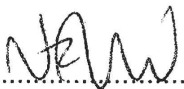


**A Historic Buildings Assessment  
of farm buildings at Crown Hills Farm,  
Station Road, Stoke Golding,  
Leicestershire (SP 3933 9725).**

**Sophie Clarke**

**Checked by Project Manager**

**Signed:**  **Date:** 10/1/06

**Name:** NEIL FUNN

For Savage Hayward Architects

**University of Leicester Archaeological Services  
Report 2006-003 ©2006**

## **A Historic Buildings Assessment of Farm Buildings at Crown Hills Farm, Station Road, Stoke Golding, Leicestershire (SP 3933 9725)**

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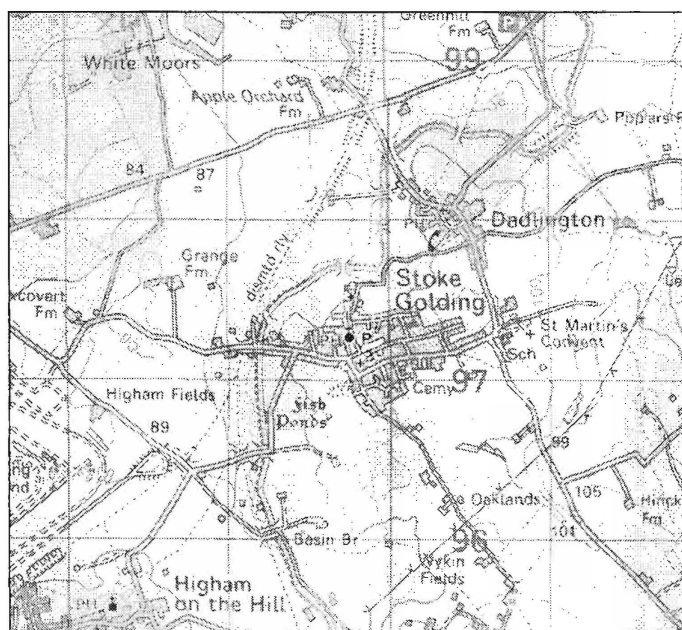
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## **A Historic Buildings Assessment of Farm Buildings at Crown Hills Farm, Station Road, Stoke Golding, Leicestershire (SP 3933 9725)**

*Sophie Clarke*

### **1 Introduction**

1.1 A planning application (05/00874/FUL) has been made by Savage Hayward Architects for the residential redevelopment of farm buildings associated with Crown Hills Farm, Station Road, Stoke Golding, Leicestershire SP 3933 9725. This document comprises the results of a Historic Buildings Impact Assessment, which was requested by the Senior Planning Archaeologist at Leicestershire County Council, Heritage Services, in order to determine the importance of the farm buildings and to establish the impact that the proposed works might have on their historic fabric.



**Figure 1. Site Location.**

Reproduced from the OS map Landranger 140 Leicester, Coventry and Rugby area 1:50000 map by permission of Ordnance Survey on behalf of The Controller of Her Majesty's Stationery Office. © Crown Copyright 1995. All rights reserved. Licence number AL 10002186.

1.2 This assessment forms part of an Archaeological Impact Assessment, in accordance with Planning Policy Guidelines 16 (PPG 16 Archaeology and Planning), para. 30) and follows the recommendations of the Senior Planning Archaeologist at Leicestershire County Council, Heritage Services, in his capacity as archaeological advisor to the planning authority.

1.3 The proposed development site is located in the village of Stoke Golding and falls within the boundaries of the designated Conservation Area. Stoke Golding is located approximately 33km to the south-west of Leicester, in the district of Hinckley and Bosworth (SP 3933 9275). Crown Hills Farm consists of a traditional

farm complex, with a central farm- or foldyard enclosed on four sides by the associated farm buildings; the farmhouse itself is located to the south and consists of a double-pile, red-brick building of possible 18th century origin, with 19th and 20th century modifications. The auxilliary buildings appear to date to the late 18th/early 19th century and are largely unmodified. Briefly, these comprise a single-storey cowshed to the west (Barn 6), which communicates with a large, two-storey threshing barn along the northern boundary (Barn 5). Along the eastern side of the yard are a series of smaller stables (Barns 2-4) which lead to a cart-shed, with upper-storey granary and pigeon-loft above ( Barn 1), located at the southern end of the range.

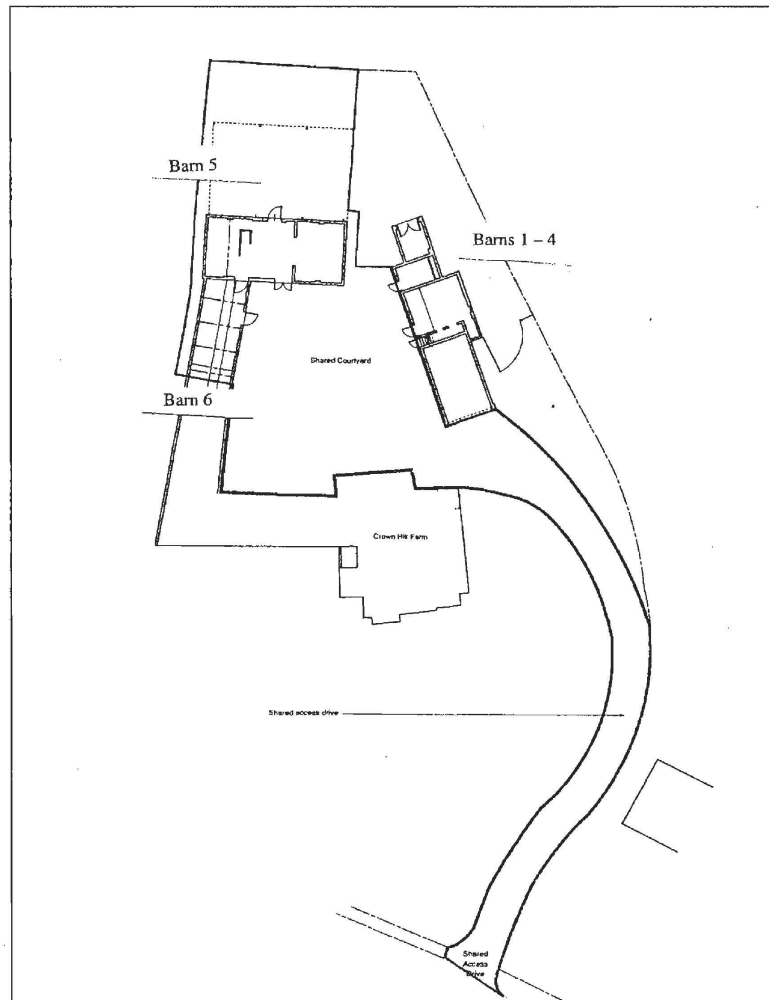


Figure 2. Layout of farm buildings at Crown Hills Farm  
(from drawing supplied by developer; not to scale)

1.4 Proposals for redevelopment include the formation of two separate dwellings from the existing auxiliary farm buildings. The present planning application (05/00874/FUL) has been made in respect of Barns 5 and 6 only, from which it is proposed to form a single dwelling. The redevelopment proposals also include the conversion of Barns 1 – 4 into a single dwelling, for which a full set of architects drawings have also been supplied: a planning application for their conversion, however, has yet to be submitted.

## **2 Aims and Objectives**

2.1 The aim of the desk-based assessment is to analyse the archaeological potential of the development area, providing information on the extent, character, date, integrity, state of preservation and relative quality of any below-ground archaeological deposits that may be present. This will take into account all known previous land uses, in order to establish the potential impact that the proposed development might have upon any archaeological deposits present. The buildings assessment will help to determine the extent to which the proposed conversions might affect the 'special architectural or historic interest' of the farm buildings (DoE/DNH Planning Policy Guidance Note 15). The desk-based assessment should, once the above information has been gathered, help provide an informed planning decision and suggest whether further stages of work are necessary.

2.2 All work follows the Institute of Field Archaeologist's Code of Conduct and adheres to their *Standard and Guidance for Archaeological Desk-based Assessments*. The site visit adhered to the Standing Conference of Archaeological Unit Managers' (SCAUM) *Health and Safety Manual* and also followed ULAS' own *Health and Safety Policy*.

## **3 Methodology**

3.1 The following sources have been consulted to assess previous land use and archaeological potential.

- Archaeological records (Leicestershire County Council Sites and Monuments Record).
- Previous maps of the area (Record Office for Leicester, Leicestershire and Rutland).
- Geological maps (ULAS reference collection).
- Historical background material (ULAS Reference Library and Record Office for Leicester, Leicestershire and Rutland).
- Site plans and elevation drawings (Savage Hayward Architects).

3.2 A site visit was undertaken on the 6th December 2005, in order to conduct an assessment of the standing buildings and to determine the effect that the proposed development might have upon the surviving historic fabric of the buildings.

## **4 Geology and Topography**

4.1 The Ordnance Survey Geological Survey of Great Britain Sheet 155 indicates that the underlying geology is likely to consist of glacial boulder clay. The site is located on the side of Crown Hill at a height of 100m OD, on land which slopes down from the southeast corner, towards the north and northwest.

## 5 Summary of the Historical Background

### 5.1 Historical Background

5.2.1 The development area is located somewhat to the west of the medieval nucleus of activity. Stoke Golding is not mentioned in the Domesday survey of 1084. According to Nichols, writing in 1811 (p715), Stoke Golding was, at that time, a township of Hinckley, of whose parish it had been a chapelry. The chapel itself was rebuilt during the reign of Edward III (1327-1377) and is among the noted Decorated churches of Leicestershire. There is a reference to the village contained within an Itinerary of 1280, when 'Stoke, Higham and Upton answered collectively as one vill'. The manor itself seems to have had rather a complex history: in 1293 it passed from Nicholas de Warwick, to Alice, widow of William de Hinckley, in exchange for the manor of Fulbroke, Warwickshire, whilst in 1297, Edmund, Earl of Lancaster and brother of the King, held divers lands at Stoke. In 1342 the manor was held by Thomas Neville, passing then to the Woodfords. An inquest of 1506 found that it had been held by the Turvilles from the Hastings family.

### 5.2 Map Evidence

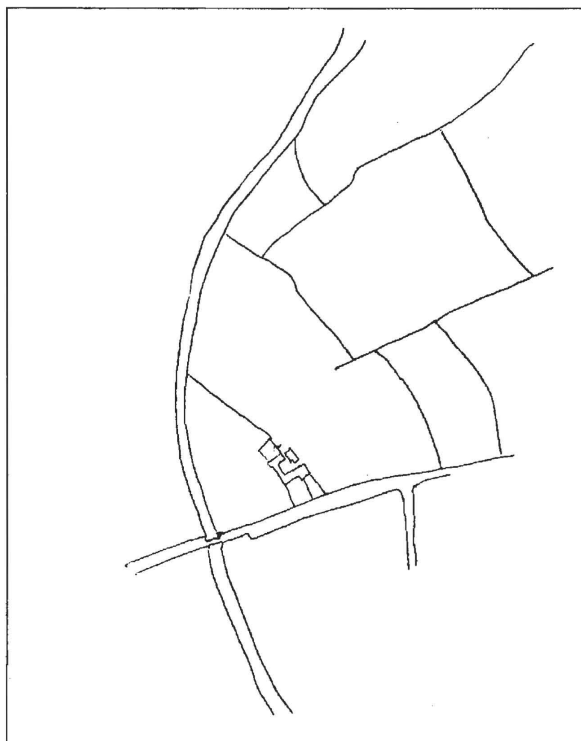


Figure 3. Extract from 1844 Tithe map of Stoke Golding parish (tracing; not to scale).

5.2.1 The earliest map to depict Crown Hills Farm, held by the Leicester, Leicestershire and Rutland Records Office, is the 1844 Tithe map of Stoke Golding parish (Figure 3), which lists the landowner and occupier as one Richard Warner. Although the map is not detailed, it appears to show the principal farm buildings as they stand at present, indicating little change to the basic layout of the complex since 1844.

5.2.2 The 1st edition Ordnance Survey map of 1888 (XXXV.14; Figure 4) shows Crown Hills Farm as it appears on the earlier Tithe map, with a little added detail, such as the divisions between the different barns. The layout is unchanged, with the exception of a small, square shaped barn adjoining the western gable end of Barn 5, now demolished. The 2nd edition map of 1903 (Figure 5) shows no further changes to the buildings.

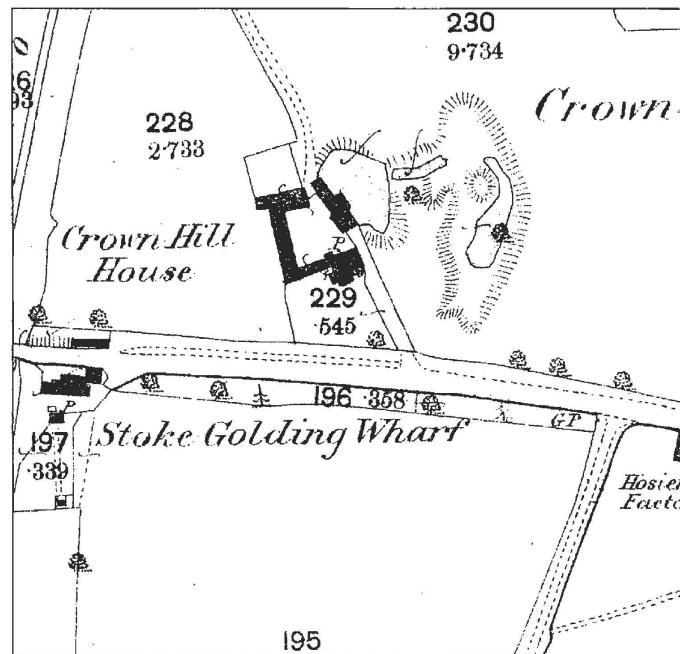


Figure 4. 1888 O.S. map XXXV.14 (not to scale)

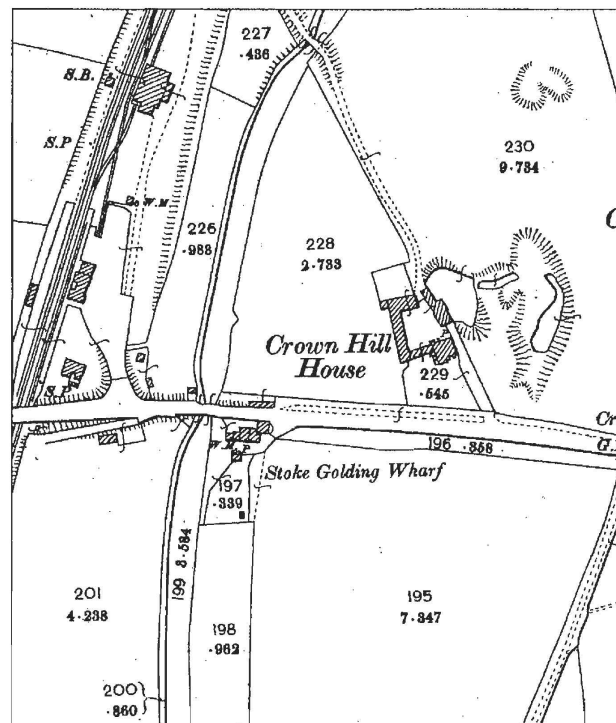


Figure 5. 1903 O.S. map XXXV.14 (not to scale)

5.2.3 The Ordnance Survey map of 1929 (Figure 5) shows two new buildings located against the west facing elevation of Barn 6 and indicates the demolition of the square barn located to the west of Barn 5, noted on the map of 1888.

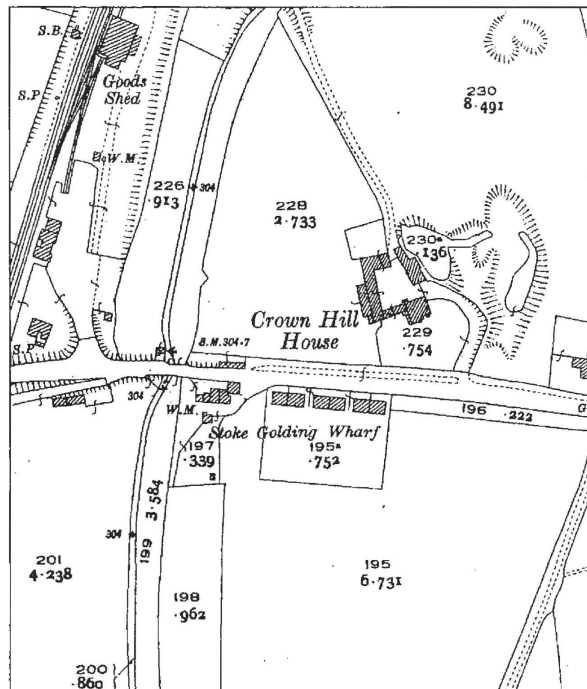


Figure 6. 1929 O.S. map XXXV.14 (not to scale)

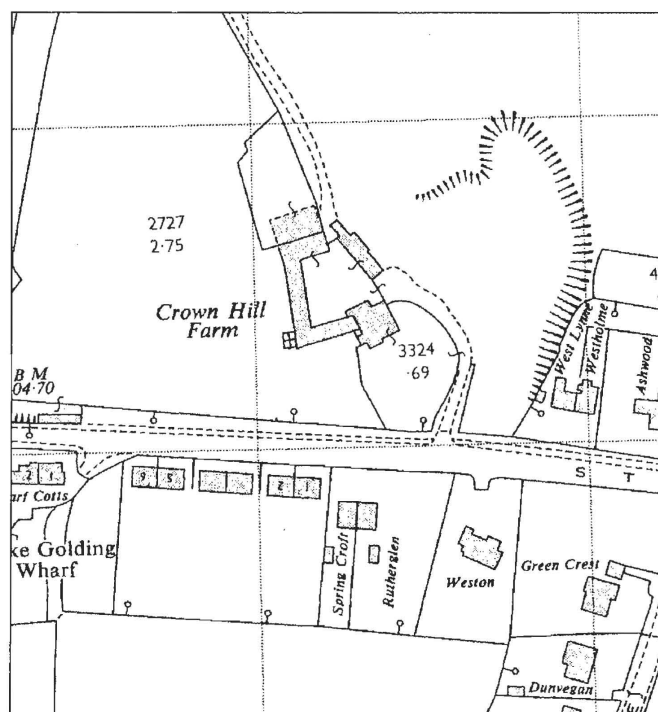


Figure 7. 1963 O.S. map SP3997 (not to scale)

5.2.4 The 1963 O.S map SP3997 (Figure 6) shows that the long barn to the west of Barn 6 has been demolished and depicts the Dutch barn, presently located to the north of Barn 5.

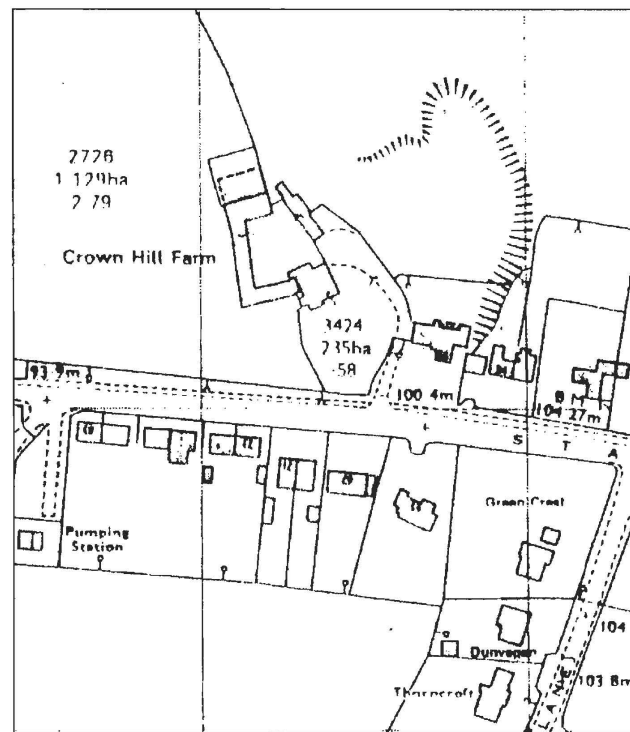


Figure 8. 1991 O.S. map SP3997 (not to scale)

5.2.5 The most recent Ordnance Survey map of 1991 shows the farmstead complex in its present state, with the only change since 1963 being the demolition of the small, square building (formerly a pigsty) located to the west of Barn 6.

## 6 Buildings Assessment

6.1 Although Crown Hills Farm lies within the boundaries of the Stoke Golding Conservation Area, none of its associated buildings are of listed status. As discussed above, the farm complex lies to the north of the main farmhouse and comprises a central farmyard enclosed by a series of associated auxiliary farm buildings, largely dating from the 18th century. The following account comprises a historic buildings assessment only of those elements that are proposed for redevelopment (barns 5-6 & 1-4; fig.), in order to assist the planning authority in making an informed decision on planning applications present and pending.

### 6.2 Barns 5 & 6 (Planning Application Number 05/00874/FUL)

#### Barn 5

Barn 5 is a large, brick-built threshing barn, of three-bay length and reaching two storeys in height, although the internal structural arrangement is open to the rafters. The farmyard elevation is plain: a single entrance is located within the centre bay, at ground floor level, consisting of a segmental arch-headed opening which house a pair of modern, ledged and braced timber doors. At first floor level, a to the left of



the entrance is a single, segmental arch-headed window opening, presently blocked with timber planking. To the right of the entrance, at first floor level, are two vents, composed of nine 'breather' holes in diamond-pattern formation. There is dentillation to the eaves-course and the roof covering is of flat, clay tiles. Barn 6 (see below) adjoins the threshing barn at the left-hand bay, projecting southwards at right angles to the farmyard.

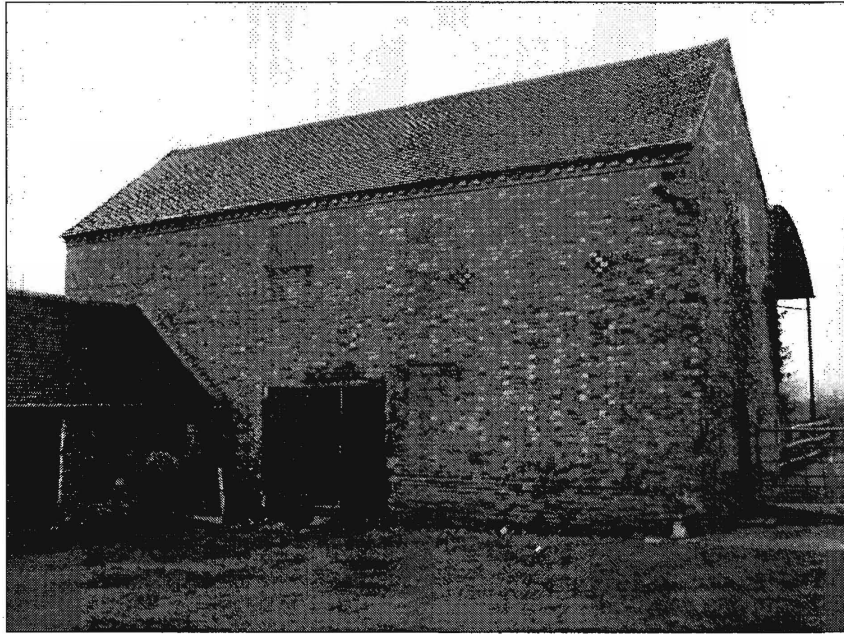


Plate 1. Barn 5, Courtyard elevation. Looking north.

The north facing, rear elevation has a full-length 'dutch-barn' extension, with curved, corrugated iron roof covering, projecting out towards the north. The brick-built element has a ground floor entrance within the centre bay, to correspond with that on the front elevation. This also has a segmental arch-headed opening and houses a single, late, ledged and braced timber door. At first floor level, a segmental arch-headed window opening is located in each of the outer bays. The opening to the left has a timber shutter, with apparently early strap-hinges: the opening to the right is blocked with timber planking. Also at first floor level, above the entrance, is an off-centred timber-framed, glazed window opening, partially concealed by the dutch-barn extension. Three diamond-pattern vents, similarly styled to those on the front elevation, are located to the right of the entrance; a fourth is located on the left-hand side and a final, plainer vent is located above the entrance.



Plate 2. Barn 5, Rear elevation. Looking south.

The gable ends are also plain in style. Each end has five diamond-pattern formation air vents, similar to those on the front and rear elevations. At the east-facing gable end, there is a centrally-located, segmental arch-headed window opening, at first floor level; there are no openings at the west-facing gable end. Both ends have dentillation following the line of the roof.



Plate 3. Barn 5, Truss 2. Looking west.

The internal arrangement comprises three bays, presumably originating as a central threshing bay, flanked on either side by bays for storage, which are defined by two principal roof trusses. Truss 1, on the eastern side, has a central king bolt, flanked by a pair of V-struts which rise from the tie-beam to meet the underside of the

principals. Truss 2 is more complicated: here the tie-beam is lowered, to incorporate framing for a doorway – evidence for a removed floor at tie-beam level, possibly for used for storage of hay or grain. A central king bolt rises from the collar which, in turn forms the head of the door and supports a pair of V-struts which rise to meet the underside of the principals, at the point where the upper purlins rest.

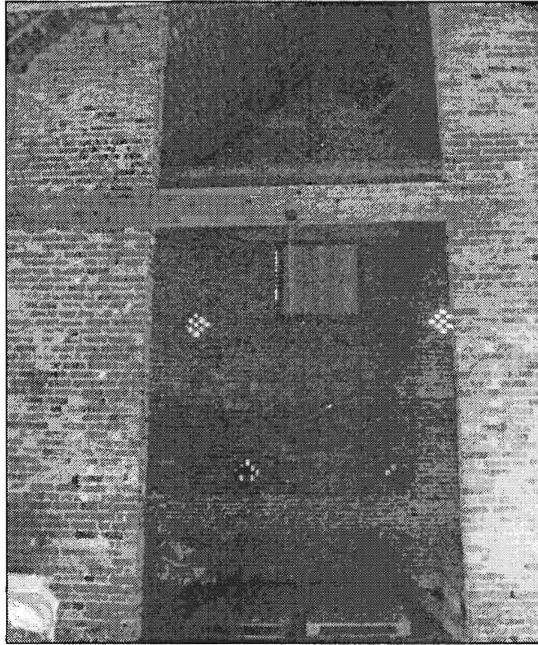


Plate 4. Barn 5, Truss 1, looking east.

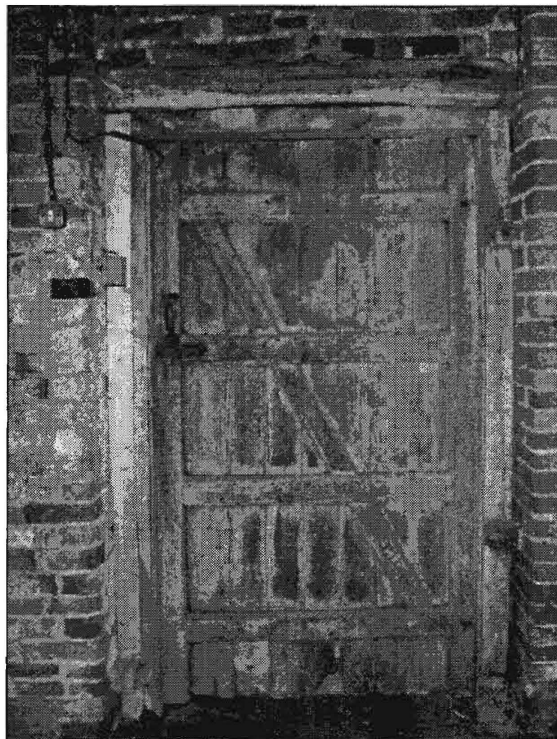


Plate 5. Communicating door between Barns 5 and 6. Looking south.

Set into the southern wall, within the western bay is a doorway through to Barn 6. This is an early opening, with timber door head and rounded bricks to the jambs.

Within the opening is an early ledged and braced timber door, which has early wrought-iron strap hinges, handle and latch.

*Barn 6*



Plate 6. Barn 6, looking west.

Barn 6 is a single storey cow-house of red-brick construction, consisting of eight-bays, which are separated internally by seven king-post roof trusses. The farmyard elevation presently has two door openings, one at either end of the range, each with a recent timber plank and batten door: in the centre of the range is evidence for a third doorway, now blocked with brick.

There are eight, square window openings, two on either side of each original doorway. There is brickwork blocking on either side of each window, and the indication is that each opening was made narrower, possibly around the turn of the 20th century, in order to provide increased support for the roof structure. The present openings house 4-pane, iron-frame windows, of apparent turn of the 20th century date also.





Plate 7. Partially blocked window openings, Barn 6. Looking southwest.

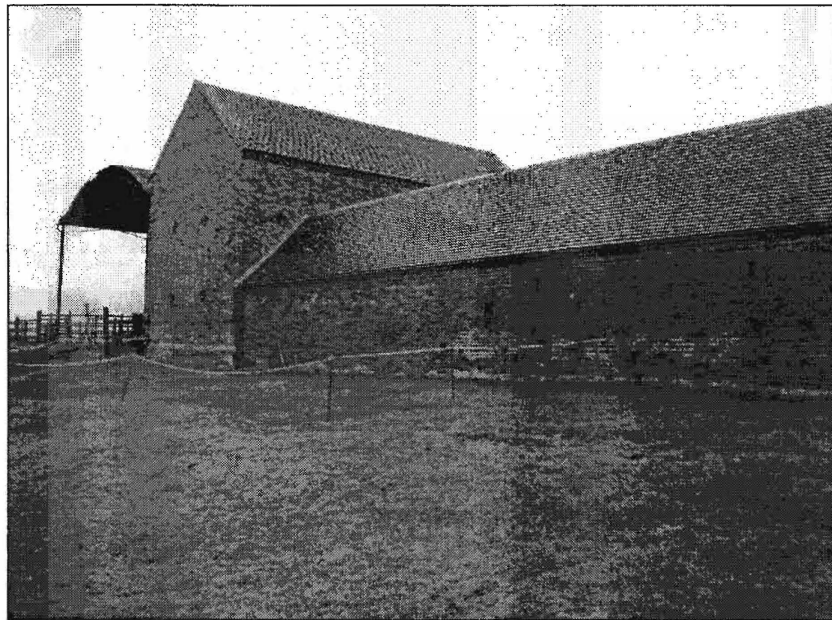


Plate 8. Barn 6, rear elevation. Looking north-east.

The west-facing, rear elevation is plain, with no openings present. At the southern end of the range there is evidence for the removal of a structure which would once have projected out from the wall towards the west- the present owner confirmed this to be the case and stated that the demolished building had been a pigsty. Evidence for a second structure, in the form of supports for timber joists and changes in the brickwork, is located further to the north. Map evidence (see 5.3, above) indicates that this was a long barn, aligned with Barn 6 and built between 1903 and 1929, demolished by 1963.

Barn 6 occupies the space between the southern stable block and Barn 5: there is an early communicating door in between (see above). The southern stable block has

not been proposed for redevelopment and was not, therefore, surveyed for the purposes of this report.

Inside the barn, on the eastern side, a single, longitudinal feeding passage runs along the full length of the building, with the western side divided into a number of stalls, separated by concrete partitions. Vertical iron bars, for the tethering of cattle, are fixed to the partitions and concrete mangers are located in between. Seven suspended king-post roof trusses divide the barn into eight bays - each truss is identical and of conventional form, comprising a central king-post bolted to the tie-beam, with a pair of raking braces which rise to meet the underside of the principals. The principals are bolted to the tie-beam and rise to meet the king-post, supporting a single order of purlins which are carried on cleats. Rafters are carried on the backs of the purlins and are replacement timbers.



Plate 9. Barn 6 roof truss. Looking north.

### **6.3    *Barns 1-4 (Planning Application pending)***

Barns 1-4 form a single range, aligned north/south and located along the eastern boundary of the farmyard. Each building diminishes in height from south to north, in accordance with the natural downward slope of the land in that direction. Barns 3 and 4, located to the northern end of the range are constructed of darker brick than Barns 1 and 2, which may indicate that the range was constructed during two phases- precise dating for their construction, however, is not known.



Plate 10. Barns 1-4 (from right to left). Looking east.

*Barn 1*

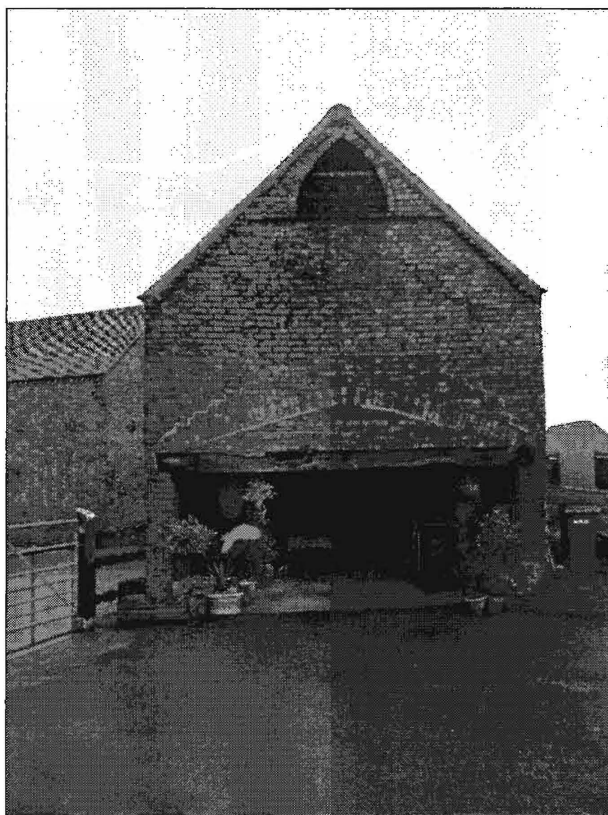


Plate 11 . Barn 1. Looking north.

Barn 1 is located at the southern end of the range and is of two storeys, with ground floor cart-shed and granary above. The cart-entrance is located at the south-facing gable end; above this are entrance holes for a pigeon-loft, which is located within the roof space (Plate 11). The farmyard elevation is plain: a single, segmental arch-headed doorway is located at ground floor level, at the northern end of the building,

which opens onto a flight of brick steps that lead up to the first floor granary. Two glazed window openings, with modern casements are located at first floor level; these interrupt a dentillated eaves course that is carried around the building to each elevation. The rear, east facing elevation has a single window opening, located at first floor level, towards the southern end of the building. The roof covering is of flat, clay tile.

The south-facing cart-entrance consists of a wide opening, with timber lintel and is topped by a relieving arch in rough brickwork. Inside the cart-house, the floor structure for the upper storey is visible and consists of a series of transverse beams which support the floor joists. The reed bedding for lime-ash flooring material can be seen between the joists. Evidence for a centrally-located supporting timber post, now removed, can be seen at the position of the first transverse beam.

Brick steps located at the northern end of the building lead up to the first floor level. The first floor is composed of three bays, defined by two roof trusses. At the top of the stairs, a length of re-used timber has been bolted to the wall-plates of the northern gable-end wall and the east-facing side wall, to form a hoist that would have been used to assist in raising heavy items up the steps to the first floor level (Plate 12).



Plate 12. Barn 1 winch. Looking northeast.

Truss 1, located at the northern end is of conventional king-post form similar to that observed within Barn 6 (above), with a pair of raking braces, rising from king-post to meet the underside of the principals. A series of vertical staves are positioned between the collar and principals, which provide a support for lath and plaster infill. The truss is infilled below the collar beam, to form two enclosed spaces; a centrally located doorway opening, with early plank and batten door, provides access between them.





Plate 13. Barn 1, Truss 1. Looking south.

Truss 2 is also of king-post form and is blocked with panels of lath and plaster infill to form the north wall of a pigeon loft, housed entirely within the roof structure. The collar beam here provides support for a number of floor joists which are set into the southern gable-end wall. The king-post forms one side of a small opening into the nesting area, which houses a plank and batten door; access for birds is provided by means of a number of holes in the southern gable-end wall of the building. The loft is fully enclosed on the eastern and western sides by means of lath and plaster partitions.

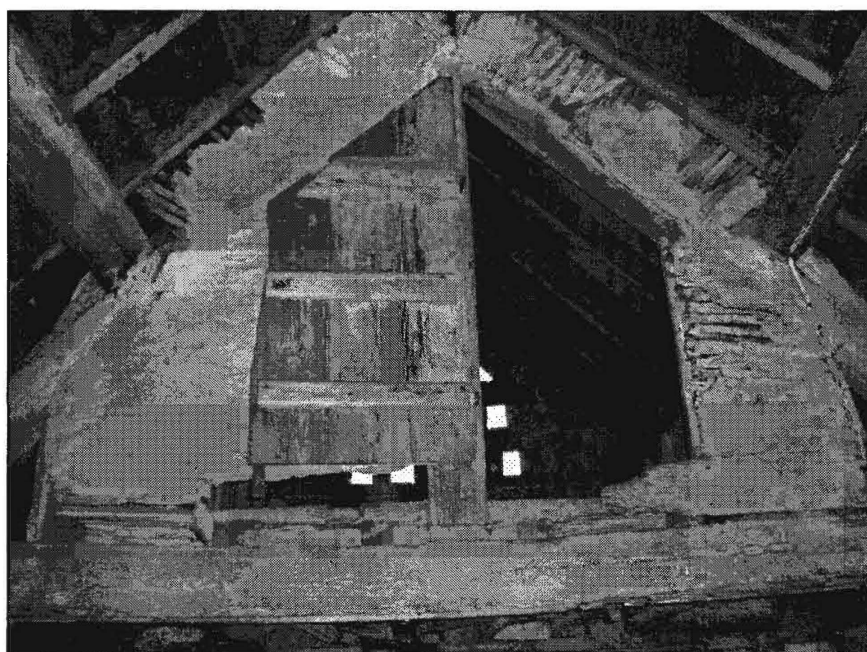


Plate 14. Barn 1 Truss 2 and Pigeon loft, looking south.



Plate 15. Barn 1 Pigeon loft, looking southeast.

### *Barn 2*

Barn 2 is a single storey stable block, extending from the northern gable end of Barn 1 and is of similar style, with dentillated eaves course to the farmyard elevation and to the north-facing gable end. The farmyard elevation has a single door opening, which houses a timber, plank and batten stable door; a single, glazed window opening is located on the rear, east facing elevation. The eaves course to the rear elevation is plain. Internally, there is a north/south timber partition to form separate stalls for two horses, with a timber hayrack located along the northern wall.



Plate 16. Barn 2. Looking north.

Along the southern wall are two segmental arch-arch headed openings onto storage space beneath the Barn 1 staircase. These are presently blocked with timber planks.

### *Barn 3*

Barn 3 is a single storey loose box, extending from the northern gable-end wall of Barn 2. A single doorway on the west-facing, farmyard elevation houses a modern timber, plank and batten stable door. There is dentillated brickwork to the north facing gable-end, to follow the line of the roof. Inside, the brickwork is painted white and there is an early brick-built manger along the eastern wall, with segmental arch-headed alcove providing storage beneath. A cast iron hay-rack is fixed to the north-eastern corner.

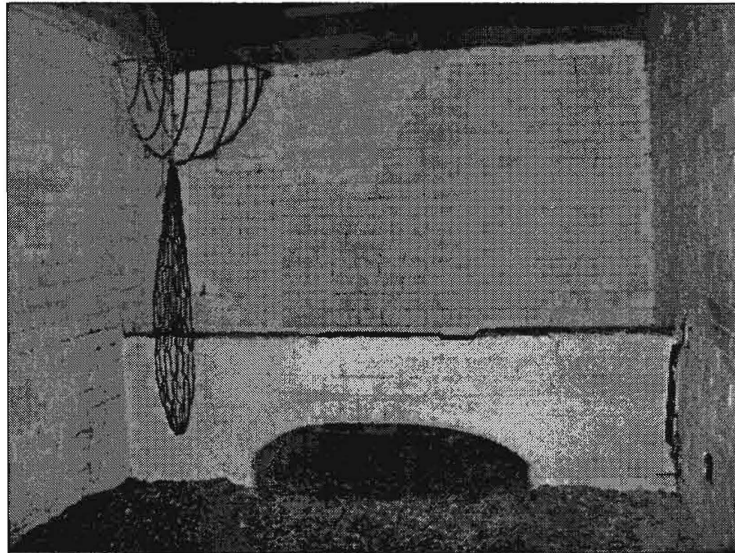


Plate17. Barn 3, looking east.

### *Barn 4*

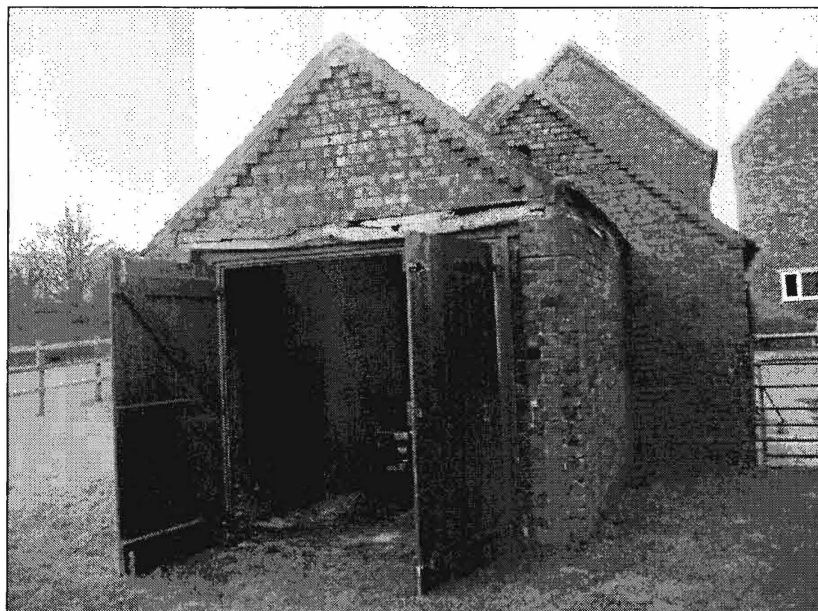


Plate 18. Barn 4, looking south.

Barn 4 is located at the northern end of the range of buildings, extending from the northern gable-end wall of Barn 3. This consists of a single storey cart shed, with cart entrance located at the northern gable-end wall. The cart entrance has an early timber lintel and houses a pair of modern, ledged and braced timber doors. Above the lintel are three horizontal bands of blue brick, which span the gable to meet decorative, dentillated brickwork, also of blue brick, which follows the line of the roof.

## **7 Summary of the Proposals**

### **Barns 5 and 6**

Planning application number 05/00874/FUL proposes the conversion of Barns 5 and 6 to form a single dwelling. This will involve breaking in new doors and windows through existing fabric, the insertion of two further floor levels within Barn 5, the construction of a staircase and the erection of a number of partition walls to divide the existing space. It is proposed to divide Barn 6 into two parts, with the northernmost four bays to be incorporated as part of the main dwelling. The bays to the south of the central blocked doorway will not be developed.

### **Barns 1-4**

A number of drawings have been produced which outline proposals to convert Barns 1-4 into a single dwelling, breaking through existing internal walls and erecting new partition walls to make full use of the present space. The supplied drawings are referred to for the purposes of this report: however, as a planning application has yet to be made for this conversion, proposals outlined herein may be subject to revision at some future stage.

## **8 Impact Assessment**

The proposed alterations are identified, based on a comparison of existing and proposed plans, as supplied by the developer, and the potential impact of these assessed. The results are presented barn by barn, for ease of cross-reference to the plans. The potential impact of each of the proposals is graded: *beneficial impact, minimal impact, limited adverse impact or significant adverse impact*.

### **8.1 Barn 5**

#### **8.1.1 Front elevation (Figures 9 & 10)**

**Proposal:** Existing roof tile to be re-used following roof replacement. Insertion of new rooflight and accommodation for flues and ventilation holes for new bathroom.

**Assessment:** Minimal Impact. Whilst alterations to the present roof will have an impact upon the historic fabric of the building, the re-use of existing roofing material will minimise the visual impact that these works may have. It has been noted that the proposed changes to the line of the roof are restricted to the front

elevation only, thus minimising the visual impact of the barn conversion within the surrounding landscape.

**Proposal:** The insertion of three new window openings at first floor level, through original fabric. New window and door to be fitted within existing openings.

**Assessment:** Minimal impact. Whilst new openings are to be broken through early fabric, no architectural details will be lost as a result: the present door and window fittings are modern replacement.

Overall, the choice of materials and style for new door and window openings will make a significant contribution to the appearance of the converted buildings: careful choice of appropriate style in suitable materials may enhance the appearance, whereas unsuitable or inappropriate choices could have a significant adverse impact.

#### *8.1.2 Rear elevation (Figs. 9 & 10)*

**Proposal:** The demolition of the Dutch barn extension.

**Assessment:** Limited adverse impact. The removal of this 20th century storage barn, whilst exposing the full façade of the earlier threshing barn, will result in the loss of a structure which, arguably, can be said to be an integral feature of the modern farmyard. As such structures tend to be a relatively late introduction to the farmyard complex, they are often more easily dispensed with, particularly as part of residential conversions: it could be argued, therefore, that the Dutch barn is a more rapidly diminishing resource than other farm buildings.

**Proposal:** The insertion of new doorway and window openings to ground floor. New door and windows to be fitted within existing openings.

**Assessment:** Limited adverse impact. The location of the new window will result in the loss of an original diamond-pattern vent. In addition to this specific impact, there is a broader issue related to the installation of new door and window openings, whereby the formation of new openings makes it difficult to 'read' the original function of a building from its external appearance, resulting in a loss in understanding of the historic significance of the building within its setting. This is particularly relevant in this instance, given the prominent position of Crown Hills Farm within the local landscape, as this rear-facing elevation represents the public aspect of Barn 5.

**Proposal:** New windows to be fitted within existing openings.

**Assessment:** Minimal impact: Present door and window fittings do not appear to be early: the choice of materials to be used in replacing them may affect the overall visual impact of the development (see above).

#### *8.1.3 East facing elevation (Figs. 9 & 10)*

**Proposal:** Insertion of new window at ground floor level. New window fitted in existing opening at first floor level.



**Assessment:** Minimal impact. See above

#### 8.1.4 Interior (Figs. 2 & 11)

**Proposal:** Division of the internal space to create first and second floor levels. Ground floor to remain largely open in plan, with partition walls installed at western end to create kitchen and utility areas.

**Assessment:** Beneficial impact. The division of the barn interior appears to have been designed to reflect the previous use of the building, re-creating the sense of space by leaving much of the first floor open to the rafters, and restricting the provision of a second floor level to the western side, in the same position as the former storage area (now demolished). It has been indicated by the developer that the present roof trusses are to be retained as part of the conversion.

### 8.2 Barn 6

#### 8.2.1 Front Elevation (Figs. 9 & 10)

**Proposals:** Former doorway opening in centre of range to be unblocked. New doors to be fitted to this and existing doorway opening.

**Assessment:** Minimal impact. The present arrangement of windows is not original but appears to be an early modification. The blocking of the central doorway appears to have occurred during a more recent episode. In one respect, returning the window openings to their original dimensions, in conjunction with opening the blocked doorway, could be considered as a beneficial impact, in returning the building to something closer to its original appearance. However, as it is proposed only to re-open those windows located in the northern part of the building, there is the danger of disrupting the present uniform appearance and symmetry of the front elevation – it could also be argued that the proposals to reopen the windows to their original dimensions may result in the loss of historic testimony for the subsequent development of the building. Further to this, some consideration should be given as to the reasons why the windows were originally modified – several of the roof trusses lie above window positions and the narrowing of the window openings may have been a response to perceived or manifest structural instability arising from this arrangement.

The final visual impact of the development may also depend upon the materials chosen for the replacement doors and windows (see above).

#### 8.2.2 Interior (Figs. 2 & 11)

**Proposals:** Removal of concrete stall divisions and mangers. Insertion of partition walls to form separate bedroom, bathroom and cloakroom spaces.

**Assessment:** Minimal impact. It has been indicated by the developer that the early timber door which communicates between Barns 5 and 6 is to be retained and used

within the conversion. The stalls within the cow-shed are not early, apparently formed of cast-concrete during the 20th century.

### **8.3    *Barns 1-4***

#### **8.3.1 *Farm yard and rear elevations (Figs. 9 & 12)***

**Proposal:** The supplied drawings show no changes between the existing front and rear facing elevations and these elevations as proposed – the supplied plans, however, show a number of new windows proposed for the rear elevation in particular. It is concluded that a full set of finished drawings for this conversion has yet to be produced.

**Assessment:** Needs clarification.

#### **8.3.2 *South-facing gable-end (Figs. 9 & 12)***

**Proposal:** To block the Barn 1 cart-entrance opening by means of three full-height French windows, separated by brick piers. Doorway opening to be inserted within protruding south-facing gable-end of Barn 2.

**Assessment:** Minimal impact. The full-height windows and the retention of the timber lintel will respect the dimensions of the original opening. The visual impact of this proposal will depend upon the materials chosen for the new doors and windows (see above).

#### **8.3.3 *North-facing gable-end (Figs. 9 & 12)***

**Proposal:** New doorway opening to be inserted within protruding north-facing gable end of Barn 2. Existing timber doors to Barn 4 cart-shed to be replaced by new glazed doors and windows.

**Assessment:** Minimal impact. The full-height windows and the retention of the timber lintel will respect the dimensions of the original opening. The visual impact of this proposal will depend upon the materials chosen for the new doors and windows (see above).

#### **8.3.4 *Interior (Figs. 2 & 12)***

##### **Ground floor**

**Proposals:** Removal of brick wall between Barns 3 and 4. New doorway openings between Barns 3 and 2 and also between Barns 1 and 2. Partition walls to be inserted within Barns 1 and 2, to divide the space into kitchen, study and entrance hall areas.

**Assessment:** Limited adverse impact. These proposals will result in the loss of an original internal wall between Barns 3 and 4, in addition to the loss of early internal

features such as the brick-built manger and alcove in Barn 3 and the timber stall partitions and feeding racks in Barn 2.

#### First floor- Barn 1

**Proposals:** Insertion of partition walls to create two bedrooms and a bathroom within the existing spaces.

**Assessment:** Further information required: details of new windows and roof lights may need to be amended (see above) - the supplied drawings, for example, show no means of lighting the proposed bathroom. Some clarification is needed as to the proposed treatment of the present roof trusses and the dove-loft. Ideally these would be retained intact: this was the stated intention of the owner at the time of the site visit, although as the plans have yet to be finalised, this intention may not be implemented. In addition to this, given the state of the state of the gable-end wall and the floor structure within Barn 1 (Plate 11), it is clear that immediate remedial repairs are required, which could potentially impact upon the dove-loft.

## 9 Conclusion

### Defining Significance

Crown Hills Farm is good example of an early farmstead complex, located within the Conservation Area of Stoke Golding, outside the historic village core. The present arrangement dates back at least as far as 1844, as indicated by the parish Tithe map of that time and some of the buildings certainly appear to be earlier: the principal farmhouse itself contains elements dating back to the 17th century.

Changes in agricultural practices over the last 50 years, in addition to population pressures to create more housing mean that many farm buildings, such as the examples at Crown Hills Farm are being lost or converted and, as such, represent a diminishing archaeological and historical resource of the post-medieval period (Barnwell 1997).

### Assessing Impact

As a general comment, the proposed scheme appears to be sensitive to the architectural and historic character of the farm buildings, working broadly with, rather than against the existing structures. Most of the proposals would appear to have a minimal or negligible impact upon the architectural integrity of the farm buildings: proposals considered as having a potentially (limited) adverse impact are those which result in the loss of early architectural features, those which detract from the character of a building to the extent that its original function can no longer be 'read' from the external appearance and those which seek to return a building to a perceived 'original state'.

The scope of any further archaeological work should be discussed with the Leicestershire County Council Planning Archaeologist.



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- Campbell, J. W. P., 2000 *Naming the parts of post-medieval roof structures*. *Vernacular Architecture* 31. 45-51.
- Morris, J. (ed) 1979 *Domesday Book: Leicestershire*. Phillimore, Chichester.
- Nichols, J. 1811 *The History and Antiquities of the County of Leicester*. Vol. IV. Part ii. London.

## 11 Sources

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*Ordnance Survey Geological Survey of Great Britain Sheet 155*

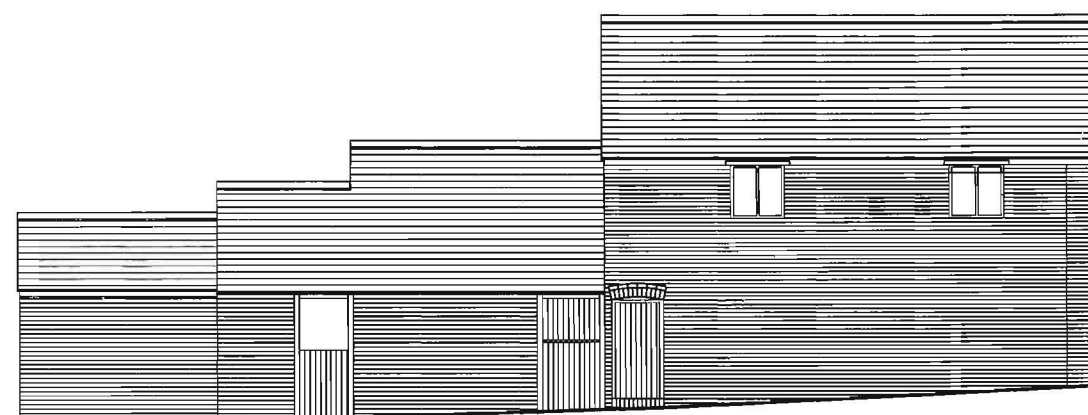
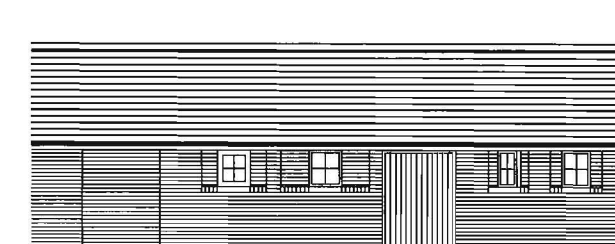
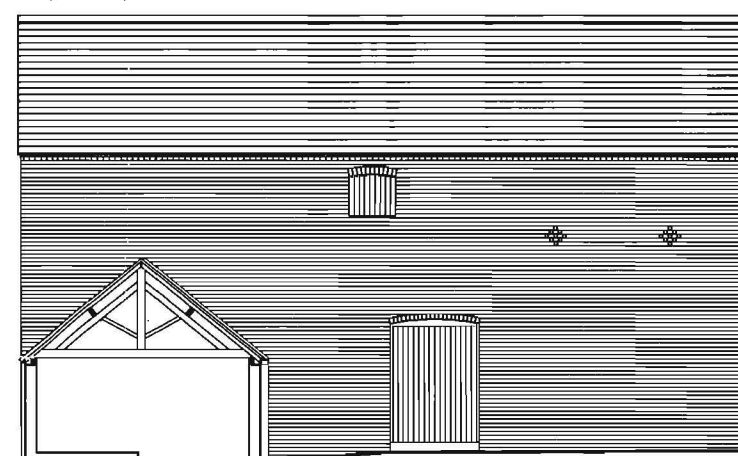
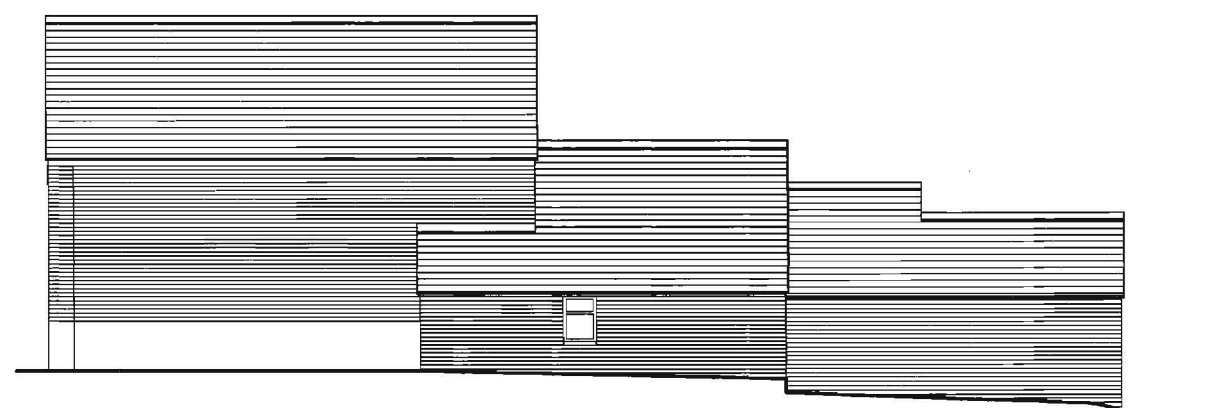
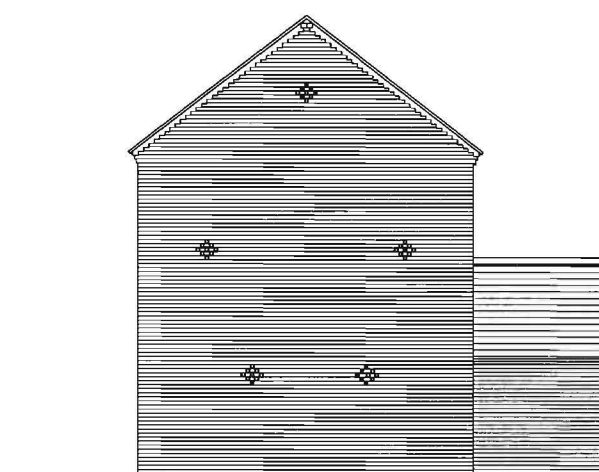
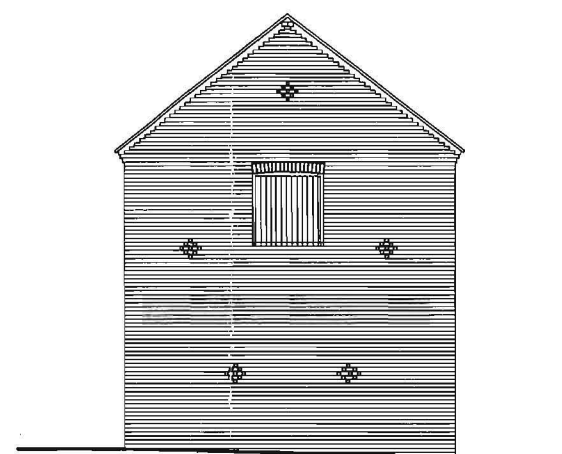
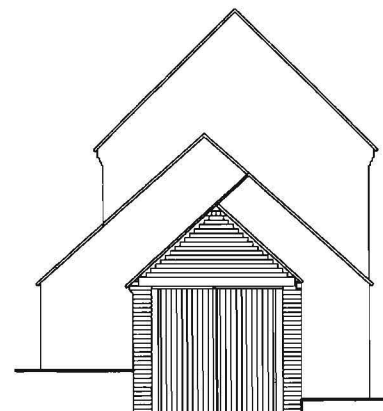
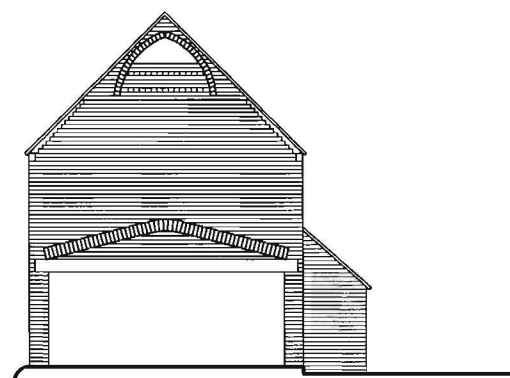
*OS maps: 1:50000 OS landranger map 140 Coventry and Rugby*,  
1:2500 maps Leicestershire Sheet Nos. XXXV.14 (1888,1903, 1929) SP3997 1963 and 1991.

Site Plans (Savage Hayward Chartered Architects)

Sophie Clarke  
University of Leicester Archaeological Services (ULAS)  
University of Leicester  
University Road  
Leicester LE1 7RH

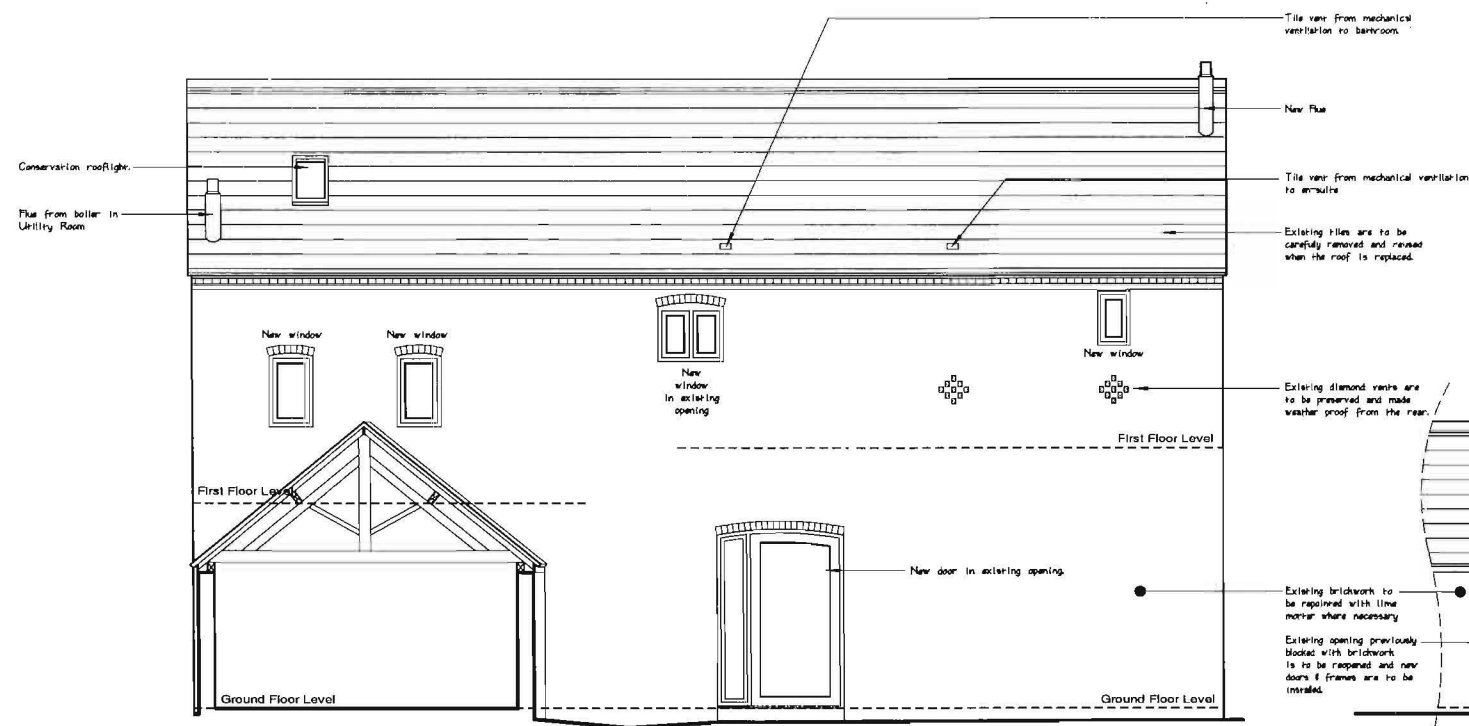
Tel:0116 252 2848  
Fax: 0116 252 2614  
Email: sjc46@le.ac.uk

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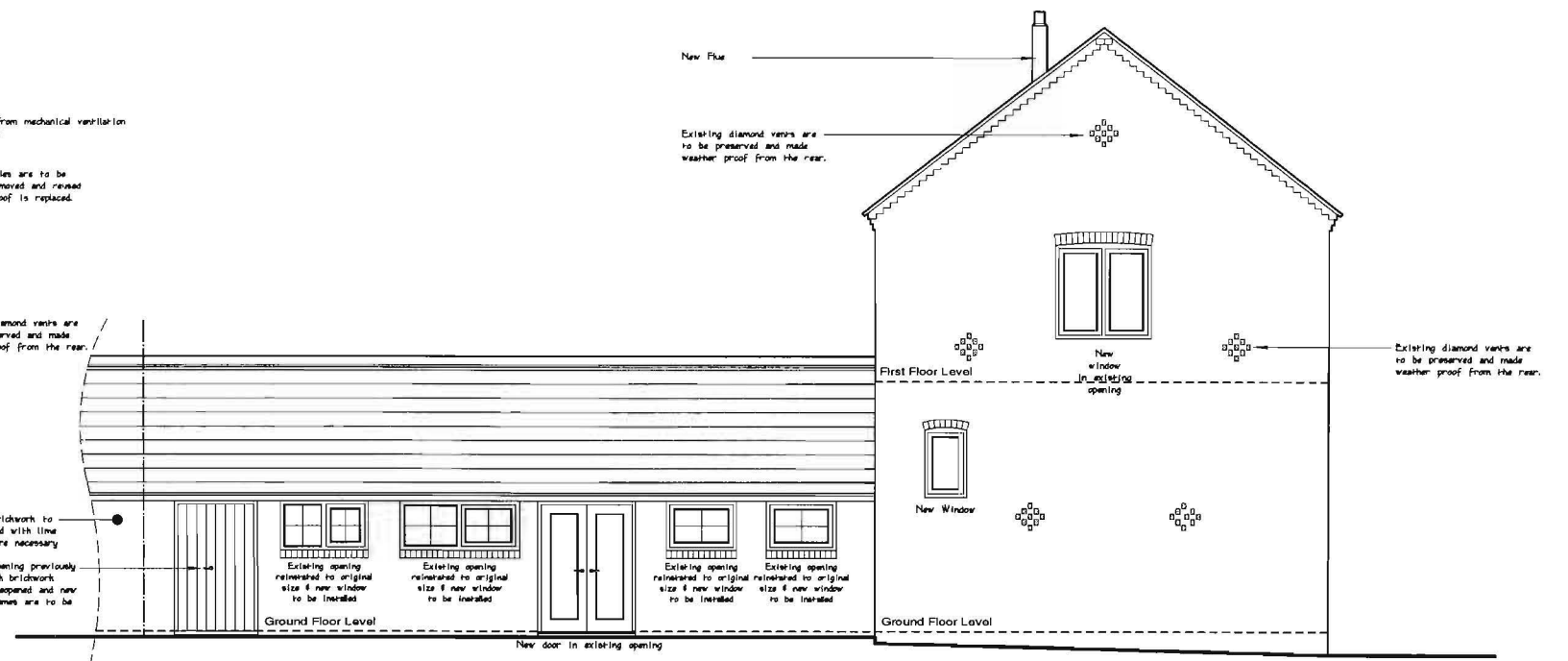


10.	PERSON	DATE	<p>THIS CHANGE IS THE REPRESENT OF BIRTH DEATHS          MARRIAGE OR FIRST A PREVIOUS MARRIAGE FROM A PREVIOUS MARRIAGE OF THE COMPANY IT          DO NOT SCALE FROM BIRTH AND ONLY FILLING CHANGES ARE TO BE LISTED</p>
			<p>INDUSTRY</p> <p>Mr. &amp; Mrs D Hughes,          Crown Barn Conversions,          Crown Hill Farm, Stoke Golding.</p>
			<p>INDUSTRY</p> <p>Elevations</p>
			<p>DATE</p> <p>July 2003</p>
			<p>NAME</p> <p>CONSUME</p>
			<p>SCALE</p> <p>1:100</p>
			<p>SAVAGE          HAYWARD          CHARTER          ARCHITECTS</p> <p>10 STATION ROAD          HIGH CROFT          LEICESTER LE10 3          TEL:01452 6350          FAX:01452 6180</p>

Figure 9. Elevation Drawings of Barns 1-6 as existing. Supplied by developer (not to scale).

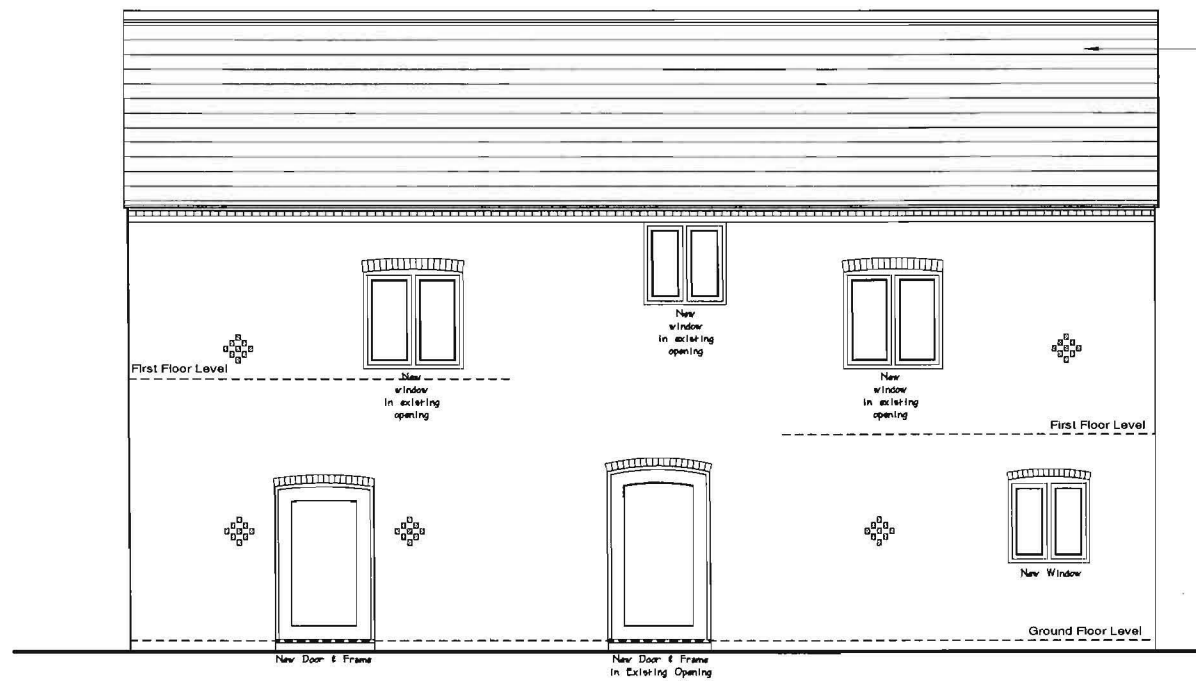


Front Elevation to Barn 5 & Section GG

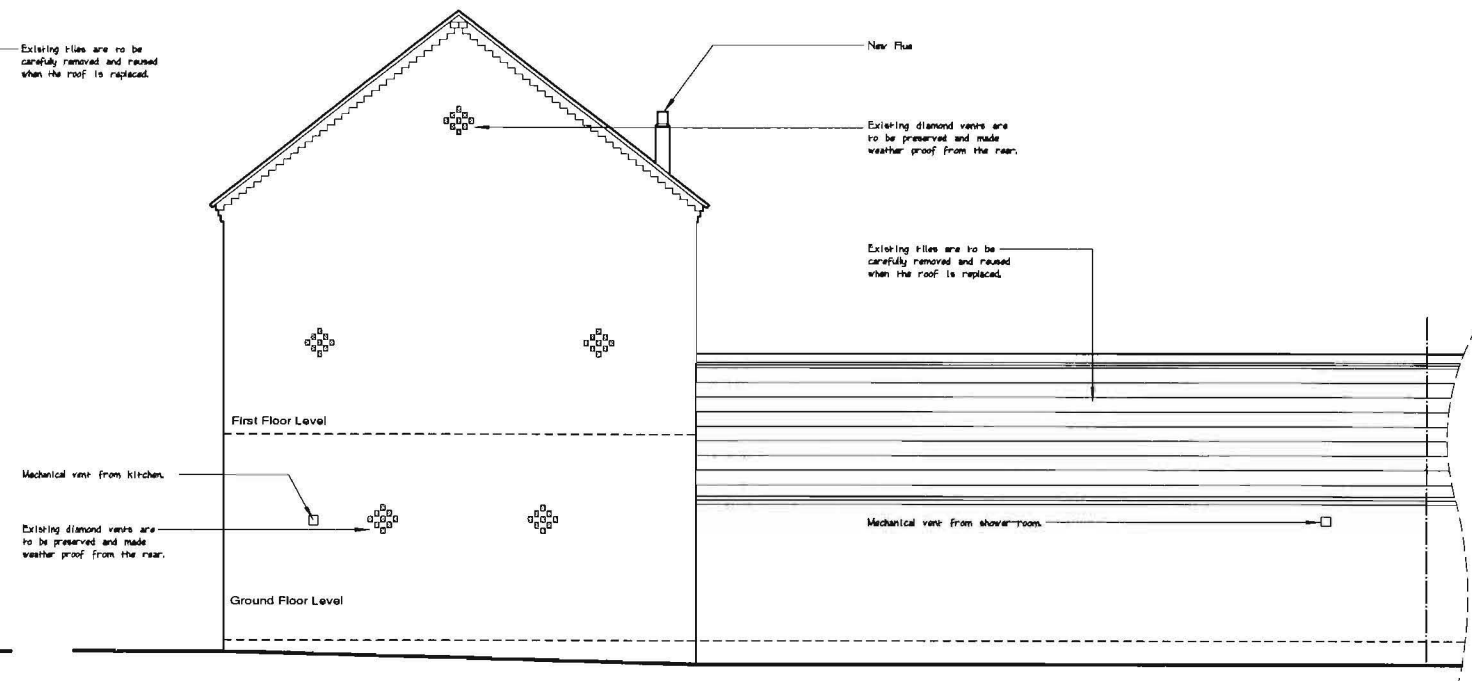


Part Front Elevation to Barn 6

End Elevation to Barn 5



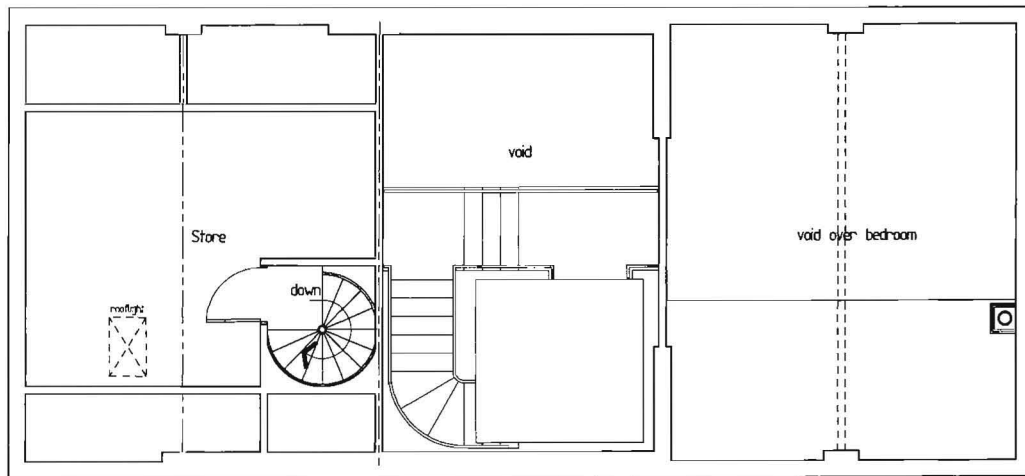
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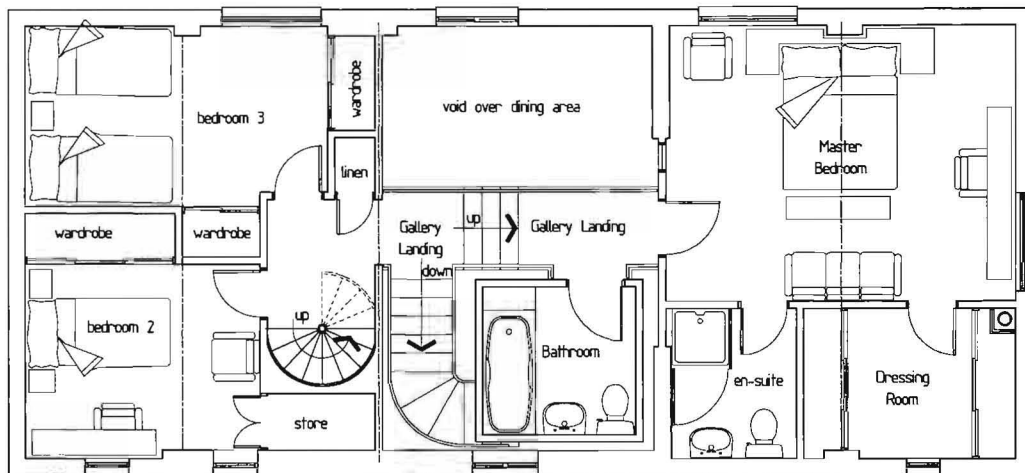
End Elevation to Paddock to Barn 5

S A V A G E H A Y W A R D			
ARCHITECTS			
19 Station Rd Hinckley, Leicestershire, LE10 1AW, 01456 636665, FAX: 01456 616971			
Client	Mr & Mrs D. Hughes		
Project	Proposed Barn Conversion Crown Hill Farm, Stoke Golding, Nuneaton		
Drawing	Elevations as Proposed		
Auth	MEJA	Date	20.01.05
Scale	1:50	Job No	03 65
			Drawing No <b>08 L</b>

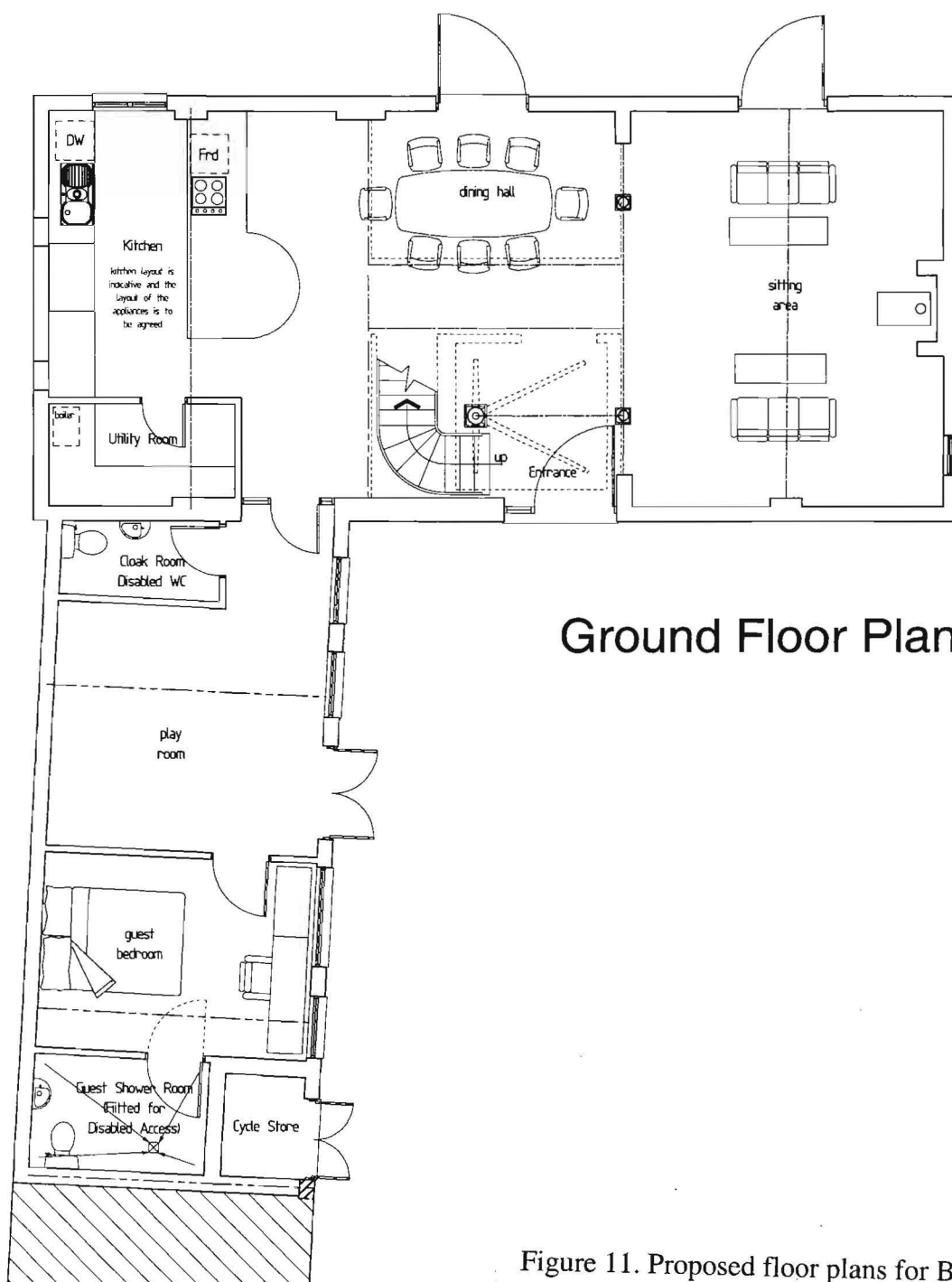
Figure 10. Elevation Drawings of Barns 5 and 6 as proposed. Supplied by developer (not to scale).



Second Floor



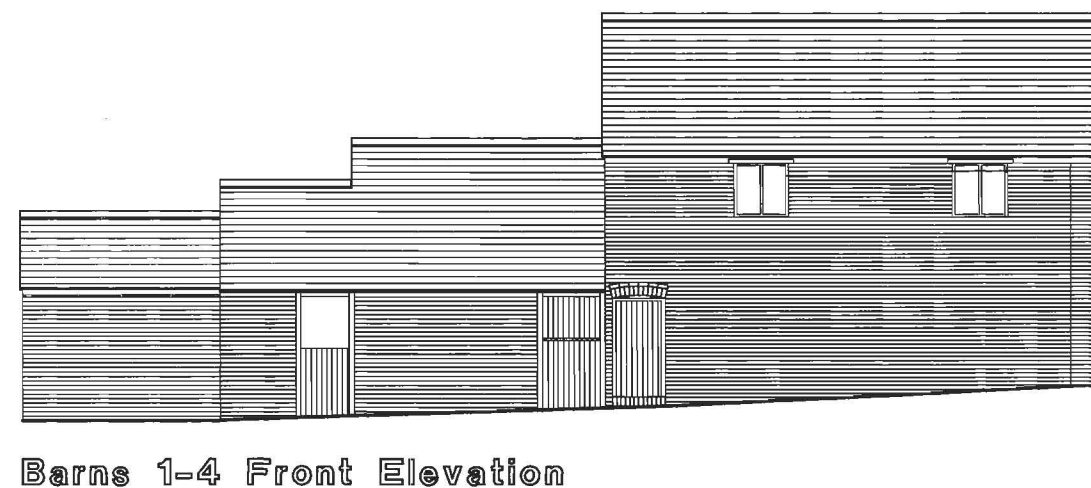
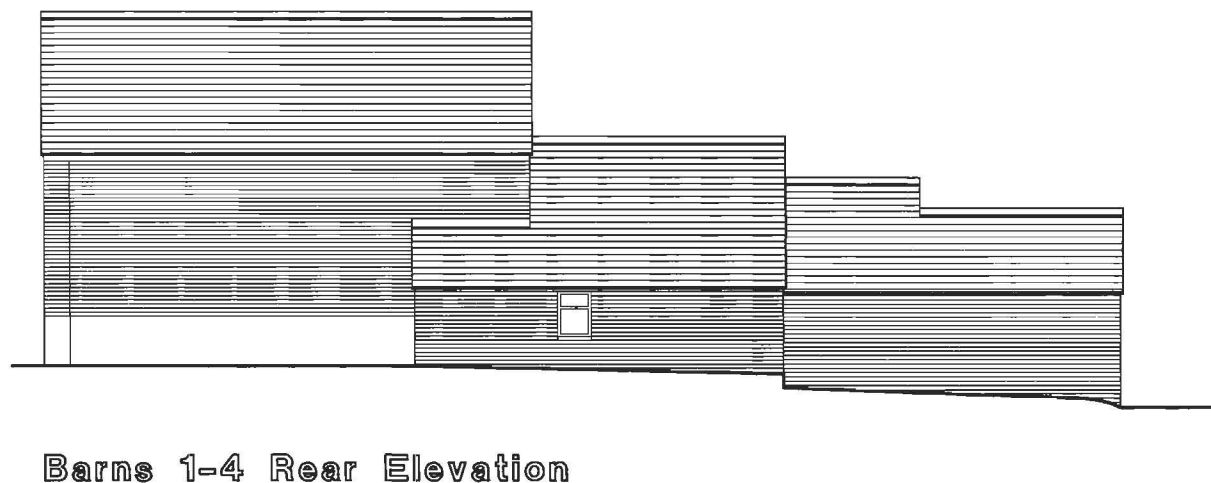
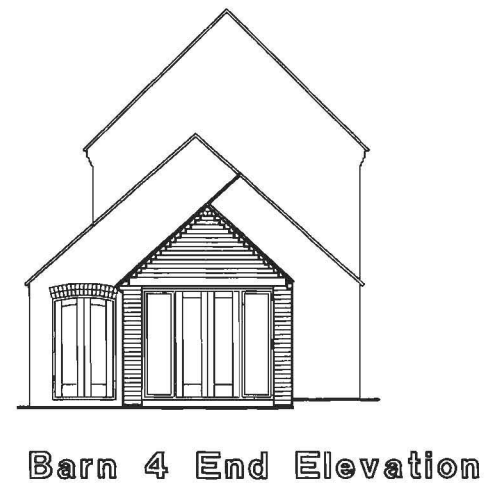
First Floor



Ground Floor Plan

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19 Station Rd Hinckley, Leicestershire, LE10 1AW, 01455 835865, FAX: 01455 819971			
Client		Mr & Mrs. Hughes	
Project		Barn Conversions Crown Hill Farm, Stoke Golding	
Drawing		Plans & Section	
Auth	MEJA	Date	Nov 2004
Scale	1:50	Job No	03 65
			Drawing No <b>05 L</b>
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Figure 11. Proposed floor plans for Barns 5 and 6. Supplied by developer (not to scale).



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PROJECT  
Mr & Mrs D Hughes,  
Crown Barn Conversions,  
Crown Hill Farm, Stoke Golding.

DRAWING  
Project Plans.

DATE  
July 2003

CODE  
03/65/05

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Ground Floor Plans

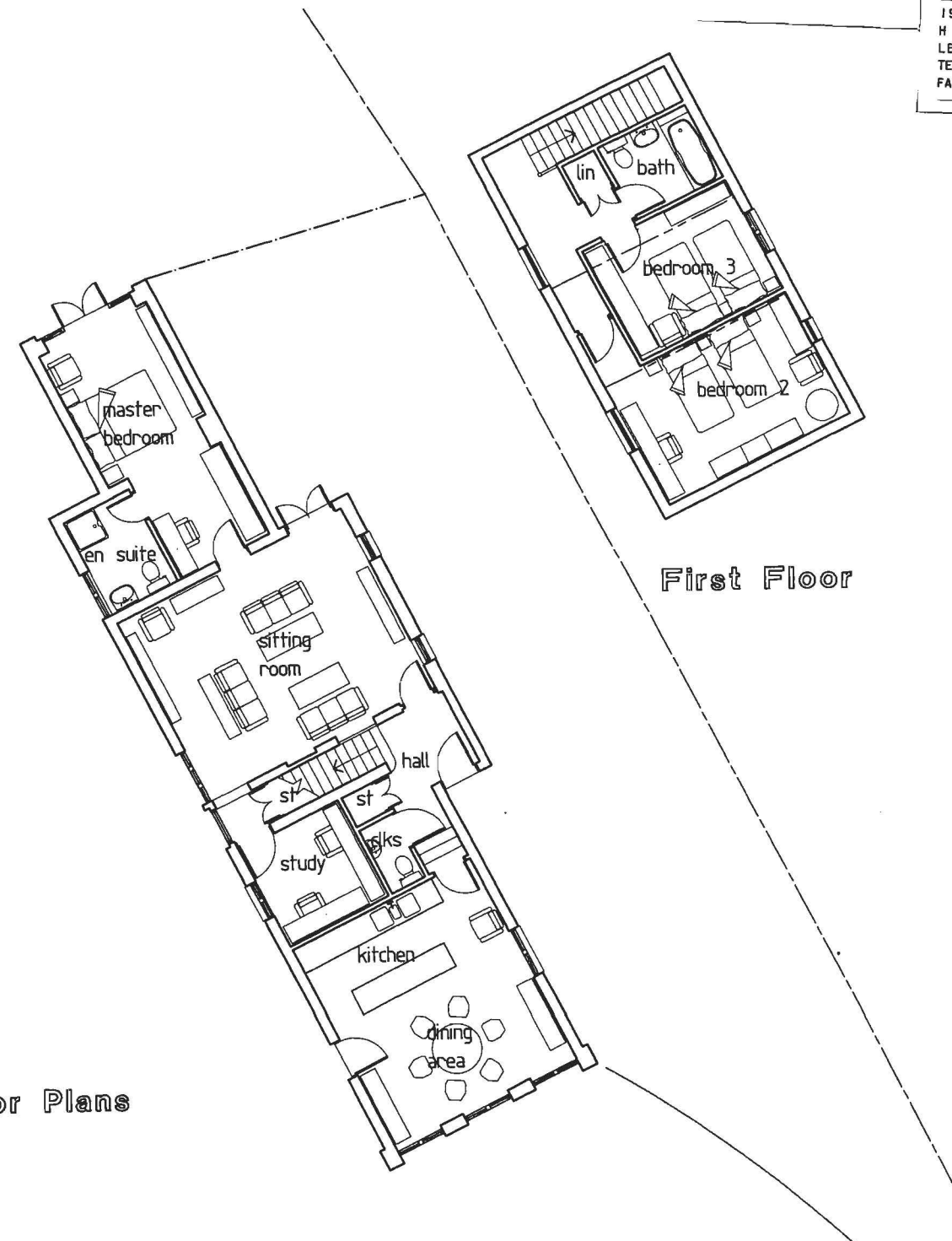


Figure 12. Elevation and Floor plan drawings of Barns 1-4 as proposed. Taken from plans supplied by the developer (not to scale).