

**Ivy House barns and stable complex,  
Biggin-by-Hartington, Newhaven,  
Derbyshire**

**Built Heritage Assessment**



General view of Ivy House Barns, Newhaven, Derbyshire

**ARS Ltd Report 2011/111**  
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## ***Executive Summary***

*In November 2011 Archaeological Research Services Ltd were commissioned by Ben Neves of Neves Architects on behalf of Mervyn and Debbie King to undertake a Built Heritage Statement in support of an application for Listed Building Consent at Ivy House barns and stables complex, Newhaven, Derbyshire.*

*Ivy House barns and stables complex is a Grade II Listed Building (LBS Number: 80527) located to the east of Ivy House which is another Grade II Listed Building (LBS Number: 80526). The barn and stable complex was included within the overall listed entry for group value only. Historical records indicate that Ivy House was originally built as a coaching inn in the early 19<sup>th</sup> century. Around the mid 19<sup>th</sup> century, Ivy House became a residential place as specified by contemporary trade directories. Ivy House barns and stables complex developed into a farmstead in the late 19<sup>th</sup> century. The original fabric has undergone a number of different agricultural uses and modifications to the fabric over time. The barns and stable complex has formed part of the farmstead until recent time although they are now vacant and have undergone evident neglect.*

*It has been established that the proposed development site has regional-national historic and architectural significance. The re-development programme intends to convert the premises into holiday cottages. Most of the original joinery and features of the building have been altered and/or removed over the years. Re-insertion of features should be carried out sympathetically considering the original architectural style of the building. Considering the present situation of the building, which is now vacant and partially neglected, a proposed sympathetic programme of work represents an opportunity to secure the future of the building and will enhance the character and appearance of the Listed Building and the National Park.*

## 1 Introduction

1.1 A planning application for the development of a range of barns and stables east of Ivy House, Biggin-by-Hartington, Newhaven, Derbyshire (NGR: SK 16562 59416, Fig. 1), is to be proposed to the Peak District National Park Authority. Ivy House barns and stables complex is a Grade II Listed Building (LBS Number: 80527) located to the east of Ivy House which is another Grade II Listed Building (LBS Number: 80526). The barn and stable complex was included within the overall listed entry ‘for group value only’. When making a listing decision, the Secretary of State may take into account the extent to which the exterior contributes to the architectural or historic interest of any group of buildings of which it forms part. This is generally known as ‘group value’. The Listed Building entry reads as below:

*Early C19. Coursed limestone rubble with gritstone dressings and quoins. Hipped slate roof with lead flashings to east and north. Asbestos sheets to south range. Two storeys, U-plan. Advanced central section to east range. Three quoined doorcase with rebates, all now blocked. Above northern door, similar doorcase. To south, timber lintel in stonework with flush hayloft opening beyond. To either side, quoined doorcases, with flight of stairs beyond to similar upper doorcases. Projecting wings to either side, of three bays. Quoined doorcases with flush windows to sides. Blocked flush hayloft openings over. To south, additional lean to. Included for group value only. (Full copy of the Listed Building entry is contained within the Appendix I of this statement).*

1.2 The Peak District National Park Authority has advised that a Built Heritage Statement should be undertaken to supply information on the special architectural and historic significance of the building and its setting. The Built Heritage Statement has been carried out in accordance with government guidance on archaeology and planning (PPS 5).

1.3 The assessment comprised a site visit in order to compile analytical descriptions, documentary research to provide back up evidence of date and function, and an evaluation of architectural and historic significance based on the existence or non-existence of statutory and non-statutory designations and also on the author’s professional judgement formulated by a substantial experience of historic building analysis.

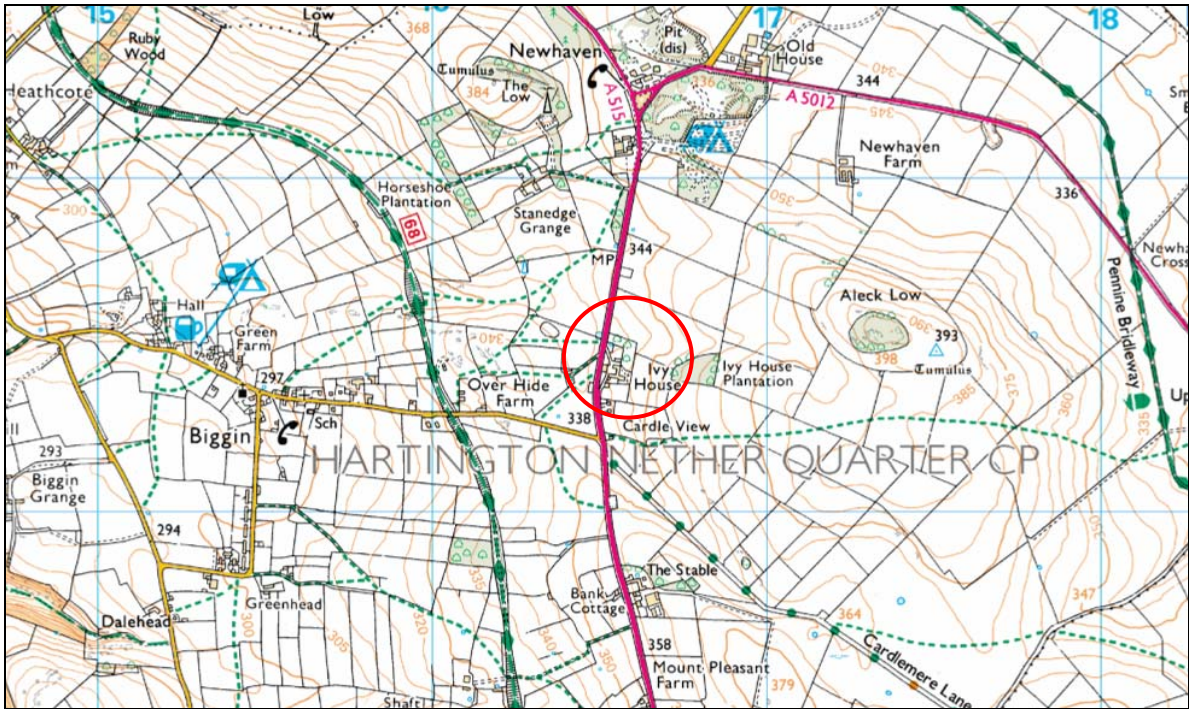


Figure 1: Location plan of Ivy House

## 2 Planning Policy Context

2.1 Planning Policy Statement 5: Planning for the Historic Environment (March 2010) provides a statement of Government guidance on the effects of new development on historic environment. It defines the historic environment in term of heritage assets to be conserved in accordance with a set of principles and in proportion to their significance and value.

2.2 Policy HE6 sets out the information requirements for applications affecting heritage assets. HE6.1 states that applications should ‘provide a description of the significance of the heritage assets affected and the contribution of their setting to that significance’. The policy states that this description should be ‘sufficient to understand the potential impact of the proposal on the significance of the heritage asset’.

2.3 Policy HE7 outlines policy principles to guide the determination of applications for consent relating to all heritage assets. Policy HE7.2 states that ‘in considering the impact of a proposal on any heritage asset, local planning authorities should take into account the particular nature of the significance of the heritage asset and the value it holds for this and future generations’. The consideration given to this significance should be used by the local planning authority ‘to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposals’.

2.4 Policy HE7.5 requires that ‘Local planning authorities should take into account the desirability of new development making a positive contribution to the character and local distinctiveness of the historic environment. The consideration of design should include scale, height, massing, alignment, materials and use’.

2.5 Policy HE9 relates to the applications for consent affecting designated heritage assets. Policy HE9.1 confirms the presumption in favour of conserving designated heritage assets noting that this should be proportionate to their significance. Policy HE9.4 identifies that when there is less than substantial harm to the significance of a designated heritage asset the local authority should consider:

- 1 The benefit of the proposal; and
- 2 The justification of any harm in proportion to significance.

2.6 Policy HE9.5 recognises that not all elements of a Conservation Area will necessarily contribute to its significance. The policy states that ‘when considering proposals, local planning authorities should take into account the relative significance of the element affected and its contribution to the significance of the Conservation Area as a whole’.

2.7 The Listed Building and Conservation Areas Act (1990) indicates that:

- (1) Works for the alteration or extension of a listed building are authorised if—
  - (a) written consent for their execution has been granted by the local planning authority or the Secretary of State; and
  - (b) they are executed in accordance with the terms of the consent and of any conditions attached to it.
- (2) Works for the demolition of a listed building are authorised if—
  - (a) such consent has been granted for their execution;
  - (b) notice of the proposal to execute the works has been given to the Royal Commission;
  - (c) after such notice has been given either—
    - (i) for a period of at least one month following the grant of such consent, and before the commencement of the works, reasonable access to the building has been made available to members or officers of the Royal Commission for the purpose of recording it; or
    - (ii) the Secretary of the Royal Commission, or another officer of theirs with authority to act on their behalf for the purposes of this section, has stated in writing that they have completed their recording of the building or that they do not wish to record it; and
  - (d) the works are executed in accordance with the terms of the consent and of any conditions attached to it.

### **3 Historical overview**

3.1 The hamlets of Biggin, Heathcote and Newhaven comprise the civil parish of Hartington Nether Quarter, in the Derbyshire Dales district of Derbyshire. Historical records indicate that Ivy House was originally built as a coaching inn in the early 19<sup>th</sup> century. Around the mid 19<sup>th</sup> century, Ivy House became a residential place as specified by contemporary trade directories. White’s directory issued in 1857 mentions Ivy House within the Hartington Nether Quarter Township’s entries as ‘Ivy House, formerly the Bull’s Head Inn, half a mile S. from Newhaven, is now a handsome private residence’; dwelt in by ‘Kirkham Joseph’.

3.2 The Ivy House complex developed into a farmstead in the late 19<sup>th</sup> century as indicated by Kelly's directory issued in 1891 which reports 'Stubbs William, farmer, Ivy House' within the commercial entries of Biggin.

3.3 The present footprint of the main Ivy House complex appears to be illustrated on the first edition of the Ordnance Survey map issued in *c.* 1880s. The referred map shows a long lean-to range within the southern wing of the stable/barn complex (of which only a section currently survives). The lean-to has been modified in recent times as it is depicted in a series of Ordnance Survey maps including an edition issued in the 1970s. The original lean-to range is also depicted in a historic photograph available from The Kings at Ivy House's website <<http://www.thekingsativyhouse.co.uk/ivy-house-location.html#>> prior to its alteration.

3.4 The barn/stable ranges to the rear of the house have formed part of the farmstead until recent time although they are now vacant and have undergone evident neglect.

## **4 Building description**

4.1 The proposed re-development programme intends to convert the vacant premises into holiday cottages. This consists of a large 'L-shaped' range which would have originally been part of the rear stables pavilion of the original coaching inn. The entire stables pavilion consists of a 'U-shaped' range of which the northern wing has been fully refurbished into workshop and garaging/storage area. The re-development works is proposed for the remainder eastern and southern wings, although they are both integral to the original design (Fig. 2).

4.2 The building complex is built with coursed limestone squared blocks with gritstone dressing and quoins, including projecting eaves. There are large fissures amongst the walls which might have been caused by the insertion and dismantlement of later abutments when the site became a farmstead containing additional steel structures. The masonry is also fairly damaged in places as there are numerous limestone blocks delaminated. This might have been caused by incorrect bedding, as some of the blocks have been laid face-bedded with the strata on edge and parallel to the face of the wall, creating the action of spalling flakes from the surface of the stone. Frost action might have also increased the shattering, particularly following the initial spalling. The present roof consists of metal and corrugated sheeting which replaced the original slated tiles as seen in a historic photograph included in the listing records (Appendix I).

4.3 The eastern wing is composed of a central and slightly taller and wider range of four-bays and two storeys with a hipped roof (Block 2), which is flanked by smaller projections (Blocks 1 and 3) of which the northern one has lost its upper storey and has now a shallow mono-pitched metal roof. The west elevation of Block 2 had been altered with the insertion of a large central opening with a timber lintel (Fig. 3). The opening is currently blocked with roughly hewn coursed limestone rubble and contains a stable doorway equivalent to the remainder doorcases of the ground floor. Above the lintel there is a poorly repaired/rebuilt masonry section. The lower section of the stable doorways are blocked up, modifying them into window openings instead. There are several ventilation slots.



4.4 The rear ground level has been considerably raised (*c.* 1 to 1.50m in height) with a made-ground deposit which partially blocks the original opening within the entire east elevation of Blocks 1, 2 and 3 (Figs 4 – 7). Therefore, the reduction of this later made-ground deposit would re-establish its primary appearance and function.

4.5 The upper section of the east elevation of Block 3 also has a large area which might have recently been rebuilt (Fig. 4). There is a considerable crack along the southern quoins and a quoin block slightly misplaced as the result of having been knocked over. The east elevation of Block 2 also contains an equivalent large opening with a timber lintel and several ventilation slots (Fig. 5). It is suggested that the central range (Block 2) was altered into a threshing barn containing a central threshing floor with opposing doors for winnowing. Subsequently, the function of this range changed and the large doorways were blocked up.

4.6 The northern projection (Block 1) has suffered severe alterations as its upper storey no longer exists. Traces of its original pitched stone flashing can be seen within the northern wall of the central range (Fig. 6).

4.7 The upper section of Block 1 has uncoursed limestone rubble rather than being composed of regular masonry present within the remaining walls. This alteration would have taken place sometime in the latter part of the 20<sup>th</sup> century when the original roof was dismantled and replaced later with the present type. The primary hipped roof can be seen in the historic photograph available from The Kings at Ivy House's website <<http://www.thekingsativyhouse.co.uk/ivy-house-location.html#>> prior to its alteration.

4.8 Further alterations within Block 1 include the insertion of concrete blocks forming the present northern elevation of the wing (Fig. 7).

4.9 Internally, the masonry consists of random uncoursed roughly hewn limestone rubble throughout the entire blocks. Block 1 contains three large timber bridging beams. It is unknown whether these are set within their original location as they are supported by timber pads along the western wall (Fig. 8) but are devoid of them within the eastern wall (Fig. 9). It is suggested that these beams might have been associated with the present modified lean-to roof, instead of being the original bridging beams.

4.10 The southern projection (Block 3) has suffered substantial alterations including the insertion of raised concrete platforms for livestock on the ground floor. It has four original timber bridging beams supporting the floor above (Fig. 10). It is suggested that the existing floor arrangement would have been equivalent within Block 1 prior to its substantial alteration involving the insertion of the current roof.

4.11 Block 2 contains several inserted RSJ girders creating floor spaces. The eastern wall is currently propped up with several timber planks. The original roof structure consists of king-post trusses, bolted to the tie-beams, carrying six tiers of staggered trenched side purlins (Fig. 11). The structure is in good to moderate state of preservation. However, the upper floor structures are currently unsafe due to previous rain water penetration.

4.12 The southern wing (Blocks 4 and 5) is comparable to the eastern counterpart although is somewhat plainer (Fig. 12). The north elevation is severely damaged and part of the upper wall of Block 4 has collapsed (Fig. 13). This would have occurred recently as a

photograph taken in 2003, as part of the Images of England project, shows the entire wall standing (see Appendix I).

4.13 There is a small lean-to (Block 6) abutting the north elevation (Fig. 14) which is connected to the adjacent milking parlour (Block 4). The lean-to appears depicted from the first edition of the Ordnance Survey map issued in *c.* 1880s. However, its mono-pitched roof might have been modified at a later period as it partially obscures an original window opening above and furthermore, the present slated roof appears to be a modern replacement (Fig. 15).

4.14 The south elevation of the southern wing (Blocks 4 and 5) has been modified with several later insertions, including several doorways, and blocking original window openings. Below the eaves, there are a series of RSJ girders cut flush with the wall which would have been part of a later steel abutment (Fig. 16). This elevation contains several cracks within the masonry. There is a short lean-to (Block 7) which appears to have been used as a pig sty. Block 7 would have originally extended eastwards as indicated by the cartographic records aforementioned (see section 3), and by a series of scars within the wall including several sockets for timber beams and a partially incised window sill which would have accommodated the apex of the lean-to extension (Fig. 17). Furthermore, the original lean-to can be seen in the historic photograph available from The Kings at Ivy House's website <<http://www.thekingsativyhouse.co.uk/ivy-house-location.html#>> prior to its alteration. The re-development work proposed to construct similar pens, to provide discrete enclosures for the individual cottage holiday lets, which would restore its original appearance.


4.15 The west elevation of the southern wing (Block 5) is currently 'ribbon' pointed which is a later unsightly alteration (Fig. 18). The hard lines of raised ribbon pointing serve no purpose of benefit to the stone and have a rather aggressive appearance. In very poor random rubble masonry it is difficult to avoid buttering mortar over some areas of face but it is not good practice and can trap moisture behind mortar and damage the stone. The most pleasing results can be achieved by pointing the joints flush and then after the initial set stippling the surface so that it is slightly recessed.

4.16 The interior of Block 4 has been substantially modified into a milking parlour with several insertions including a large concreted pit (Fig. 19). The southern wall has an additional veneer of brickwork which might have been constructed in order to support the rotten beam ends of the above floor. The upper floor is structurally unsound and the roof structure is comparable to the eastern wing although with two side purlins as it is narrower (Fig. 20).

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Site: Ivy House Barns  
 Drawing Ref:  
 Date: 09 November 2011  
 Drawn: AMO  
 Scale: 1:200 @ A3

Figure 2: Location plan of Ivy House barns and stables complex

Key:  
 Proposed development structures

Notes:  
 Initial survey drawing supplied by Remap Survey Ltd.

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Figure 3: West elevation of the eastern wing with the central range (Block 2)



Figure 4: Detail of rebuilt area within the east elevation of the eastern wing (Block 3)



Figure 5: Central area of the east elevation of the eastern wing (Block 2)



Figure 6: Detail of quoins and northernmost section of the eastern wing (Block 2)



Figure 7: Modern alterations within the north section of the eastern wing (Block 1)



Figure 8: Bridging beams supported by timber pads within the northern section of Block 1



Figure 9: Opposite side of the bridging beams without support pads (Block 1)



Figure 10: Southern ground floor of the eastern wing (Block 3)



Figure 11: General view of the central roof structure of Block 2



Figure 12: North elevation of Block 5





Figure 13: Detail of collapsed wall within the north elevation of the southern wing (Block 4)



Figure 14: Small lean-to (Block 6) abutting the north elevation of the southern wing (Block 4)



Figure 15: Detail of the slated roof of the small lean-to structure (Block 6)



Figure 16: General view of the southern wing



Figure 17: Southern wing with lean-to structure (Block 7) abutting the west and south elevations



Figure 18: Detail of the west elevation of the southern wing (Block 5)



Figure 19: Internal view of the milking parlour (Block 4)



Figure 20: Roof structure of the southern wing (Block 4)

## **5 Assessment of the Heritage Asset**

5.1 Ivy House was possibly built as a coaching inn in the early 19<sup>th</sup> century. Around the mid 19<sup>th</sup> century, Ivy House became a residential dwelling as specified by contemporary trade directories. The Ivy House complex developed into a farmstead in the late 19<sup>th</sup> century. The barn/stable ranges to the rear of the house have formed part of the farmstead until recent time although they are now vacant and are semi-derelict.

5.2 The site and its setting have regional-national architectural and historic significance due to group value only. Indeed, the Ivy House barns and stable complex is a Grade II Listed Building which forms part of a group with the adjacent Ivy House (also Grade II Listed Building). It is also within the boundaries of the Peak District National Park.

5.3 The majority of the proposed alterations will be in the interior of the building, and are minor in the context of the overall development. It is intended to retain the existing openings. Sympathetic alterations will have little impact on the significance of the heritage asset and the conversion of the building will enhance the Listed Building and its setting, by preventing the site falling into disuse.

5.4 On consideration of the above it is apparent that the application proposals would have a negligible negative impact on the special architectural and historic interest of the building.

5.5 Considering the present situation of the building, a sympathetic programme of work represents an opportunity to secure the future of the building, and will enhance the character and appearance of the Listed Building and surrounding area.

5.6 Appropriate mitigation measures may be requested by the Local Planning Authority to record architectural features prior to their removal and to establish the presence/absence and record any archaeological deposits encountered during any ground-works.

## **6 Publicity, Confidentiality and Copyright**

6.1 Any publicity will be handled by the client.

6.2 Archaeological Research Services Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

## **7 Statement of Indemnity**

7.1 All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

## **8 Acknowledgements**

8.1 Archaeological Research Services Ltd would like to thank all those involved with the project, especially Mervyn and Debbie King and Ben Neves of Neves Architects for commissioning the work.

## **9 References**

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White 1857. Trade Directory Derbyshire.

## APPENDIX I: ENGLISH HERITAGE LISTING

### Images of England



© Mr Donald Pittman

IoE Number: 80527

Location: RANGE OF BARNs AND TWO STABLES EAST OF IVY HOUSE FARM,  
BUXTON ROAD (east side)

HARTINGTON NETHER QUARTER, DERBYSHIRE DALES, DERBYSHIRE

Photographer: Mr Donald Pittman

Date Photographed: 08 September 2003

Date listed: 27 July 1984

Date of last amendment: 27 July 1984

Grade II

The Images of England website consists of images of listed buildings based on the statutory list as it was in 2001 and does not incorporate subsequent amendments to the list. For the statutory list and information on the current listed status of individual buildings please go to [The National Heritage List for England](#).

SK 15 NE PARISH OF HARTINGTON NETHER QUARTER BUXTON ROAD 10/97 (East Side) Range of Barns and two stables east of Ivy House II Farm GV Barns and stableblocks, now farmbuildings. Early C19. Coursed limestone rubble with gritstone dressings and quoins. Hipped slate roof with lead flashings to east and north. Asbestos sheets to south range. Two storeys, U-plan. Advanced central section to east range. Three quoined doorcase with rebates, all now blocked. Above northern door, similar doorcase. To south, timber lintel in stonework with flush hayloft opening beyond. To either side, quoined doorcases, with flight of stairs beyond to similar upper doorcases. Projecting wings to either side, of three bays. Quoined doorcases with flush windows to sides. Blocked flush hayloft openings over. To south, additional lean to. Included for group value only.

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**OASIS ID: archaeo15-175378**

### Project details

Project name	Ivy House barns and stable complex, Biggin-by-Hartington, Newhaven Derbyshire. Built Heritage Assessment
Short description of the project	Built heritage assessment of grade II listed building farm buildings
Project dates	Start: 01-11-2011 End: 02-11-2011
Previous/future work	Not known / Not known
Type of project	Building Recording
Monument type	BARN Post Medieval
Significant Finds	NONE None
Methods & techniques	"Photographic Survey"
Prompt	Listed Building Consent

### Project location

Country	England
Site location	DERBYSHIRE HIGH PEAK HARTINGTON UPPER QUARTER Ivy House, Biggin-by-Hartington, Newhaven, Derbyshire
Study area	100.00 Square metres
Site coordinates	SK 1656 5941 53.131301047 -1.75246673098 53 07 52 N 001 45 08 W Point

### Project creators

Name of Organisation	Archaeological Research Services Ltd
Project brief originator	Local Planning Authority (with/without advice from County/District Archaeologist)
Project design originator	Archaeological Research Services Ltd
Project director/manager	Gareth Davies
Project supervisor	Alvaro Mora-Ottomano

### Project archives



Physical Archive Exists? No  
Digital Archive Exists? No  
Paper Archive Exists? No

### Project bibliography

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