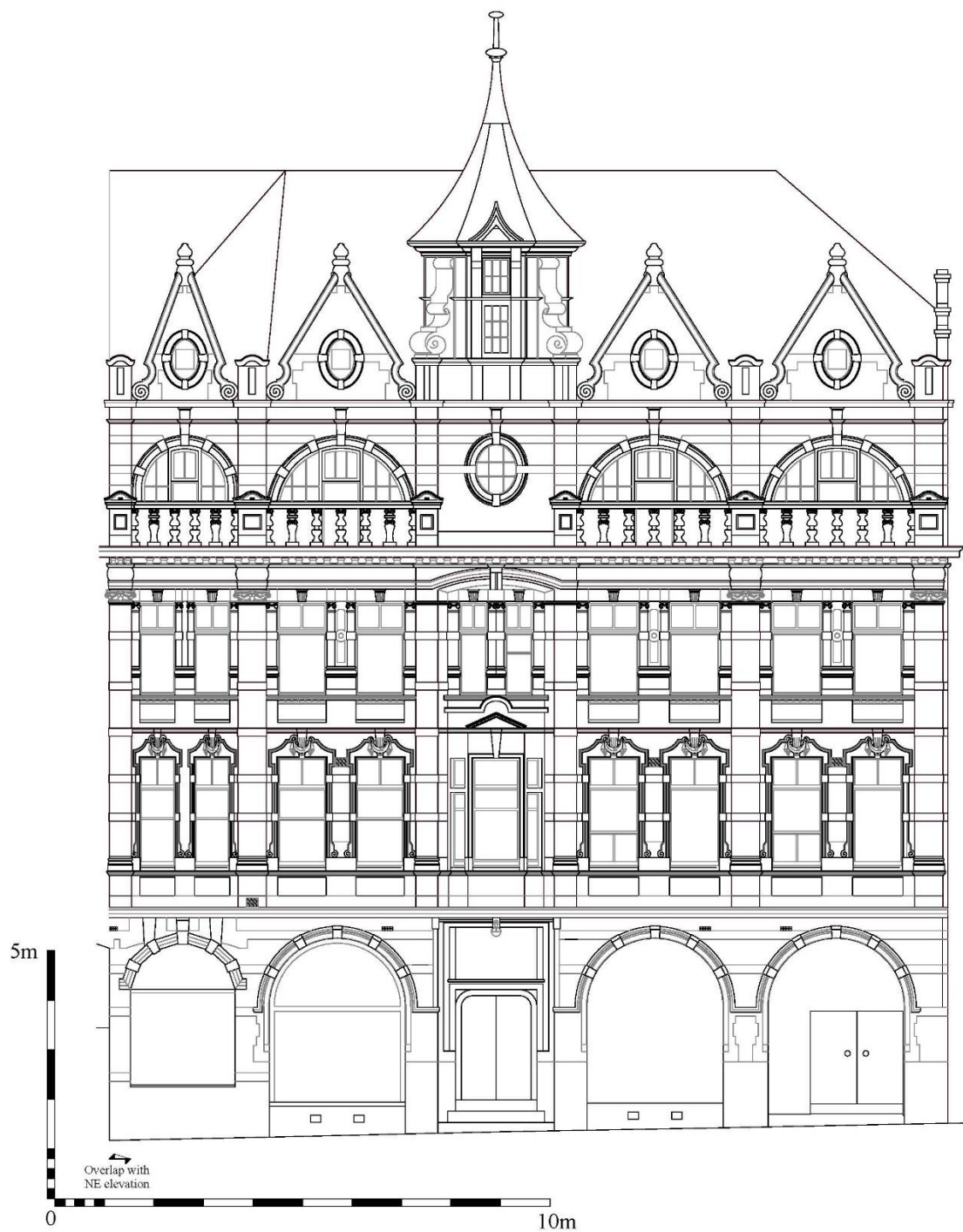
Figure 13 Ground floor detail, NE facing elevation
Looking south-east



Figure 14 Gates into loading bay, NE facing elevation
Looking south-east. 1m scale. Note bricked up basement window at ground level



Figure 15 Upper floor details, NE facing elevation
Looking south-east



North-west facing elevation

Figure 16 North-west facing elevation
Modified from drawing supplied by client



Figure 17 North-west facing elevation
Looking south-east. Queen Street on left of picture



Figure 18 Ground floor entrance, north-west facing elevation
Looking south-east. 1m scale



Figure 19 Spandrel detail around entrance doors

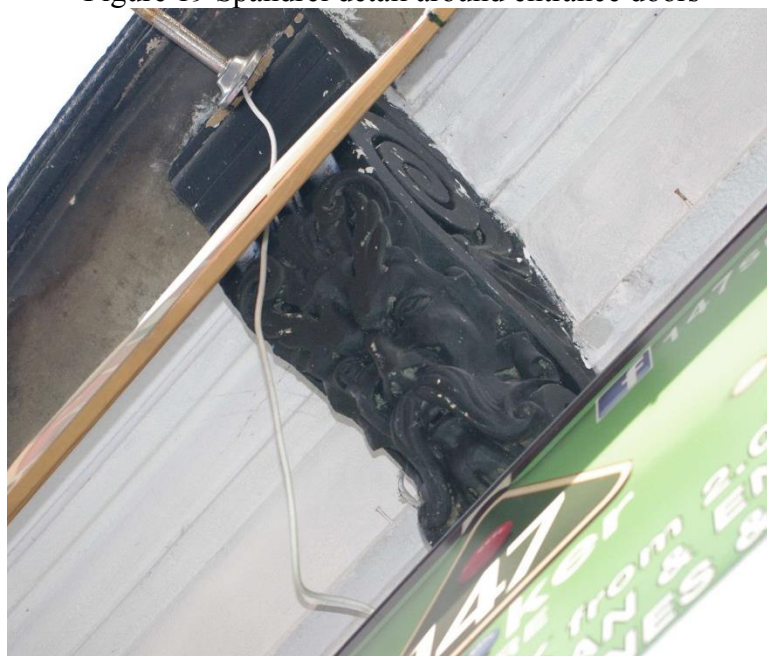


Figure 20 Carved head detail of entrance keystone



Figure 21 Electrical cut-off switch and plate near entrance



Figure 22 Upper floor detail, north-west facing elevation
Looking south-east



Figure 23 Attic lantern detail
Looking east



South-west facing elevation

Figure 24 South-west facing elevation
Modified from drawing supplied by client



Figure 25 South-west facing elevation
Looking east



Figure 26 South-west facing elevation, rear range windows
Looking north-east



Figure 27 South-west facing elevation, blocked basement windows
Looking south-east



South-east facing elevation
Fire escape stairs omitted

Figure 28 South-east facing elevation
Modified from drawing supplied by client



Figure 29 South-east facing elevation
Looking north

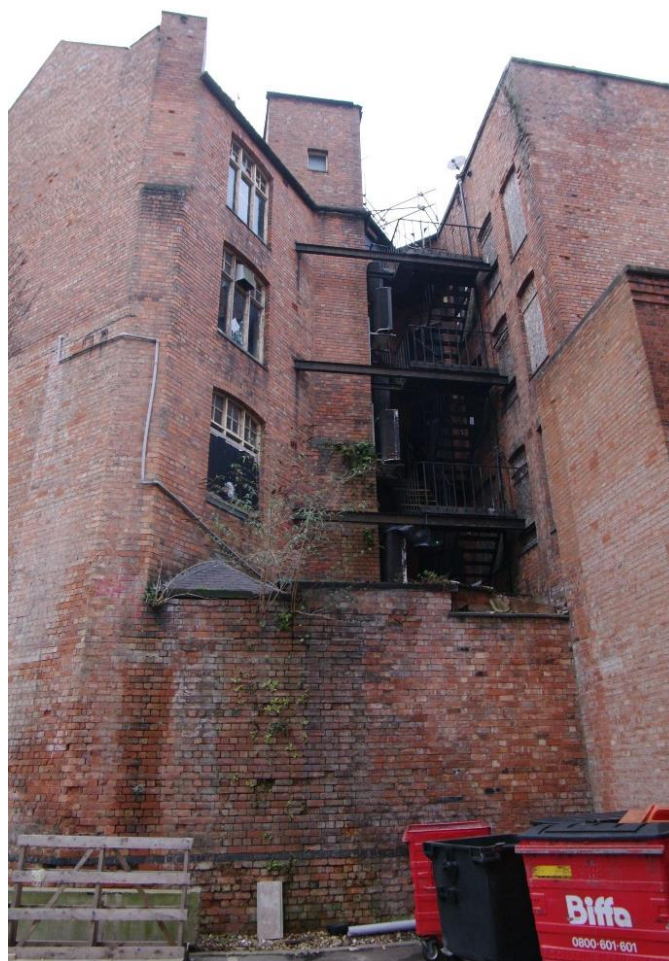


Figure 30 South-east facing elevation
Looking north-west. Angle between the two ranges and inserted fire escape

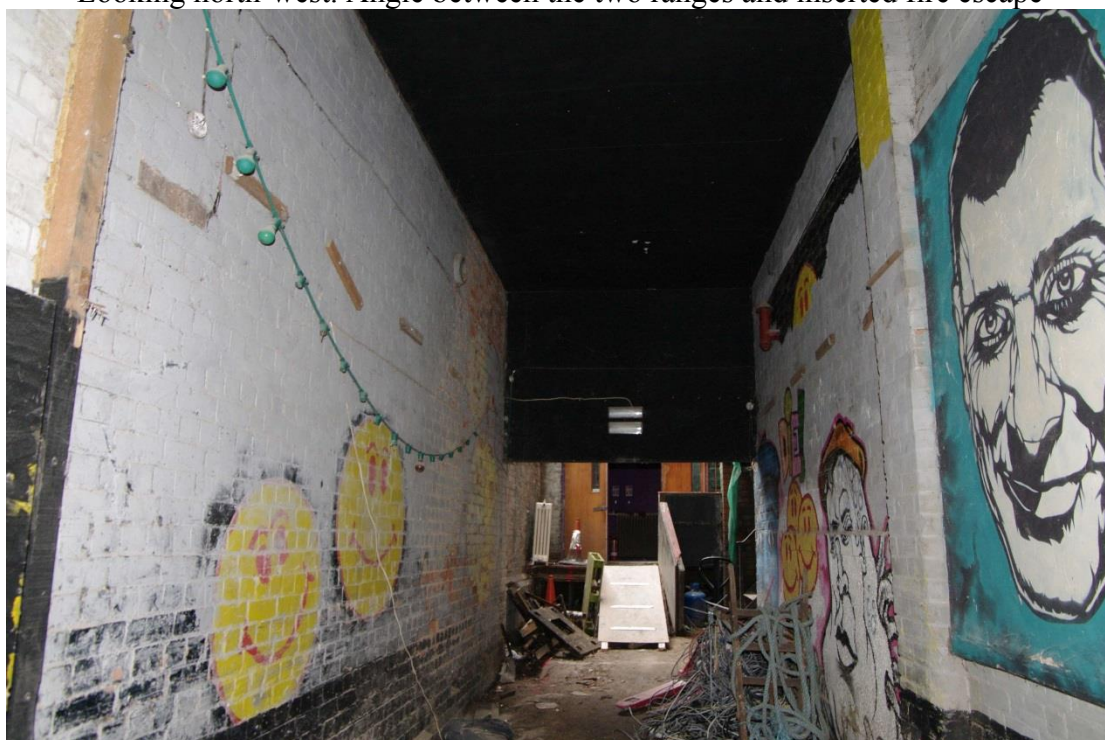


Figure 31 Passage underneath building to loading bay
Looking south-west from Queen Street



Figure 32 Open air loading bay

Looking north-west. 1m scale. Double doors into rear range on left, doors of lift shaft arrowed, fire escape stairs to right of scale, steps down to basement on right

Inside

The basement

The basement is accessed from the small loading bay area or via a flight of steps leading from the single doorway on the corner of Queen Street and Rutland Street. The 1897 plan shows that the basement was originally divided into three main areas with two spaces under the main range being let for storage purposes (Fig. 33). The space beneath the rear range, with access to the hoist, seems to have been used as a warehouse for Tylers. Much of the space appears to have been subdivided possibly when the basement was used as a nightclub (Fig. 34). Much of the ceiling has been repaired or renewed with evidence of corrugated sheeting used as shuttering supporting a new concrete structure. There is also evidence of new and substantial support pillars being inserted beneath the rear range (Fig. 35). There are also a large number of steel I-beams which appear to have been inserted to support the structure below the rear range. There has been some repair and rebuilding below the front ranges especially around the corner of Queen Street and Rutland Street where a number of new girders form a network to support the curved structure. Elsewhere beneath the Rutland Street frontage the original reinforced concrete ceiling survives and is supported by timber joists and less substantial I-beams, some of which bear the manufacturer's name Frodingham. This company was in existence around the turn of the 19th to 20th century.

As noted, the basement below the rear range has had a number of partition walls inserted making this area something of a warren (Fig. 36). The space seems to have been used for toilets and small offices. Most of the floor appears to be laid with concrete, elsewhere in the basement a modern covering of slabs and sand has been removed to expose the original red brick flooring. The blocked basement windows seen on the south-west facing elevation cannot be seen from the inside which suggests that there is a new skin of bricks lining the inside of the wall which was added when the new ceiling and steelwork was installed. Two wide steps lead out of the basement to the small open area in front of the south-west facing elevation (Fig. 37). On the opposite (north-eastern) side of the rear range is the goods lift which is set at approximately 45° to the room. This rather strange angle appears to have been forced on the architects so that it would open at right angles onto the cramped loading bay. Unfortunately the 45° angle has had to be maintained on every floor which intrudes into the available storage space. The steps leading out to the loading bay are shown on the 1897 plan as reaching ground level just where the later fire escape is located. They also appear to be narrower than they are at present meaning that it is likely that the basement steps have been moved and widened to accommodate the bottom of the inserted fire escape and to allow extra space for the rebuilt ceiling (Fig. 38). The area around the former boiler has been rebuilt and altered making a number of small inaccessible spaces.

The area beneath the north-west facing range is broken up by a series of wide brick arches supporting the floor above (Figs 39 and 40). As noted much of the ceiling and floor in this part of the basement appears to be original but a number of inserted steel beams and a later brick pillar support the south-eastern part of this area. The north-east wall has the remains of blocked up pavement light well or vents which had either metal gratings or glass bricks set into the pavement (Fig. 41). The openings have been blanked off with sheets of metal and no trace is visible in the pavement outside. Their location can however be seen on the 1897 ground floor plan shown in Figure 45 below.

The once open space beneath the north-east facing range has been sub-divided into smaller rooms and appears to have been slightly remodelled with the addition of new walls and steel floor joists. The stairs leading up to the single doorway are made of cast concrete and have been altered to splay into a new room at their base (Fig. 42). The 1897 plans show the stairs running at a slightly different angle following a north-east to south-west alignment rather than the present north to south. A blocked archway into the space below the north-west facing range shows where the stairs entered the basement. Elsewhere in this part of the basement a number of small rooms with breeze-block walls have been added within the past 40 or so years (Fig. 43). Their function is not clear. A second flight of stairs is shown on the 1897 plan in this area leading up to the ground floor but the rebuilding of the walls and ceiling has removed these stairs leaving no evidence.

Most of the walls in the basement are decorated with a fairly garish paint scheme no doubt originating from its time as a club. Whilst not part of the original fabric they do have an interest as part of the history of the building and the history of Leicester's nightclubs (Fig. 44).

The ground floor description follows the basement illustrations.

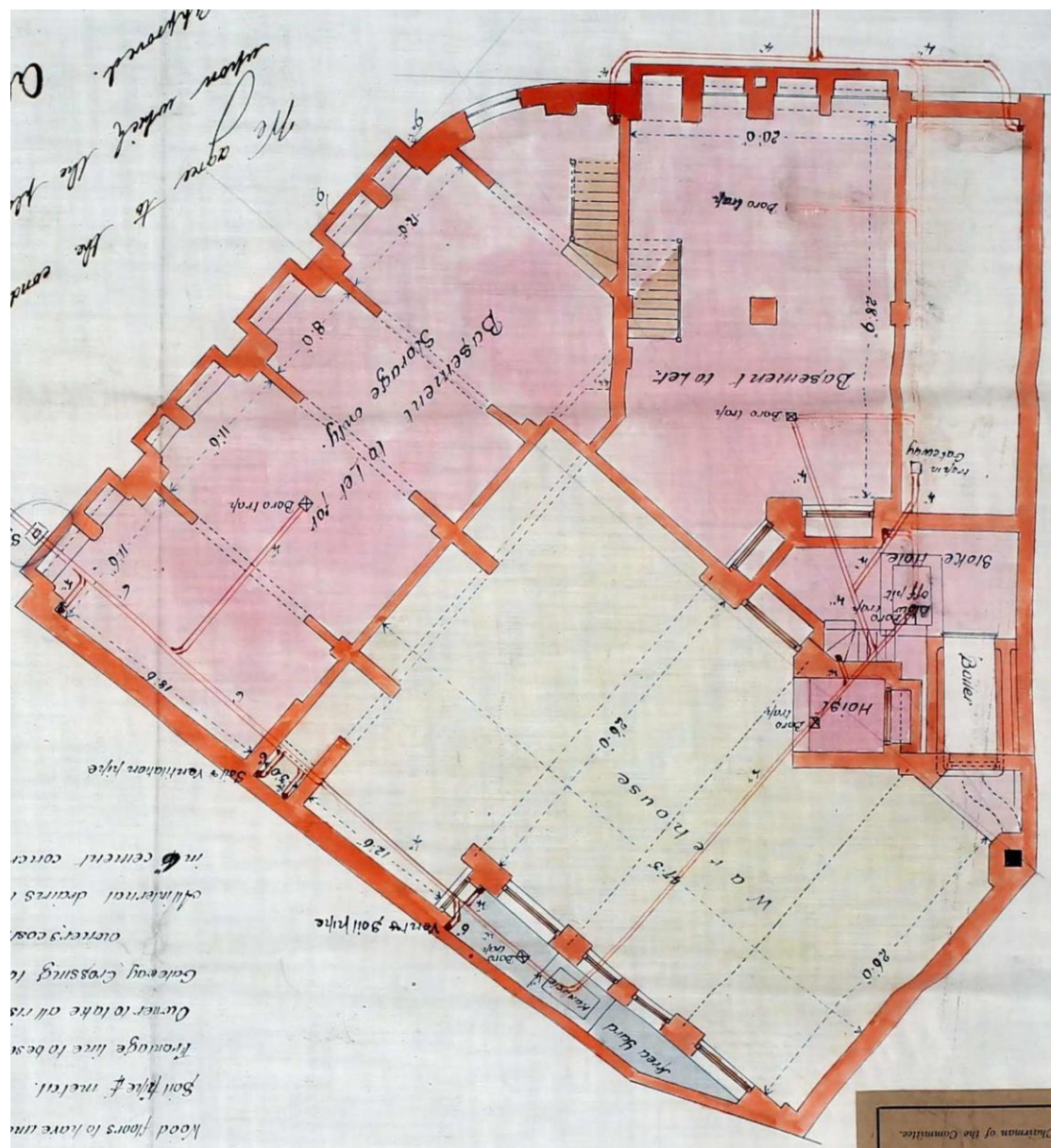


Figure 33 Detail of basement plan from the 1897 proposals
ROLLR 1897/4848. North approximately to top of page

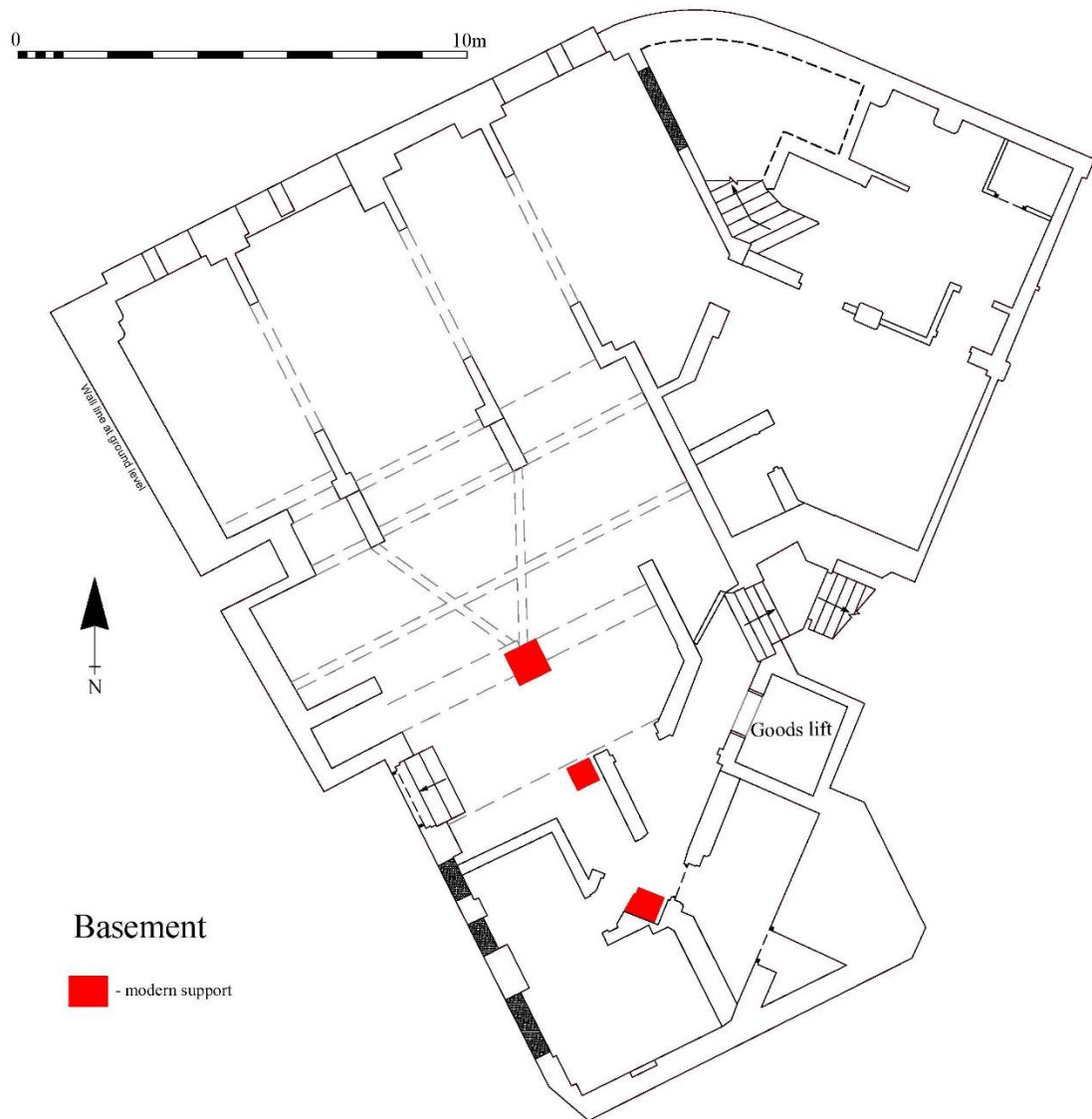


Figure 34 Basement plan
Modified from drawing supplied by client



Figure 35 New basement ceiling and supports beneath rear range



Figure 36 Basement rear range, inserted walls
Looking south-west. Lift shaft door on right

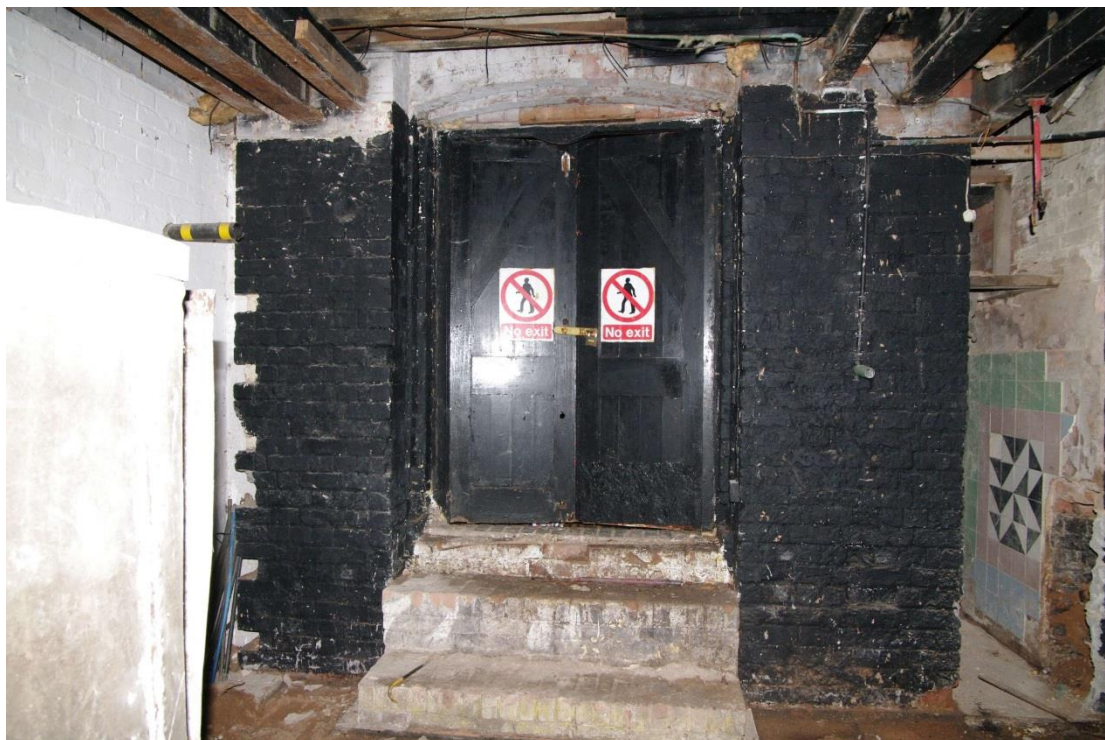


Figure 37 Basement steps to small yard below SW facing elevation
Looking south-west



Figure 38 Basement steps from loading bay
Looking west. The original steps were located slightly to the left of their present position and reached ground level where the fire escape is located



Figure 39 Basement, space beneath north-west facing range
Looking north. Note later steel beams in front of the arches



Figure 40 Basement, space beneath north-west facing range
Looking west. Note original reinforced concrete ceiling and brick floor



Figure 41 Basement, pavement vents or light wells beneath north-west facing range
Looking north-west

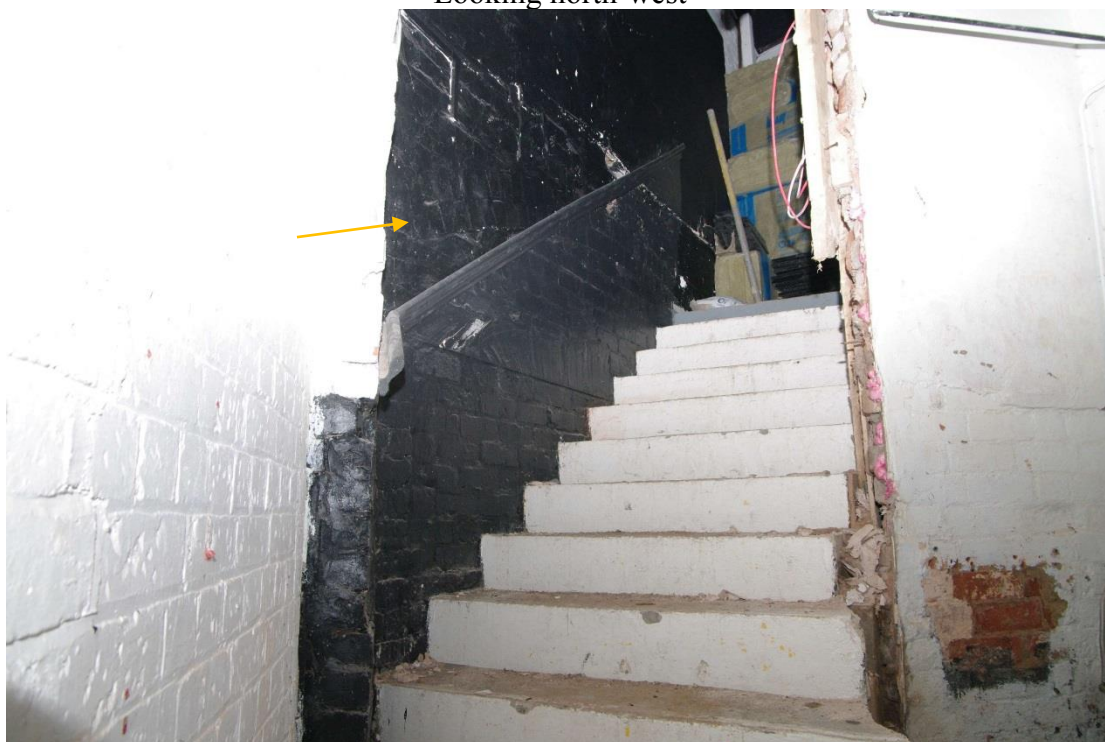


Figure 42 Basement steps up to Queen Street entrance
Looking north. Steps originally ran from north-east to south-west and continued
through blocked arch (arrowed) on left and did not widen at their base



Figure 43 Basement, inserted rooms beneath north-east facing range
Looking east towards the north-east corner of the basement. Note steelwork supports

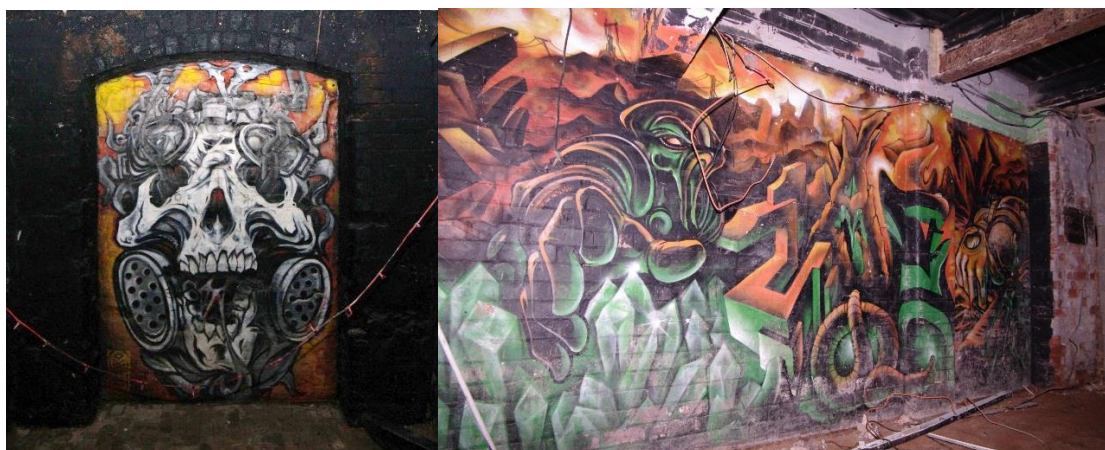


Figure 44 Basement, wall art

Ground Floor

When first constructed the 1987 plan indicates that the ground floor was built with a row of offices along the north-west facing elevation with a small warehouse on the north-east elevation and a larger warehouse in the rear range (Fig. 45). A long linking corridor connected the rental offices and the warehouse to the east. It would appear that the main entrance was reserved for Tyler's principal entrance as was the rear warehouse which was served by the loading bay and goods lift. The 1897 plan shows a flight of stairs in the eastern, rented, warehouse leading down to the basement. As already discussed no trace of these survive in the basement and the rebuilt floor has obscured any details on the ground floor. The 1897 plan also suggests that there was not a

staircase in the principal entrance hallway which is not the case. This is discussed later on in this section.

Most of the warehouse spaces have since been subdivided (Fig. 46). At the time of the survey the karaoke bar, which filled most of the ground floor area, had only recently been vacated leaving a lot of modern wall cladding and partition walls still in place.

The main entrance hall is reached from the Rutland Street entrance and was only intended to be used by Alfred Tyler's employees and customers. The double doors lead into a rectangular space with a set of stairs up to 1st floor level in the south corner (Figs 47 and 48). The hall walls are white painted plaster but retain traces of a pair of moulded bands at floor level and dado height along all of the walls (Fig. 49). The mouldings have been partially obscured either by deliberate infilling with plastering or by numerous applications of paint. A doorway on the east wall into the former hairdressing salon has been knocked through leaving visible repair work which cuts across the moulded detail. Elsewhere the plaster detail is unbroken which indicates that when first built the hall had no ground floor doorways. At ceiling height a set of highly decorated plasterwork friezes run along the east and west walls (Figs 50 and 51). These depict baroque swags and cherubs very much in the style of the main façade. For the duration of the refurbishment the friezes have been covered with protective boards. The ceiling has a moulded geometrical pattern with moulded rib designs (Fig. 52). There is no evidence of a skirting board.

The entrance hall staircase up to the 1st floor turns to the east half way up and has a wrought iron balustrade with a moulded wooden handrail although the finial on the newel post has been removed. The balustrade facing into the hall is original but the second part of the stairs, where they turn eastwards, have been widened and a modern metal scrollwork copy of the balustrade has been added to the opposite side (Fig. 53). A scar on the west wall of the stairs shows that they have been widened by approximately 0.25m. The staircase is open to the 1st floor but is likely to have been enclosed when first built. The 1897 plan appears to show the open stairwell as an enclosed set of stairs. The modern scrollwork copy continues around the open stairwell on the 1st floor and on the stairs up to the 2nd floor.

A modern doorway leads eastwards from the hall into the former salon. This is a modern insertion as the salon was originally one of the offices shown as being to let. The floor level of this room is around 0.3m lower than the hall so that a large semi-circular step has had to be built (Fig. 54). This room is the only ground floor room which retains an unblocked window. The 1897 plan appears to indicate that it was originally built with a doorway and side window rather than the single glazed window which exists today. This would make sense as the only other way into this room was by a now blocked doorway into the rear (south-east) linking corridor. Modern wall coverings mask any evidence of this blocked doorway. The room has a modern suspended ceiling but partial removal showed that the original higher ceiling is plain undecorated plaster which has been painted a dark brown colour.

The single doorway on the corner of Queen Street and Rutland Street which leads to the stairs going down to the basement is shown on the 1897 plan as being an office. Even though the present realigned stairs now take up most of the available space the

original layout cannot have allowed more than a small desk, possibly for the warehouse manager (Fig. 55).

The remaining part of the ground floor was used as the karaoke bar which had a number of small rooms created by the insertion of plasterboard partitions (Fig. 56). Almost all of the ground floor windows were also covered over by plasterboard walls. No trace of the walls forming the two offices on the north-west facing elevation remain and only part of the narrow corridor linking the offices and warehouses survive. The stub of the corridor at its western end is now the entrance to the toilets (Figs 46, 57 and 58). The corridor walls have been removed at their mid-point but the corridor resumes to the east where it survives as a very narrow space currently used for cleaning equipment. At the eastern end of the corridor traces of blocked doorways into what is now the salon can be seen as can another doorway which used to lead into the warehouse belonging to the north-east facing frontage. The corridor ends in an off-centre pointed shape to accommodate the changes in wall angles.

As noted, the former warehouse belonging to the rear range was built with access to the loading bay and goods lift. The lift has been boarded over and hidden by an inserted room. The route to the loading bay is also restricted by the modern partitions (Fig. 59). The doors out to the loading bay are modern fire doors.

The former ground floor warehouse of the north-east facing range has had some of its modern partitions removed which enables a clearer view of the space which seems to have been used as a bar and kitchen area (Fig. 60). The former doors and windows out to Queen Street have been blocked with masonry leaving just the tops of the arches visible. The 1897 plan shows a set of stairs in the north-west side of the room going down to the basement. There is no trace of this in the modern floor or any scars on the wall. A set of wooden doors is set into the south-west wall which appear to lead out to the passageway to the loading bay. These may be decorative as there is no clear trace on the wall on the outside.

At the southern end of the north-east warehouse are two windows looking out onto the loading bay. The windows have large fixed lower panes and smaller opening panes at the top. The windows have been boarded over on the outside.

The first floor description follows the ground floor illustrations.

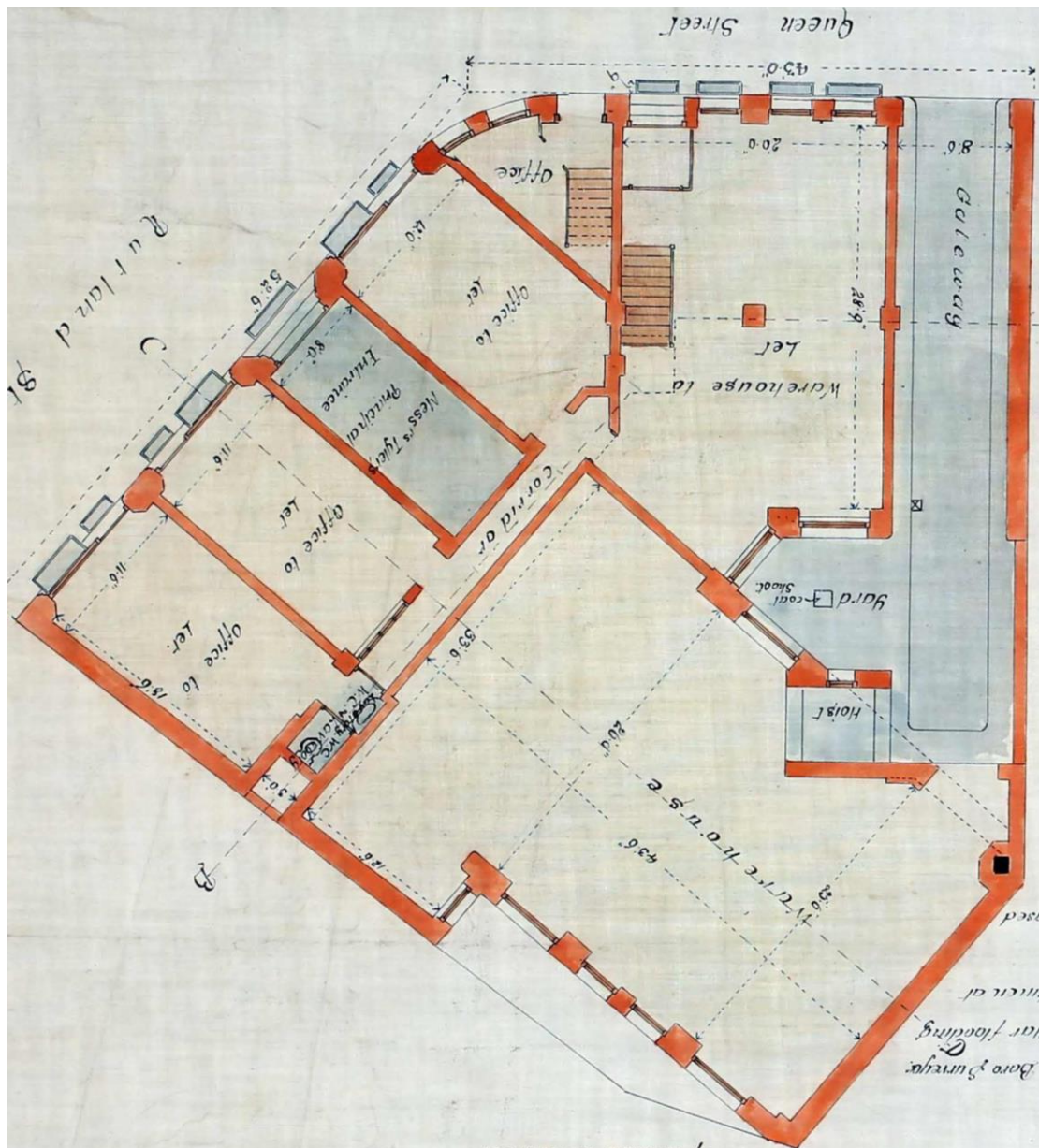


Figure 45 Detail of ground floor plan from the 1897 proposals
ROLLR 1897/4848. North approximately to top of page

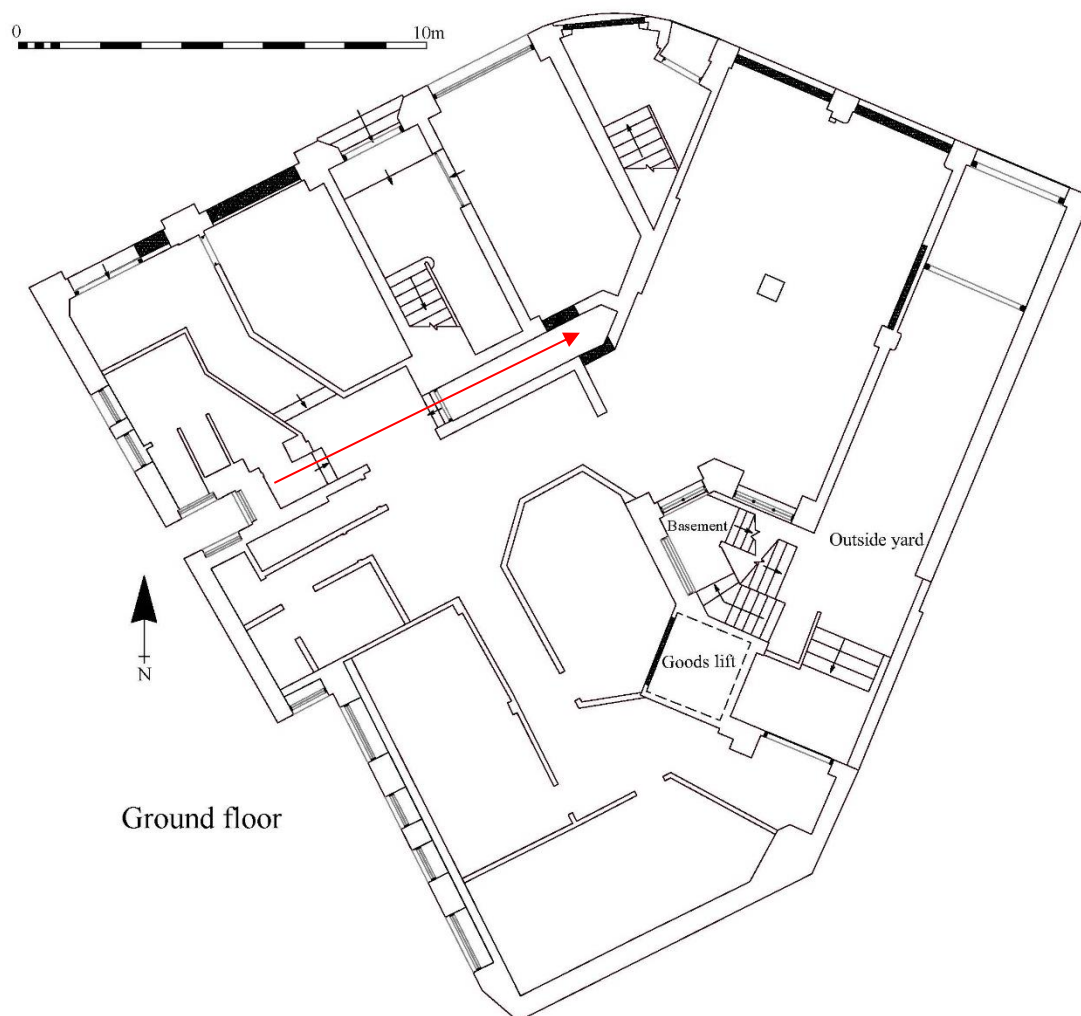


Figure 46 Ground floor plan
Modified from drawing supplied by client. Linking corridor shown by red arrow



Figure 47 Ground floor, Tyler's principal entrance hall
Looking north-west. 1m scale. Ornamental frieze protected behind boards at ceiling height



Figure 48 Ground floor, Tyler's principal entrance hall
Looking south-east. 1m scale

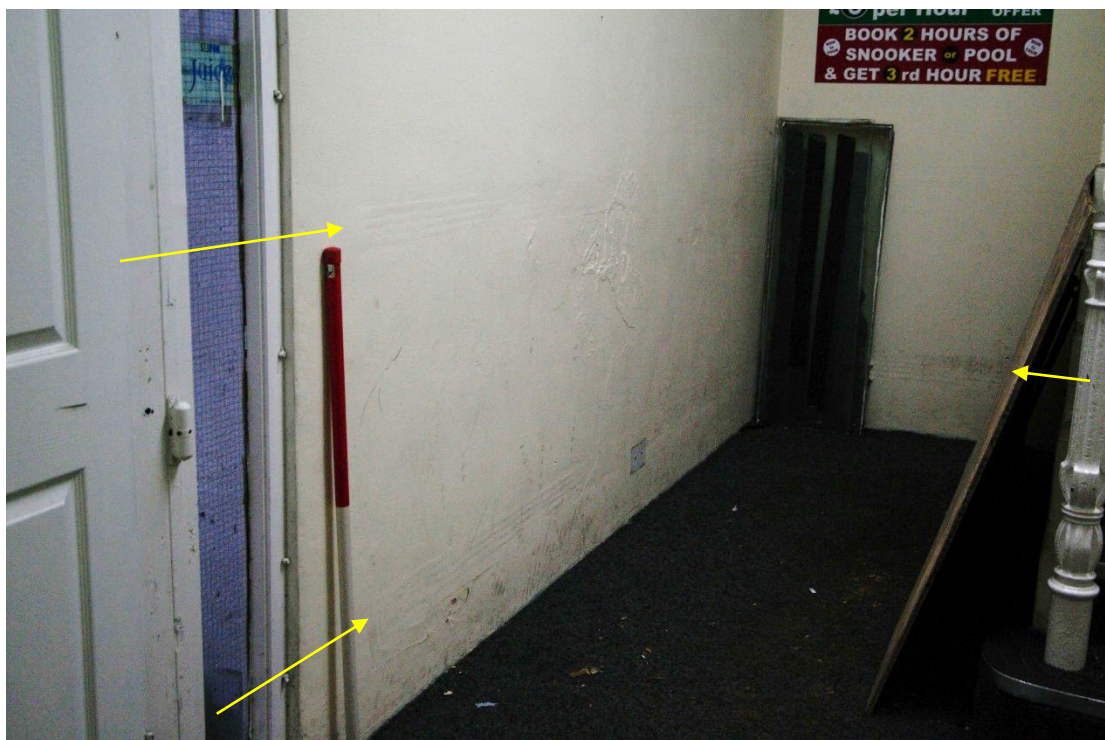


Figure 49 Ground floor entrance hall moulded wall detail
Looking south-east. 1m scale. Mouldings arrowed



Figure 50 Ground floor entrance hall frieze
East side of hall



Figure 51 Ground floor entrance hall frieze
West side of hall

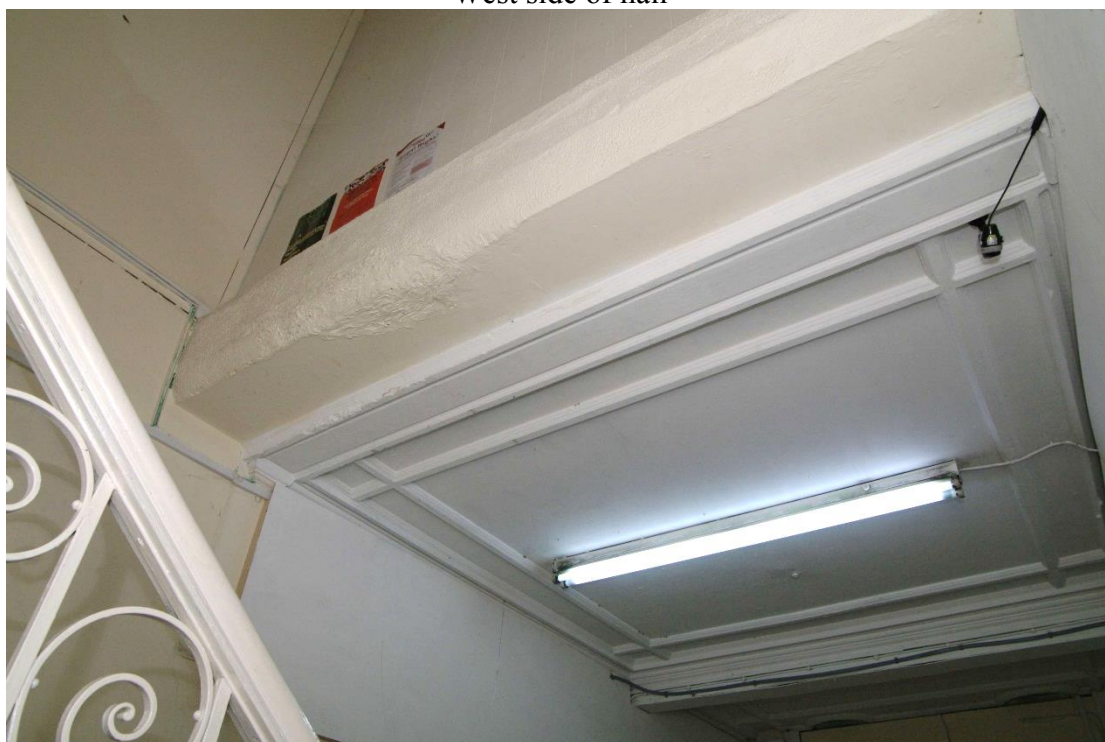


Figure 52 Ground floor entrance hall ceiling



Figure 53 Stairs down to ground floor
Looking south-west. 1m scale. Original width of stairs shown by scar on wall to left of scale (arrowed). Note original bannister on right, modern copy on left



Figure 54 Ground floor, former hair salon
Looking north-west. Modern doorway to entrance hall on left



Figure 55 Ground floor, stairs to basement from corner room
Looking south-east. 1m scale. Original stairs ran from where the metal trestles are
standing. See also Figure 42

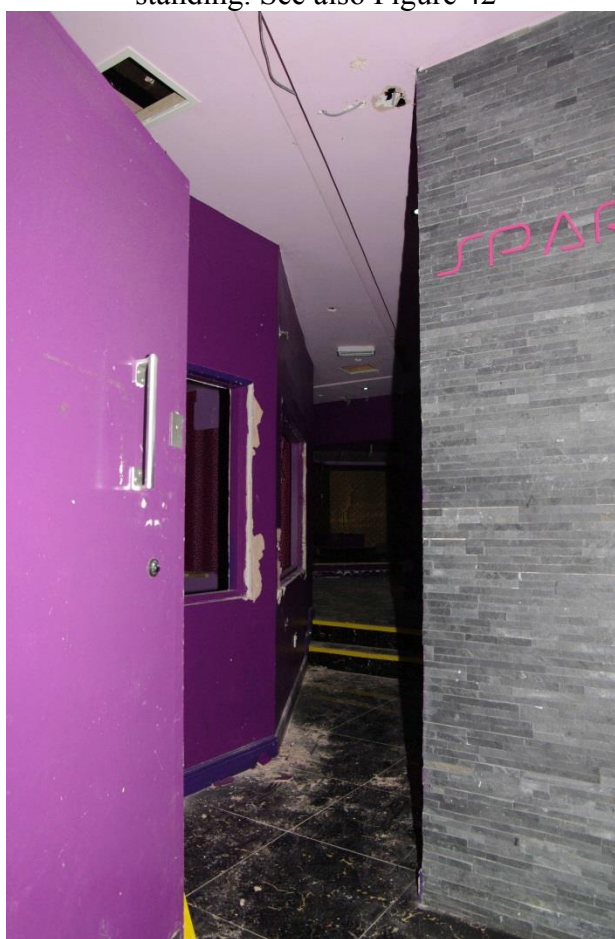


Figure 56 Ground floor view from doors on north-west facing elevation
Looking south-east

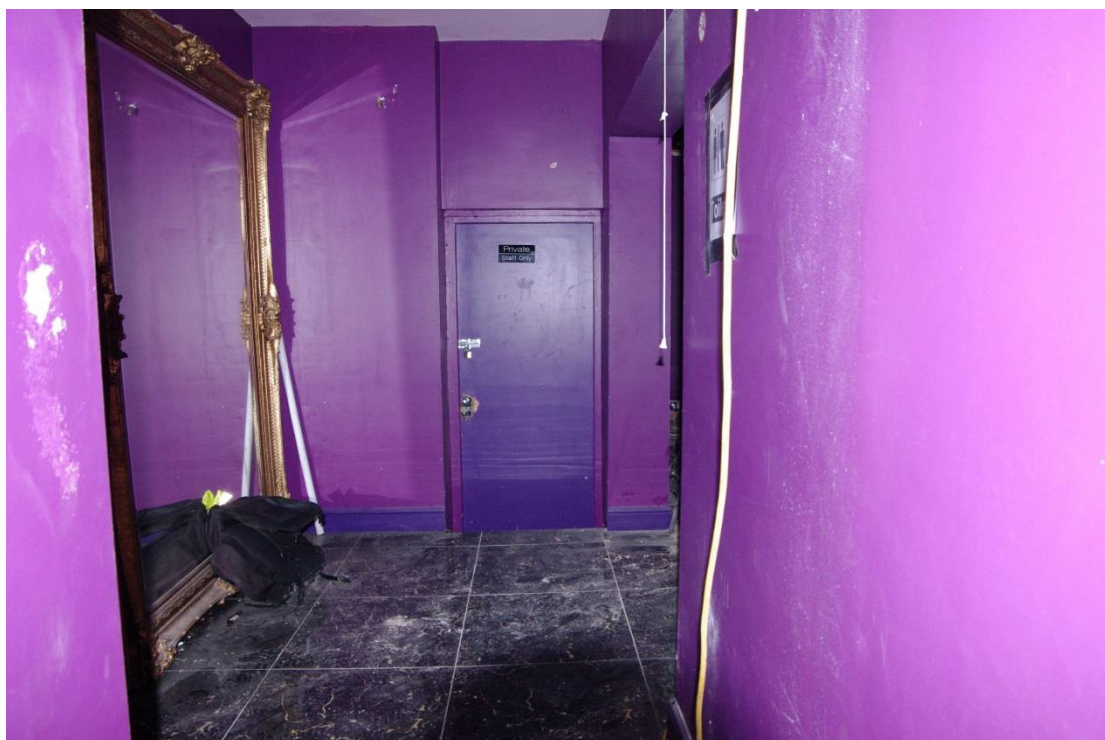


Figure 57 Ground floor, remnant of rear corridor
Looking north-east from western stub of corridor towards door which marks the continuation of the corridor. Knocked through walls to right and left



Figure 58 Ground floor rear corridor
Taken from doorway shown in Fig. 57. Trace of blocked doorway into hair salon on left (red arrow), blocked doorway into warehouse of north-east facing warehouse on right (blue arrow)



Figure 59 Ground floor, exit to the loading bay
Looking east



Figure 60 Ground floor north-east warehouse
Looking east-north-east. Former outside windows covered by brown glazed tiles.
Location stairs to basement on left of photo where the metal steps are



Figure 61 Ground floor north-east warehouse
Looking south towards windows onto loading bay area

First Floor

The first and subsequent floors appear to have been reserved exclusively for Tyler's use as the 1897 plan does not show that any spaces were designated for sub-letting (Fig. 62). When first built this floor contained a number of rooms along the north-west facing frontage. These were used as a buying room, clerk's office, general office and a reception room along with a small toilet on the western side. The rest of the range was used as an open space for warehousing.

At the time of the survey the former 1st-floor snooker hall had undergone a soft strip which had removed the modern floor coverings, some internal walls and a modern toilet block on the western wall (Fig. 63). A modern plasterboard partition wall still surrounds the staircase and landing leading up from the ground floor (Fig. 64). A modern wrought iron balustrade surrounds the stairwell and continues up the staircase to the 2nd floor. The 1897 plan shows the stairs continuing at an angle to the north rather than where the staircase to the 2nd floor is currently located. This suggests that the current 1st to 2nd floor stairs are a later rebuild which may have been added when the lower flight was widened. A single doorway located at each end of the enclosed landing leads out into the main 1st floor area.

In the north-west corner of the north-west facing range is a small room with a brick wall which is shown on the 1897 plan as the reception room. This room has a plastered wall with moulded picture rails and moulded wooden skirting boards (Fig. 65). The ceiling has a moulded plaster decoration on it although this is in a poor state of repair (Fig. 66). The windows are wooden-framed two over two panes with the small upper

panes tilting open. The former doorway into the adjacent office has been bricked in leaving a second door slightly further south as the only doorway into this room (Fig. 67). The doorway has plain wooden jambs and a plain wooden door. A moulded skirting runs along this section of wall which is coated in plaster. To the south of this doorway is the entrance to the toilets which is very much as depicted in the 1897 plan although the wooden door surround has been removed. The door has two lower panels and obscured glass above and may be original (Fig. 68). The fittings within the toilet are modern and the room has been enlarged to allow space for a washbasin to the south. A cast iron circular section column supporting the ceiling is built into the wall to the south of the toilet door. Beyond the column, to the south, the wall is painted brick rather than plastered and is a later addition put in to increase the size of the toilet.

Very little evidence of the other front offices survives except for two masonry stubs with wide arches extending towards the bay window on the north-west facing elevation (Fig. 69). No marks can be seen on the wooden floor which may mean that it has been re-laid. The floor is laid with herringbone pattern wooden parquet blocks. The wooden-framed windows in the bay have fixed larger panes and smaller tilting upper panes (Fig. 70). The bay and most of the north-west and north-east facing elevation walls have moulded skirting boards, plastered walls and plaster ceilings. The plaster ceilings are undecorated. The windows of this elevation are mostly two panes over two with top opening panes although some have been modified to create a smaller opening lower pane (see figure 69). Rainwater downpipes run down the inside face of the building at the side of the windows. These come from concealed gutters in the attic and are discussed below. On this floor the downpipes are circular section.

The rest of the warehouse space of the north-east facing range is open and only broken by the presence of cast iron circular section columns supporting steel I-beams which have been boxed-in above the former office locations (Fig. 71). The columns bear the name *S Wright Leicester* on them. Samuel Wright owned a local foundry which specialised in columns and lamp standards who, in 1864, gained a contract with the Leicester Corporation to supply gas lamps. Their products can be seen in many of Leicester's industrial and municipal buildings from around this time.

The rear range is also open and has a ceiling supported by I-section pillars (Fig. 72). The ceiling joists in this part of the building are I-section and bear the name of *Leeds Steel Works* on them. The Leeds Steelworks began in the 1860s and were conveniently located next to the Midland Railway for easy transport to growing industrial towns such as Leicester. The floor of the rear range is laid with wooden floorboards which are rather more functional than the herringbone parquet at the front. The windows on the south-west facing wall are simple wooden-framed fixed lower panes and opening upper panes. As with most of the other windows in this building the upper panes are hinged at the bottom and swing out to be secured by thin chains and curving metal stops (Fig. 73). The shaft for the goods lift projects out at an angle to the rest of the room which creates an awkwardly shaped north-east wall and which must have caused storage difficulties when the room was in use as a warehouse. The opening to the lift has a wide brick arch but the rest of the doorway is hidden behind a modern wooden panel.

The second floor description follows the first floor illustrations.

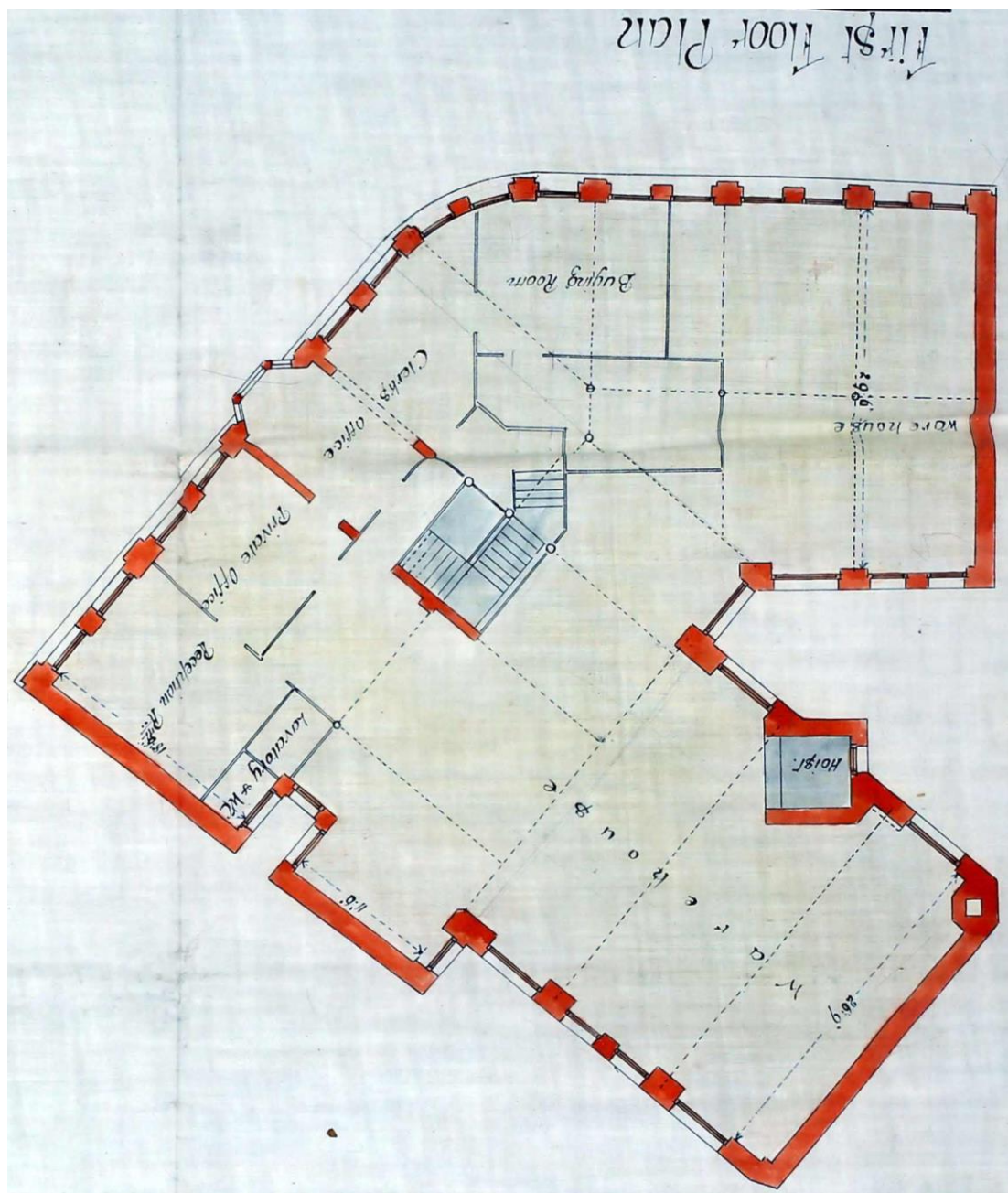


Figure 62 Detail of first floor plan from the 1897 proposals
ROLLR 1897/4848. North approximately to top of page

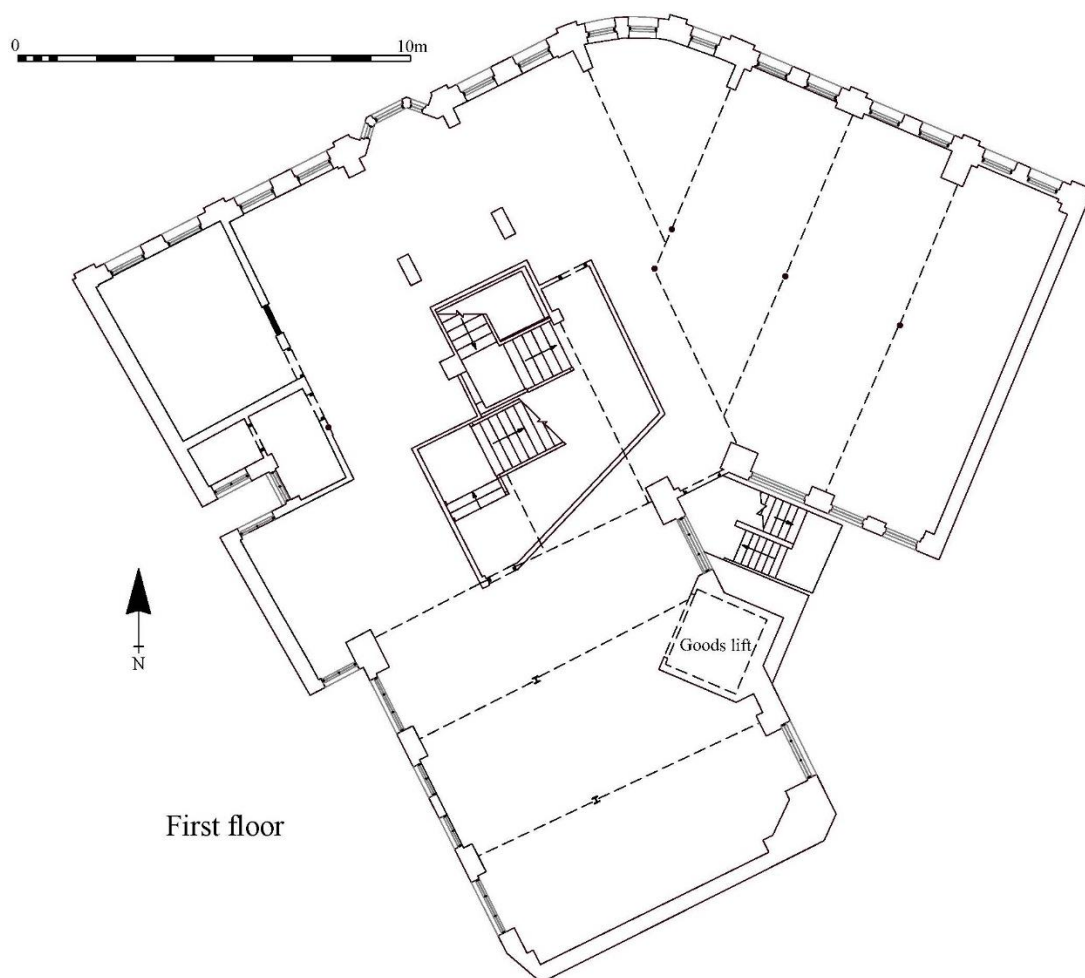


Figure 63 First floor plan
Modified from drawing supplied by client

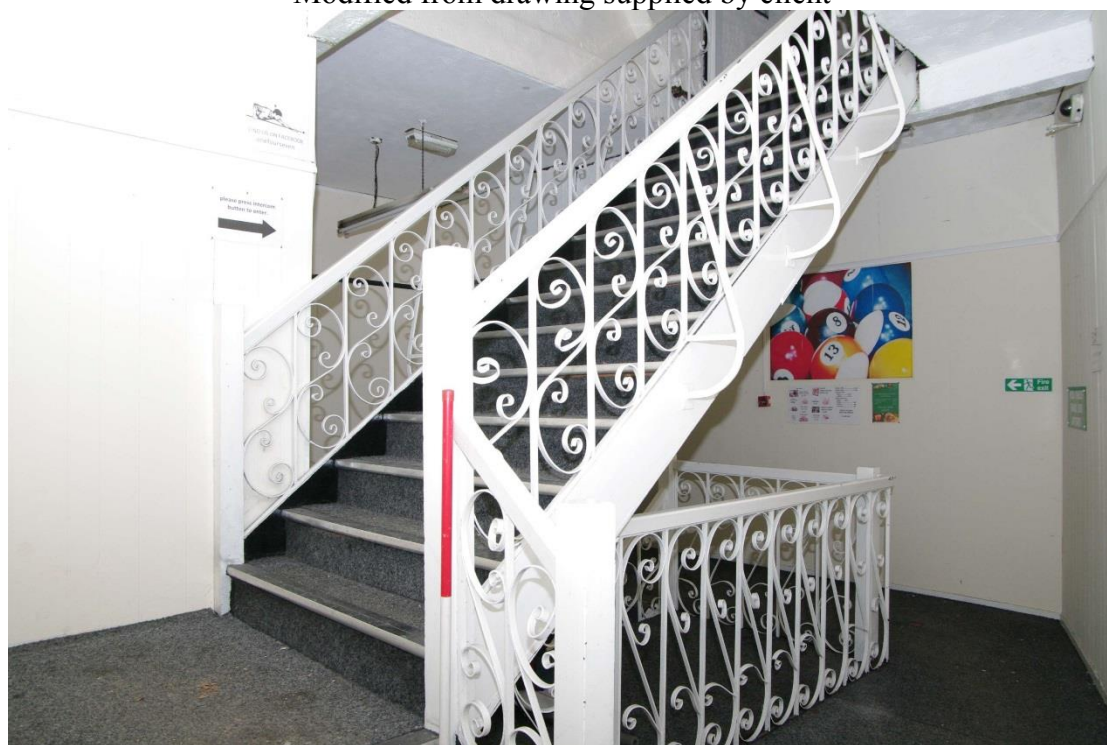


Figure 64 First floor landing and main stairs
Looking north-east. 1m scale. Stairs to 2nd floor on left



Figure 65 First floor, former reception room
Looking north-west. 1m scale



Figure 66 First floor, former reception ceiling
Looking north



Figure 67 First floor, eastern wall of former reception room
Looking south-west. 1m scale. Blocked doorway from reception to right of scale.
Second doorway into reception room to left of scale. Original toilet door to left. Note
metal column set into wall



Figure 68 First floor, toilet door
Looking south-west. 1m scale.



Figure 69 First floor, former office area
Looking south-west. 1m scale. Boxed-in stairs on left. Masonry stub and arch of
clerk's office centre right. Note modified windows on right

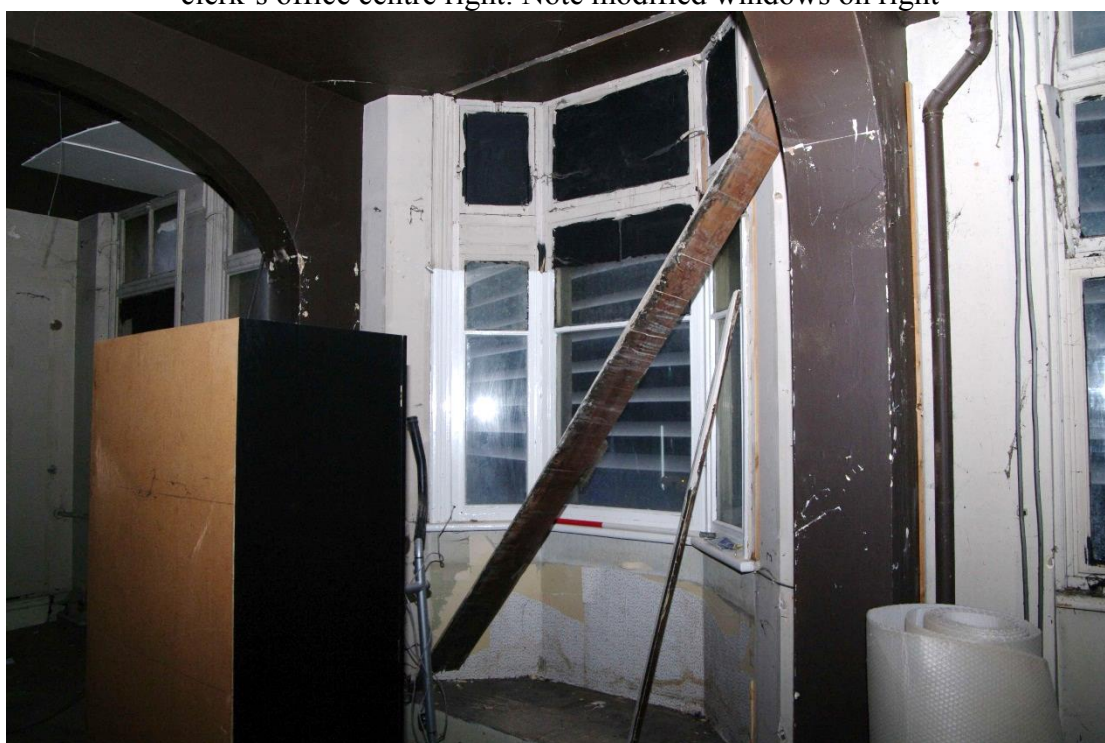


Figure 70 First floor, bay window of north-west facing elevation
Looking west. 1m scale



Figure 71 First floor warehouse behind north-east facing elevation
Looking east. 1m scale



Figure 72 First floor, rear range
Looking north. 1m scale. Goods lift wall on right of picture



Figure 73 First floor window detail
Upper opening panes, note securing chains (extreme left) and curving stops

The second floor

The 2nd floor is reached via a flight of centrally located stairs continuing up from the ground floor. The 1897 plan is rather confusing in that it shows a combined 2nd and 3rd floor plan with central stairs and stairs to the north-east (Figs 74 and 75). It is not clear which stairs belong to which floor. The present stairs have been boxed-in with modern plasterboard which surrounds the flights down to 1st floor and up to 3rd floor level (Figs 76 and 77). The stairs down to the 1st floor appear to have been rebuilt and are the same width as the widened part of the ground floor stairs. They also have the same copied wrought iron balustrades (see fig. 64). The stairs up to the 3rd floor are to the north of the stairs down and are not as wide. They have a pair of square section newels at the top and bottom (Fig. 78). The balusters may have been boxed in as the plasterboard is thicker at this point. It is clear that on this floor the stairs were once open and that only the 2nd to 3rd stairs were located in this position. The stairs down to 1st floor must therefore have been moved from the position in the north-east as shown on the 1897 plan. The floorboards have been replaced and there is no trace of any infilling at the point shown on the 1897 plan nor is there a mark on the 1st floor ceiling.

When first built this floor was used as an open space for storage. Recent uses have partially subdivided them with plasterboard walls but these had been removed a few days before the survey took place. As with the first floor the ceiling of the north-west and north-east facing ranges is supported by cast iron columns made by S Wright. The

rear range again uses I-section columns supporting overhead steelwork made by the Leeds Steel Works (Fig. 79). The walls are unplastered painted brick with no evidence of any skirting boards or other decorative features.

The north-west and north-east facing windows match the window details of those seen on the floor below although not as many have been modified to add an extra opening in the lower panes (Fig. 80). The internal rainwater pipes can be seen running down from the third floor at the side of the windows. The windows facing out over the fire escape to the south-west have arched heads and smaller panes (Fig. 81). The toilet windows to the side of the north-west facing range have the same window details (Fig. 82). Traces of the recent toilet wall survive but no trace of the original toilets is present. The goods lift projects out at 45° into the rear range, as it does on all of the other floors.

The third floor description follows the second floor illustrations.

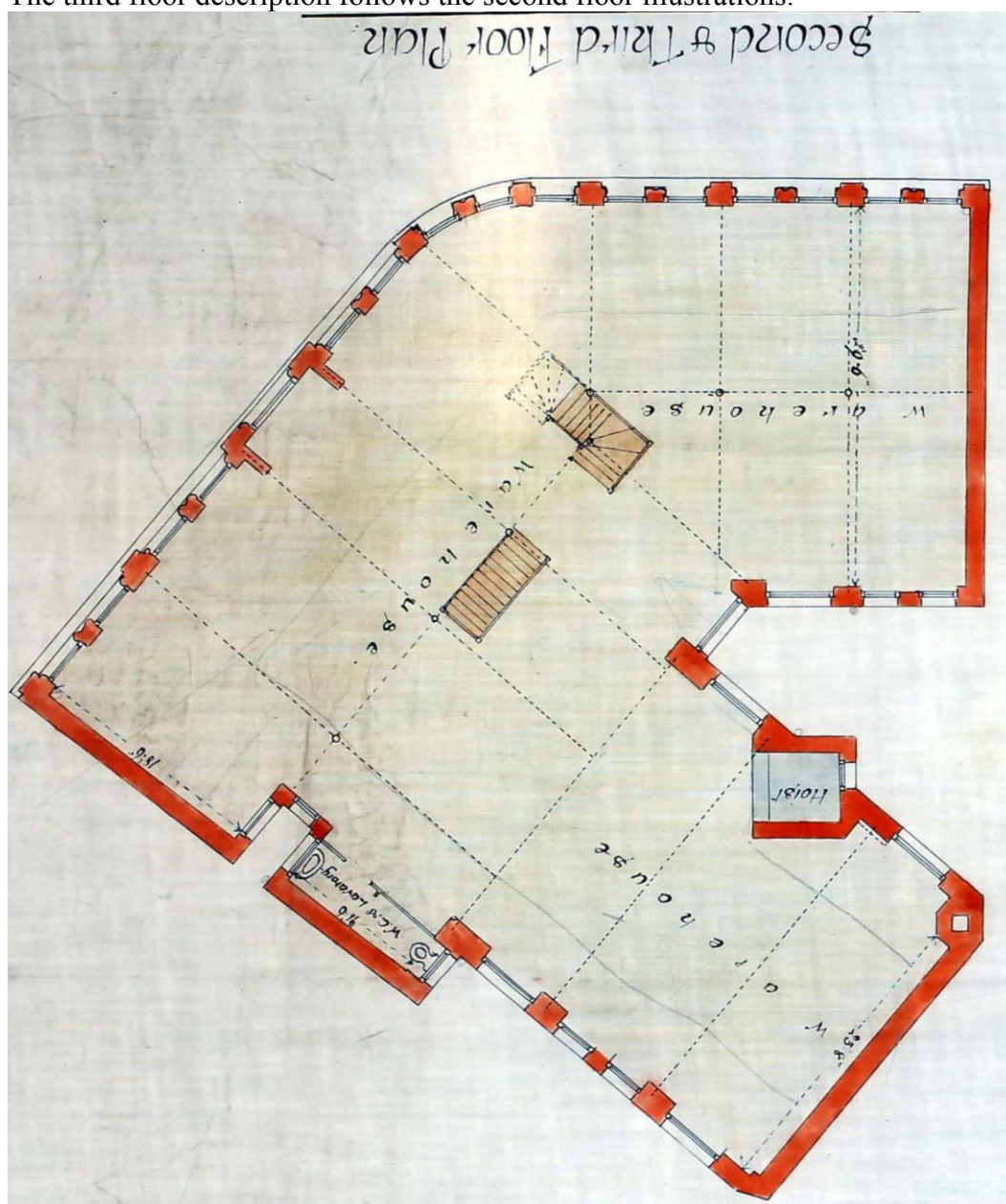


Figure 74 Detail of second and third combined floor plan from the 1897 proposals
ROLLR 1897/4848. North approximately to top of page

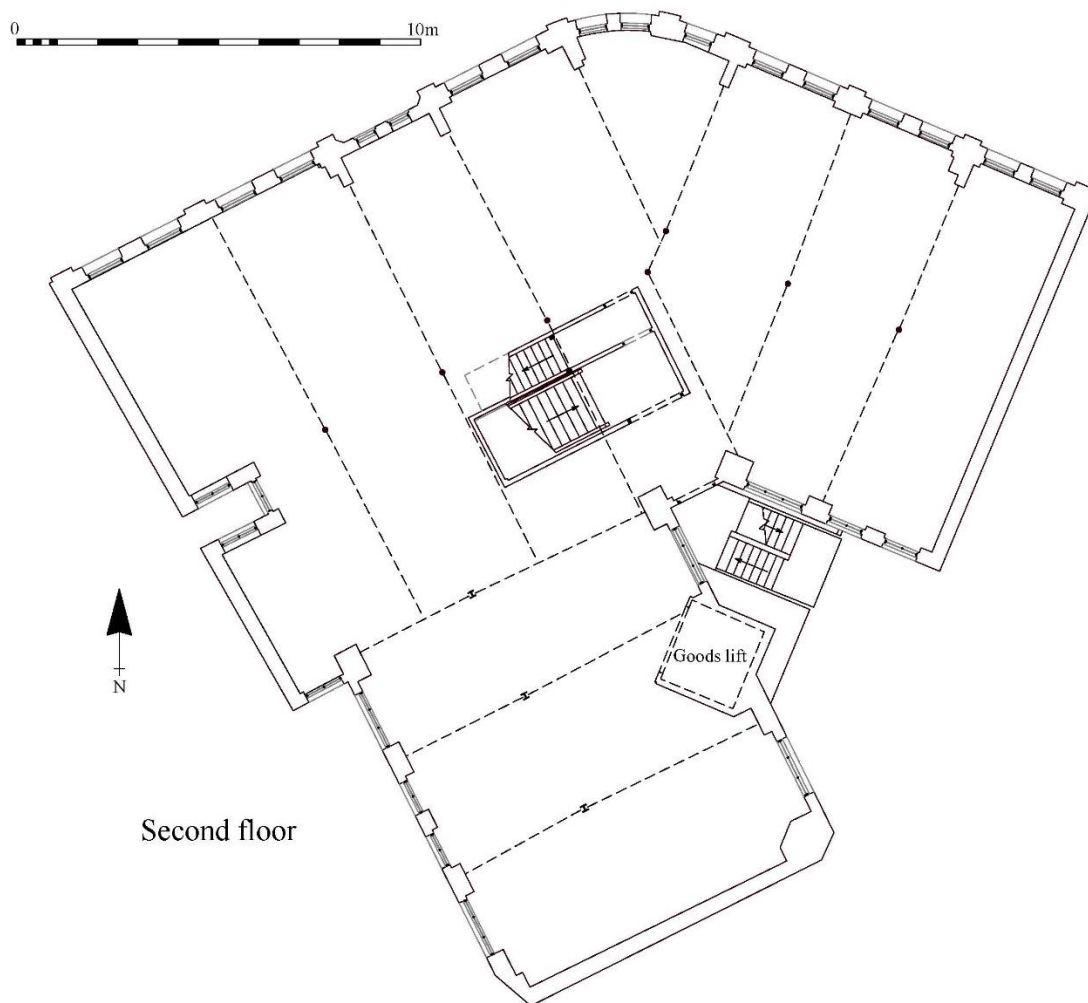


Figure 75 Second floor plan
Modified from drawing supplied by client. Note difference in stair width



Figure 76 Second floor, stairwell
Looking north-west



Figure 77 Second floor, general view and stairwell
Looking east. Note original narrow stairs boxed in on left of stairwell



Figure 78 Stairs down to 2nd floor
Looking north-east from 3rd floor landing. 1m scale. Stairs up to attic on left



Figure 79 Second floor, rear range
Looking south-east. 1m scale. Note goods lift on left

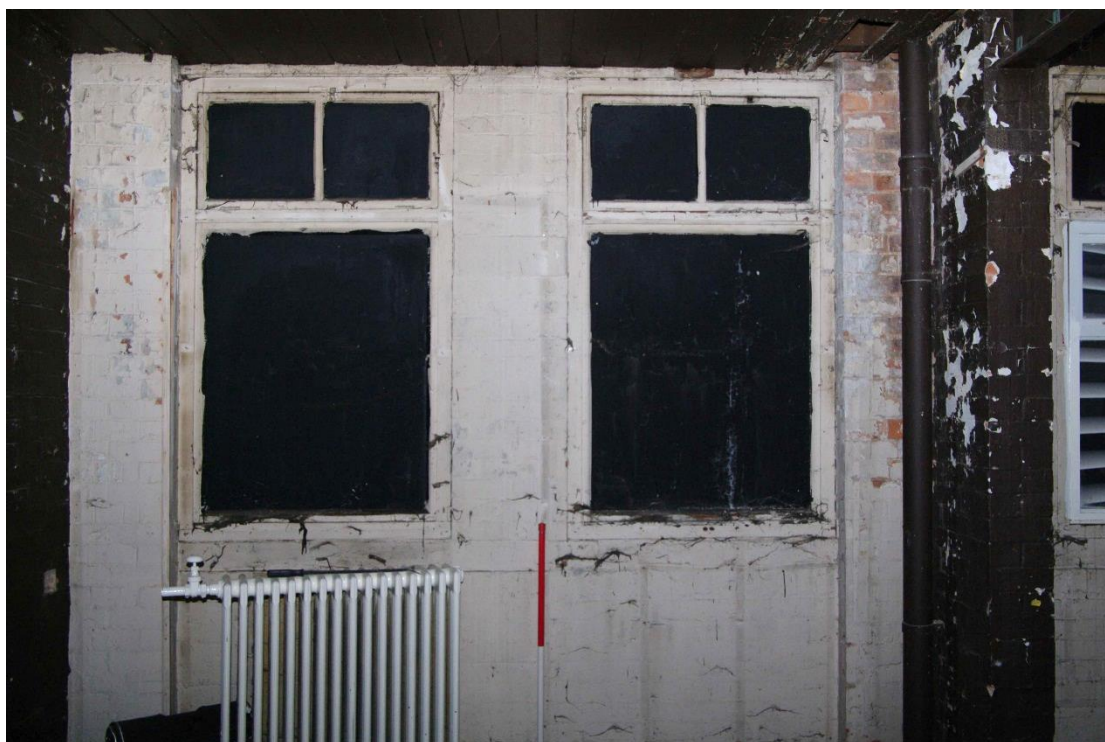


Figure 80 Second floor, north-east facing elevation window detail
Looking north-east. 1m scale. Note rainwater downpipe on right



Figure 81 Second floor north-east facing range, south-west facing window detail
Looking south-west. 1m scale



Figure 82 Second floor, north-west facing range toilet windows
Looking south. 1m scale

Third Floor

The open plan layout of the 3rd floor is very similar to the 2nd floor with the main difference being that there are no supporting columns on this floor (Fig. 83). The central stairs appear to be unmodified and are the original narrow width rather than the widened versions seen on the lower floors. They have been boxed in with plasterboard although the square wood newel posts can be seen projecting beyond the boarding (Fig. 84). There is no trace of any other stairs on this floor.

The north-west and north-east facing ranges have the large Diocletian arched windows rather than the rectangular windows seen on the 1st and 2nd floors (Figs 85 and 86). There are three different sizes of arched window but all follow the same pattern of a central tilting opening flanked by fixed panes. The large oval ox-eye window is located at the centre of the frontage curve above the 1st and 2nd floor bay window. The rear range and south-east facing windows have the same style of windows as used on the floors below (Figs 87 and 88). The corner chimney breast of the boiler flue or chimney can be seen in the eastern corner of the range. The goods lift has a modern door covering the original opening.

The rainwater downpipes from the internal gutter are located to the side of the north-west and north-east facing windows. On this floor most downpipes survive in their original form as rectangular section lead channels (Fig. 89). They also have cast lead hoppers at ceiling height.

There are a number of cast iron radiators on this floor but, at the time of the survey these had all been removed and were free-standing. It was therefore not possible to tell where these had been fixed.

The fourth floor/attic description follows the third floor illustrations.

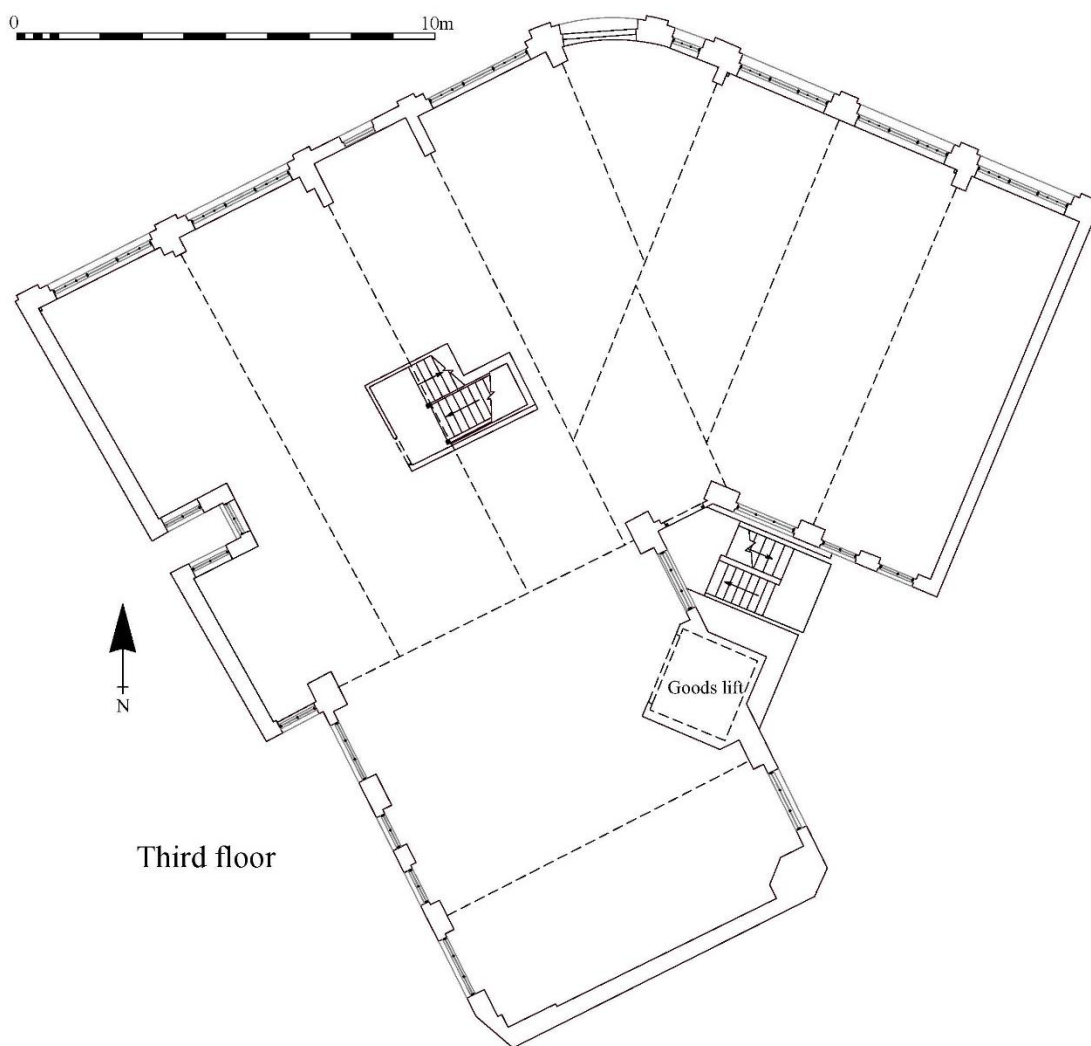


Figure 83 Third floor plan
Modified from drawing supplied by client. See also Figure 74

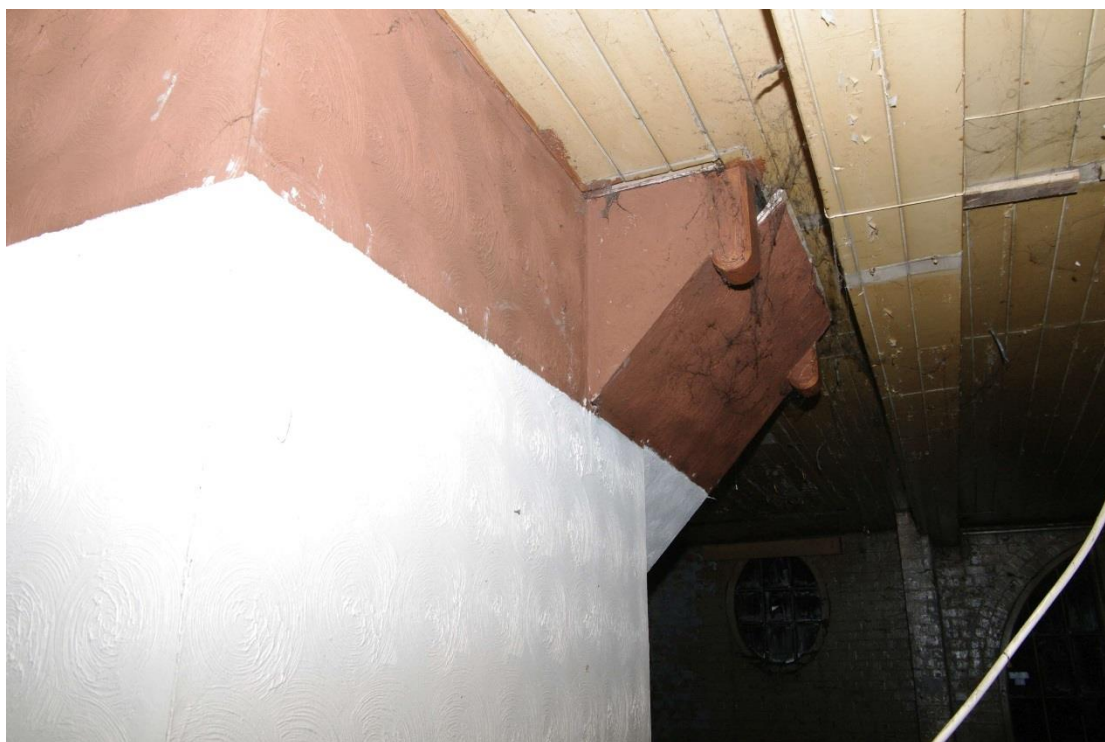


Figure 84 Third floor, boxed in stairs and projecting newels
Looking north-west



Figure 85 Third floor, north-west and north-east ranges
Looking west

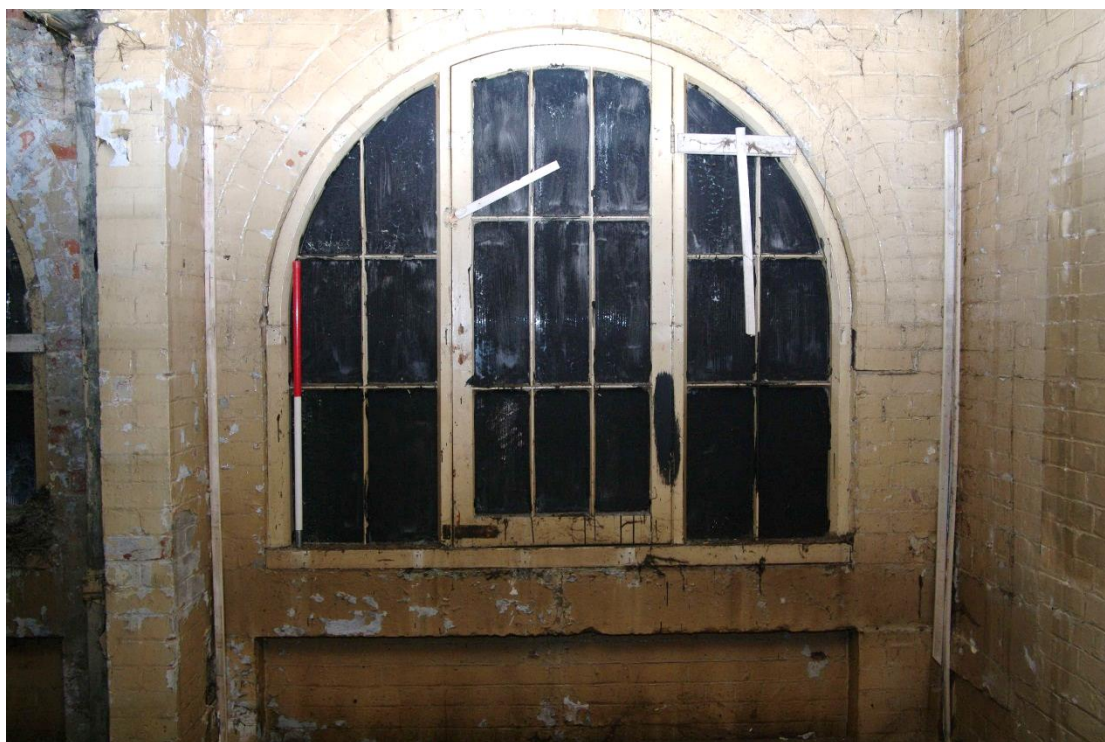


Figure 86 Third floor Diocletian arched window
Looking north. 1m scale



Figure 87 Third floor, rear range
Looking north-west. 1m scale



Figure 88 Third floor, rear range
Looking south-east. 1m scale. Note boiler chimney breast in corner



Figure 89 Third floor, internal lead downpipe and hopper
Looking east. 1m scale

Fourth floor/attic

A single flight of centrally located narrow stairs runs up from the 3rd floor to the 4th-floor attic space (Fig. 90). The stairs were open when first built but have had a plasterboard surround added to enclose them (Fig. 91). The handrails still remain as do the square section balusters on the southern side. The balusters on the north side have been removed.

Although covering the same floorplan and area as the floors below, this floor is restricted by the timber roof structure which breaks up the space quite considerably (Figs 92 and 93). The timbers run at different angles in order to accommodate the changes in the street frontage. The main supports are held by iron pegs and metal strapping with metal rods suspended from the undersides of the trusses supporting the floor. Carpenter's marks in the form of Roman numerals can be seen on the main trusses which indicates that they were prefabricated off-site (Fig. 94). The roof structure is quite substantial and consists of principal rafters and tie-beams with cleated purlins. A king post with raking struts form the key supporting timbers (Fig. 95). In addition to this are a pair of posts which support raking struts beneath the tie-beam. The posts are carried on the main ceiling steel joists of the 3rd floor. The common rafters and the backs of the slates are hidden behind sarking boards. A number of roof lights in the form of glass sheets set flush into the roof let some light into this otherwise quite dark space. The roof timbers and sarking boards at the end of the rear range have been painted white which suggests that this area was partitioned off into a separate room at some stage.

Along the north-west and north-east facing elevations are a series of small gables containing the oeil-de-boeuf windows which let in a minimal amount of light and are clearly for decoration rather than useful function (Fig. 96). At floor level, running along the north-west and north-east facing frontage is an internal gutter which feeds the internal rainwater down pipes running through the floors beneath. The gutter is made of a lead-lined open wooden channel and is clearly designed to reduce the need for external gutters which would otherwise detract from the highly decorated frontage (Fig. 97). There is a lot of evidence of the gutter becoming blocked and overflowing which has caused damage to the surrounding timberwork. The lip of the gutter has a number of lower edges the purpose of which is not clear.

In the centre of the main frontage is the base of the octagonal tower which springs off the rectangular bay of the floors below (Fig. 98). The tower is glazed but is not a useable or functioning space. The tower has two short floors with a wooden ceiling/floor separating the two. A sealed wooden hatch with no stair or ladder access leads into the second floor. Access could not be gained safely during the survey.

The goods lift has double wooden doors opening out into the room which appear to be original fittings (Fig. 99). A lift call button set into a brass plate at the side of the lift does not have the maker's name on it but also appears to be of the same date as the Waygood lift. A paper sign pinned to the door states that students must not use the lift which suggests that at one time this floor may have been used as a learning establishment. A small casement window is set into the wall looking out onto the external fire escape. The window tilts along its central horizontal axis and has similar fittings to those used elsewhere in the building. A wooden door accessing the fire escape

is located to the side of the casement window (Fig. 100). The door is relatively simple and the fittings appear to date to the first half of the 20th century.

There are several examples of graffiti chalked onto the timbers around this floor. The marks can be divided into two groups: marks associated with goods and storage and marks left by previous occupants. Set at regular intervals along the north-west and north-east frontages are marks which include:

6 x 3 BLUE
6 x 3" PINK
40W CLEAR SC
ROUSH SERVICE
HARRY
SILVER
230 35W 240 35W 250 35W
12" 12" 12"

Someone called Amrik also left regular messages saying that he was “*ere*” in 2/4/84. One of his marks is next to a well-drawn sketch which may show details of a peg jointed timber structure (Fig. 101). It is not clear when this sketch was made. His name also appears on the brickwork.

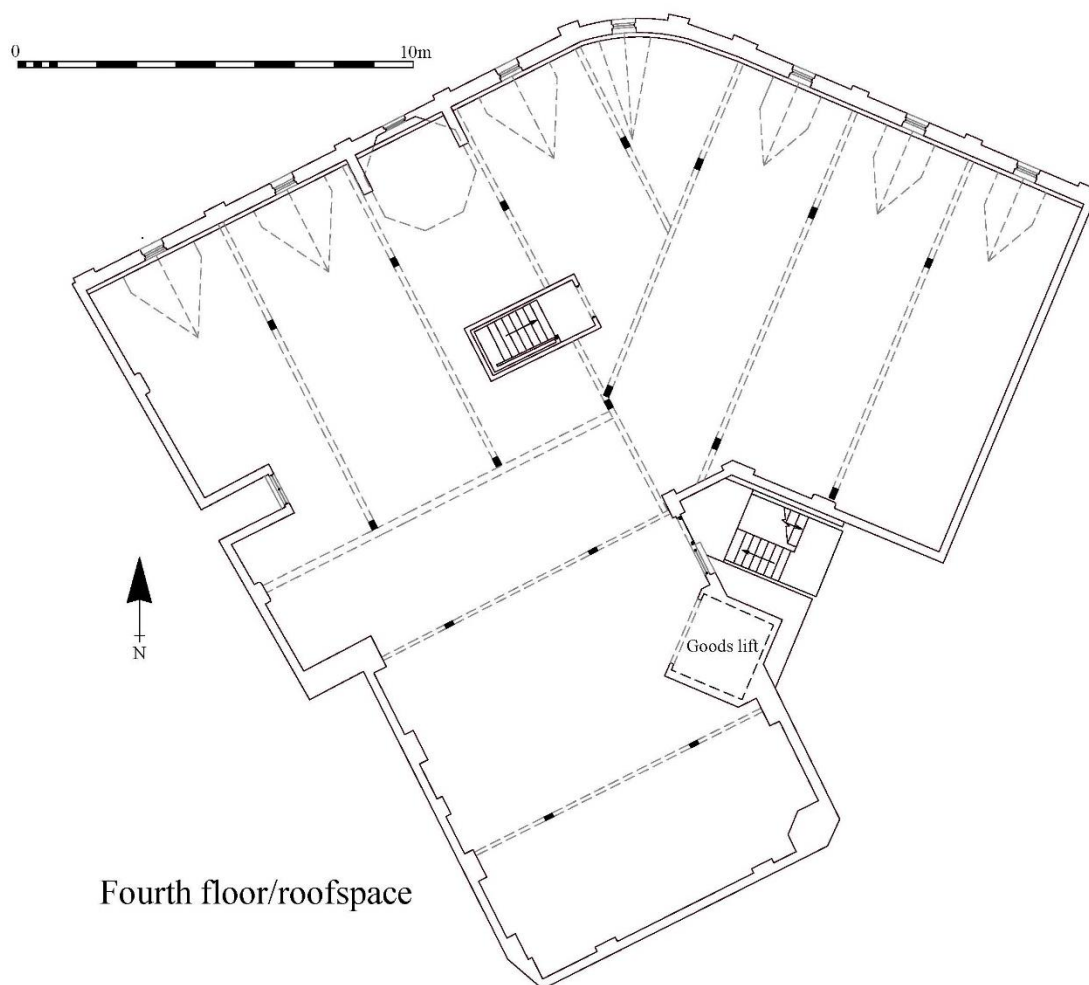


Figure 90 Fourth floor plan
Modified from drawing supplied by client



Figure 91 Fourth floor, stairs to lower floors
Looking south-east. 1m scale



Figure 92 Fourth floor, above north-east facing range
Looking east. 1m scale

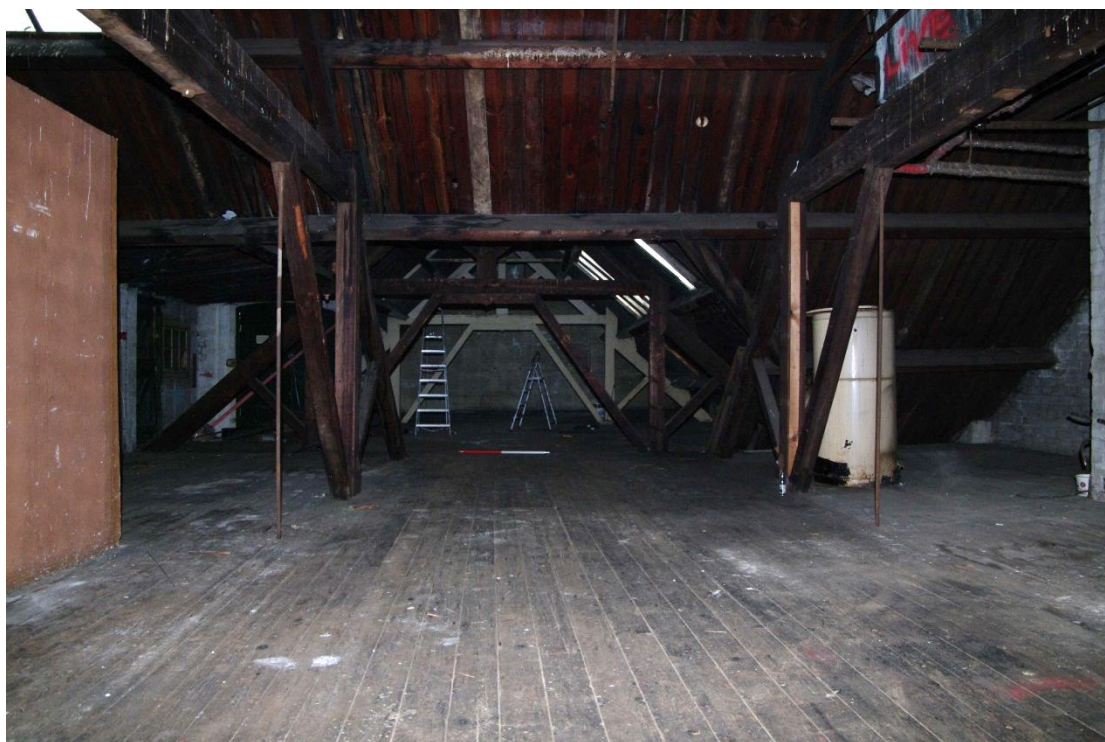


Figure 93 Fourth floor, rear range
Looking south-east. 1m scale. Boxed-in stairs on left



Figure 94 Fourth floor, carpenter's marks
Roman numeral III arrowed



Figure 95 Fourth floor, roof structure
Looking north from rear range

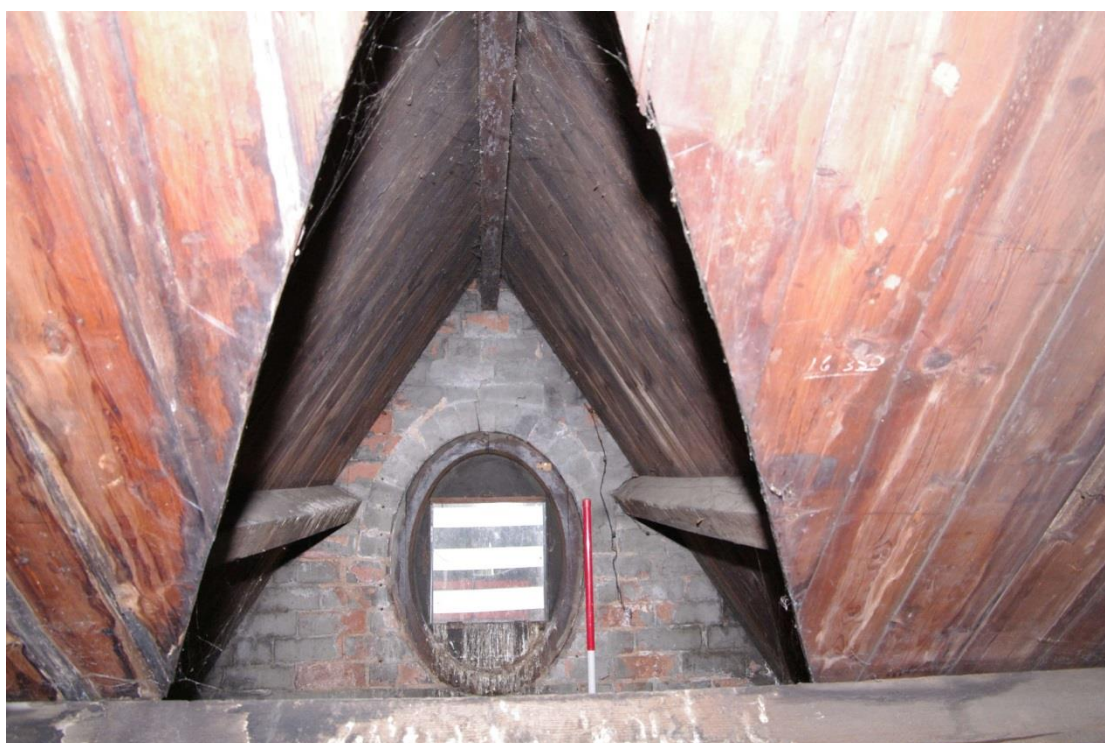


Figure 96 Fourth floor, gable window
Looking north-west. 1m scale



Figure 97 Fourth floor, internal rainwater gutter
Looking west



Figure 98 Fourth floor, base of tower
Looking north-east. 1m scale. Note how octagonal tower sits on rectangular bay



Figure 99 Fourth floor, goods lift
Looking south-east. 1m scale



Figure 100 Fourth floor, fire escape door
Looking east. 1m scale. Goods lift to right



Figure 101 Fourth floor, graffiti
Note drawing of pegged structure on right

Discussion

From the outside, the Queens Buildings appear to have seen little alteration since first built. The key differences being the modification to the arched windows which have been blocked. The rendered base of the external wall masks the existence of doors set into the arched windows and also the former basement lights. Minor changes include the alteration to some of the windows and the painted ground floor stonework.

Internally, the areas which have undergone most changes appear to be the basement and ground floors. The basement has been extensively rebuilt to support a replacement floor and new steelwork. It is not entirely clear why this happened but it may have been as a consequence of structural weaknesses caused by the curved frontage structure rather than having a stronger corner structure. The type of materials used in the rebuild suggests a mid-20th century date. The date that this took place may also coincide with the moving and rebuilding of the stairs up from the basement to ground floor level in the north corner. The internal alterations to the ground floor seem likely to have taken place more recently with many internal walls being removed to open up the former rented spaces. The widening of the second stage of the main stairs also seems to have taken place relatively recently given the use of modern plasterboard and the wrought iron copied balustrade. The rebuilding of the stairs probably took place at the same time as the removal of the stairs on the 2nd floor. Unfortunately there is no trace of the earlier 2nd floor stairs. Similarly it is not known when the 1st floor offices had their walls removed.

It is interesting to see how Tyler's kept their activities separate from those of their tenants with their own decorated entrance hall leading up to the 1st floor offices and their rear warehouses being separate from the rented spaces. Only Tyler's employees had access to the loading bay area and had sole use of the goods lift which served only their warehouse spaces. Later modifications have removed many of these former barriers to free access and movement around the building.

Later uses of the building have left their mark in the form of wall art from the club and knocked through doorways to enter the hairdressing salon. The arched ground floor windows appear to have had both doors and windows which have since been modified or blocked.

Overall, what has survived is the impression of a highly decorated late Victorian building which reflects the intention of the owners to present to the public their importance and place within Leicester's commercial leaders. The decorative frontage has had a restricting effect on the way the rooms and spaces have been used and seems to have caused a number of structural problems. The unusual internal open rainwater gutter is just one example of style over function.

Archive

The archive consists of:

This report,
357 digital images in jpeg format,
357 digital images in tiff format,
7 A4 photographic record sheets,
11 A4 photographic contact sheets of digital photographs

Publication

A summary of the work will be submitted for publication in the *Transactions of the Leicestershire Archaeological and Historical Society* in due course. A record of the project will also be submitted to the OASIS project. OASIS is an online index to archaeological grey literature.

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Websites:

http://www.hunslet.org/The_Leeds_Steelworks.html

Appendix 1 Digital photographs



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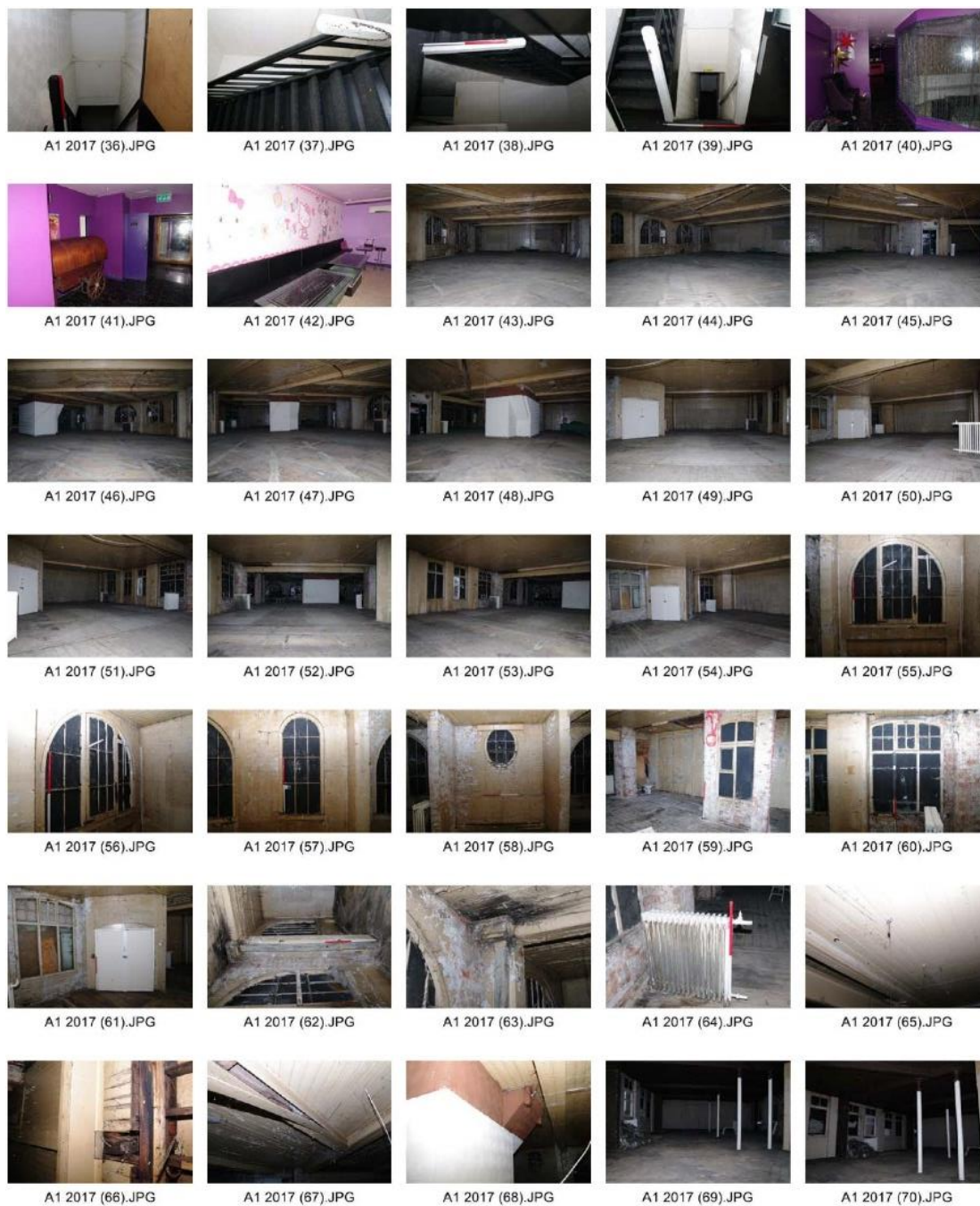
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Appendix 2 OASIS Information

PROJECT DETAILS	Oasis No	universil-289165		
	Project Name	Historic Building Report at the Queens Buildings, 37-43 Rutland Street, Leicester		
	Start/end dates of field work	January to March 2017		
	Previous/Future Work	No/ Not known		
	Project Type	Level 3 Building Recording		
	Site Status	Industrial building		
	Current Land Use	Unoccupied		
	Monument Type/Period	Building/Post medieval		
	Significant Finds/Period	None		
	Development Type	Mixed commercial/residential		
	Reason for Investigation	NPPF		
	Position in the Planning Process	Planning condition		
	Planning Ref.	2016/1806-7		
PROJECT LOCATION	Site Address/Postcode	37-43 Rutland St, Leicester. LE1 1RE		
	Study Area	1ha		
	Site Coordinates	SK 59177 04496		
	Height OD	60m OD		
PROJECT CREATORS	Organisation	ULAS		
	Project Brief Originator	Local Planning Authority (Leicester City Council)		
	Project Design Originator	ULAS		
	Project Manager	R Buckley		
	Project Director/Supervisor	A Hyam		
	Sponsor/Funding Body	Developer / Staniforth Architects		
PROJECT ARCHIVE		Physical	Digital	Paper
	Recipient	NA	LCC	LCC
	ID (Acc. No.)		A1.2017	A1.2017
	Contents		Photos	Field Notes
PROJECT BIBLIOGRAPHY	Type	Grey Literature (unpublished)		
	Title	A Level 3 Historic Building Survey at Queen Buildings 37-43 Rutland St, Leicester		
	Author	A Hyam		
	Other bibliographic details	ULAS Report No		
	Date	2017		
	Publisher/Place	University of Leicester Archaeological Services / University of Leicester		
	Description	Developer Report A4 pdf		



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