



**A Level 2 Historic Building Report  
for outbuildings at  
The White House,  
Main Street,  
Ullesthorpe,  
Leicestershire**

**NGR: SP 50542 87685**

Andrew Hyam



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**The White House,**

**Main Street,**

**Ullesthorpe,**

**Leicestershire**

**NGR: SP 50542 87685**

**A R Hyam**

**For: Mr and Mrs Brown**

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**Summary**

*A Level 2 historic building recording was undertaken by the University of Leicester Archaeological Services (ULAS) at The White House, Main Street, Ullesthorpe, Leicestershire. The survey studied a set of outbuildings associated with the house. The outbuildings date from the later 18th or early 19th century with later modifications taking place throughout the 19th and 20th centuries. The main buildings began life as stables and a probable carriage shed. The carriage shed was modified in the early part of the 20th century to create a private garage for a motor vehicle. The smaller outbuildings contain the original copper and small range.*

*The report will be archived under accession number X.A131.2017*

**Introduction**

In accordance with National Planning Policy Framework (NPPF) Section 12 *Conserving and Enhancing the Historic Environment* this document forms the report for a historic building report at Historic England Level 2 for outbuildings located at The White House, Main Street, Ullesthorpe, Leicestershire. Level 2 historic building surveys are defined in the Historic England guidance document – *Understanding Historic Buildings: A guide to good recording practice* (2016). The report was commissioned by Mr L and Mrs L Brown from University of Leicester Archaeological Services (ULAS) in advance of a proposed redevelopment of the site for a residential development, and the conversion of the existing outbuildings.

Due to the historic nature of the house and outbuildings and their location within the village core a request was made by the Senior Planning Archaeologist, Leicestershire County Council, for a programme of historic building recording of the outbuildings prior to the commencement of refurbishment work. The Senior Planning Archaeologist also requested that, should any work take place in the house, all affected areas of the house be adequately recorded to Level 2 standards. A request was also made for an archaeological desk-based assessment (DBA). The DBA has been published as a separate report under ULAS Report number 2017-145.

The village of Ullesthorpe is located in south-west Leicestershire, approximately 18km to the south of Leicester (Fig. 1), and 4.5km to the north-west of Lutterworth. The village is in the Harborough District of Leicestershire. The White House, its garden and outbuildings lie within the core of the village approximately 250m west of the former railway line and is on the south side of Main Street at a height of around 115mOD (Fig. 2). Main Street curves around the western end of the site with Manor Road forming the southern boundary of the site. The site itself consists of a residential dwelling with outbuildings and a garden. The surrounding land drops away from the proposed development site, leaving The White House and its gardens on a small promontory of higher ground. The White House and one side of the outbuildings face to the north onto

Main Street (Figs 3 and 4). The outbuildings and former stables form a small, partially enclosed, courtyard on the eastern side of the house and driveway.

It is proposed that three new houses will be constructed within the garden belonging to The White House. In addition to this the outbuildings will be converted into dwellings (Fig. 5).

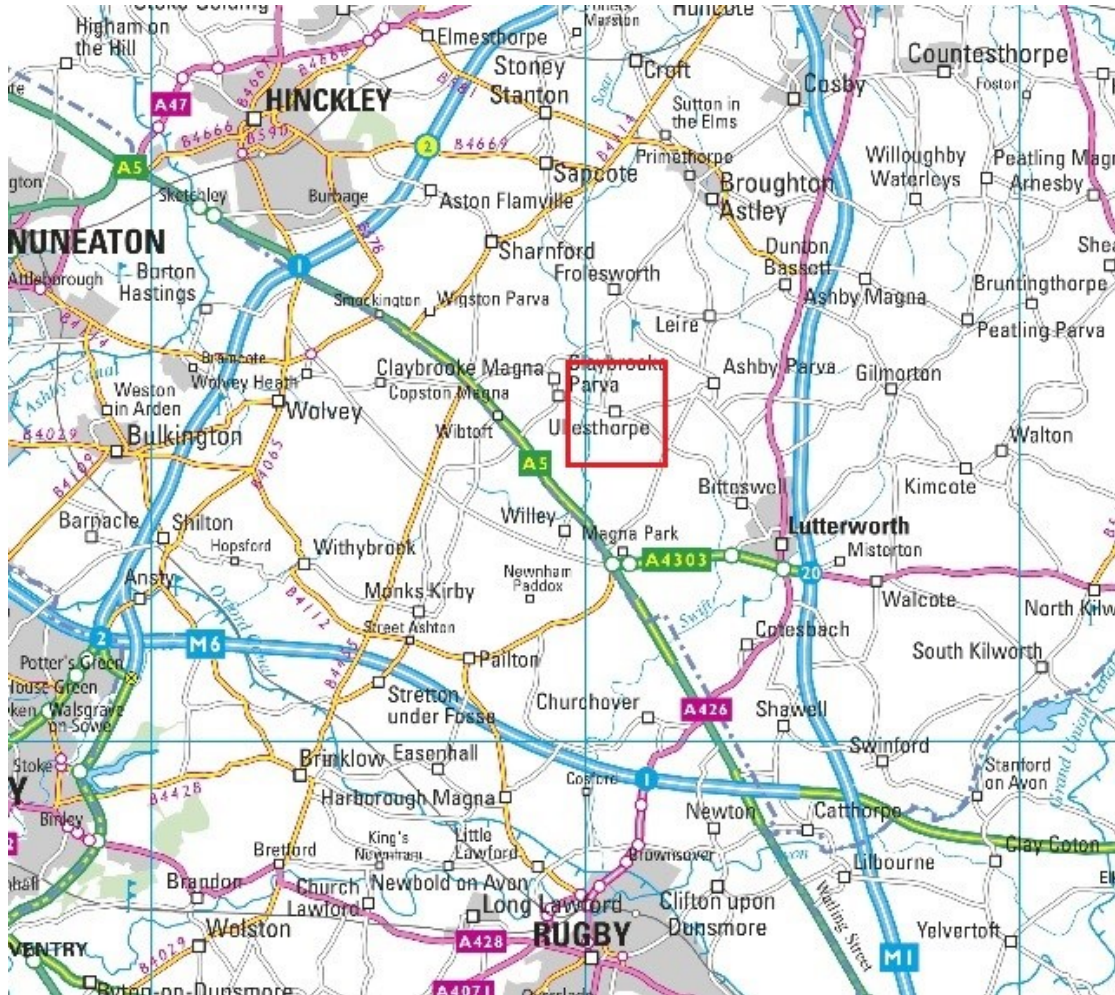


Figure 1 Ullesthorpe location

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Figure 2 Site location  
Site highlighted in red

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Figure 3 Site from Main Street  
Looking west. White House shown with red arrow, north range outbuilding in the foreground



Figure 4 Site from Main Street  
Looking south-east

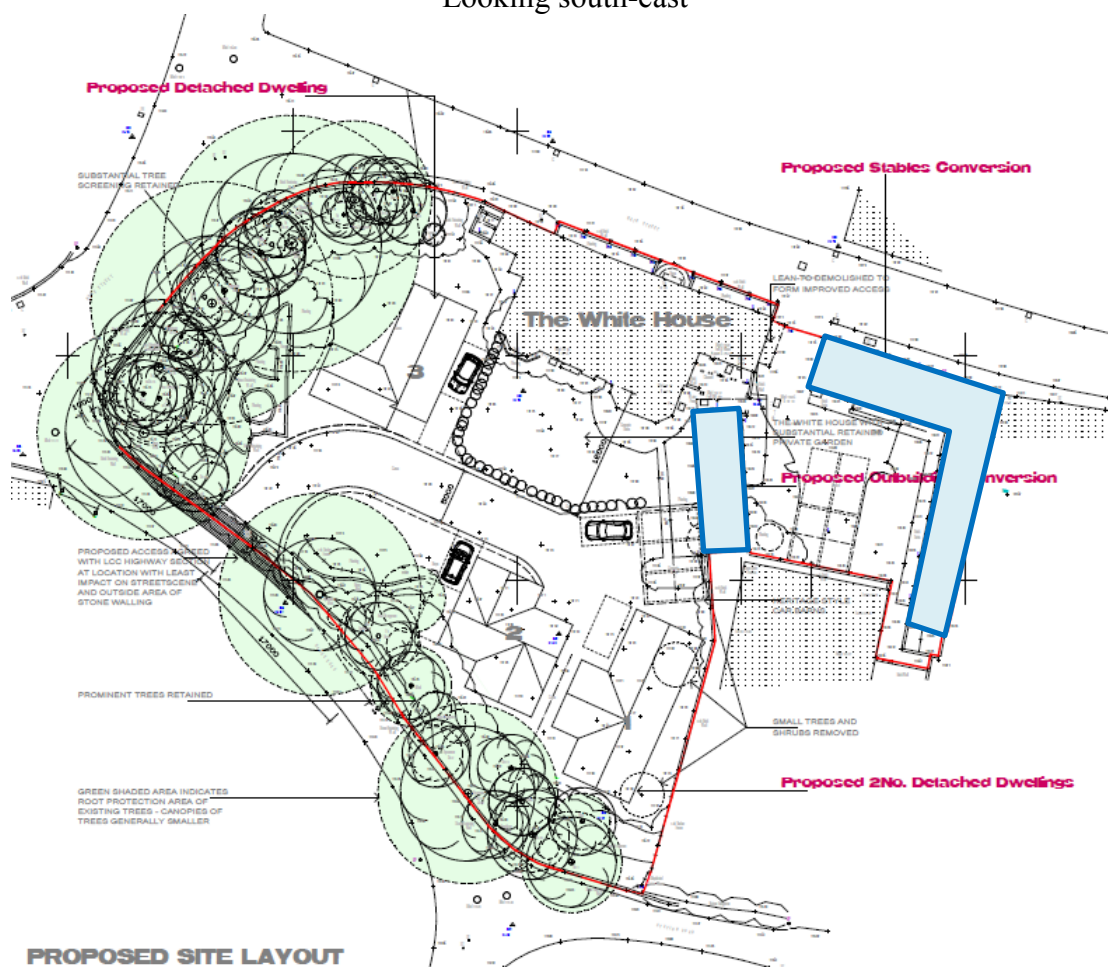


Figure 5 Proposed development plan  
Plan supplied by client. Outbuildings highlighted in blue



## Background

The White House is not a listed building but has its origins in the later 18th or early 19th centuries. cursory inspection indicates that the house was likely to have been built as at least three separate houses which have become amalgamated into a single residence. **None of the available maps show any internal divisions of the house.** The outbuildings, which are discussed in greater detail in the results section below, appear to have been built as stables and carriage sheds to serve the house.

The first edition of the hand drawn pen and ink Ordnance Survey map of Ullesthorpe can be found in the 1813 Ordnance Survey map of Rugby. This map, whilst not particularly detailed does appear to show a number of buildings on the site of the current house and outbuildings. Beyond this confirmation that buildings are present, no further conclusions could be drawn from this map. A copy is held at the British Library but cannot be published for copyright reasons.

The first available map showing any useful details of the site is the 1839 Tithe map which shows the White House apparently as a single dwelling with the small detached outbuilding block to the south-east (Fig. 6). The stables appear to be much larger than they are at present and have a range running along the eastern boundary of the site which then turns along the southern boundary. A plan produced in 1840 for Robert Goodacre which depicts all of his holdings within Ullesthorpe and shows the same site layout of The White House and outbuildings. The inventory attached to the 1840 plan states that the White House site consists of the house, buildings, garden and a fold and that it was rented to a Mr Charles Watson.

The next available map is the First Edition Ordnance Survey map published in 1886 shows the house in a similar state but the southern end of the easternmost **outbuilding range has been shortened** in length and the east-west small outbuilding which joined the bottom of this range has also been removed (Fig. 7). The yard also appears to have been subdivided from east to west, possibly as a continuation from Robert Goodacre's fold. The Second edition published in 1904 shows no change to the layout or size of the buildings. The 1951 edition shows the same details but by the time of the 1963 edition the eastern range has been extended to its present length.



Figure 6 Detail from the 1839 Tithe map  
Site highlighted. North to right of plan. Outbuildings shown in grey, house in pink



Figure 7 1886 First Edition Ordnance Survey map Sheet XLVIII.NE. Original scale 6 inch to 1 mile

## Objectives

Within the stated objectives of the ULAS Written Scheme of Investigation *for a Historic Building Recording: The White House, Ullesthorpe, Leicestershire* (hereafter the WSI) the purpose of the work is to record and advance understanding of the significance of the affected heritage asset:

The objectives of the historic building survey were:

- To provide a written, drawn and photographic record of all the affected buildings on site prior to the commencement of works with specific attention given to those elements proposed for demolition, conversion and/or alteration. This work to be undertaken to a standard that will allow the future interpretation of the building within the context for which it was originally designed and which subsequently evolved.
- To ensure the long-term preservation of the information through deposition of the record and a summary written report with an appropriate depository.

## Methodology

Digital colour photographs were taken throughout the survey. Notes and sketches were also made and scale site plans supplied by the client were used and modified to suit the purposes of this survey. The specific levels of detail used in the Level 2 survey followed the ULAS WSI and the guidelines laid down in the RCHME (1996) and Historic England (2016) specifications.

## Results

The main house will not be physically affected by the proposed development. However, in order to improve access to the courtyard formed by the outbuildings a small lean-to structure built against the eastern gable end of the main house will be removed (Figs 8 and 9). This structure has a tiled roof and is brick-built with a small door at the southern end. **The door is a plain narrow plank door and dates to the second half of the 20th century.** The brickwork butts against the house wall and the roof is sealed against the wall with lead flashing cut into the brick joints all of which indicates that it is later in date than the house. The detail on any of the available maps is not clear enough to show when the lean-to was added. **However, close inspection of online map resources suggests that between the 1963 and 1977 editions a narrow structure has been added to the eastern end of the house which is presumably the small lean-to which is proposed to be removed. These maps cannot be reproduced in this report due to copyright issues.**

The outbuildings, which will be converted into domestic dwellings, consist of two small single storey outbuildings joined together at their gable ends on the western side of the courtyard and an L-shaped range of former stable buildings on the north and eastern side of the yard (Figs 10 and 11).

### *The outbuildings on the west side of the courtyard*

The freestanding outbuildings on the western side of the courtyard consist of two single storey brick-built structures joined at their gable ends and facing eastwards into the courtyard (Fig. 12). The northernmost of the two buildings has a steeply pitched tiled roof, whilst the southern building is lower and has a modern corrugated sheet roof (Figs 13 to 15). The 1839 tithe map indicates that the northern building, consisting of two rooms, was present at that time but that only a small, single roomed structure was attached to its south end. The east facing elevation suggests that the southern building is relatively new as the brickwork appears to date from the middle of the 20th century and uses hard-fired mass produced bricks. It is clearly newer than the northern building which uses softer-fired yellow and cream coloured bricks which are showing signs of frost damage and weathering. The northern building has a plank door with handmade strap hinges and evidence of a wooden lock case which has now been removed. The door to the southern building is modern.

The west facing elevation of both buildings, facing into the garden, is partially obscured with vegetation and ivy making detailed observation difficult (Fig. 14). However, both elements appear to be solid brick walls with no evidence of blocked windows or doors. The brickwork of the southern building is possibly late 19th century suggesting that it began life as a garden wall which was then adapted to become a roofed building.

The north facing gable end elevation of the northern building faces towards the back door of the house (Fig. 15). It has a blocked window to the west of the plank door.

Inside the northern building is the former washhouse which still retains its copper and a small cast iron range built against the south wall (Figs 16 and 17). The floor is paved with square quarry tiles. The door is plank-built and has a wooden lock case, probably of late 18th or early 19th century date (Fig. 18). The roof is supported by two very substantial purlins which have been roughly shaped but are still relatively unworked. Their size within such a small building suggests that they may have been recovered

from an earlier building although there is no evidence of this in the form of redundant mortices etc. The common rafters are also unworked. New roofing felt on top of the rafters indicates that the tiles have been re-laid relatively recently.

The southern room of the northern outbuilding is reached via a door on the east facing elevation (Fig. 19). This is an empty room and presently used as a wood store. The roof structure is the same as in the northern room and the floor is laid with stone cobbles. The south wall has bricks matching the rest of the northern building indicating that the northern outbuilding were built in a single episode.

The southern building with the modern brick east facing elevation has a single doorway on the east elevation. It has a main large room and a smaller subdivided area near the doorway. The roof structure appears to be relatively modern.

### *The former stable buildings*

The former stable buildings are created from a northern range running from east to west alongside Main Street and an eastern range extending southwards away from the south-eastern end of the north range at a slightly obtuse angle. (Figs 20 and 21). Their principal elevations face inwards into the courtyard.

## **The North Range**

The north facing elevation of this range faces out onto Main Street and forms a white painted brick façade broken only by two casement windows (Fig. 22). The windows appear to be of a different date to each other as the western one has a low arched lintel whereas the eastern is flat. At lintel height there is a trace of a change in brickwork where the wall appears to have been raised. This was confirmed by the owner who said that within living memory the building had been raised from a fairly low thatched building to its present form.

The west facing gable end also shows evidence of being raised in height (Fig. 23). A clear line in the brickwork can be seen which matches the change in brickwork seen on the north facing elevation. Such a modification would most likely require a change in the pitch of the roof from thatch to slate and would result in the brickwork changes seen here. The first floor window cuts across this joint so is likely to date from, or after, this change.

The south facing elevation looks into the courtyard (Fig. 24). Because this elevation has unpainted brickwork the change in bricks where the roof was altered can be seen more easily. Because the eaves are so low the first floor rooms are lit by modern Velux style roof lights rather than windows in the walls. At the western end of the elevation the brickwork shows evidence of a number of modifications, patches and repairs suggesting that the façade of the building has undergone a number of changes during its lifetime. A small doorway with a fixed-paned window set very close to it is located within the modified brickwork at this end. The main doorway into the range has a sliding garage door which probably dates to just before or just after the Second World War. This is likely to have been modified from a carriage shed to a garage for the newly introduced car which was becoming more widespread around this time. A pair of

modern wooden doors to the east of the sliding doors leads into another smaller room space. A stable door in the east corner has a small door light above it and leads into the north-east corner room with a large stall as discussed below in this report.

### Inside the North Range

The westernmost ground floor room is accessed via the single doorway close to the western corner. At the time of the survey the room was in use for storage making close inspection quite difficult. It is clad with dark matchboard and has a small fireplace with a wooden mantelpiece on the west wall (Fig. 25). The fireplace has been removed leaving the mantelpiece which appears to be of late 19th century date. A set of steep steps is located in the south-east corner and goes up to the first floor (Fig. 26).

The next room to the east has been modified, as discussed earlier, by the addition of the sliding garage door (Fig. 27). It has a blue brick floor which appears to be relatively modern. The walls are brick painted with a black dado and white upper. No fixtures or fittings remain from the possible former carriage shed. Between the garage and the easternmost room is a narrow room which was not accessible at the time of the survey.

The easternmost room retains its large loosebox which fills most of the room (Fig. 28). The owner indicated that this may have been used for the stallion which kept him away from the other horses. The floor is laid with blue stable paviments. A set of narrow ladder-type stairs lead up to a hatch in the first floor.

The first floor of the north range consists of a long space subdivided into four unequally sized rooms connected by centrally located doors (Figs 29 and 30). The roof is supported by a pair of sawn purlins running the length of the roof. The rooms are quite plain and have been covered with modern plasterboard. Plank-built doors separate each room. One door has a mid to late 19th century lock attached whilst another door has a wooden lock case. There are no other fixtures or fittings relating to any former uses of the buildings.

### The East Range

The single storey east range faces into the courtyard (Figs 20 and 21). No access to the eastern side of this range could be obtained as it forms the boundary with the adjacent property. The structure is brick-built with a slate roof.

The west facing elevation is the only elevation with any openings and has clearly been built as a stable (Fig. 31). There is a joint close to the north end of the elevation which seems likely to correspond to the shortened stub of building shown in the 1886 Ordnance Survey map. The remaining brickwork appears to be of mid-20th century date, possibly coinciding with the modified garage on the north range. The stable doors have door lights above them and are of similar design (Fig. 32). The south facing gable end is plain brick with no evidence of any former openings (Fig. 33).

Inside, the east range consists of four rooms with the northernmost room being the largest of the four. The painted walls are brick with a number of iron ring attachments for holding tack and fodder bags etc (Fig. 34). The roof is supported by a pair of longitudinal purlins with close fitting boards covering the common rafters. A semi-

circular concrete trough has been built into the north-eastern corner of the two northern rooms. The floors are covered with blue stable pavements.

### **The White House**

As noted above, although not physically affected by the proposed works, with the exception of the lean-to which will be removed, the setting of the White House may be affected by the new dwellings. The main body of the White House fronting onto Main Street seems likely to have been built as three separate dwellings although there is no available map evidence to support this. A joint in the brickwork towards the western end of the range indicates that the west end was either added to the existing two dwellings or that they were added to the existing western building. Internal inspection may help to determine the phasing of these buildings (Fig. 35). There is no apparent joint in the brickwork of the two potential dwellings towards the eastern end of the frontage but much of this is hidden by vegetation (Fig. 36). If there is no joint then it is likely that the two were built in a single episode. There are no joints in the roofline.

The back of the White House (the south side) faces onto the garden where the proposed new dwellings will be constructed. Two large two-storey north to south ranges extend out from the main house (Figs 37 and 38). The western north to south range is shown on the 1839 tithe map. The eastern range, built against the western range is not shown on the 1903 OS map but is present on the next available map published in 1963 which gives it a relatively late construction date. A modern (late 20th century) conservatory covers the remainder of the south facing elevation of the house.

Two new dwellings are proposed to be built towards the south-east corner of the garden (Fig. 39 also see Figure 5). The ground at this point drops away from the house which may help reduce the visual impact of the new houses. Because the land drops away to the south and west they may not be particularly visible from outside the site. The exception being a mid-20th century house located on a higher piece of ground on the southern side of Station Street.

A third house is proposed to be built to the south-west of the White House which may have a slightly more visual impact (Figs 40 and 41). A number of older buildings cluster around the corner of Main Street and face towards the site at this point. None are listed but cursory inspection appears to show that they are likely to date from the 18th and 19th centuries and may have older cores. The mature trees which form the boundary of the White House garden are intended to remain in place and should screen the new house from the road.



Figure 8 Lean-to which is to be demolished  
Looking north. 1m scale.



Figure 9 Lean-to on main house  
Looking south-west from road. 1m scale





Figure 10 General view across courtyard  
Looking north-west



Figure 11 General view across courtyard  
Looking east

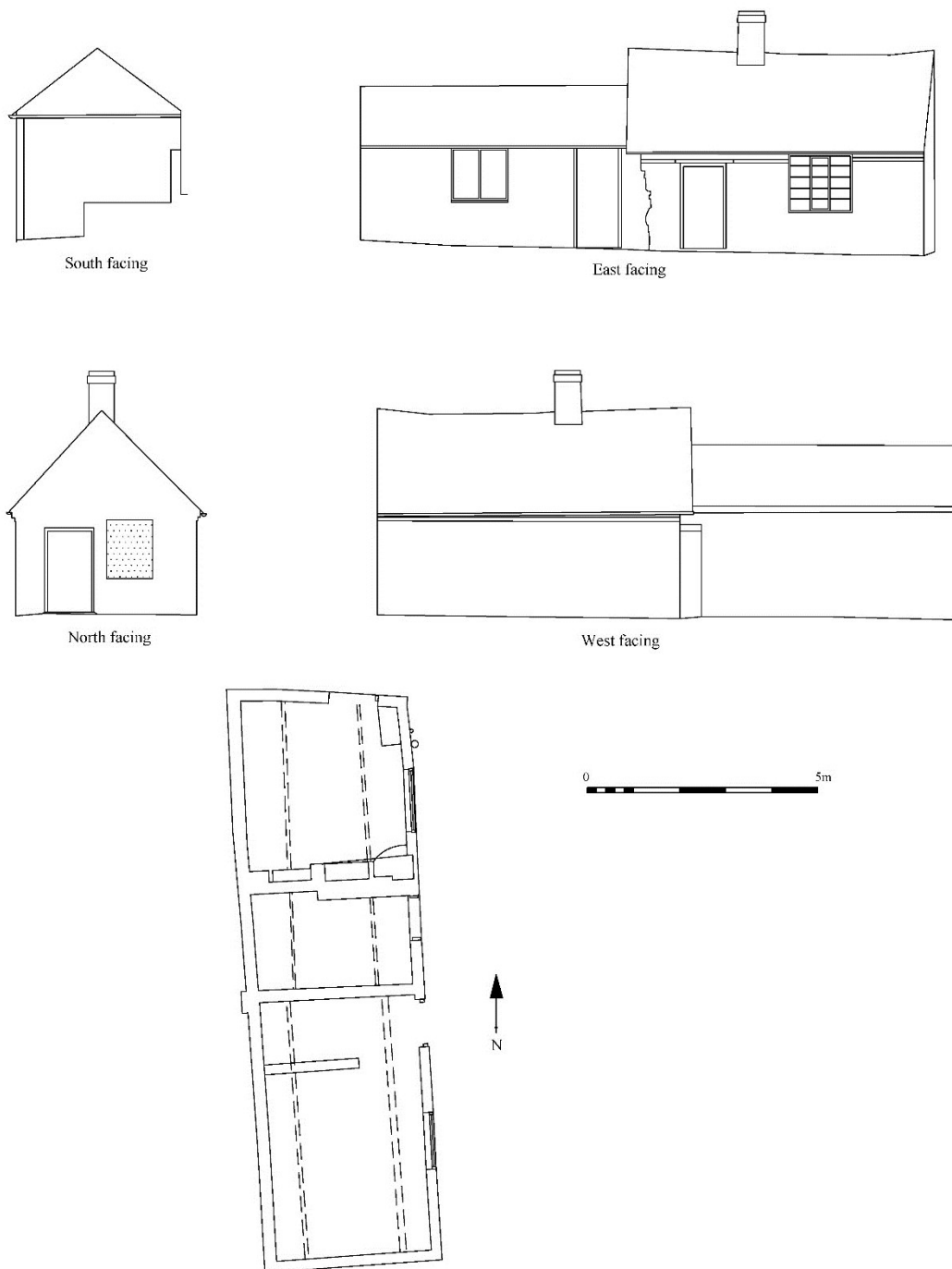


Figure 12 Outbuildings on west side of courtyard  
Modified from plans supplied by client



Figure 13 Outbuildings, east facing elevation  
Looking west. 1m scale



Figure 14 Outbuildings, west facing elevation  
Looking east



Figure 15 Outbuildings, north facing elevation  
Looking south. 1m scale



Figure 16 Inside northern end of northern outbuilding  
Looking south



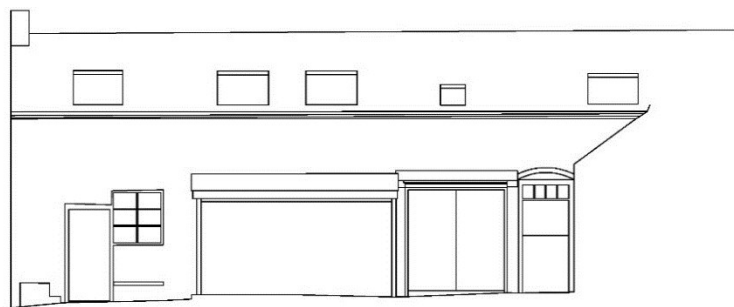
Figure 17 Copper and range in northern end room  
Looking south



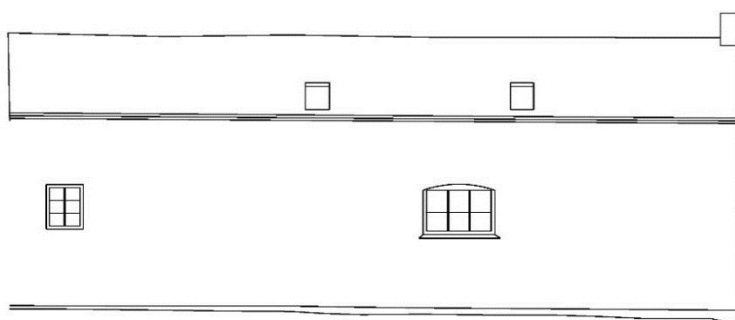
Figure 18 Outbuildings northern room, door detail  
Looking north



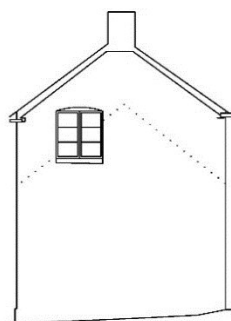
Figure 19 Doorway into south room of northern outbuilding  
Looking south-west



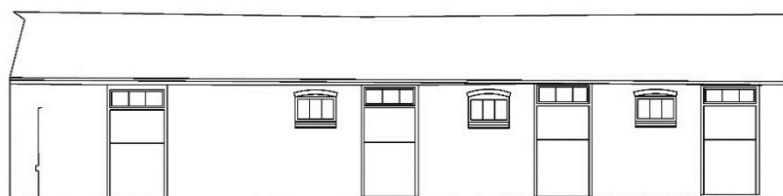
North range, south facing



North range, north facing onto Main Street



North range, west facing



East range, west facing

Figure 20 Former stable buildings  
Modified from plans supplied by client

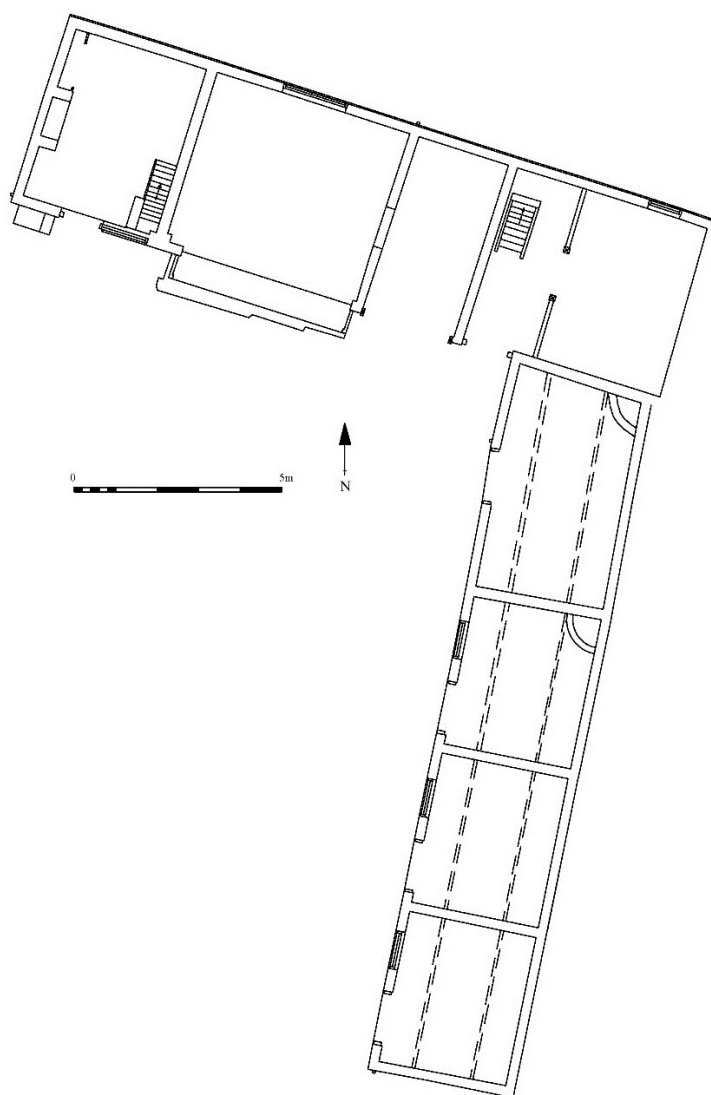
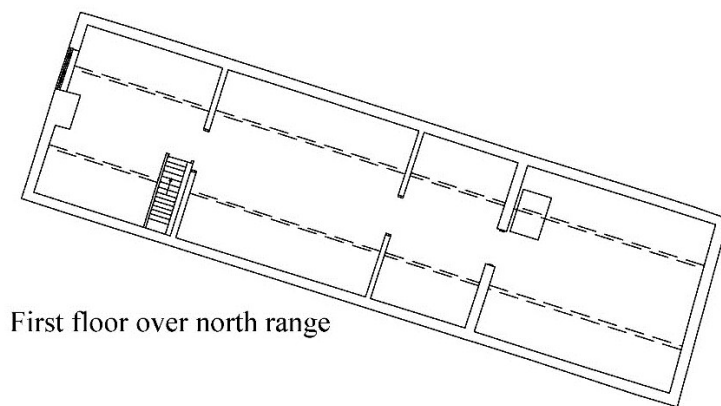


Figure 21 Former stable buildings, plans  
Modified from plans supplied by client





Figure 22 North range stables on Main Street  
Looking south-west



Figure 23 North range stables, west facing elevation  
Looking south-east. 1m scale. Arrows point to original wall and gable height



Figure 24 North range, south facing elevation  
Looking north. 1m scale



Figure 25 North range ground floor, west end room  
Looking north-west from doorway



Figure 26 North range ground floor, west end room stairs  
Looking east



Figure 27 North range ground floor, garage  
Looking north-east



Figure 28 North range ground floor, east end room  
Looking north-east



Figure 29 North range building, first floor, west room  
Looking south-west



Figure 30 North range building, first floor  
Looking east



Figure 31 East range, west facing elevation  
Looking east. Brick joint to left of 1m scale



Figure 32 East range, west facing elevation door detail  
Looking east. 1m scale



Figure 33 East range, south facing gable end  
Looking north-east. 1m scale



Figure 34 East range, internal detail  
Looking north-east



Figure 35 North facing elevation of The White House (western end)  
Looking south-east. Arrow marks joint in brickwork



Figure 36 Eastern end of The White House north facing elevation  
Looking south



Figure 37 The White House, south facing elevation  
Looking north-east





Figure 38 The White House, south facing elevation  
Looking north



Figure 39 The White House viewed from approximate location of new houses  
Looking north-west



Figure 40 The White House viewed from approximate location of new house  
Looking north-east



Figure 41 View from Main Street  
Looking west

The new house to the south-west of the White House will be built behind the trees

## Discussion

The stables, which are planned to be converted, have undergone a number of changes over their life. The oldest elements appear to be the north range and the northern end of the outbuildings on the western side of the courtyard which are likely to be later 18th or early 19th century in date. The southern end of the small outbuildings is of probable 20th century date.

The roof of the north range was raised in the 20th century and may coincide with the alterations of the shutter doors added to create a garage. The present eastern range is a relatively late addition but is sat upon the footprint of an earlier range of buildings which had been demolished prior to 1886. It is possible that the present eastern range was built at the same time, or close to the time, when the north range was modified.

The proposal to remove the small lean-to attached to the eastern end of the White House should have no significant effect upon the historic fabric of the house provided it is carried out carefully. The brickwork of the lean-to appears to be butted against the house wall and is clearly of a much later date than the house.

The proposed new dwellings will have a varying effect upon the setting of the White House. The two dwellings proposed for the south-eastern corner of the site will be built away from the existing house and will probably be built on slightly lower ground which should help minimise the impact. The house to the south-west of the existing house is much closer to the building and to the Main Street and will therefore have a moderate visual impact upon the house which, as far as is possible to say, has stood in isolation on this plot since first built. From Main Street the mature trees and hedge line should help screen the new house although it will still be visible especially in wintertime. None of the opposing houses are listed but they are within the Ullesthorpe conservation area, as is the White House, and represent the changing street scene from the early 18th century onwards.

## Archive

The archive consists of:

This report,

77 digital images on a DVD,

3 A4 contact sheets of digital images.

2 A4 phot record sheets.

## Publication

A summary of the work will be submitted for publication in the *Transactions of the Leicestershire Archaeological and Historical Society* in due course. A record of the project will also be submitted to the OASIS project. OASIS is an online index to archaeological grey literature.

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A Hyam

ULAS

20.11.2017

## Appendix 1 Digital photographs



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XA131 2017 (2).JPG



XA131 2017 (3).JPG



XA131 2017 (4).JPG



XA131 2017 (5).JPG



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## Appendix 2 OASIS Information

<b>PROJECT DETAILS</b>	<b>Oasis No</b>	universi1-299924		
	<b>Project Name</b>	A Level 2 Building Survey for Outbuildings at The White House, Main Street, Ullesthorpe, Leicestershire		
	<b>Start/end dates of field work</b>	25-09-2017		
	<b>Previous/Future Work</b>	Desk-based assessment/ Not known		
	<b>Project Type</b>	Historic Building Survey		
	<b>Site Status</b>	None		
	<b>Current Land Use</b>	Domestic house and outbuildings		
	<b>Monument Type/Period</b>	House/Post medieval and modern		
	<b>Significant Finds/Period</b>	None		
	<b>Development Type</b>	Residential		
	<b>Reason for Investigation</b>	NPPF		
	<b>Position in the Planning Process</b>	Pre planning condition		
<b>Planning Ref.</b>	n/a			
<b>PROJECT LOCATION</b>	<b>Site Address/Postcode</b>	The White House, Main St, Ullesthorpe, Leicestershire. LE17 5BT		
	<b>Study Area</b>	0.28 ha		
	<b>Site Coordinates</b>	SP 50542 87685		
	<b>Height OD</b>	115m OD		
<b>PROJECT CREATORS</b>	<b>Organisation</b>	ULAS		
	<b>Project Brief Originator</b>	Local Planning Authority (LCC)		
	<b>Project Design Originator</b>	ULAS		
	<b>Project Manager</b>	P Clay		
	<b>Project Director/Supervisor</b>	A Hyam		
	<b>Sponsor/Funding Body</b>	Owner/Mr & Mrs Brown		
<b>PROJECT ARCHIVE</b>		<b>Physical</b>	<b>Digital</b>	<b>Paper</b>
	<b>Recipient</b>	NA	LCC MusService	LCCMusService
	<b>ID (Acc. No.)</b>		X.A131.2017	X.A131.2017
	<b>Contents</b>		Photos Survey data	records Field Notes
<b>PROJECT BIBLIOGRAPHY</b>	<b>Type</b>	Grey Literature (unpublished)		
	<b>Title</b>	A Level 2 Building Survey for outbuildings at The White House, Main Street, Ullesthorpe, Leicestershire		
	<b>Author</b>	A Hyam		
	<b>Other bibliographic details</b>	ULAS Report No 2017-164		
	<b>Date</b>	2017		
	<b>Publisher/Place</b>	University of Leicester Archaeological Services / University of Leicester		
	<b>Description</b>	Developer Report A4 pdf		





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