



UNIVERSITY OF
LEICESTER

Archaeological Services

**A Historic Building Assessment to
Level 2 at
Welham Lodge,
Cranoe Road,
Welham,
Leicestershire**

NGR: SP 75365 93616

Andrew Hyam



ULAS Report No. 2017-155
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A Historic Building Assessment

To Level 2 at

Welham Lodge,

Cranoe Road, Welham,

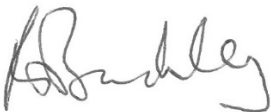
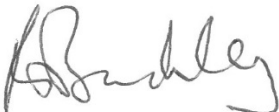
Leicestershire

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Preplanning Application Number: PREAPP/17/00149

For: Anthony Smith

Filename/Version	Checked by	Date
2017-155	 R.J. Buckley	17/10/2017
2017-155v2	 R.J. Buckley	24/10/2017

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ULAS Report Number 2107-155

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Accession Number X.A115.2017

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Summary

A historic building assessment to Level 2 was undertaken by the University of Leicester Archaeological Services (ULAS) at Welham Lodge, Cranoe Road, Welham, Leicestershire on the 27th of September 2017. The client intends to refurbish and extend the Grade II listed building which has a late 18th century core. The aim of the survey was to assess the impact of the proposals on any fabric of architectural or historic importance. The proposed works and alterations include, among other items, the removal of one extension and the raising of the roof height of another existing extension. A new staircase from the first to the second floor will also be constructed. Some outbuildings will be removed. Overall the works should have a low to medium impact on the existing historic fabric of the building.

The report will be archived under accession number X.A 115.2017

Introduction

In accordance with National Planning Policy Framework (NPPF) Section 12 *Conserving and Enhancing the Historic Environment* this document forms the report for an historic building assessment (at Historic England Level 2) at Welham Lodge, Cranoe Road, Welham, Leicestershire. Level 2 historic building surveys are defined in the Historic England guidance document – *Understanding Historic Buildings: A guide to good recording practice* (2016). Planning permission is being sought under Pre planning application number PREAPP/17/00149 for the refurbishment and extension of the house. Before any demolition or extension work takes place a request was made by the Senior Planning Archaeologist, Leicestershire County Council for a programme of historic building assessment and recording.

Welham Lodge lies on the western side of the Cranoe Road midway between the villages of Welham and Cranoe. The site is approximately 7km to the east of Kibworth Beauchamp and a similar distance to the north-east of Market Harborough which is the closest large town (Fig. 1). The main house and a number of associated agricultural buildings are located at the end of a long driveway leading from Cranoe and Welham Road (Fig. 2). The site is surrounded by fields many of which still retain their medieval ridge and furrow. The site around the farm buildings is generally level but beyond them it slopes steeply to the west to form a small ridge approximately 30m higher than the house which sits at around 81m OD. The associated farm buildings to the north of the house do not form part of this scheme but include barns, stables and kennels many of which are likely to have been connected with both agriculture and with hunting which have formed a major part of rural life within this part of the county.



Figure 1 Site location

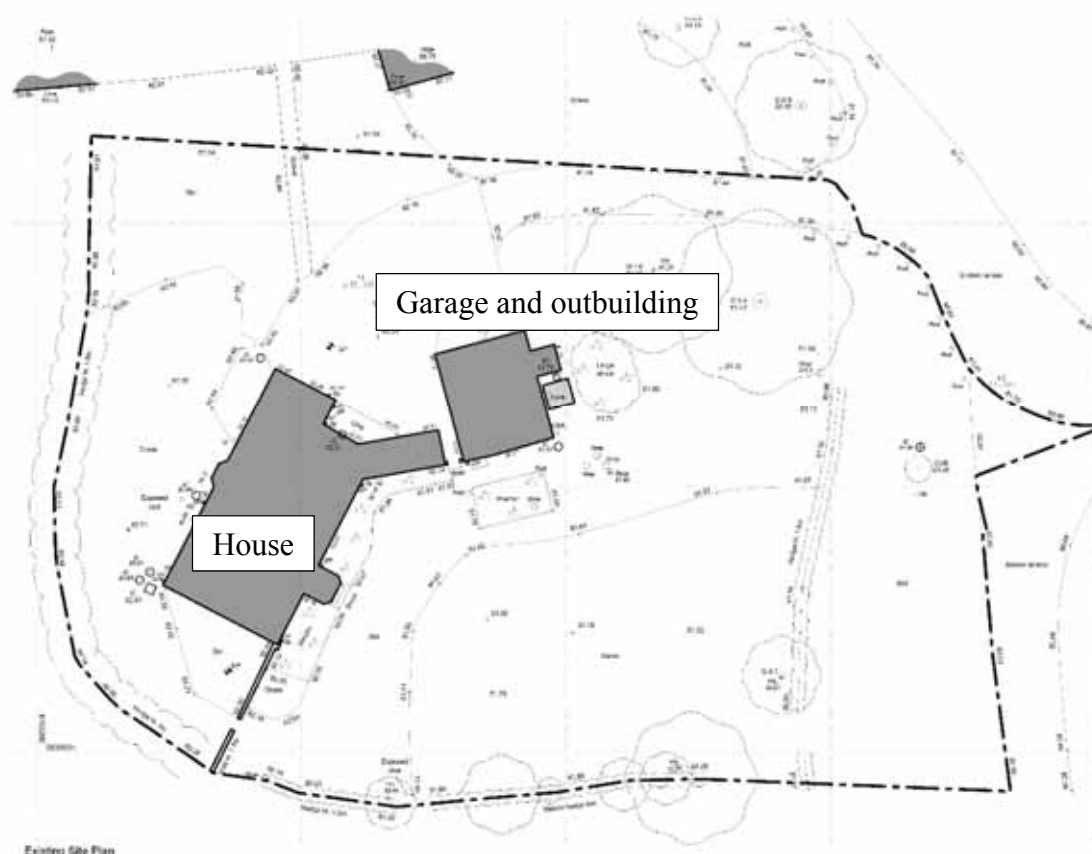


Figure 2 Existing site plan

Plan supplied and drawn by Staniforth Architects. Associated farm buildings not part of this scheme lie to the north of the house and outbuilding. North to top of plan

Background

Welham Lodge has its origins as a late 18th century shooting lodge built by the Tailby family who had strong links with the area. William Ward Tailby of Skeffington Hall already owned a small estate in Welham and purchased the Manor of Welham in 1854 from Charles Noel, the earl of Gainsborough. Further research is necessary to confirm it but it seems likely that the small estate Tailby owned is Welham Lodge.

The house is grade II listed with the following listing:

Name: WELHAM LODGE

List entry Number: 1104844

7/125 Welham Lodge

Grade II

Farmhouse. Late C18. Brick with Swithland slate roof. Three storeyed, three bays, symmetrical facade with central door in unusual large projecting canted porch with ashlar parapet. The doorway has decorated fanlight in round

archway, brick with stone springers and key. Flanking windows are 12-light sashes. First floor windows are also sashes, of 15-lights to outer windows and 12-lights over the doorway, and all have stone sills and cambered brick heads. Lower attic windows are sashed of 16 and 8-lights long and low in proportion, with stone sills. Gable end stacks. Single bay addition to right with one upper 2-light casement window. Added outshut and additional lower range to rear.

The main house is a three-storey red-brick building with a number of additions and extensions added to the north, and west. The extensions appear to have been added throughout the 19th century with relatively little sympathy to preceding styles. This is discussed in more detail in the results section below.

Objectives

Within the stated objectives of the ULAS Written Scheme of Investigation *for a Historic Building Assessment to Level 2, Welham Lodge, Cranoe Road, Welham, Leicestershire* (hereafter the WSI) the purpose of the work is to record and advance understanding of the significance of the affected heritage asset:

The objectives of the historic building survey were:

- To provide a written, drawn and photographic record of all the buildings on site prior to the commencement of works with specific attention given to those elements proposed for demolition, conversion and/or alteration. This work to be undertaken to a standard that will allow the future interpretation of the building within the context for which it was originally designed and into which subsequently evolved.
- To assess the impact of the proposals on fabric of architectural or historic importance.
- To ensure the long-term preservation of the information through deposition of the record and a summary written report with an appropriate depository.

Methodology

Digital colour photographs were taken throughout the survey. Notes and sketches were also made and scale site plans and elevations supplied by the client were used and modified to suit the purposes of this survey. The specific levels of detail used in the Level 2 survey followed the ULAS WSI and the guidelines laid down in the RCHME (1996) and Historic England (2016) specification.

Results

As noted Welham Lodge and its attached outbuildings is a three-storey brick-built former shooting lodge located to the south-east of a group of farm buildings associated with the farm (Fig. 3). The farm buildings do not form part of the present scheme but, like the house, appear to have been added and extended over a number of years. There are at least three key phases of major extensions to the original core of the house which appears to have originally consisted of two ground floor rooms either side of a central hall, two first floor rooms and a second floor built into the attic space. Each subsequent extension does not appear to have been added with much sympathy to the earlier styles of building. Internally a number of alterations have also taken place during the lifetime of the building so that few original fixtures and fittings remain. The First Edition Ordnance Survey map, published in 1883, indicates that the house and all of its extensions were present by that date. The map shows that a range of buildings also extended northwards from the northern edge of the remaining outbuildings but these appear to have been gradually removed throughout the course of the 20th century.

Plans and elevations have been prepared by Staniforth Architects and are shown below in Figures 4 to 8. For the purposes of this report and ease of identification each room has been allocated a reference number. Rooms G1 to G9 are on the ground floor, Rooms F1 to F11 are the first floor rooms. These references do not relate to any earlier or current uses or identifications.

The Design and Access Statement produced by Staniforth Architects summarises the proposed alterations to the house as follows:

- *Demolition works including the demolition of the existing garage/outbuilding and the later side extension.*
- *A new build detached garage with first floor storage.*
- *A new build two storey extension to the side providing a side entrance with utility room and coatroom on the ground floor and a new bedroom with associated en-suite and an additional bathroom on the first floor – approx. area 60m².*
- *A single storey oak framed porch with slate roof to match the existing located off the new build extension.*
- *A roof extension providing additional area to create a new stair to the second floor – approx. area 15m².*
- *The roof has been reconfigured and raised up to provide additional usable internal accommodation.*
- *Extensive restoration/ repair works to the house.*

In summary the proposals include;

- *The replacement of all existing windows with new 12mm double glazed painted timber facsimiles- sash type.*
- *The replacement of external doors with new 12mm double glazed painted timber facsimiles- French doors.*
- *The replacement of existing rainwater goods with new cast iron effect rainwater goods, colour black.*
- *The replacement of all internal doors with new timber doors.*

- *Installation of new heating system with new radiators throughout. The type and style of which is TBC.*
- *Rewiring of electrics – installation of additional light fittings and electrical sockets. The type and style of which is TBC.*
- *Installation of new bathroom suites and associated pipework.*
- *Installation of a new kitchen.*
- *The reroofing of the existing with slates to match the existing in appearance.*

Detailed elevations and plans of the proposed changes have been supplied by the client and are shown in Figures 9 to 13.



Figure 3 Welham Lodge and associated buildings
Looking north-west. Note ridge and furrow in foreground



Front Elevation (Elevation 1)

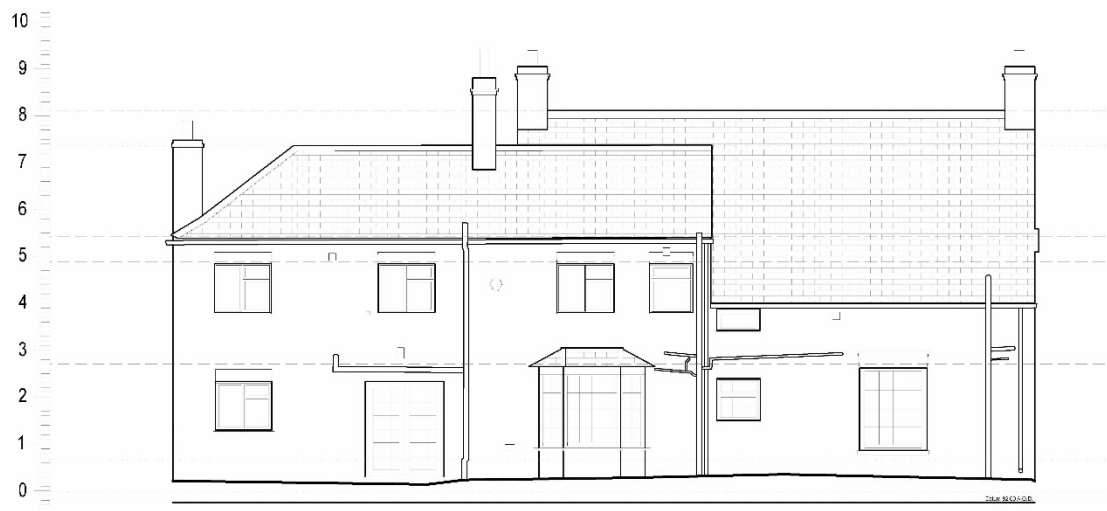
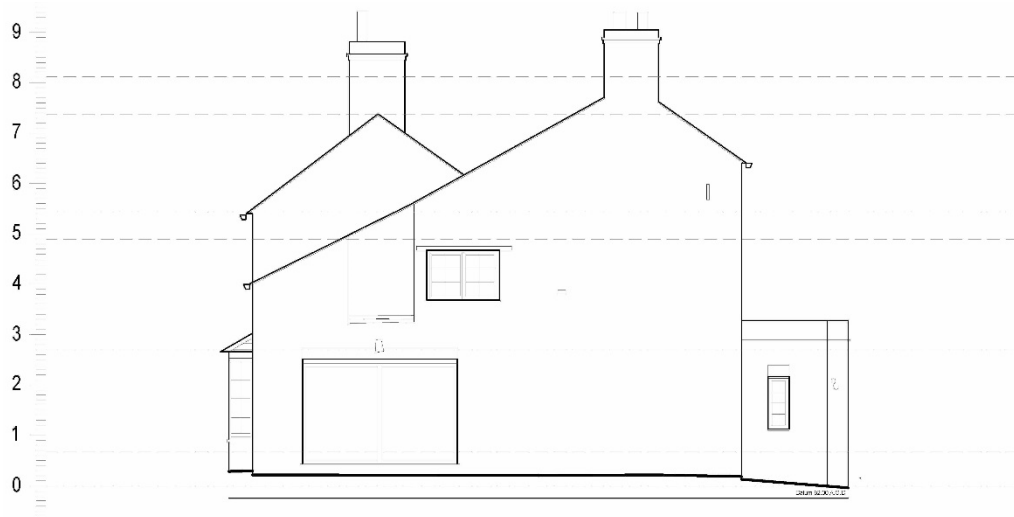


Figure 4 South-east (top) and north-west (lower) facing elevations
Supplied by Staniforth Architects. Metre scale on left of drawing



Side Elevation (Elevation 3)

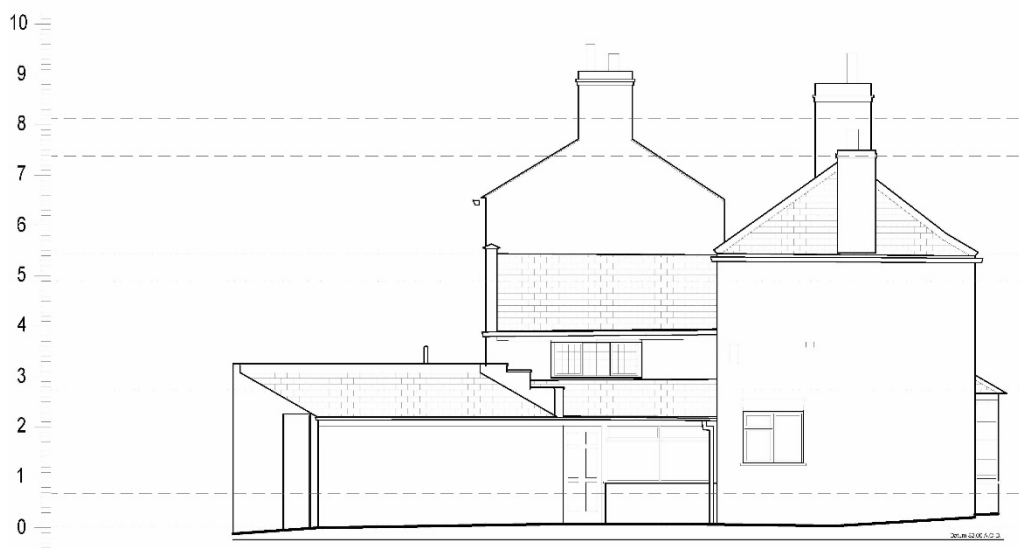


Figure 5 South-west (top) and north-east (lower) facing elevations
Supplied by Staniforth Architects. Metre scale on left of drawing

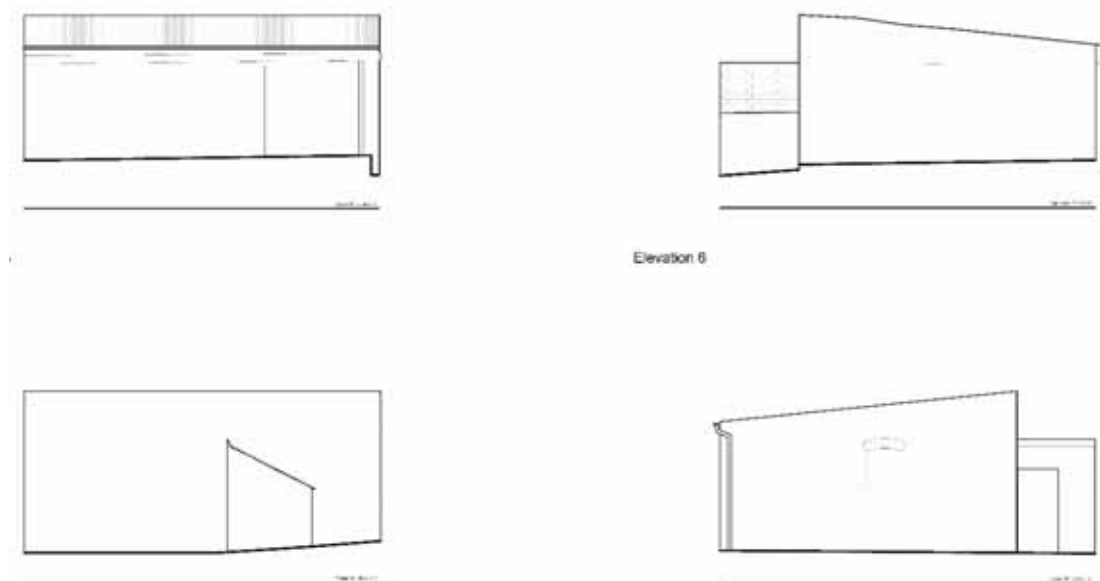


Figure 6 Attached garage and outbuilding
Supplied by Staniforth Architects. From top left: west facing, north facing, east facing
and south facing elevations

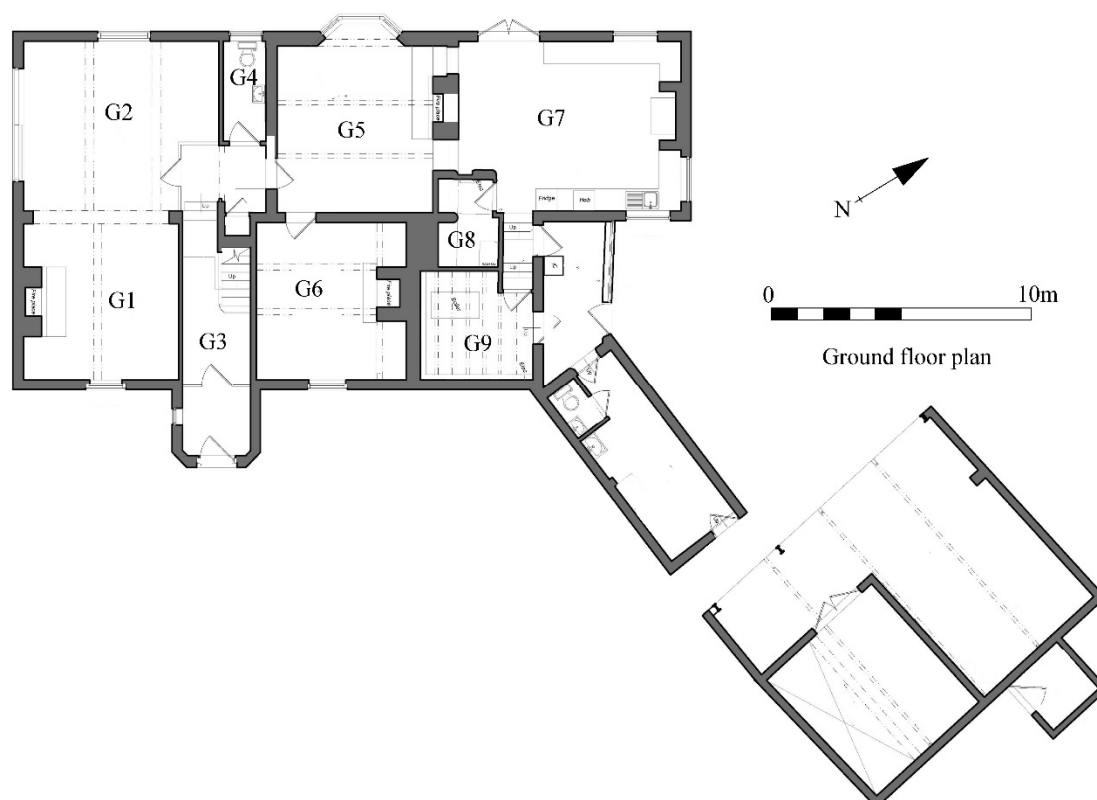


Figure 7 Existing ground floor plan
Modified from plan supplied by Staniforth Architects. Room reference numbers refer
to this survey



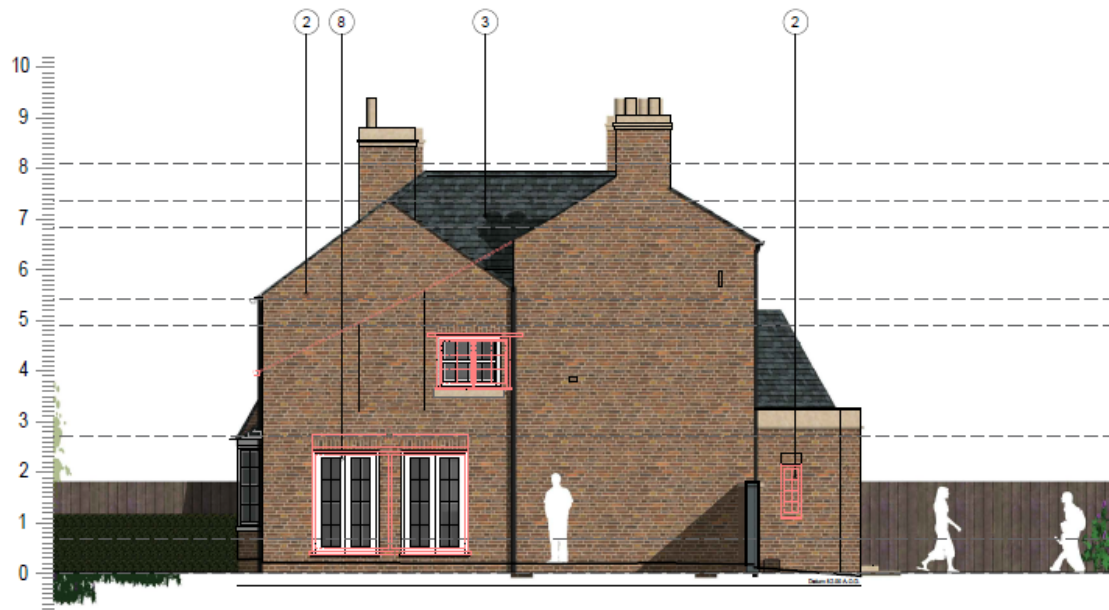
Figure 8 Existing first and second floor plans
Modified from plan supplied by Staniforth Architects



Front Elevation (Elevation 1)



Figure 9 Proposed alterations to South-east and north-west facing elevations
Alterations highlighted in red. Supplied by Staniforth Architects



Side Elevation (Elevation 3)



Figure 10 Proposed alterations to the south-west and north-east facing elevations
Alterations highlighted in red. Supplied by Staniforth Architects

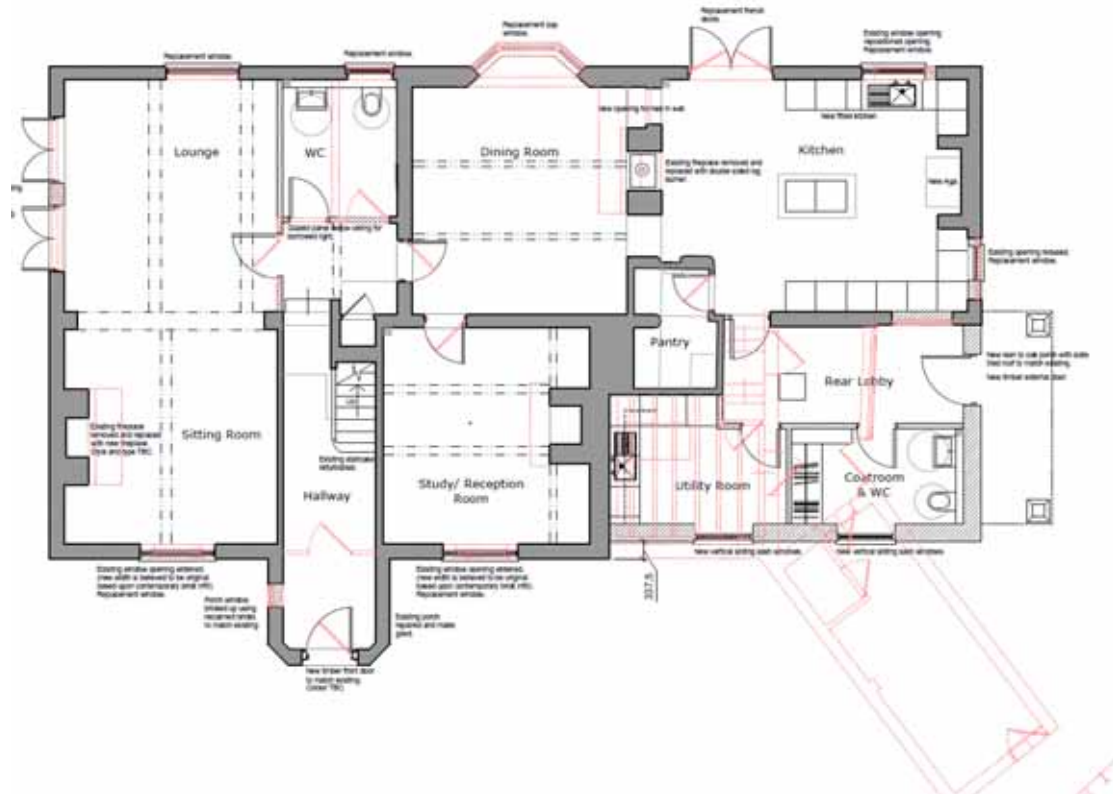


Figure 11 Ground floor proposed alterations
Alterations highlighted in red. Supplied by Staniforth Architects

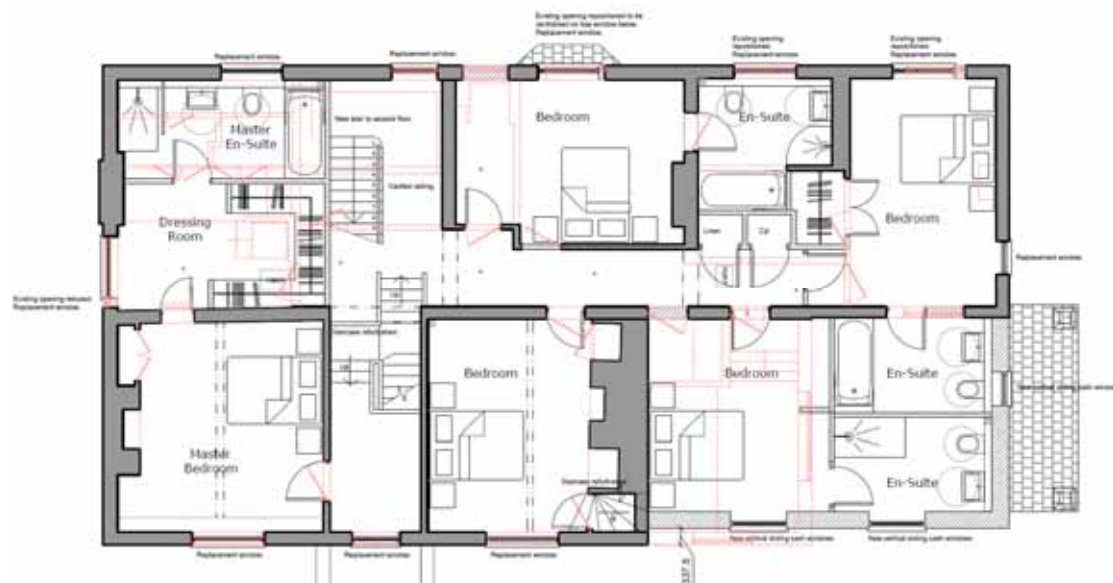


Figure 12 First floor proposed alterations
Alterations highlighted in red. Supplied by Staniforth Architects

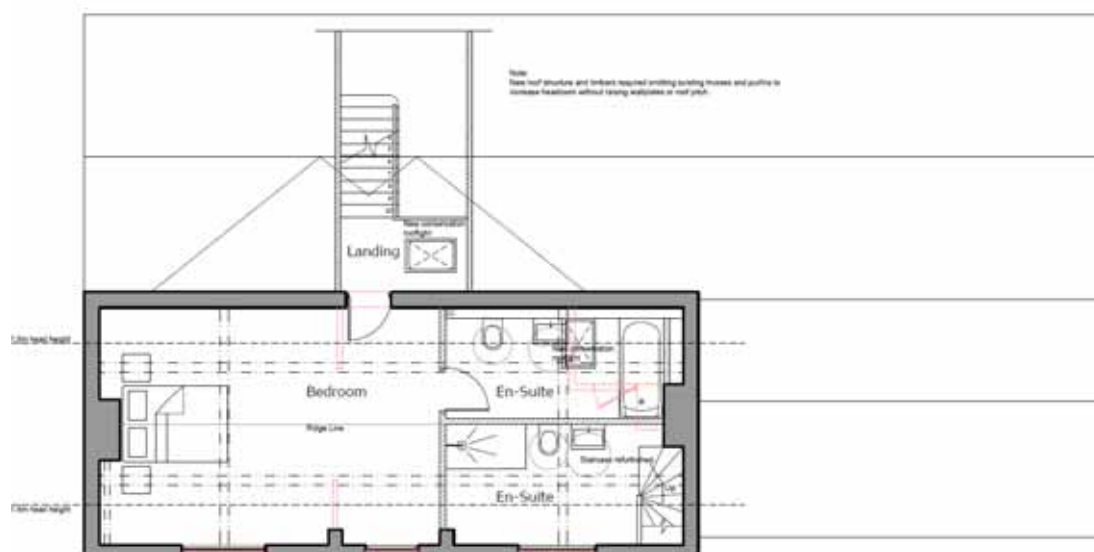


Figure 13 Second floor/attic proposed alterations
Alterations highlighted in red. Supplied by Staniforth Architects

The Level 2 Survey

Outside

South-east facing elevation

The south-east facing elevation is the principal elevation of the house and is the only elevation which shows the entirety of the original late 18th-century building (Fig. 14). The relatively narrow red bricks are generally laid in courses of three stretchers to one header. The roof has a shallow pitch and is covered with graded Swithland slates. The brickwork around the ground-floor sash windows shows evidence of repointing which suggests that they have been modified at some time (Fig. 15). It is not entirely clear how they may have been modified but could have happened when the porch was added. The ground floor windows, which are not as wide as the first and second floor windows, have six over six pane sash windows without horns which suggests that they date to the first half of the 19th century. The first-floor sash windows are probably 20th century copies as they have multiple panes and incongruous horns. The second-floor windows are casement windows and are also likely to be later copies. They do however form part of the history of this elevation. The refurbishment plan is to replace all of the windows with suitable copies.

The rather large brick-built porch with an ashlar parapet and fanlight over the door is clearly a later addition although is still likely to be of early 19th-century date. The bricks are slightly larger than the main house and are laid in courses of two stretchers to one header. Presently, there is one side window in the south-west elevation of the porch, but it is proposed to block this up. The porch brickwork appears to be only partially keyed into the house wall.

The front of a two-storey extension to the north-east of the house is built flush with the main house but is only butted against it rather than having bonded brickwork (Fig. 16). The extension has a flat parapet on the south-east face masking a lean-to style roof behind it. The ground-floor part of the extension lacks any windows but there is a modern casement window on the first floor. A diagonal line in the brickwork shows where the extension began life as a single storey lean-to which was subsequently raised to create a two-storey structure. The ground-floor brickwork uses quite narrow bricks suggesting a relatively early construction date, perhaps even quite early in the 19th century. The first-storey brickwork uses larger bricks although is still probably mid-19th century. The proposal is to remove this extension and replace it with a slightly larger two-storey structure which will be set back from the main house façade. The advantage of the butt joint is likely to suggest that removal of the extension will cause minimal damage to the remaining brickwork.

The outbuilding and garage to the east of the south-east facing elevation wraps around the corner of the extension and has also been raised, or rebuilt, from a lower building. It is of a later date than the extension and is discussed in more detail in the outbuilding section below.

South-west facing elevation

The gable end of the original house on this elevation contains no windows (Fig. 17). The brickwork matches the brickwork on the south-east facing elevation. There is evidence of a repair in the brickwork in the form of a straight joint (Fig. 18). The repair does not appear to be a blocked window and may be a settlement repair of the brickwork.

A two storey extension with a catslide roof has been added to the north-west facing side of the original house and is joined by a straight butt joint. The bricks appear to be mid-19th century. A single stretcher brick every fifteen or so courses bonds the two components together. The roofline of the original house has been joined and extended downwards to cover the new extension but this method of construction has resulted in a wide first floor room with a very low roof on one side. The ground floor of the extension has a modern French window which appears to have cut through a fireplace as there is a truncated chimney stack at first floor level but nothing remaining at ground floor level. The stack has also been cut off at roof height. The proposals are to raise the height of this extension to create a flat gable end slightly lower than the existing gable end of the original house.

North-west facing elevation

The north-west facing elevation is very different from the south-east facing elevation and the original house has been completely obscured by the catslide extension to the south and a mid to late 19th century farmhouse extension to the north (Figs 19 and 20). The catslide extension has a large sash window with 8 over 8 panes and no horns which may have been moved from the back wall of the original house. A small casement window is also located at ground floor level. A very narrow first-floor window set just

below the eaves gives an indication of how low the ceilings are on the first floor of this extension.

The two-storey extension to the north of the catslide extension looks very much like a typical later 19th-century farmhouse and bears no resemblance to the south-east facing elevation of this building. It is brick-built and has two full storeys with the ridge height matching that of the main house. The ground-floor brickwork uses quite dark bricks which are laid in courses of three stretchers to one header. However the bricks at first floor level are a lighter orange colour, appear to be softer fired and are laid in courses approximately following English Garden wall bond. This may suggest either extending from a single storey to a two-storey building or a major repair of the wall. The slate-covered roof has a flat gable end at its south-western end where it butts against the catslide roof and a hip at the north-eastern end. A narrow chimney breaks the ridgeline at midpoint. All of the windows are relatively modern casement windows with the exception of a ground floor bay window which has sash windows. The sash windows may be later replacements. As noted, the proposal is to raise the height of the catslide extension. The proposals also include plans to replace most windows along this elevation and to remove the hip on the northern end of the farmhouse and replace it with a flat gable end.

North-east facing elevation

The north-east facing elevation shows the gradual development of the buildings with the flat gable end of the original house with the two storey extension butting against its northern wall (Fig. 21). From this side of the building the flat-topped south-east facing parapet can clearly be seen screening the sloping roof of the extension.

The hipped end of the later 19th-century farmhouse extension projects beyond the gable of the original house by nearly 10m. This elevation also shows the difference in brickwork on the ground and first floors as seen on the north-west facing elevation. The two main phases of building are vastly different and do not sit easily with one another. Proposed internal remodelling looks likely to remove the chimney stack which currently pierces the hipped roof which will be altered to become a flat gable end.

Running from the side of the 19th-century extension to join with the outhouse to the east is a brick and glass passageway with a slate roof. This appears to be a 20th-century insertion and it is proposed to remove this during the refurbishment.

The outbuildings

The outbuildings form a small group of brick-built structures set at approximately 45° to the rest of the house on its north-eastern corner (Figs 22 to 28). As noted earlier, the outbuildings just touch the corner of the house although the brickwork is not keyed in. The rather strange angle appears to have been devised to create a partially enclosed open area in front of the house and to form a more enclosed service yard to the north-west.

The outbuildings consist of a single-storey lean-to building with a slate roof connected to the corner of the house and an open-fronted garage building connected to the south-east corner of the lean-to by a short length of brick wall. The lean-to shows evidence of having the upper parts of the brickwork being rebuilt in a darker coloured brick. Inside is a small modern toilet and an empty room which has partially plastered and partially painted brick walls. The room appears to have been used for storage.

The open-fronted garage also shows evidence of many rebuilds and repairs and has blocked windows on its south and north facing elevations. It is a fairly poor state of repair. The bricks are quite narrow and may be of similar date to the main house but the building quality is extremely poor and they may have been reused from an earlier structure. The west facing open front is supported by substantial steel beams which bear the maker's name of Skinningrove. This company began in 1880 and continued under this name until 1951. The shallow pitched roof has a corrugated sheet covering supported on re-used timbers of a variety of sizes. A small breeze block room has been added into the south-east corner.

The proposals are to demolish both outbuildings and replace them with a new garage to the north-east of the house.

The internal description of the house follows the external illustrations.



Figure 14 South-east facing elevation
Looking north-west. 1m scale. Note butt joint of low two storey extension on right



Figure 15 South-east facing elevation ground and first floor window detail
Looking north-west. 1m scale



Figure 16 South-east facing elevation extension
Looking north-west. 1m scale. Arrow indicates the original height of the extension
and its subsequent raising



Figure 17 South-west facing elevation
Looking north-east. 1m scale. Arrow marks joint of original house and rear extension.
Note also truncated chimney stack over modern French windows



Figure 18 South-west facing elevation
Looking north-east. Arrow points to joint/repaired brickwork



Figure 19 South-west and north-west facing elevations
Looking east. 1m scale



Figure 20 North-west facing elevation
Looking south



Figure 21 North-east facing elevation
Looking south-west. 1m scale. Original house on left. Note parapet wall in front of
lean to extension. Outbuilding on far left



Figure 22 Relationship of house and outbuildings
Looking north-west



Figure 23 Relationship of house and outbuildings
Looking south-west. Garage outbuilding on left



Figure 24 Outbuildings, south facing elevation
Looking north. 1m scale. Garage building on right



Figure 25 Garage outbuilding, east facing elevation
Looking west. 1m scale

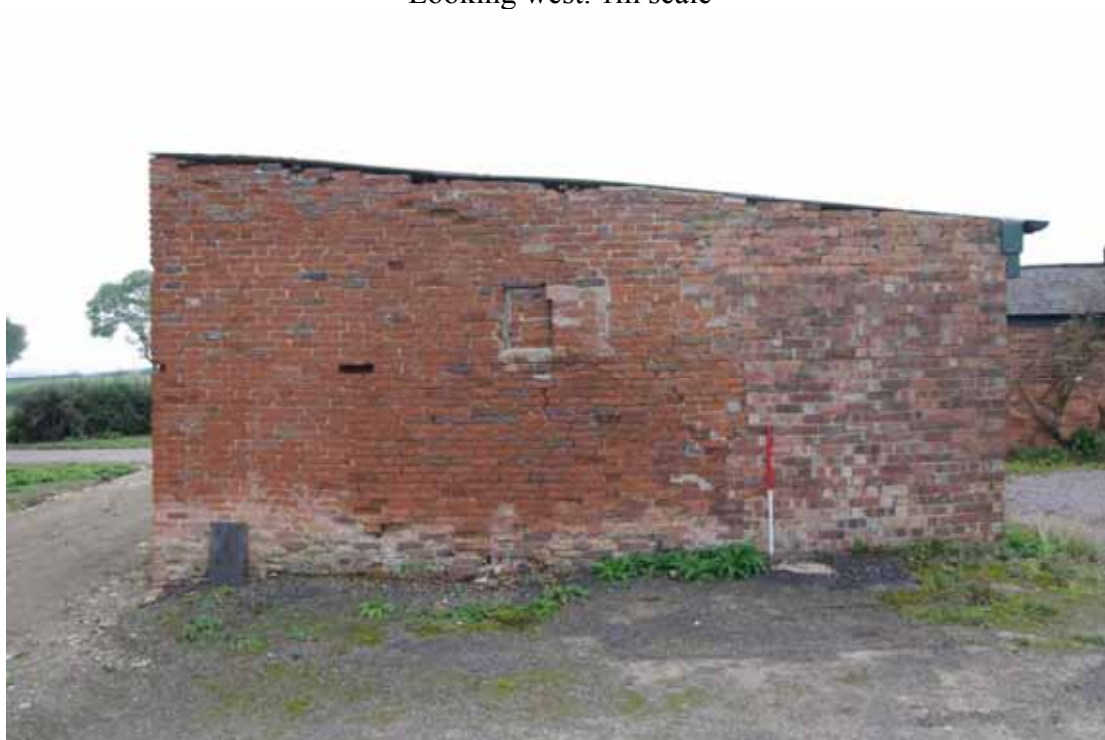


Figure 26 Garage outbuilding, north facing elevation
Looking south. 1m scale. The other outbuilding can just be seen on far right



Figure 27 Garage outbuilding, west facing elevation
Looking east. 1m scale. The other outbuilding can be seen on the right



Figure 28 Outbuilding, north face
Looking south. 1m scale. Note upper rebuilt/extended wall (at top of scale)

Inside the house

As noted the rooms within the house have been allocated reference numbers for ease of identification (see figs 7 and 8). The numbers do not relate to any current or earlier uses.

In plan it can be seen that the original house was formed of two rooms reaching from the front to the back of the building and flanking a central hall and staircase. Subsequent extensions have increased the footprint of the building to the west, north and north-east.

The Ground Floor

Room G1

Room G1 is one of the original rooms although it has undergone extensive modifications (Fig. 29). One of the most significant alterations has been the knocking through of the rear, western, wall to create a large combined room with G2. The Wall at this point is supported by a boxed-in beam. It is possible that the boxing hides a modern RSJ but this cannot be stated with any certainty. A north-west to south-east timber beam supports the ceiling. This is surprisingly plain and may be a later addition or replacement. The fireplace has been remodelled and has a late 20th-century surround probably added when the wall was knocked through. This will be replaced in the planned refurbishment. The skirting board is quite low and probably of 20th-century date as is the plain cornice.

The sash window retains its 3-leafed shutters each with three panels (Figs 30 and 31). The shutters are locked by an iron bar which is held in place by a spring clip of the type commonly seen within the region and dates from the late 18th and early 19th centuries. It is curious that this is of similar date to the house but that the outside wall suggests a rebuilding around this window.

Room G2

As noted this room, which sits within the area of the catslide roofed extension, has been enlarged by removing the rear wall of the original house and combining the space with G1 (Fig. 31). The sash window on the western wall may well have been moved from the back wall of the original house to its present position although in this position it does not have any shutters. A modern French window on the southern wall has removed all traces of a former fireplace which was formerly in this location. Proposals indicate that the French window will be replaced, as will the other windows in this room.

In the eastern corner of the room is a modern wood and glass partition separates the room from a small area leading into the hallway and to the other ground floor rooms. It is proposed to erect a new wall in this corner to create a larger Room G4 behind it.

Room G3

Room G3 is the original hallway leading from the front porch and the staircase (Fig. 33). This rather narrow space has a floor laid with stone flags which may not be original. When first built it is probable that side doors led into the Rooms G1 and G6 rather than making the residents squeeze past the stairs as they do now. There is however no trace

on the wall plaster of any blocked doors. A modern wood and glass doorway and surround leads into the front porch and dates to the second half of the 20th century (Fig. 34). This will be removed. The front door, which is of early to mid-19th century design may be replaced with a modern facsimile.

The staircase balusters are quite graceful and are likely to be original (Fig. 35). No changes are proposed to this.

Room G4

Room G4 is a small room containing a modern toilet still within the area of the catslide extension (Fig. 36). The panelled door appears to be of 19th-century date and is probably contemporary with the catslide extension. It is proposed to remove the south-western wall of this room and rebuild it further to the south to create a larger room. The internal wall proposed for demolition is probably of early to mid-19th century in date.

Room G5

G5 is located in the later 19th-century farmhouse extension attached to the north-western corner of the original house. The room is relatively plain and has a plain cornice and skirting board (Figs 37 and 38). The fireplace is modern brick and, under the proposals, will be replaced by a log burner which will face into this room and the adjacent kitchen G7. Either side of the fireplace are tall archways, one leads into G7 the kitchen whilst the other is partially blocked and acts as a small serving hatch. It is intended that the serving hatch will be fully opened up to provide a second doorway into the kitchen. The bay window has a central sash window flanked by two fixed non-functioning windows built to look like sash windows. These are probably 20th century in date. The doors leading into Rooms G4 and G6 are wide 6-panelled doors of probable 19th century origin.

Room G6

Room G6 is in the original part of the house and forms the opposing ground floor room to G1. The fireplace and full width bressumer beam dominate this room and suggests that an open fireplace or range was used within this space. Although the present fireplace opening is modern it is possible that this room may have formed the kitchen for the original house (Fig. 39). The beam has been re-used from elsewhere as it has sawn-off timbers and pegged joints indication that it is likely to be much older than the house (Fig. 40). It is also possible however that the beam has been inserted as a decorative feature at a much later date. The sash window matches that in Room G1 but in this case the shutters have not survived. There is no cornice in this room but it does have a reasonably high moulded skirting board.

Room G7

G7 is fitted out as a modern kitchen and is located in the ground floor of the later 19th century farmhouse extension (Figs 41 and 42). Modern French doors are located on the north-west wall and will be replaced in the proposed refurbishment. The three windows have modern casement fittings which will be replaced and the position of the openings altered slightly. A short flight of steps leads down past Room G7 to a short passageway

to the brick, glass and timber lean-to porch running across the side extension towards the outbuildings (Figs 43 and 44, also seen in Figure 21 above).

Room G8

This room presently acts as a pantry but may have been built as an entrance into the newly built later 19th-century extension. It has rounded brickwork around the open and blind arches which suggests that some of the arches were open and in regular use (see Figs 42 and 43).

Room G9

Room G9 fills the ground floor room of the extension butted against the north-east side of the original house. It presently houses the boiler and has a flat ceiling (Fig. 45). The floor level is slightly below ground level presumably to achieve a useable head space in this low room. The room has been modernised removing any traces of its origins as a lean-to roofed structure. Under the refurbishment proposals this room and the brick, glass and timber porch will be removed and replaced by a new construction slightly set back from the main house frontage to house a utility room, lobby and cloakroom. A new lean-to porch will also be added to the north-east side of the new build. The outbuilding which is presently attached to the eastern corner of the house will also be removed.

The first floor description follows after the ground floor illustrations.



Figure 29 Room G1
Looking south from Room G2. Back wall line of original house is arrowed



Figure 30 Room G1 window detail
Looking south. 1m scale



Figure 31 Room G1 window shutter detail
Left: looking SW. Right: Looking NE



Figure 32 Room G2
Looking north from G1. 1m scale



Figure 33 Room G3 hallway
Looking south-east towards porch past staircase. 1m scale



Figure 34 Room G3 hallway and porch
Looking south-east. 1m scale. Modern doorway marks the start of the porch



Figure 35 Room G3 stairs
Looking north. 1m scale



Figure 36 Room G4

Looking north-west. 1m scale resting against wall which will be removed



Figure 37 Room G5

Looking north. 1m scale. Kitchen G7 can be seen through archway



Figure 38 Room G5
Looking south. 1m scale. Door to G6 on left, G4 on right



Figure 39 Room G6
Looking east. 1m scale



Figure 40 Room G6, underside of bressumer beam



Figure 41 Room G7 kitchen
Looking north



Figure 42 Room G7 kitchen
Looking south. Pantry G8 to left of archway



Figure 43 Steps down to G9 from G7
Looking south-east. 1m scale. Door to G9 ahead. Pantry G8 on right



Figure 44 Lean-to porch and entrances to G9 and outbuilding
Looking south-east. 1m scale



Figure 45 Room G9 boiler room
Looking south-east from doorway

The First Floor

The first floor follows the footprint of the ground floor so that the phases of extension can also clearly be seen. The two main bedrooms within the original part of the house flank a central staircase and landing. A corridor runs along the former outside, north-west, wall of the original house and links the phases of extension together.

Room F1

Room F1, directly above G1, is located in the original part of the house to the south-west of the staircase and landing (Figs 46 and 47). It has a late 18th- or early 19th-century fireplace and grate with fitted cupboards set into the recess of the chimney breast. The cupboards are likely to be original fittings. A roughly worked north-west to south-east timber beam supports the ceiling and was probably never intended to be seen. A 6-panelled door leads to the landing F3 and is probably later 19th century in date. A modern sliding door leads into Room F2. The sash window has multiple panes and horns and is therefore likely to be a later replacement.

Room F2

Room F2 is presently used as a bathroom for Room F1. It is the first floor of the catslide extension built against the western side of the original house (Fig. 48). Because of the low angle of the roof only the eastern half of the room is useable as a bathroom with the western half being used as low cupboards. A 19th century panelled door leads out to the corridor which runs along the length of the house. Under the proposals the walls and roof of the catslide extension will be raised to create an area with a more useable ceiling height. The internal walls, some of which are stud walls, will also be rearranged.

Room F3

F3 forms the landing and stairs of the original house. Before the addition of the catslide roofed extension the stairs rose from the hallway G3 before turning up to F3 (Fig. 49). Presumably doors led from the landing to Rooms F1 and F6 although there is now no doorway into F6 from this point. With the addition of the catslide extension the rear (north-west wall was removed and the stairs extended to form a branch leading to the rear corridor. The later balusters have a different turned pattern to the original parts of the staircase.

Room F4

Room F4, presently used as a bathroom, clearly demonstrates the low ceiling created by the catslide roof (Fig. 50). Along with raising the walls and roof of the catslide extension, the proposals are to remove the stud wall closest to the landing and stairs and create a new flight of stairs up to the second floor.

Room F5

Room F5 is currently serving as a narrow bathroom fitted into the south-west corner of the later 19th-century farmhouse extension. At present the outside window has been boarded over in order to fit a shower unit it (Fig. 51). The proposals indicate that the

masonry wall between this room and adjacent room F7 will be removed to create a larger bedroom.

Room F6

Room F6 is one of the bedrooms in the original part of the house (Figs 52 and 53). It is entered via a doorway on the corridor within the later 19th-century extension although presumably the original doorway was from F3 landing. The fireplace appears to be of 19th-century date as is a large cupboard built into the recess to the side of the chimney breast. The multi-paned sash window has horns and is therefore a modern copy. This room may have served as a bedroom for staff as there is a plank door leading up to the second floor which is likely to have served as the staff quarters.

Room F7

Room F7 is presently quite plain with minimal decoration in the form of a small cornice and undecorated skirting boards (Fig. 54). It has a 19th-century door out into the corridor and a doorway leading into Room F8 which serves as a bathroom. As noted, the proposals are to remove the wall between this room and F5 to create a larger room.

Room F8

F8 is reached from F7 has a stud wall dividing it and Room F9 which serves as a bathroom for Room F10. It has been fully modernised and has a modern casement window. Under the proposals part of the stud wall dividing F9 will be removed and the room enlarged. The window on the north-west wall may be repositioned slightly.

Room F9

At present room F9 is a modern bathroom which serves Room F10. It has stud walls on all sides except for the south-west wall which appears to be masonry. The refurbishment proposals indicate that the stud walls will mostly be removed so that this room will be removed. Removal of the wall will create a larger F8, a large wardrobe for Room F10 and a relocated linen cupboard and hot water tank cupboard.

Room F10

This room is the end room of the later 19th-century extension and uses F9 as its bathroom. As with most other doors on this floor it has a 19th-century panelled door to the corridor but the door into Room F9 is a modern copy (Fig. 55). The casement windows are also modern. Under the proposals the southern corner of the room will be modified to incorporate the remodelling of Room F9. A small chimney breast on the north-east wall will also be removed which will result in the loss of the stack seen on the hipped roof outside as noted earlier. The window on the north-west wall may be repositioned slightly and the window on the north-east wall will be altered to a doorway to gain access into the proposed new extension.

Room F11

Room F11 is the first floor room of the extension butted against the north-east side of the original house. It is a very awkwardly sized room as the floor level is nearly 1 metre below the floor level of the corridor and the rest of the first floor (Fig. 56). The lean-to style of the roof also means that the doorway from the corridor into the room is difficult to get through. In the west corner of the room is a large cupboard which opens out onto the corridor. The proposals are to remove this room entirely and rebuild the extension to double its width and with an increased ceiling height.

The second floor description follows the first floor illustrations.



Figure 46 Room F1
Looking west. 1m scale. Door to Room F2 on right



Figure 47 Room F1
Looking north-east. 1m scale. Door to landing F3 in centre of picture



Figure 48 Room F2 and corridor to other rooms
Looking north-east. 1m scale



Figure 49 Room F3 landing
Looking south-east. 1m scale. Doorway to F1 on right



Figure 50 Room F4
Looking north. 1m scale



Figure 51 Room F5
Looking north-west. 1m scale. Blocked window behind shower tiles



Figure 52 Room F6
Looking east. 1m scale. Second floor stairs behind door on right



Figure 53 Room F6
Looking north-west. 1m scale. Door to corridor on left, door to second floor stairs on right



Figure 54 Room F7
Looking north towards door to Room F8. 1m scale



Figure 55 Room F10

Looking south. 1m scale. Doors and wall to be removed and realigned. Left door leads to corridor, right door to Room F9



Figure 56 Room F11

Looking north-west. 1m scale. Steps lead up to corridor and the rest of the first floor

The Second Floor

The second floor consists of a single long room above the original house (Figs 57 and 58). None of the earlier extension phases have affected this room. The room is presently reached via a set of narrow stairs leading up from Room F6. The roof is supported by two large timber trusses which have a king post and two raking struts supporting the principal rafters. The purlins are jointed into the principals and all of the joints are wooden pegged (Fig. 59). A steel RSJ in the south corner of the roof indicates that some recent repair work has been carried out to support this corner of the building which may help explain the repaired brickwork seen on the south-west facing elevation. The windows on the south-east side of the room are all modern replacements. It is not clear if any windows were ever present on the opposite side of the room.

The refurbishment proposals are to insert an additional set of stairs rising from the remodelled Room F4 on the first floor to enter the second floor room from the north-west side. A water tank set within a modern partitioned cupboard in the north of the room will also be removed and replaced by a new bathroom filling just over one third of the length of the present room. A new partition wall will create a second bathroom to serve Room F6 on the floor below which will be reached via the existing stairs in the north-east corner.



Figure 57 Second floor
Looking north east. Stairs down are behind the 1m scale



Figure 58 Second floor
Looking south-west. 1m scale. Arrow marks approximate point where new stairs will enter the room.



Figure 59 Second floor, detail of pegged roof timbers
Southernmost truss. Note steel inserted to support the corner of the roof.

Discussion and assessment

The buildings at Welham Lodge have been extended and updated since its initial construction in the late 18th century. It seems likely that the first phase of extension was the single storey extension butted against the north-east side of the original house. This appears to have been extended to create a two-storey extension with a flat parapet front, probably at a similar time to the building of the later 19th-century farmhouse extension on the north-western side of the original house. The catslide extension was probably added in the early to mid-19th century after the front extension but before the later 19th-century addition.

Because the extension on the north-east side of the original house is butted against it rather than keyed in, its removal should result in minimal damage to the original structure. The development proposals indicate that the new two-storey extension will use reclaimed materials from site in order to minimise any potential visual conflict between the old and new. The present extension appears to have made little effort in matching the original structure.

The proposals to replace most windows on most elevations should have relatively little impact as most are later replacements. However, replacing the windows on the principal, south-east facing, elevation will have a medium impact on the building. The oldest windows are the two ground floor windows on the south-east facing elevation and the repositioned sash window on the rear of the catslide extension. These windows are closest to the original date of construction but even these appear to have been modified. The window in Room G1 has retained its shutters which are of historic interest and it would therefore be recommended that they be retained and incorporated with the new windows if at all possible. The first and second floor windows, whilst later in date, are still part of the history of the building and careful thought should be given to any replacement or alteration.

Hopefully all windows will be replaced with more appropriate replacements. This may mean however that late 18th century style windows would need to be used on the south-east facing elevations and mid-19th century windows on the later extension elevations.

Also on the south-east facing elevation is the large added-on porch. It is intended to block the single existing window, so the impact will be minimal.

The catslide extension on the south-west side of the original house will be raised in height but should have little significant impact on any historic fabric. The roof angle will be changed from a single pitch to a gable which should match that of the later 19th century extension. The roof and slates of the original house roof will need to be modified where the new staircase will enter the second floor but the available plans suggest that the impact should be only have a low to medium impact.

The later 19th-century extension which at present appears to be a Victorian farmhouse bolted onto an earlier house will be slightly rearranged internally. The modern windows will be replaced, hopefully with more sympathetic models. Some windows may also be moved very slightly which should not cause undue damage to the fabric of the building. The hip at the end of the roof will be replaced by a flat gable end which may have the beneficial effect of making it a slightly better match to the other flat gable ends of the house.

Internally, on the ground floor the impact of the refurbishment should be relatively slight and in most cases removes only modern additions. Removal of fireplaces should not be an issue as most have also been modified. The rearranging of walls around G4 will remove one internal wall which is of the same date as the catslide extension. This is not a supporting wall and its loss will have a relatively low impact.

Elsewhere on the ground floor the loss of the room within the extension butted against the north-east side of the original house will not have an undue impact as it appears never to have been used as an internal room. As already noted it is not bonded to any original fabric and no new openings are planned to be broken through original walls.

At first-floor level the original core of the house will mostly be left intact with the exception of the replacement of the modern windows. The major change to this floor will be the removal of the low pitched roof of the catslide extension and the remodelling of Room F4 to create a new flight of stairs. This work will, in general, build onto the existing fabric rather than remove very much. In the later 19th-century farmhouse extension, although the layout of some rooms and their walls will be altered, it would appear that only stud walls will be removed. Therefore the impact should be minimal. The removal of the room in the extension against the north-east side of the original house is a significant change but existing doorways will be reused so that any works will have as low an impact on the remaining historic fabric as possible.

The second floor will have a new entrance from the new stairs on its western side. This will require a doorway to be cut through the wall, wall plate and roof at this point. However the plans suggest that this will be a single width door so that the impact is reduced as much as possible. The insertion of partitions to create two new bathrooms should have no effect on the historic fabric of the building.

Although the works have the potential to transform the entire house the amount of historic fabric which will be lost is relatively minimal. The most significant areas of loss will be the outbuildings and the extension which is butted against the north-east side of the original house. From the amount of rebuilding. Repair and patching work the outbuildings appear to have grown and shrunk throughout the 19th and 20th centuries. These seem to have been added and modified as and when required such that they are a patchwork of different dates and phases.

Overall, the proposed works should have a reasonably low to medium impact upon the house. They also have the potential to expose earlier construction details such as the location of earlier doorways into the original house rooms.

Archive

The archive consists of:

This report,
123 digital photographs,
4 A4 photo record sheets,
DVD of digital images in tiff and jpeg format.

Publication

A summary of the work will be submitted for publication in the *Transactions of the Leicestershire Archaeological and Historical Society* in due course. A record of the project will also be submitted to the OASIS project. OASIS is an online index to archaeological grey literature.

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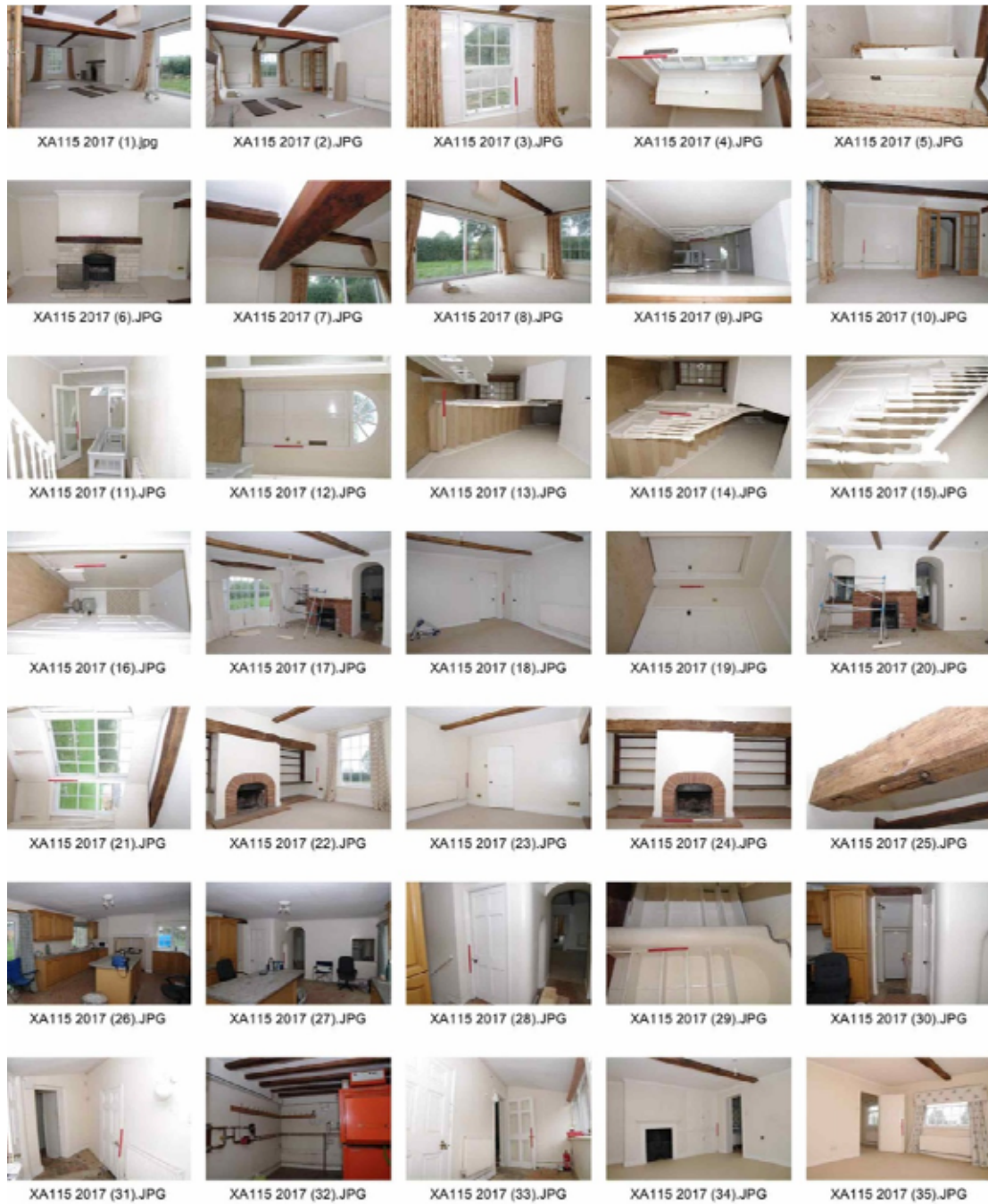
accessed 10/10/2017

<https://www.leicestershirechurches.co.uk/welham-church-at-andrew/>

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Appendix 1 Digital Photographs





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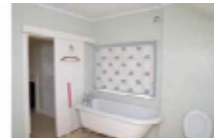
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Appendix 2 OASIS Information

PROJECT DETAILS	Oasis No	universil-298554		
	Project Name	A Historic Building Assessment to Level 2 at Welham Lodge, Cranoe Road, Welham, Leicestershire		
	Start/end dates of field work	27-09-2017 - 27-09-2017		
	Previous/Future Work	No / Not known		
	Project Type	Historic Building assessment to Level 2		
	Site Status	Grade II listed building		
	Current Land Use	In use as a house		
	Monument Type/Period	House/Post-Medieval and modern		
	Significant Finds/Period	None/None		
	Development Type	Residential		
	Reason for Investigation	NPPF		
	Position in the Planning Process	Pre-Planning		
Planning Ref.	PREAPP/17/00149			
PROJECT LOCATION	Site Address/Postcode	Welham Lodge, Cranoe Road, Welham, Leicestershire. LE16 7UH		
	Study Area	500m ²		
	Site Coordinates	SP 75365 93616		
	Height OD	81m OD		
PROJECT CREATORS	Organisation	ULAS		
	Project Brief Originator	Local Planning Authority (LCC)		
	Project Design Originator	ULAS		
	Project Manager	R Buckley		
	Project Director/Supervisor	A Hyam		
	Sponsor/Funding Body	Developer / Anthony Smith		
PROJECT ARCHIVE		Physical	Digital	Paper
	Recipient	NA	LCC MusService	LCCMusService
	ID (Acc. No.)		X.A115.2017	X.A115.2017
	Contents		Digital Photos	records Field Notes
PROJECT BIBLIOGRAPHY	Type	Grey Literature (unpublished)		
	Title	A Historic Building Assessment to Level 2 at Welham Lodge, Cranoe Road, Welham, Leicestershire		
	Author	A Hyam		
	Other bibliographic details	ULAS Report No 2017-155		
	Date	2017		
	Publisher/Place	University of Leicester Archaeological Services / University of Leicester		
	Description	Developer Report A4 pdf		



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