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**LEICESTER**

Archaeological Services

Archaeological attendance  
on land at Rose Cottage,  
23 Main Street, Swadlincote,  
Snarestone, Leicestershire DE12 7DB  
(SK 34562 09365)

Claire LaCombe



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**Archaeological attendance on land at Rose Cottage,  
23 Main Street, Swadlincote, Snarestone, Leicestershire DE12 7DB  
(SK 34562 09365)**

**Claire LaCombe**

*For*

Mr C Reyner

*Planning Ref: 16/01160/FUL*

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## **Archaeological attendance on land at Rose Cottage, 23 Main Street, Swadlincote, Snarestone, Leicestershire DE12 7DB (SK 34562 09365).**

Claire LaCombe

### **Summary**

*Archaeological attendance and recording was undertaken during groundworks on land at Rose Cottage, 23 Main Street, Swadlincote, Snarestone, Leicestershire DE12 7DB (SK 34562 09365).*

*The watching brief was required as a condition of the planning consent for the extension to an existing garage including ground level alterations and partial demolition of a retaining wall.*

*The site lies within the historic medieval and post-medieval settlement core of Snarestone village, on the frontage of Main Street, within the designated village Conservation Area.*

*No archaeological features or finds were identified or recovered from the trenches, although the foundation towards the eastern property boundary had been excavated without supervision prior to the visit on the second day. This was not conducive to the identification of archaeological features.*

### **Introduction**

University of Leicester Archaeological Services (ULAS) were commissioned by Mr C Reyner to carry out archaeological attendance and recording during groundworks on land on land at Rose Cottage, 23 Main Street, Swadlincote, Snarestone, Leicestershire DE12 7DB (SK 34562 09365).

This archaeological work is in accordance with NPPF Section 12: Enhancing and Conserving the Historic Environment.

The work was required as a condition of the planning consent for the extension to an existing garage including ground level alterations and partial demolition of a retaining wall.

The site lies within the historic medieval and post-medieval settlement core of Snarestone village, on the frontage of Main Street, within the designated village Conservation Area. Rose Cottage itself is a red brick building of 1 ½ storeys, depicted on the 1843 Tithe map, and may date to the late 18th or early 19th century.

### **Location and Geology**

Snarestone is a small rural village in North West Leicestershire. It lies on the edge of the national forest and is five miles from the market town of Ashby-de-la-Zouche (Figure 1). The site lies approximately 260m to the east of the Globe inn and 475m south of the Ashby Canal.

The site consists of a small parcel of land oriented north-south, and measuring around 481 square metres. The land at the site is flat and lies at a height of 100m aOD.

The site was formerly gardens associated with the house.

The Geological Survey of Great Britain indicates that the underlying geology consists of mudstone and siltstone of the Tarporely Siltstone Formation and the superficial

geology consisted of Thruslington Member-diamicton. The ground level is c.100m aOD.

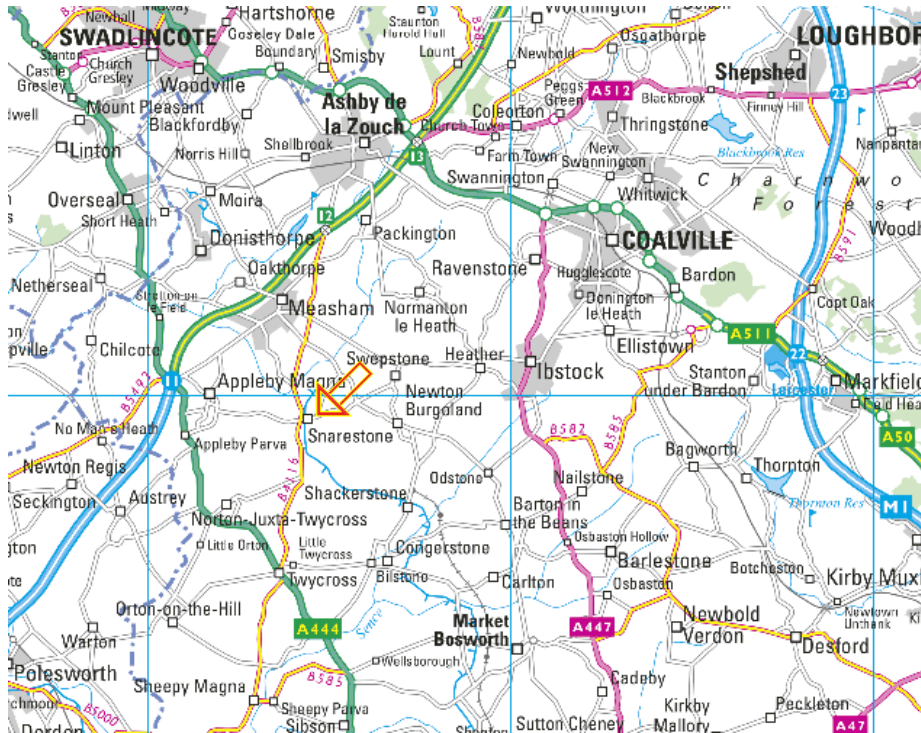


Figure 1: Location of Snarestone (arrowed)

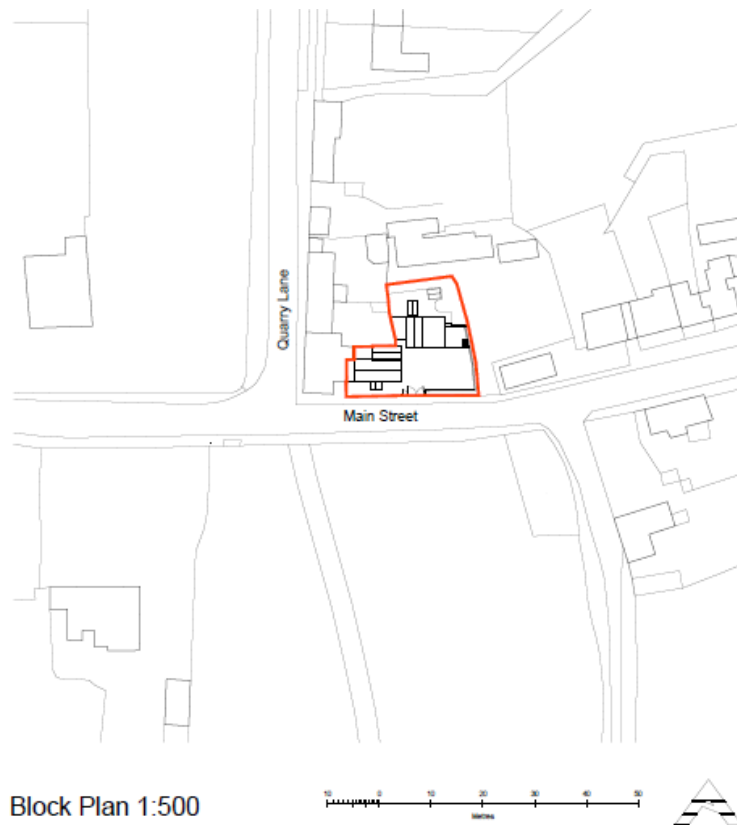


Figure 2: Site location on Main Street

## Historical and Archaeological Background

The village appears in the Domesday Book as Snarchetone and was the farmstead of a man called Snar(o)c. At the time of Domesday Snarestone amounted to a single carucate of waste land. This small area of land was held in 1086 by Robert the Dispensator (or Robert the Bursar). Robert was steward to William the Conqueror and the land was granted by Robert's successor (Henry de Hastynges) to an Adam Stake.

In the 13th century the land passed to the Charnell family who held it for five centuries. The estate was partitioned in 1796, and half came to Charles Powell Leslie II via his wife Anne (née Ryder). The other half came to Colonel Samuel Madden via his marriage to Katherine (née Ryder). Snarestone was sold some time after Madden's death in 1814. Snarestone passed in 1846 to Lady Anna Maria Leslie.

The villages of Leicestershire and the wider English Central Midlands, appear to have evolved alongside their open field systems, during the later 1st millennium AD. Rose Cottage itself is a red brick building of 1 ½ storeys, depicted on the 1843 Tithe map, and may date to the late 18th or early 19th century.



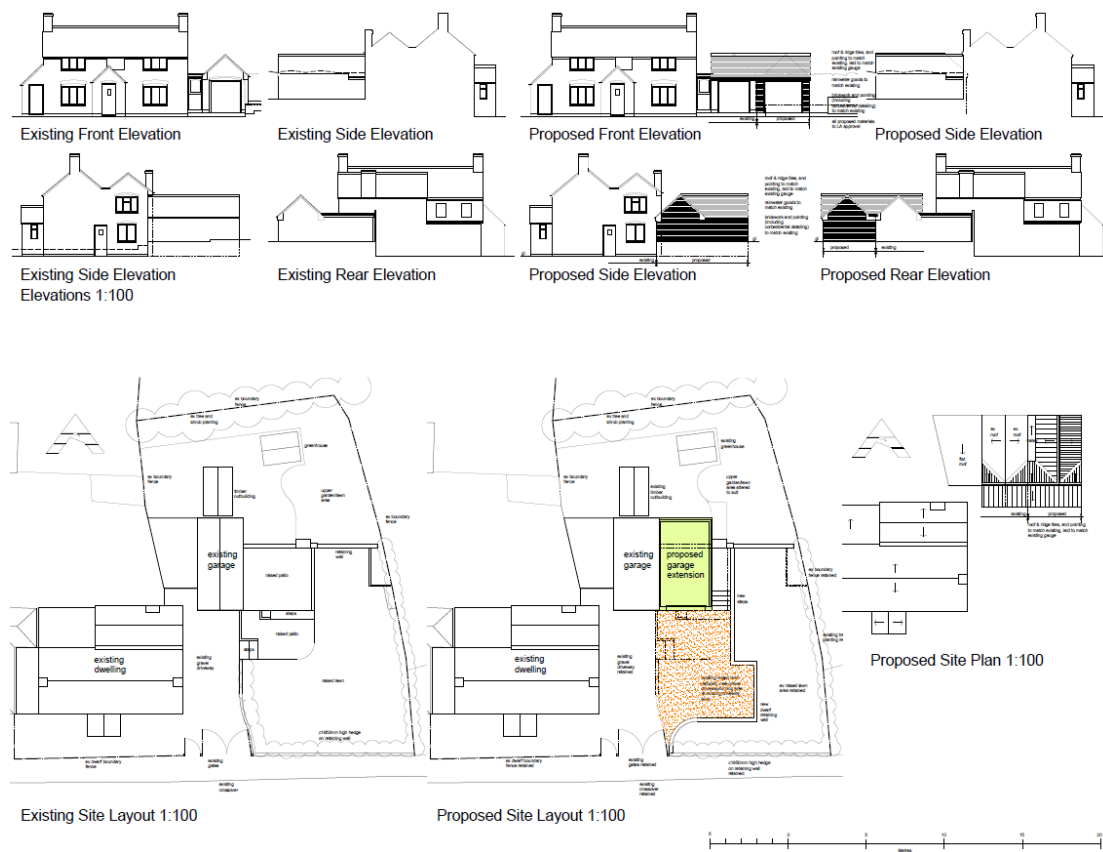


Figure 3: Plan of area of proposed development provided by developer.

### Archaeological Objectives

The main objective of the archaeological attendance was to determine and understand the nature, function and character of any significant archaeology on the site in its cultural and environmental setting.

The aims of the archaeological work were:

- To identify the presence/absence of any archaeological deposits.
- To establish the character, extent and date range for any archaeological deposits to be affected by the proposed ground-works.
- To record any archaeological deposits to be affected by the ground-works.
- To produce an archive and report of any results.

### Methodology

All work followed the Chartered Institute for Archaeologists (CIfA) *Code of Conduct* (rev. 2014) and adhered to their *Standards and Guidance for Archaeological Watching Briefs* (rev. 2014).

*A Written Scheme of Investigation for Archaeological Work* was produced by ULAS prior to the archaeological work being undertaken (ULAS 2017).

The project involved the supervision of overburden removal and other groundworks by an experienced professional archaeologist during the works.



The foundation trenches were excavated using a mechanical excavator to a width of 600mm with a 450mm toothed bucket. The foundation trenches for the retaining wall surrounding the proposed driveway had been excavated prior to the arrival of an archaeologist.



Figure 4: Prepared area of land for the garage extension to the east of the existing garage, looking north. The view shows the stripped area prior to the foundation trenches being dug. Land drains are visible in section.





Figure 5: View looking east, showing north-eastern area of the foundation trench for the garage extension.



Figure 6: View looking west, showing north-western area of the foundation trench for the garage extension.



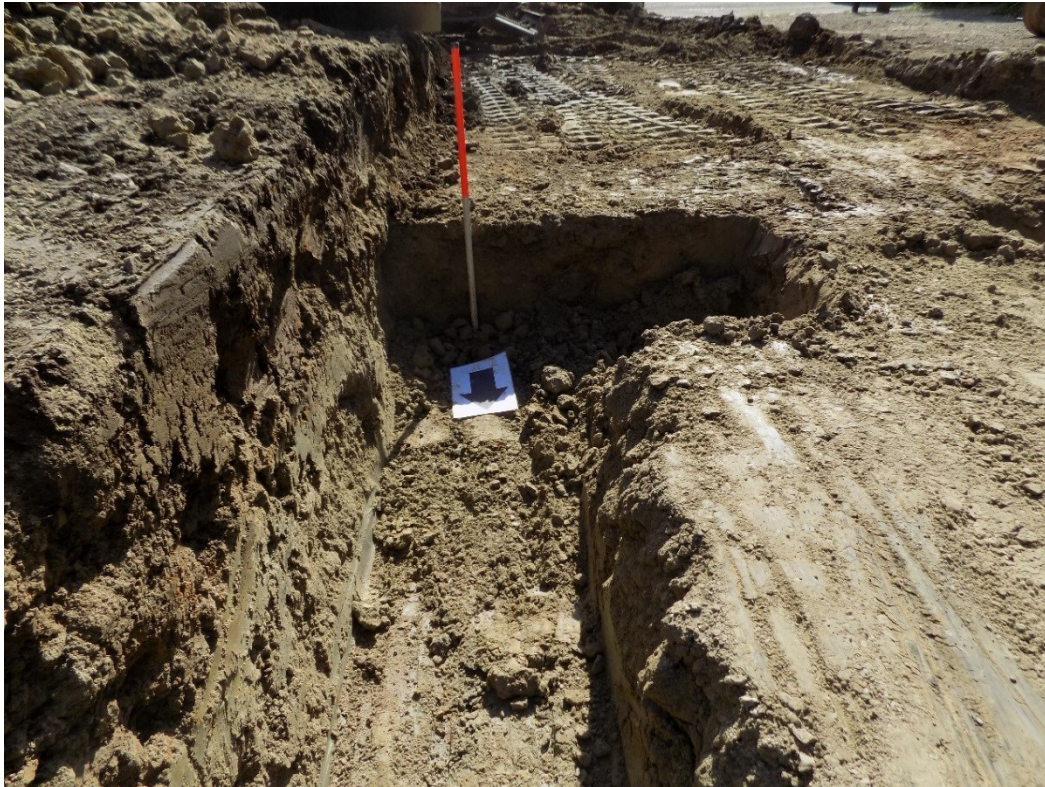


Figure 7: View looking south, showing the foundation trench for the south-eastern footing for the garage extension.



Figure 8: View looking north showing the foundation trench for the new retaining wall which will surround the new driveway and to the east of the proposed garage.





Figure 9: View looking north-east showing the foundation trench for the proposed retaining wall for the driveway.



Figure 10: View looking north along the easternmost boundary of the development showing the foundation trench for the retaining wall surrounding the driveway.





Figure 11: View post-excitation waiting for excess soil to be removed in preparation for the arrival of the ready made concrete.

## Results

The archaeological attendance was undertaken on 3<sup>rd</sup> and 4<sup>th</sup> April 2017.

The proposed development site lay to the eastern side of Rose Cottage within the existing gardens.

The site had previously been stripped of all features including a small wall which bounded the existing driveway. There were patches of concrete and rubble visible on the surface where the small wall had stood.

The excavation began at the northernmost point of the development, to the eastern side of the existing garage. The land was clearly disturbed and likely to have been redeposited from the southernmost part of the site creating a slope.

This soil was removed to a depth of 0.14m at its deepest part, (0.95m redeposited / disturbed topsoil) with 0.55m being dug directly into the natural yellowish grey clay/sandstone mix substratum. There were land drains clearly visible in section within the disturbed topsoil.

The work was delayed due to the amount of spoil that had to be completely removed from site. Agreement was made that the area that lay beneath the spoil (the proposed driveway) could be levelled after removing the spoil heap. On returning to site the following day, the area discussed had been levelled, and the foundation trenches had also been dug. They were not deep enough however, to have disturbed the natural substratum.

The foundation trenches were approximately 0.6m wide. For the proposed garage extension, they were excavated to a depth of approx. 1.0m. For the small retaining wall, the foundation trenches were dug to approx. 0.3m

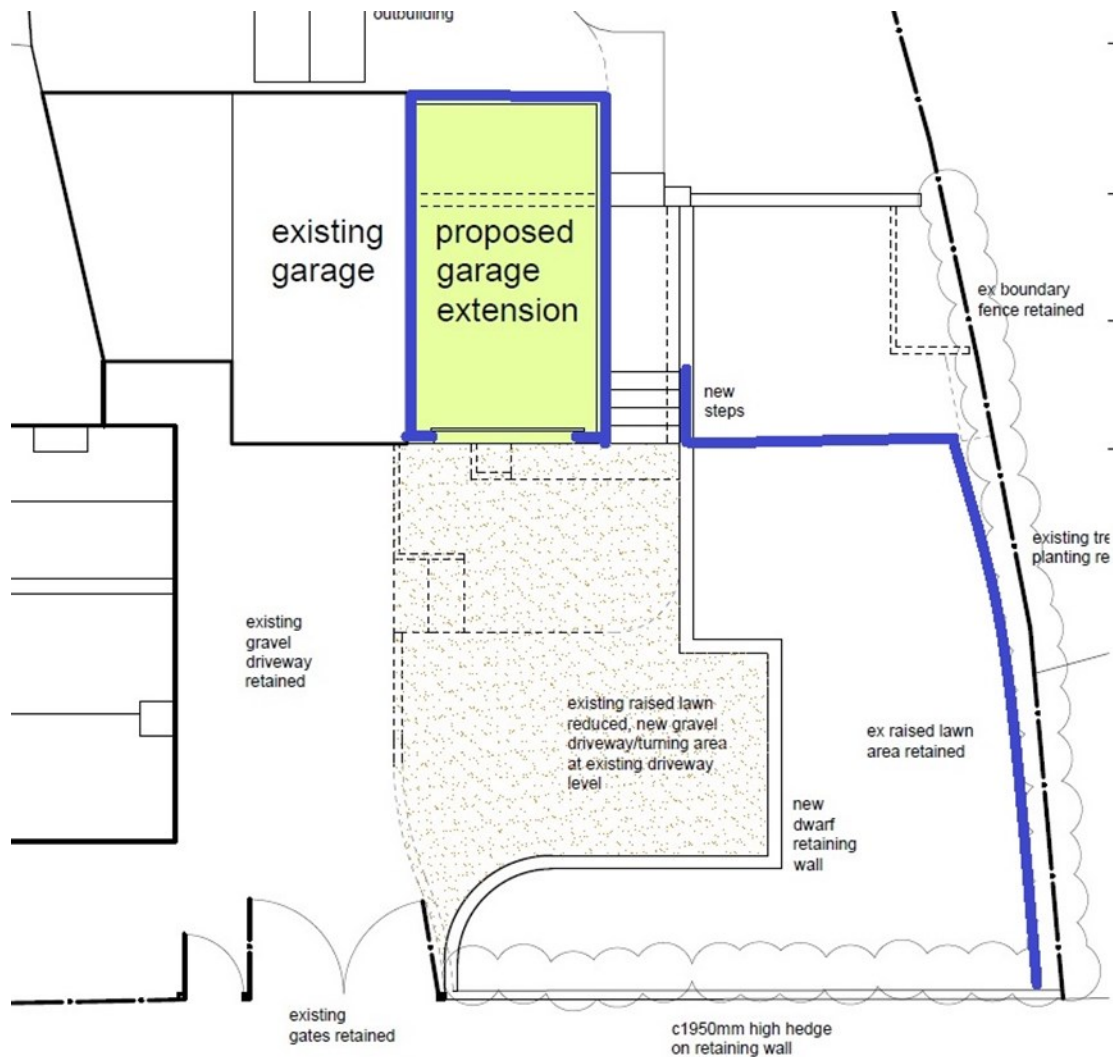


Figure 12: Position of excavated foundation trenches highlighted in blue.

## Conclusion

No archaeological features or finds were identified or recovered from the trenches. The foundation trenches to the retaining wall surrounding the proposed driveway had previously been excavated and filled prior to the visit.

## Acknowledgements

ULAS would like to thank William Grant of Sorrec Group for their help and co-operation. The work was carried out by Claire Lacombe of ULAS and Patrick Clay was managed the project.

## Archive

The archive for this project will be retained by LCC with accession number X.A34.2017 and consist of the following:

- 1 Unbound Copy of this report (ULAS Report No. 2017-105)
- 1 Watching brief recording sheet
- 1 Contact sheet of digital photographs

1 CD of digital photographs

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14-07-2017



## Appendix 1: OASIS data entry

Since 2004 ULAS has reported the results of all archaeological work through the *Online Access to the Index of Archaeological Investigations* (OASIS) database held by the Archaeological Data Service at the University of York.

A summary of the work will also be submitted for publication in a suitable regional archaeological journal in due course.

<b>PROJECT DETAILS</b>	<b>Oasis No</b>	universi1-		
	<b>Project Name</b>	Archaeological attendance on land at Rose Cottage, 23 Main Street, Swadlincote, Snarestone, Leicestershire DE12 7DB (SK 34562 09365).		
	<b>Start/end dates of field work</b>	03-04-2017 to 04-04-2017		
	<b>Previous/Future Work</b>	Not known/ Yes		
	<b>Project Type</b>	Watching Brief		
	<b>Site Status</b>	None		
	<b>Current Land Use</b>	Private gardens		
	<b>Monument Type/Period</b>	None		
	<b>Significant Finds/Period</b>	None		
	<b>Reason for Investigation</b>	NPPF		
	<b>Position in the Planning Process</b>	Planning condition		
	<b>Planning Ref.</b>	16/01160/FUL		
<b>PROJECT LOCATION</b>	<b>Site Address/Postcode</b>	Rose Cottage, 23 Main Street, Swadlincote, Snarestone, Leicestershire DE12 7DB		
	<b>Study Area</b>	481 sq m		
	<b>Site Coordinates</b>	SK 34562 09365		
	<b>Height OD</b>	100m aOD		
<b>PROJECT CREATORS</b>	<b>Organisation</b>	ULAS		
	<b>Project Brief Originator</b>	Local Planning Authority (LCC)		
	<b>Project Design Originator</b>	ULAS		
	<b>Project Manager</b>	Patrick Clay		
	<b>Project Director/Supervisor</b>	Claire LaCombe		
<b>Sponsor/Funding Body</b>	Mr C Reyner			
<b>PROJECT ARCHIVE</b>		<b>Physical</b>	<b>Digital</b>	<b>Paper</b>
	<b>Recipient</b>	LCC	LCC	LCC
	<b>ID (Acc. No.)</b>	X.A34.2017	X.A34.2017	X.A34.2017
	<b>Contents</b>	None	Photographs	Report W/B sheet
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