



# University of Leicester

## Archaeological Services

**An Archaeological Watching Brief  
And Photographic Record at  
5 Bridge Street, Barrow upon Soar,  
Leicestershire  
NGR: SK 5744 1728**

Andrew Hyam



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**An Archaeological watching Brief and  
Photographic Record**

**5 Bridge Street, Barrow upon Soar**

**Leicestershire**

**NGR: SK 5744 1728**

**Andrew Hyam**

**For: Linda Wemyss**

Approved by

**Signed:** ..... **Date:** .....

**Name:** .....

**University of Leicester**

Archaeological Services

University Rd., Leicester, LE1 7RH

Tel: (0116) 2522848 Fax: (0116) 2522614

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## **An Archaeological Watching Brief and Photographic Record at 5 Bridge Street, Barrow upon Soar, Leicestershire. NGR SK 5744 1728**

### **Summary**

*An archaeological watching brief and a photographic record was undertaken by University of Leicester Archaeological Services (ULAS) at 5 Bridge Street, Barrow upon Soar, Leicestershire. The photographic record studied a small range of single storey mid 20th century outbuildings attached to the side of an early 19th-century house known as Cliffe House. The watching brief studied the area exposed after the demolition of the outbuildings which were removed as part of a major refurbishment of the main house. The work is taking place under planning application number: P/09/1425/2. No archaeological features or deposits were observed during the watching brief.*

*The survey took place on the 12th and 26th of May 2010 and was carried out by A R Hyam. The report and archive will be deposited with Leicestershire County Council under Accession Number XA 81.2010*

### **Introduction**

In accordance with Planning Policy Statement 5 (PPS5, Planning and the Historic Environment, 2010), this document forms the report for an archaeological watching brief and a photographic building recording exercise at 5 Bridge Street, Barrow upon Soar, Leicestershire, (NGR SK 5744 1728). Under planning application number P/09/1425/2 the grade II listed Cliffe House (LB ref. 189265) is being extensively refurbished to provide modern living accommodation. Part of the works includes the removal of a number of single storey outbuildings attached to the eastern side of the house prior to the construction of a large extension of a similar footprint size to the existing house. When considering the planning application the Senior Planning Archaeologist at Leicestershire County Council, as advisor to the planning authority, recommended that a suitable level of historic building survey and archaeological investigation should be undertaken because the building has a significant historical value, and that the work will alter the appearance and affect its historic fabric.

### **Background**

The large village of Barrow upon Soar lies approximately 4km to the south east of Loughborough and 2km north of Mountsorrel and is located on the eastern side of the River Soar (fig. 1). The development site is on the north western side of the village on Bridge Street between the London to Sheffield mainline and the river. The road past the site drops from the village, which sits on a slightly higher terrace, down towards the river bridge leading to the nearby village of Quorn (fig. 2). The adjacent property to the north east of the site is significantly higher and has a stone and brick boundary wall approximately 3m high with the ground level being nearly 2m higher than the development site. The site lies at a height of 50m above OD.

Cliffe House is a Grade II listed building (LB ref. no. 189265) described as follows:

*Large house, c.1800. Brickwork, with low-pitched hipped slate roof. White painted sill courses and wood eaves cornice. Side and rear are a whiter brick, 3 storeys, upper storey of less height. 3 bays - central bay projects slightly, and has door with overlight and stone architrave with massive carved stone consoles supporting a balcony with good wrought iron work and French windows opening onto it. Other windows are sashes with fine, gauged brick heads, those to third storey are lower and have thick wooden architraves.*

A review of the available historic mapping depicts Cliffe House in the late 19th century, showing the main house, as present today, but with an extensive probable service range to the rear (east). The Ordnance Survey Drawings of the early 19th century also indicate a building in the vicinity of the development, probably Cliffe House given its projected date of construction. The OS first edition of 1884 does not show any buildings where the demolished outbuildings are located although a small side extension appears to be present in 1903 although this may be a clearer outline of the existing building. By the time of the 1955 edition the outbuildings, housing a kitchen, have been added and a further projecting range added by 1966. The proposed demolition will remove part of the listed building, albeit a later addition, a basic photographic record of these elements, prior to removal, was considered adequate mitigation in lieu of their loss. As the site also lies within the medieval village, there was an underlying potential for earlier buried archaeology remains to be present. Appraisal indicated that there was a significant potential for archaeological remains to be present within the development area, and that they would be affected by the development.

Under the development proposals the later outbuildings will be removed in preparation for a large extension which will effectively double the footprint of the house (fig. 3).

### **Aims**

Through archaeological attendance and, as appropriate, investigation:

1. To identify the presence/absence of any earlier building phases or archaeological deposits.
2. To establish the character, extent and date range for any archaeological deposits to be affected by the proposed ground works.
3. To record any archaeological deposits to be affected by the ground works.
4. To record elements of the listed building which are to be demolished.
5. To produce an archive and report of any results.

### **Methodology**

As detailed in the ULAS design Specification the methodology was as follows.

The project will involve the supervision of overburden removal and other groundworks by an experienced professional archaeologist during the works specified above. Recording of elements of the listed building will also be undertaken prior to demolition.

Should significant archaeological remains be identified a programme of excavation and recording may be necessary, using additional personnel as necessary.

The archaeologist will co-operate at all times with the contractors on site to ensure the minimum interruption to the work.

Any archaeological deposits located will be hand cleaned and planned as appropriate. Samples of any archaeological deposits located will be hand excavated. Measured drawings of all archaeological features will be prepared at a scale of 1:20 and tied into an overall site plan of 1:100. All plans will be tied into the National Grid using an Electronic Distance Measurer (EDM) where appropriate.

Archaeological deposits will be excavated and recorded as appropriate to establishing the stratigraphic and chronological sequence of deposits, recognising and excavating structural evidence and recovering economic, artefactual and environmental evidence. Particular attention will be paid to the potential for buried palaeosols and waterlogged deposits in consultation with ULAS's environmental officer.

All excavated sections will be recorded and drawn at 1:10 or 1:20 scale, levelled and tied into the Ordnance Survey datum. Spot heights will be taken as appropriate.

Any human remains encountered will be initially left in situ and only be removed under a Ministry of Justice Licence and in compliance with relevant environmental health regulations. The developer and Leicestershire County Council will be informed immediately on their discovery.

Internal monitoring procedures will be undertaken including visits to the site from the project manager. These will ensure that professional standards are being maintained. Provision will be made for monitoring visits with representatives of the owners and Leicestershire County Council.

In the event of significant archaeological remains being located during the watching brief there may be the need for contingency time and finance to be provided to ensure adequate recording is undertaken. On the discovery of potentially significant remains the archaeologist will inform the developer, the Senior Planning Archaeologist at Leicestershire County Council, and the planning authority. If the archaeological remains are identified to be of significance additional contingent archaeological works will be required. Individual descriptions of all archaeological strata and features excavated or exposed will be entered onto prepared pro-forma recording sheets.

A site location plan based on the current Ordnance Survey 1:1250 map, (reproduced with the permission of the Controller of HMSO) will be prepared. This will be supplemented by a plan at 1:200 (or 1:100), which will show the location of the areas investigated.

A record of the full extent in plan of all archaeological deposits encountered will be made on drawing film, related to the OS grid and at a scale of 1:10 or 1:20. Elevations and sections of individual layers of features should be drawn where possible. The OD height of all principal strata and features will be calculated and indicated on the appropriate plans.

A photographic record of the investigations will be prepared illustrating in both detail and general context the principal features and finds discovered. The photographic record will also include 'working shots' to illustrate more generally the nature of the archaeological operation mounted. This record will be compiled and fully checked during the course of the watching brief. All site records and finds will be kept securely.

The photographic record will comprise:

- (i) A general view or views of the building
- (ii) The building's external appearance. Typically a series of oblique views will show all external elevations of the building, and give an overall impression of its size and shape. Where an individual elevation embodies complex historical information, views at right angles to the plane of the elevation may also be appropriate.
- (iii) Detail shots of those parts of the building which are to be demolished.

## Results

### *The photographic survey*

The main part of Cliffe House is presently undergoing extensive refurbishment making an internal inspection quite difficult, however the main external elevations were photographed and are shown in figures 5, 6 and 7. The external brickwork is currently being re-pointed but otherwise little is to be changed on the northern, western and southern faces. The brick built outbuildings located on the eastern side of the house were, until demolition, as shown on the current OS map although a wall and lean-to type structure extending to the eastern site boundary appear to have been removed prior to renovation. The fabric of the outbuildings suggests two phases of construction which supports the map evidence of a late 1940s or early 1950s room attached to the house followed by a late 1950s or early 1960s addition (figs. 8 and 9).

A small toilet has also been added at first floor height above a rectangular timber porch in the north east corner of the main house (fig. 10). The toilet has a small pitched roof with a slate covering. The bricks used are the same type as in the 1950s extension. Inside the door from the toilet to the main house appears to have been knocked through when the toilet was added.

The single storey 1950s addition has a lean-to slated roof attached to the main house with a single ground floor doorway piercing the wall into the house. On its southern elevation a low brick arch can be seen at ground level which spans a freshwater tank partially located beneath the outbuilding (figs. 11 and 12). The inside of the tank has a brick-vaulted arch and sides using similar-sized bricks to the outbuilding. Internally it has until recently been used as a kitchen and has little of architectural merit although a York sliding sash window on the eastern wall may have been re-used from elsewhere (figs. 13 and 14).

The later extension added to the north eastern corner of the 1950s outbuilding is a flat felt roofed structure constructed using stretcher bonded bricks (fig. 8). Inside, the space has been divided into a store room, a pantry and a short corridor with a door to the garden (fig. 14).

### *The watching brief*

After the demolition and removal of the outbuildings the ground, which rose towards the north and east, needed to be reduced in height in preparation for the proposed new extension (fig. 15). Removal of the buildings and debris revealed a circular brick lined well adjacent to the east wall of the main house and just to the north of the fresh water tank (fig. 16). The well was 1m in diameter and approximately 6m deep. Although there was no indication of the well prior to demolition it is now intended to preserve it and incorporate it into the new extension.

All of the mixed topsoil, building debris and modern disturbance was removed using a tracked mini digger fitted with a smooth ditching bucket to reveal natural substrata of mid- greenish grey silty clay and mid- yellow brown sandy clay (fig. 17). The natural clay was only around 0.1 to 0.15m below current ground level. The substantial concrete foundations for the demolished outbuildings have cut into the natural clay leaving only a narrow band of undisturbed clay around them. Within the footprint of the proposed extension only modern disturbance or undisturbed natural was observed. The modern disturbance included timber posts with timber and paint still in-situ, and tree root disturbance towards the south eastern edge of development.

### **Discussion**

The demolished outbuildings had little in the way of architectural interest and were slightly incongruous with the main house. Although there is a small degree of scarring left by their removal and an extra doorway which was opened through into the house, only a small amount of damage has been done to the fabric of the house. The outbuildings were of mid- 20th century construction with more thought being placed on function rather than style.

Despite the potential for buried archaeological deposits none were observed during the development work. The sloping nature of the site and the raised height of the neighbouring property makes it likely that the land has been heavily landscaped to create an area of level ground to build on.

### **Archive**

The archive consists of;

This report,

2 pro-forma watching brief forms,

1 photo record sheet,

2 contact sheets of 27 35mm black and white photographs,

35mm black and white negatives,

2 contact sheets of 39 digital photographs from the photographic survey and watching brief,

1 cd of this report and all digital photographs.

### **Publication**

A summary of the work will be submitted for publication in the *Transactions of the Leicestershire Archaeological and Historical Society* in due course. A record of the



project will also be submitted to the OASIS project. OASIS is an online index to archaeological grey literature.

### **Bibliography**

Brown, D. 2008 *Standard and Guidance for the Preparation of Archaeological Archives* (Institute for Archaeologists).

English Heritage 2006 *Understanding Historic Buildings. A guide to good recording practice*. London: English Heritage.

IfA, 2006, *Standard and Guidance for Archaeological Watching Briefs; Standard and Guidance for Building Investigation and recording*.

RCHME 1996. *Recording Historic Buildings; A Descriptive Specification Third Edition*, Royal Commission on the Historical Monuments of England

ULAS 2010 *Design Specification for archaeological work: 5 Bridge Street, Barrow upon Soar, watching brief and photographic survey*.

A Hyam  
University of Leicester Archaeological Services  
University of Leicester  
University Road  
Leicester LE1 7RH

Tel: 0116 252 2848

Fax: 0116 252 2614

[ah58@le.ac.uk](mailto:ah58@le.ac.uk)

## Appendix 1 Figures

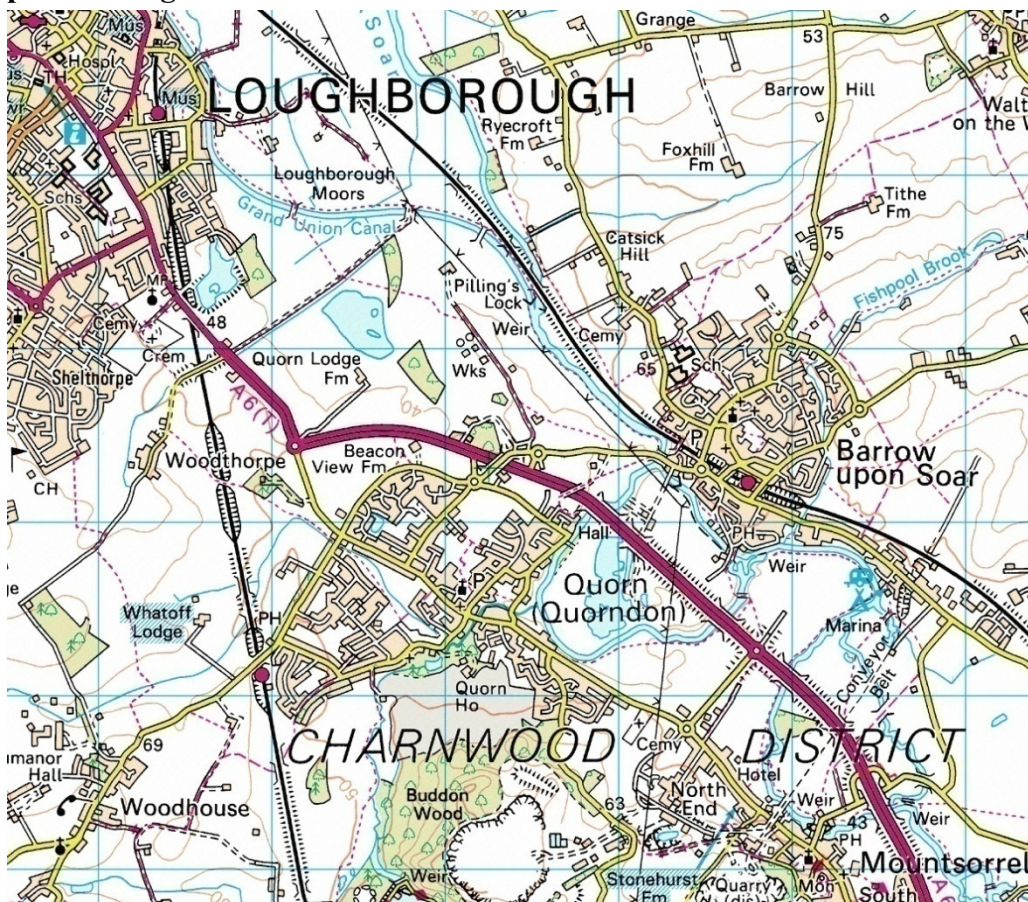


Figure 1 Barrow upon Soar location

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Figure 2 Site location

Reproduced by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. Crown Copyright 1996. Licence Number AL 10009495



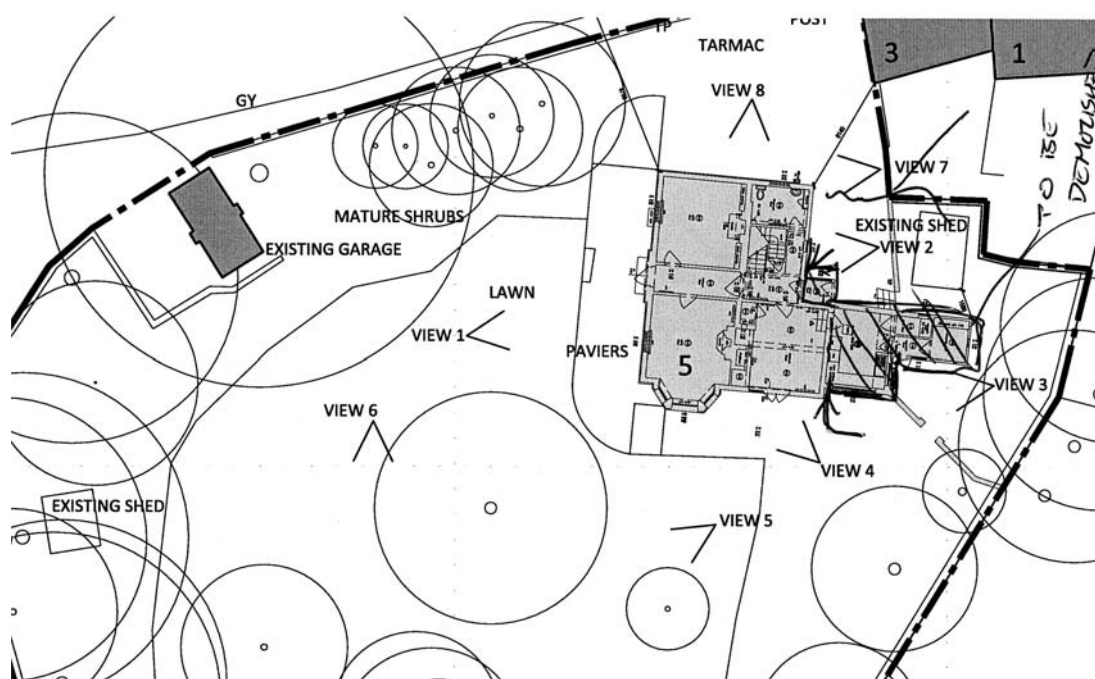


Figure 3 Site plan – as existing  
From plans supplied by client (north at top of drawing)

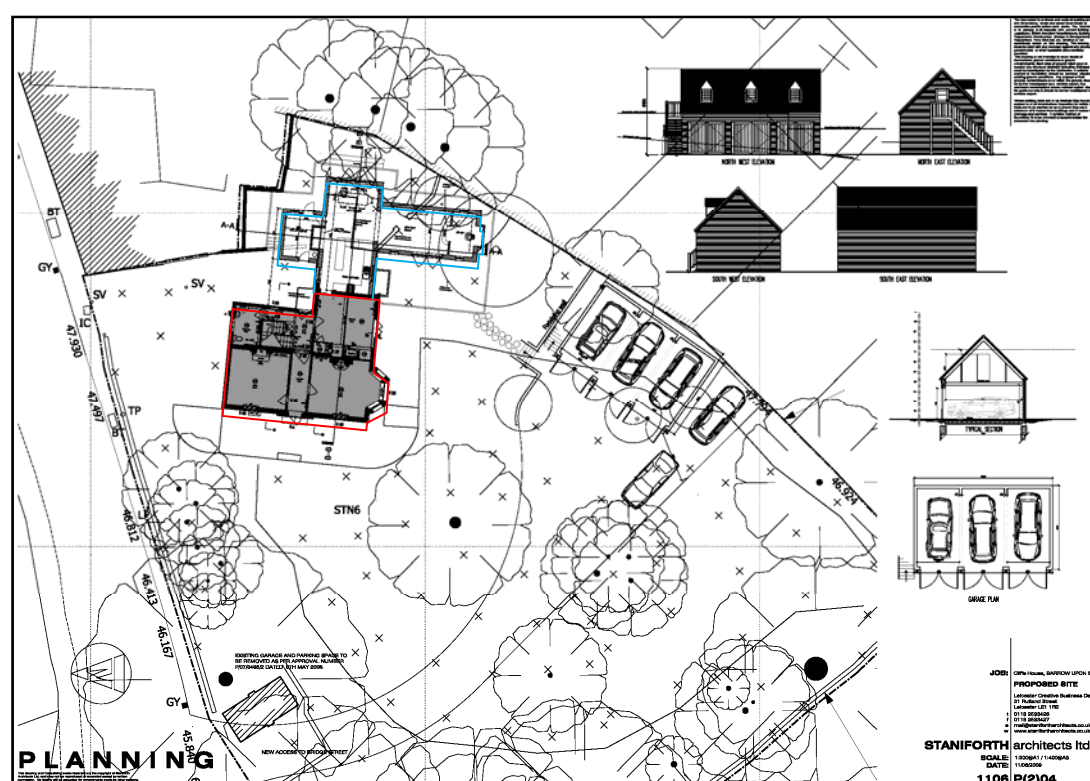


Figure 4 Site plan – proposed plans  
New extension highlighted in blue. From plans supplied by client (north to the left)





Figure 5 Cliffe House, western elevation



Figure 6 Cliffe House, southern elevation  
Outbuilding to be demolished on right of picture





Figure 7 Cliffe House, northern elevation



Figure 8 Outbuildings on eastern side of Cliffe House  
Looking south west, 1m scale



Figure 9 Outbuildings. 1950s extension on left, 1960s on right  
Looking north west. 1m scale





Figure 10 Toilet, to be demolished, over porch  
Looking south, 1m scale





Figure 11 South elevation of extension  
Looking north. Note arch of freshwater tank in bottom left corner, 1m scale



Figure 12 Freshwater tank  
Looking north, 1m scale





Figure 13 1950s kitchen looking through into main house  
Looking south west



Figure 14 1950s kitchen looking through to 1960s extension  
Looking east





Figure 15 Eastern elevation of main house after demolition of outbuildings  
Looking west, the well is covered under boards to right of the dumper



Figure 16 The well





Figure 17 Stripped area and outbuilding foundations  
Looking south east

## Appendix 2 Photographic record

35mm Black and white. Film Number ONE – building survey only

photo no	description	scale	facing	initials	date
1	record shot			ARH	12.05.10
2	Oblique face of Outhouses	1m	SW	ARH	12.05.10
3	East elevation	1m	W	ARH	12.05.10
4	Toilet East elevation	1m	W	ARH	12.05.10
5	House viewed from Bridge Street		W	ARH	12.05.10
6	Ditto		NW	ARH	12.05.10
7	North elevation	1m	SE	ARH	12.05.10
8	Join of lean-to and flat roofed segment	1m	SE	ARH	12.05.10
9	Ditto	1m	SE	ARH	12.05.10
10	Lean-to west elevation	1m	E	ARH	12.05.10
11	West elevation of main house		E	ARH	12.05.10
12	South elevation of main house		N	ARH	12.05.10
13	Soft water tank, West elevation	1m	W	ARH	12.05.10
14	Inside lean-to kitchen		S	ARH	12.05.10
15	Ditto		NE	ARH	12.05.10
16	Pantry		N	ARH	12.05.10
17	End store room		N	ARH	12.05.10
18	Corridor to kitchen		S	ARH	12.05.10
19	N elevation of house		S	ARH	12.05.10

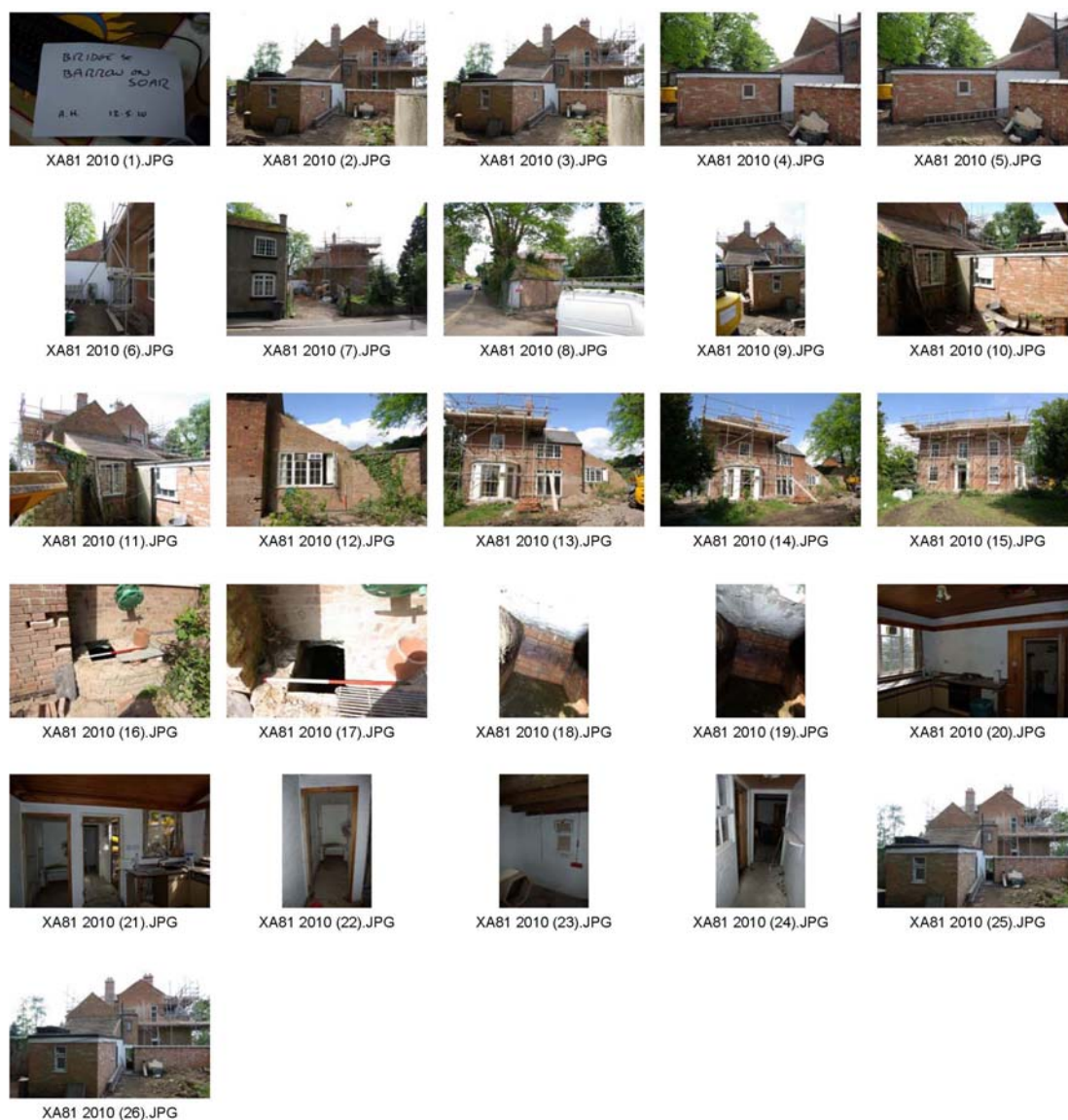
Colour digital photographs – building survey only

photo no	description	scale	facing	initials	date
1	record shot			ARH	12.05.10
2	Oblique face of Outhouses	1m	SW	ARH	12.05.10
3	Ditto	1m	SW	ARH	12.05.10
4	East elevation	1m	W	ARH	12.05.10
5	Ditto	1m	W	ARH	12.05.10
6	Toilet East elevation	1m	W	ARH	12.05.10
7	House viewed from Bridge Street		W	ARH	12.05.10
8	Ditto		NW	ARH	12.05.10
9	North elevation	1m	SE	ARH	12.05.10
10	Join of lean-to and flat roofed segment	1m	SE	ARH	12.05.10
11	Ditto	1m	SE	ARH	12.05.10
12	West elevation of lean-to	1m	W	ARH	12.05.10
13	West elevation of main house		E	ARH	12.05.10
14	ditto		E	ARH	12.05.10
15	South elevation of main house		N	ARH	12.05.10
16	Soft water tank, West elevation	1m	W	ARH	12.05.10
17	ditto	1m	W	ARH	12.05.10

18	Inside soft water tank			ARH	12.05.10
19	Ditto			ARH	12.05.10
20	Inside lean-to kitchen		S	ARH	12.05.10
21	Ditto		NE	ARH	12.05.10
22	Pantry		N	ARH	12.05.10
23	End store room		N	ARH	12.05.10
24	Corridor to kitchen		S	ARH	12.05.10
25	N elevation of house		S	ARH	12.05.10
26	ditto		S	ARH	12.05.10

## Appendix 3 Digital colour contact sheets

### *Building photographic record*





*Watching brief*

XA81 2010 wb (1).JPG



XA81 2010 wb (2).JPG



XA81 2010 wb (3).JPG



XA81 2010 wb (4).JPG



XA81 2010 wb (5).JPG



XA81 2010 wb (6).JPG



XA81 2010 wb (7).JPG



XA81 2010 wb (8).JPG



XA81 2010 wb (9).JPG



XA81 2010 wb (10).JPG



XA81 2010 wb (11).JPG



XA81 2010 wb (12).JPG



XA81 2010 wb (13).JPG

**Appendix 4 OASIS information**

<b>OASIS Information</b>	<b>XA81.2010</b>
Project Name	5 Bridge Street, Barrow upon Soar, Leics
Project Type	Watching brief & photographic record
Project Manager	R Buckley
Project Supervisor	A Hyam
Previous/Future work	None
Current Land Use	Domestic dwelling
Development Type	Redevelopment
Reason for Investigation	As a condition
Position in the Planning Process	As a condition
Site Co ordinates	NGR SK5744 1728
Start/end dates of field work	12.5.2010 – 26.5.2010
Archive Recipient	Leicestershire County Council
Study Area	175m <sup>2</sup> approx

## ULAS Contact Details

Richard Buckley or Patrick Clay  
University of Leicester Archaeological  
Services (ULAS)  
University of Leicester,  
University Road,  
Leicester LE1 7RH

**T:** +44 (0)116 252 2848

**F:** +44 (0)116 252 2614

**E:** [ulas@le.ac.uk](mailto:ulas@le.ac.uk)

**W:** [www.le.ac.uk/ulas](http://www.le.ac.uk/ulas)



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