

137 – 149 Cross Street, Sale
Greater Manchester

Historic Building Assessment



The Waggon and Horses, Cross Street, Sale.

ARS Ltd Report 2015/27

March 2015

OASIS ID: archaeol5 – 206111

Compiled By:

Alvaro Mora-Ottomano

Archaeological Research Services Ltd

Dunham House

Cross Street

Sale

Greater Manchester

M33 7HH

admin@archaeologicalresearchservices.com

www.archaeologicalresearchservices.com

Checked By:

Dr. Robin Holgate

Tel: 0161 976 2544

Fax: 01629 814657



137 – 149 Cross Street, Sale, Greater Manchester

Historic Building Assessment

ARS Ltd Report 2015/27

Archaeological Research Services Ltd

Contents

Executive Summary.....	4
1 Introduction.....	5
2 Planning Policy Context.....	7
3 Methodology.....	9
4 Historical background.....	10
5 Building description.....	14
5.1 Waggon and Horses Public House.....	14
5.2 House number 145.....	20
6 Assessment of the Heritage Asset.....	31
7 Conclusion.....	33
8 Publicity, Confidentiality and Copyright.....	33
9 Statement of Indemnity.....	33
10 Acknowledgements.....	34
11 References.....	35
APPENDIX I: SPECIFICATIONS AND OASIS FORM.....	36

© ARS Ltd 2015

List of Figures

Figure 1: General site location (circled).....	6
Figure 2: Plan of the site showing the Waggon and Horses Public House and house 145.....	6
Figure 3: Phased plan of the site.....	11
Figure 4: Burdett map 1777.....	12
Figure 5: Ordnance Survey map 1876 showing the Waggon and Horses Inn (PH) and house 145.....	12
Figure 6: Ordnance Survey map 1956.....	13
Figure 7: Photograph of the Waggon and Horses c.1900.....	13
Figure 8: Photograph of the Waggon and Horses taken in 1982.....	14

List of Plates

Plate 1: Front elevation of the former Waggon and Horses Public House along Cross Street.....	15
Plate 2: Rusticated brick wall with principal doorway, looking north-west (scale 2m).....	16
Plate 3: Principal doorway within the front elevation, looking north-west (scale 2m).....	16
Plate 4: Detail of capitals and arched head, looking north-west (scale 1m).....	17
Plate 5: South-west gable wall, looking north (scale 2m).....	17
Plate 6: Rear view of the Waggon and Horses Public House, looking east (scale 2m).....	18
Plate 7: Amalgamated structures to the rear of the Public House, looking south-east (scale 2m).....	18
Plate 8: General view of the north-east elevation with several chimney stacks, looking south-west.....	19
Plate 9: North-east elevation, looking south-west (scale 2m).....	19
Plate 10: General view of house number 145 along Cross Street, looking north-east (scale 2m).....	21
Plate 11: Front elevation of house 145, looking north-west (scale 2m).....	22
Plate 12: Detail of window opening within the first floor, looking north-west.....	22
Plate 13: South-west gable wall with reduced chimney stack, looking north (scale 2m).....	23
Plate 14: Detail of construction joint, looking north-east.....	23
Plate 15: Rear elevation partially obscured by a later extension, looking east.....	24
Plate 16: Part of the rear elevation viewed from inside a later extension, looking south-east.....	24
Plate 17: South-western room within the ground floor, looking south-west (scale 2m).....	25
Plate 18: South-western room within the ground floor, looking north-east (scale 2m).....	25
Plate 19: North-eastern room within the ground floor, looking south-east (scale 2m).....	26
Plate 20: Truncated chimney breast within the north-western room of the ground floor.....	26
Plate 21: South-western room within the ground floor, looking south-west (scale 2m).....	27
Plate 22: Staircase to the first floor, looking north-east (scale 2m).....	27
Plate 23: First floor showing the lobby approached by the staircase, looking north-east (scale 2m).....	28
Plate 24: Northern room within the first floor, looking north (scale 2m).....	28
Plate 25: Window within the northern room of the first floor, looking south-east (scale 2m).....	29
Plate 26: Southern room within the first floor, looking south-east (scale 2m).....	29
Plate 27: Loft area with a brick partition wall, looking north-east.....	30
Plate 28: Upper section of the converging chimney breast along the south-west wall.....	30
Plate 29: Sawn purlin with Baltic shipping mark.....	31

Executive Summary

In February 2015 Archaeological Research Services Ltd was commissioned by Mike Healey of IBI Group Ltd on behalf of Trafford Housing Trust to undertake a historic building assessment of two buildings at 137 – 149 Cross Street, Sale, Greater Manchester, prior to the proposed development of the site which involves the demolition existing buildings and erection of a building to provide retail/commercial floor space and residential apartments with associated car parking, cycle storage and landscaping, along with the erection of five detached dwelling houses with associated car parking and landscaping and access road.

The historic building assessment established that the former Waggon and Horses Public House includes a two-storeyed range which may date to the late 18th century. A later cross-wing was added around the mid to the third quarter of the 19th century creating an L-shaped merged structure. In the late 19th century a rusticated front façade was also added providing an elegant entrance to the former Public House known then as ‘Waggons and Horses Inn’. House number 145 Cross Street also appears to date to the late 18th century despite later alterations. Because of the late 18th century construction date of two ranges and additional extensions of late 19th century, the assessed buildings represent non-designated local heritage assets. A number of former built elements at the site associated with the original construction of the buildings are no longer extant and/or were not identified. Portions of these elements may survive as sub-surface archaeological features, albeit potentially truncated.

In advance of the proposed re-development the site, appropriate mitigation measures may be requested by the Local Planning Authority to record historic architectural features prior to their removal and to establish the presence/absence and record any archaeological deposits encountered during any ground-works.

1 Introduction

1.1 A planning application (planning reference number 76054/O/2010) has been submitted for the demolition existing buildings and erection of a building to provide retail/commercial floor space and residential apartments with associated car parking, cycle storage and landscaping, along with the erection of five detached dwelling houses with associated car parking and landscaping and access off Gordon Avenue on land at 137 – 149 Cross Street, Sale, Greater Manchester (NGR SJ7878 9260, Fig. 1).

1.2 Given the potential historic national significance of two buildings within the proposed development site house, a condition of the planning application recommended by Greater Manchester Archaeological Advisory Service (thereafter GMAAS) has been attached, requiring that a historic building assessment of the former Waggon and Horses Inn and house number 145 should be undertaken.

1.3 Thus, in February 2015 Archaeological Research Services Ltd (thereafter ARS Ltd) was commissioned by Mike Healey of IBI Group Ltd on behalf of Trafford Housing Trust to undertake a historic building assessment of the former Waggon and Horses Public House and house number 145 Cross Street, Sale (Fig. 2), as part of the planning application.

1.4 The historic building assessment has been carried out under the National Planning Policy Framework (NPPF) (DCLG 2012), ‘The Standards and Guidance for Archaeological Building Recording’ (Chartered Institute for Archaeologists 2008) and a Written Scheme of Investigation issued by ARS Ltd which was subsequently approved by GMAAS (Appendix I).

1.5 The NPPF sets out the Government’s planning policies for England and how these are expected to be applied. It sets out the Government’s requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. The purpose of the NPPF is to contribute to the achievement of *sustainable development*, which includes “...contributing to, protecting and enhancing our natural, built and historic environment...” (DCLG 2012, 30).

1.6 The solid geology of the area comprises Tarporley Siltstone Formation – Sandstone, Mudstone and Sandstone with overlying glaciofluvial sheet deposits, Devensian – Sand and Gravel (British Geological Survey 2015).



Figure 1: General site location (circled).

(Ordnance Survey data Copyright OS, reproduced by permission, Licence No. 100045420)



Figure 2: Plan of the site showing the Waggon and Horses Public House and house 145 along Cross Street.

(Ordnance Survey data Copyright OS, reproduced by permission, Licence No. 100045420)

2 Planning Policy Context

2.1 This assessment is carried out under the National Planning Policy Framework (NPPF) (DCLG 2012). The NPPF sets out the Government’s planning policies for England and how these are expected to be applied. It sets out the Government’s requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. The purpose of the NPPF is to contribute to the achievement of *sustainable development*, which includes “...*contributing to, protecting and enhancing our natural, built and historic environment...*” (DCLG 2012, 30).

2.2 Section 12 of the NPPF deals with government policy in relation to conserving and enhancing the historic environment and its role in sustainable development.

2.3 Paragraph 126 states that Local Authorities must undertake to “*recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance*”. In developing their strategy, local planning authorities should take into account:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- the desirability of new development making a positive contribution to local character and distinctiveness; and
- opportunities to draw on the contribution made by the historic environment to the character of a place.

2.4 Paragraph 128 states that, “*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation*” (DCLG 2012, 30).

2.5 Paragraph 129 states that, “*Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal*” (DCLG 2012, 30).

2.6 In determining planning applications, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;

- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

2.7 Paragraphs 132 – 141 provide guidance on the approach to be adopted by local authorities in weighing the impact of development against the conservation of heritage assets and their setting and significance (DCLG 2012, 31-32). Paragraph 132 states that *“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional”* (DCLG 2012, 31).

2.8 Paragraph 135 states that *“The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset”* (DCLG 2012, 31).

2.9 Paragraph 141 states the Government requirement for the planning process to contribute to public understanding of the historic environment.

2.10 The Planning for the Historic Environment: Historic Environment Planning Practice Guide (PPS5) now superseded by the NPPF, is still the only detailed extant Historic Environment guidance) and is a much more in-depth document than the policy statement itself. This practice guide *“supports the implementation of national policy, but does not constitute a statement of Government policy”* (DCLG/DCMS/EH 2010, 6). This document has been presented by English Heritage as a ‘live’ document and is therefore intended to be subject to future changes as techniques and practice develop. Indeed the Practice Guide which accompanied PPS5 has survived and, in the words of the June 2012 revision note which now prefaces the document: *“The PPS5 Practice Guide remains a valid and Government endorsed document pending the results of a review of guidance supporting national planning policy [it] remains almost entirely relevant and useful in the application of the NPPF”*. The key concepts outlined in PPS5 have generally survived and government policy has remained largely unchanged. Thus, the relevant policies are included below.

2.11 Policy HE6 sets out the information requirements for applications affecting heritage assets. HE6.1 states that applications should ‘provide a description of the significance of the heritage assets affected and the contribution of their setting to that significance’. The policy states that this description should be ‘sufficient to understand the potential impact of the proposal on the significance of the heritage asset’.

2.12 Policy HE7 outlines policy principles to guide the determination of applications for consent relating to all heritage assets. Policy HE7.2 states that ‘in considering the impact of a proposal on any heritage asset, local planning authorities should take into account the particular nature of the significance of the heritage asset and the value it holds for this and future generations’. The consideration given to this significance should be used by the

local planning authority ‘to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposals’.

2.13 Policy HE7.5 requires that ‘Local planning authorities should take into account the desirability of new development making a positive contribution to the character and local distinctiveness of the historic environment. The consideration of design should include scale, height, massing, alignment, materials and use’.

2.14 Policy HE9 relates to the applications for consent affecting designated heritage assets. Policy HE9.1 confirms the presumption in favour of conserving designated heritage assets noting that this should be proportionate to their significance. Policy HE9.4 identifies that when there is less than substantial harm to the significance of a designated heritage asset the local authority should consider:

- 1 The benefit of the proposal; and
- 2 The justification of any harm in proportion to significance.

3 Methodology

3.1 A detailed project design – Written Scheme of Investigation (WSI) – was prepared by ARS Ltd which was subsequently approved by GMAAS (Appendix I). An assessment of the standing buildings on site, including their interior whenever possible, was undertaken in February 2015 by Alvaro Mora-Ottomano (BA Hons, MSc) of ARS Ltd who is a corporate member of the Institute for Archaeologists (ACIfA 5297) and the Institute of Historic Building Conservation (2583AFF). A brief text description of each building is provided, with an assessment of its chronology, original and subsequent purpose and significance. The assessment comprised a site visit in order to compile analytical descriptions, documentary research to provide back up evidence of date and function, and an evaluation of architectural and historic significance based on the existence or non-existence of statutory and non-statutory designations and also on the author’s professional judgement formulated by a substantial experience of historic building analysis.

3.2 All aspects of the Building Recording were conducted according to the guidelines in ‘Recording Historic Buildings’ published by the Royal Commission on the Historic Monuments of England (1996), ‘Understanding Historic Buildings – A Guide to Good Recording Practice’ by English Heritage (2006), and ‘The Standards and Guidance for Archaeological Building Recording’ by the Chartered Institute for Archaeologists (2008). The records produced were used in order to create an interpretative discussion of the form, function and phasing of the structures concerned. This consisted of the following:

- A written record of the buildings was carried out by annotating plans and elevations and by completing Archaeological Research Services Ltd pro-forma building recording sheets. Descriptions and terms used follow Brunskill (1994 and 2000), Curl (1997) and Lynch (1994) wherever possible.
- A photographic survey composed of high resolution digital photographs (16 megapixels) was taken using a Nikon L810. Where possible, photographs included a graduated scale and cameras were mounted on tripods for extra stability. Details of the photographs were recorded on pro-forma index sheets, which included location, subject and orientation. The location and direction of the photographs were plotted on scaled plans.

3.3 Documentary research was undertaken in order to put the site in historic context and to establish the function, dates and sequence of development of the outbuilding in order to provide an understanding of the significance of the building. Archival research included the consultation of relevant secondary sources pertinent to the study area. Historic maps of the area were studied along with local history publications relating to the use and development of the site. The following web sources, which provided information relevant to the study area, were also consulted:

- Archaeological Data Service: <http://ads.ahds.ac.uk/>
- British Geological Survey: <http://www.bgs.ac.uk/geoindex/index.htm>
- British History online: www.britishhistoryonline.com
- Heritage Gateway: www.heritagegateway.co.uk
- Magic Maps: <http://www.magic.gov.uk/>
- National Archives online: <http://www.nationalarchives.gov.uk/default.htm>
- Pastscape: www.pastscape.co.uk

4 Historical background

4.1 A phased plan has been produced based on the historical research and building survey which shows a proposed sequential development of the buildings (Fig. 3). The historical research of the buildings concerned, proved to be very limited. Nevertheless, the Burdett map issued in 1777, although not very detailed, depicts a series of houses within the actual area along Cross Street (Fig. 4).

4.2 The first edition of Ordnance Survey map issued in 1876 shows the Public House, labelled as ‘Waggons and Horses Inn’, and the house number 145 (Fig. 5). Both buildings are depicted with merged structures, some of which appear to have been extensions of each properties. This may imply a prolonged existence of the original buildings with subsequent expansions through time. Further extensions and alterations continued throughout the late 19th century and 20th century. One of the most significant extensions consisted of a front façade added to the Public House which took place in the late 19th century as indicated by cartographic records.

4.3 By the mid 20th century the buildings had expanded considerably. These additions are currently extant. Indeed, the Public House contains numerous lean-tos and other minor structures, and house number 145 also include a large workshop projecting to the north-west (Fig. 6).

4.4 Pictographic records of the Public House were obtained from the Local Studies Library. A total of two photographs were consulted and described below:

- TL3622: c.1900. This photograph shows the front façade of the Public House along Cross Street with a sign stating ‘Waggon & Horses Hotel’. Little changes are discernible except for later paintwork that has now been applied to the façade including the elegant doorway (Fig. 7). The cross-wing fronting onto Cross Street is also rendered.
- TL4265: 1982. This photograph is rather recent although it shows the Public House in much better condition than its current state (Fig. 8).

Drawing 3: Phased plan

Scale: 1:500@A4

AMO 13-03-2015

Key:

- Late 18th C
- Mid/Late 19th C
- Late 19th C
- 20th C



Copyright/ Licencing
This Drawing
© A.R.S. Ltd

Ordnance Survey data if applicable
© Crown Copyright, all rights reserved
reproduction with permission.
Licence No. 100045420



Figure 4: Burdett map 1777.

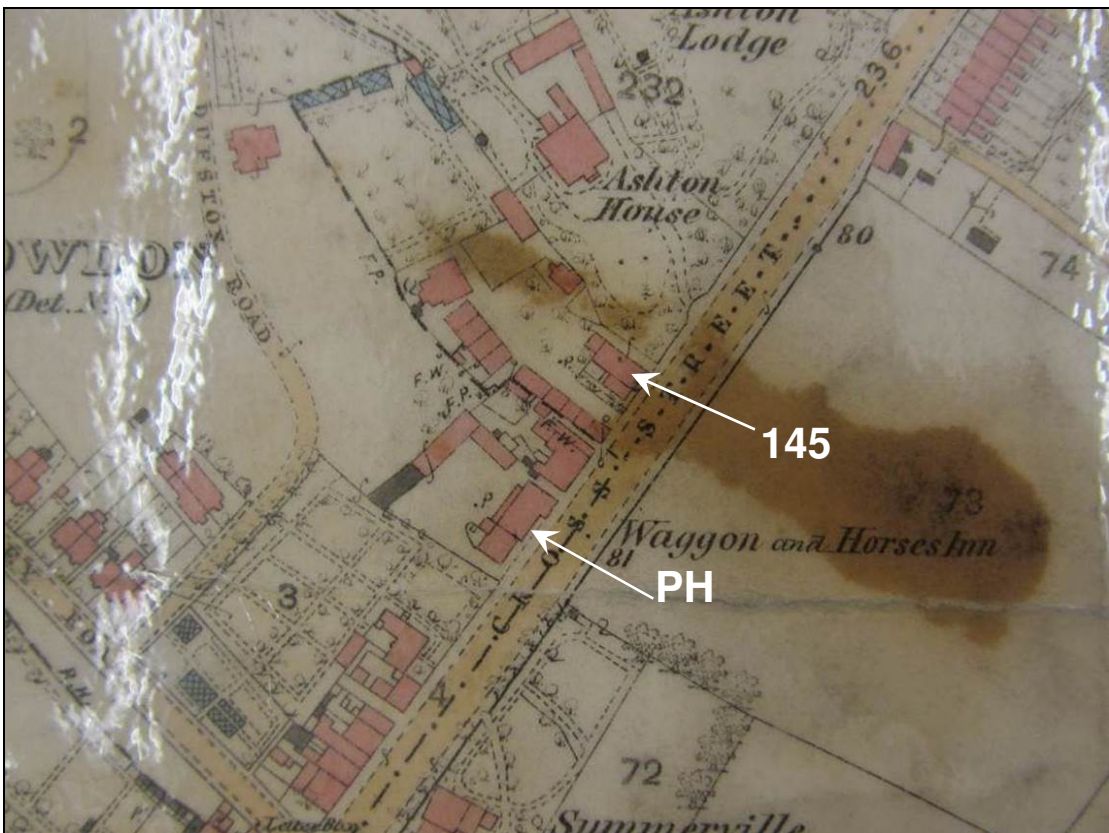


Figure 5: Ordnance Survey map 1876 showing the Waggon and Horses Inn (PH) and house number 145.

(Ordnance Survey data Copyright OS, reproduced by permission, Licence No. 100045420)



Figure 6: Ordnance Survey map 1956.

(Ordnance Survey data Copyright OS, reproduced by permission, Licence No. 100045420)



Figure 7: Photograph of the Waggon and Horses c.1900.



Figure 8: Photograph of the Waggon and Horses taken in 1982.

5 Building description

The buildings assessed corresponds to the former Waggon and Horses Public House and house number 145, both located along the northern side of Cross Street, Sale. Each building is currently formed by several amalgamated structures. A selection of photographic plates is included in the report.

5.1 Waggon and Horses Public House

5.1.1 The present Public House consists of several merged structures fronting Cross Street. There are two principal two-storeyed structures forming an L-shaped range with a single-storeyed front façade structure. There are also later single-storeyed ranges to the rear as well as some lean-tos structures within the side elevations. The main front elevation, facing Cross Street, is composed of a plain cross-wing of the L-shaped merged range, and a single-storeyed façade with rusticated brickwork (Plate 1). The rusticated wall appears to have been erected in the late 19th century abutting the front wall of an existing two-storeyed range and also against the cross-wing, creating therefore a flush form with the gable wall of cross-wing.

5.1.2 The rusticated brick wall consists of five bays demarcated by four window openings and a principal doorway to the north-eastern end. The brickwork consists of standard machine-made orangey brown brick laid mainly in Flemish bond. The upper area contains a stepped-up parapet and a dentilled cornice (Plate 2). The window openings have sandstone lintels with plain narrow chamfered intrados. The two window openings to the south-western end are slightly narrower than their counterparts. The actual windows are boarded up and the brickwork is slightly obliterated with paint.

5.1.3 The doorway is an elegant feature with sandstone colonnettes and pseudo Ionic capitals which extends beyond into the brick wall acting as capital of adjacent engaged pilasters. The doorway has a brick segmental arched head with a double rolled moulding drip hood (Plates 3 and 4).

5.1.4 The cross-wing structure facing onto Cross Street has a plain copped gable wall and a pitched slated roof. There is a window opening on each level although the windows are now boarded up. The window opening within the ground floor is wider than the first floor's and contains a moulded straight drip hood. The cross-wing structure formed part of the initial development of the site and may date to the mid or third quarter of the 19th century as indicated by cartographic records.

5.1.5 Immediately to the north-eastern end of the cross-wing there is a small lean-to structure which contains a narrow window opening, also boarded-up, and a light-well of a cellar. This lean-to structure bears little architectural merit although it appears to date to the late 19th century as indicated by cartographic records.

5.1.6 The main two-storeyed building abutted by the front rusticated wall along Cross Street appears to be a primary range that may date to the late 18th century as indicated by the 1777 Burdett's map. This is also a brick-built structure although it is now rendered with cement mortar. The south-west gable wall contains a central flush chimney stack projecting from a plain close verge of the slated pitched roof. Two window openings were discerned within the first floor of the front elevation (Plate 5). The rear side of this primary building is partially obscured by later brick extensions of little architectural significance (Plates 6 and 7). Additional minor lean-tos were also observed within the side walls (Plates 5 and 8). Due to health and safety restrictions, no access to the interior of the building was gained.



Plate 1: Front elevation of the former Waggon and Horses Public House along Cross Street.



Plate 2: Rusticated brick wall with principal doorway, looking north-west (scale 2m).



Plate 3: Principal doorway within the front elevation, looking north-west (scale 2m).



Plate 4: Detail of capitals and arched head, looking north-west (scale 1m).



Plate 5: South-west gable wall, looking north (scale 2m).



Plate 6: Rear view of the Waggon and Horses Public House, looking east (scale 2m).



Plate 7: Amalgamated structures to the rear of the Public House, looking south-east (scale 2m).



Plate 8: General view of the north-east elevation with several chimney stacks, looking south-west.



Plate 9: North-east elevation, looking south-west (scale 2m).

5.2 House number 145

5.2.1 This building is also along Cross Street and appears to be less disfigured than the Public House. It consists of a two-storeyed brick built range with a 1950s large workshop to the rear which does not form part of the assessment due to its absence of significance (Plate 10). House number 145 Cross Street is built with orangey hand-made bricks bonded with lime mortar and laid in Flemish bond. It is composed of three bays as defined by the window arrangement discerned within the first floor of the front elevation which is complete whereas the ground floor has suffered some modifications (Plate 11). The roof is pitched with plain close eaves and verges, and covered with natural slates. The front façade contains fake quoins created with cement render which is painted white. The window openings have flat arched heads with rubbed bricks and the windows are boarded up (Plate 12).

5.2.2 The south-west gable wall contains a projecting flush chimney stack although it appears to have been slightly reduced in height (Plate 13). Closer inspection on this elevation elucidated a clear construction joint between the front brickwork and the remaining wall (Plate 14). Indeed, it was established that the front elevation is a later reface/rebuilt whereas the remainder structure consists of darker brown hand-made bricks laid slightly irregular with sections of headers creating an asymmetrical English bond which was observed also within the rear elevation despite later abutments (Plate 15). This range may date to the late 18th century as indicated by cartographic records. Moreover, the brick typology and architectural style of the later reface/rebuilt front wall may fall into the late Georgian period. The primary brickwork then may date to the 18th century. The rear elevation contains later openings which were inserted to connect it with a modern warehouse (Plate 16).

5.2.3 The ground floor was accessed from a secondary doorway along Cross Street which leads to a south-western room that has been substantially modified with the partial removal of a chimney breast within the south-west gable wall and the original floor has been significantly lowered to a depth of one metre (Plate 17). The present floor might have been created over an underground chamber such as a basement although the original construction might have also included an under floor insulation chamber. The main fabrics include brick wall, timber floorboards and a lath-and-plaster ceiling. The adjacent room along the front road is at the same level whereas the one to the rear is accessed from short wooden steps and through a plain doorway (Plate 18).

5.2.4 The north-eastern room has also been altered significantly and through a suspended false ceiling faint remains of a truncated chimney breast was observed (Plates 19 and 20). The south-western room despite considerable alterations and intrusions, retains its chimney breast although the fire place is blocked up (Plate 21).

5.2.5 Access to the first floor was gained through its original straight staircase along the north-west wall (Plate 22), which leads a narrow lobby which in turns provide access to adjacent rooms (Plate 23). This floor has two rooms of different sizes whereas the floor below was divided into four equilateral spaces. Here too the rooms have been substantially modified and not period fixtures and fittings were identified. The general fabrics are comparable to the floor below. None of the windows are original. The northern room retains its chimney breast although lacking its fire place (Plate 24). There is an unadorned doorway to the adjacent southern room (Plate 25) which is a larger space also with an obsolete chimney breast and lit by two windows within the front wall (Plate 26). The western area contains modern remnants of a bathrooms created with flimsy studs and within the south-western wall signs of a truncated chimney breast was discerned.

5.2.6 The loft above was partially viewed from a hole within the ceiling. There is a brick partition which acts as a major truss supporting four tiers of timber purlins (Plate 27). The majority of the common rafters and battens has been covered with spray foam insulation in recent times. The converging chimney breast along the south-west wall was observed as was a Baltic shipping mark within one of the sawn purlins (Plate 28 and 29).



Plate 10: General view of house number 145 along Cross Street, looking north-east (scale 2m).



Plate 11: Front elevation of house 145, looking north-west (scale 2m).



Plate 12: Detail of window opening within the first floor, looking north-west.



Plate 13: South-west gable wall with reduced chimney stack, looking north (scale 2m).



Plate 14: Detail of construction joint, looking north-east.



Plate 15: Rear elevation partially obscured by a later extension, looking east.



Plate 16: Part of the rear elevation viewed from inside a later extension, looking south-east (scale 2m).



Plate 17: South-western room within the ground floor, looking south-west (scale 2m).



Plate 18: South-western room within the ground floor, looking north-east (scale 2m).



Plate 19: North-eastern room within the ground floor, looking south-east (scale 2m).



Plate 20: Truncated chimney breast within the north-western room of the ground floor, looking south-east.



Plate 21: South-western room within the ground floor, looking south-west (scale 2m).



Plate 22: Staircase to the first floor, looking north-east (scale 2m).



Plate 23: First floor showing the lobby approached by the staircase, looking north-east (scale 2m).



Plate 24: Northern room within the first floor, looking north (scale 2m).

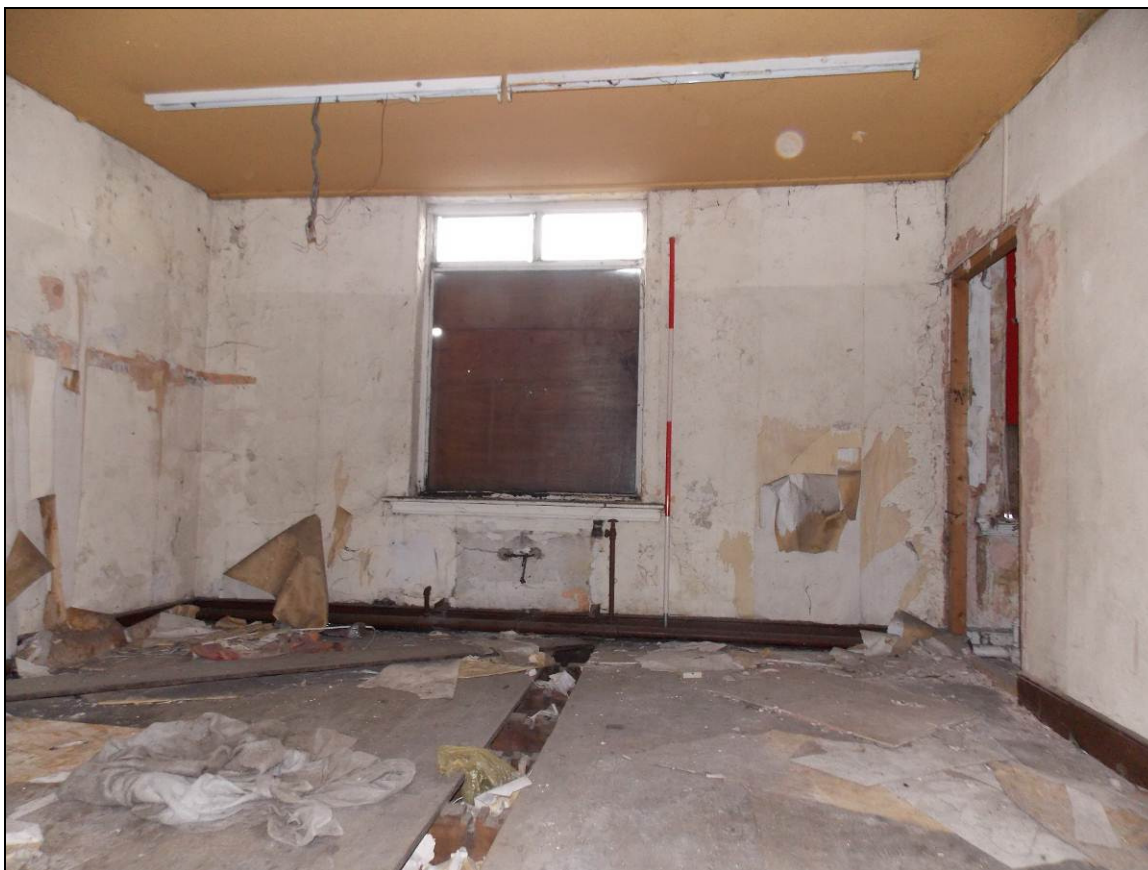


Plate 25: Window within the northern room of the first floor, looking south-east (scale 2m).



Plate 26: Southern room within the first floor, looking south-east (scale 2m).



Plate 27: Loft area with a brick partition wall, looking north-east.



Plate 28: Upper section of the converging chimney breast along the south-west wall.



Plate 29: Sawn purlin with Baltic shipping mark.

6 Assessment of the Heritage Asset

6.1 The historic building assessment has established that the former Waggon and Horses Public House includes a two-storeyed range which may date to the late 18th century. A later cross-wing was added around the mid to the third quarter of the 19th century creating an L-shaped merged structure. In the late 19th century a rusticated front façade was also added providing an elegant entrance to the former Public House known then as ‘Waggon and Horses Inn’.

6.2 The majority of the external historical brickwork are mostly extant, however, part of the amalgamated structures are in a moderate state of disrepair and the overall range has lost part of its integrity as a result of later alterations and neglect. Internal inspection was not undertaken due to health and safety restrictions.

6.3 House number 145 Cross Street also appears to incorporate an original 18th century building. Internally, little primary architectural features are extant. Moreover, the interior is also devoid of historical period fixtures and fittings. Their present fabrics, however, are in a moderate state of disrepair and the overall range has lost part of its integrity as a result of later alterations and neglect.

6.4 The site is proposed to be demolished prior to its re-development. Historic buildings are part of the nation’s historic environment; as such, they provide continuity with those who have gone before us and help future generations to learn about life in the past. While a few historic buildings will be of such importance that they should be maintained as they are without change, most will be able to accommodate new uses. To assess the former Public

House and house number 145 Cross Street in their wider significance several criteria must be considered, as follows.

Condition

6.5 Both buildings, although mainly disused, has been historically well maintained, and the original elements are in moderate condition, although extensive remodel works as well as repairs to the fabric of the buildings have had to take place and there are some areas that are semi-derelict.

Rarity

6.6 The architectural style of the primary ranges of late 18th century was relatively widespread in the district area, although few examples currently exist. This scarcity may add some significance to the heritage value of the present site. The rusticated extension to the Public House, although not rare, possess a particular charm with its elegant doorway.

Group value

6.7 The principal elements that contribute to the group value of the site are the original Public House range with the cross-wing extension as well as minor lean-tos that were also added in the late 19th century as part of the Public House complex. House number 145 also has local historical and architectural value although not as a group. Although some of the fabrics of the relevant buildings have been mutilated by later repairs and alterations, the majority of the main structures remain extant which can be considered to be as originally designed, representing a good example of modest dwellings.

Associations

6.8 No significant persons or events are known to be associated with the Works.

Significance

6.9 The construction of both primary ranges has a particular charm, being built in the traditional vernacular style of late 18th century architecture. However, these buildings are not designated heritage assets and have not been identified for local listing. Two Grade II Listed Buildings are located in close proximity to the site concerned. These are 118 and 120 Cross Street (LB 1067894) a late 17th century farmhouse, and The Volunteer Hotel, 81 Cross Street (LB 1401662) a late 19th century Public House.

Impact Assessment

6.10 Whilst the buildings are of substantial importance both as a contribution to the landscape and setting as a whole, both buildings are currently moderately altered and suffering from neglect. Their demolition will inevitably represent a loss of a local historical asset. The UK has legally binding targets to reduce its carbon emissions by 80 per cent by 2050, from 1990 baseline. Rebuilding the UK housing stock therefore does not meet these targets. While there are cases where rebuilding is the best option there are many more where refurbishment is the better choice. Further information regarding the embodied carbon footprint for construction materials can be consulted in an *Inventory of Carbon & Energy Database, an embodied carbon database for materials* (www.circularecology.com/embodied-energy-and-carbonprint-database.html).

6.11 On consideration of the above it is apparent that the application proposals would have a negative impact on the special architectural and historic interest of the building. Appropriate mitigation measures may be requested by the Local Planning Authority to record architectural features prior to their removal and to establish the presence/absence and record any archaeological deposits encountered during any ground-works.

7 Conclusion

7.1 The historic building assessment established that the former Waggon and Horses Public House includes a two-storeyed range which may date to the late 18th century. A later cross-wing was added around the mid to the third quarter of the 19th century creating an L-shaped merged structure. In the late 19th century a rusticated front façade was also added providing an elegant entrance to the former Public House known then as ‘Waggon and Horses Inn’. House number 145 also appears to date to the late 18th century.

7.2 Because of the late 18th century construction date of two ranges and additional extensions of late 19th century, the assessed buildings represent non-designated local heritage assets. A number of former built elements at the site associated with the original construction of the buildings are no longer extant and/or were not identified. Portions of these elements may survive as sub-surface archaeological features, albeit potentially truncated.

7.3 The present proposed re-development necessitates the demolition of the buildings. This would remove non-designated heritage asset of local significance. The setting of the site is already compromised by later modern structures both as part of their amalgamation and also in the vicinity along Cross Street.

7.4 In advance of the proposed re-development the site, appropriate mitigation measures may be requested by the Local Planning Authority to record historic architectural features prior to their removal and to establish the presence/absence and record any archaeological deposits encountered during any ground-works.

8 Publicity, Confidentiality and Copyright

8.1 Any publicity will be handled by the client.

8.2 ARS Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

9 Statement of Indemnity

9.1 All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

10 Acknowledgements

10.1 ARS Ltd would like to thank all those involved with the archaeological project, especially Mike Healey of IBI Group Ltd on behalf of Trafford Housing Trust for commissioning the work; and Andrew Mayers of GMAAS for monitoring and providing advise throughout the project.

11 References

- British Geological Survey 2015. *Geology of Britain Viewer* [online]. Available at: <http://www.bgs.ac.uk/discoveringGeology/geologyOfBritain/viewer.html?src=topNav> [Accessed February 2015].
- Brunskill, R. W. 1994. *Timber Building in Britain*. London, Victor Gollancz.
- Brunskill, R. W. 2000. *Vernacular Architecture. An Illustrated Handbook*. London, Faber and Faber Ltd.
- Chartered Institute for Archaeologists 2008. *The Standards and Guidance for Archaeological Building Recording*. Reading, Chartered Institute for Archaeologists.
- Curl, J. S. 1997. *Encyclopaedia of Architectural Terms*. London, Donhead.
- Department for Communities and Local Government (CLG). 2012. *National Planning Policy Framework*. London, The Stationery Office.
- English Heritage 2006. *Understanding Historic Buildings. A guide to good recording practice*. London, English Heritage.
- English Heritage 2008. *Conservation Principles. Policies and Guidance for the Sustainable Management of the Historic Environment*. London, English Heritage.
- Lynch, G. 1994. *Brickwork: History, Technology and Practice*; Volume 2. London, Donhead.

APPENDIX I: SPECIFICATIONS AND OASIS FORM

137-149 Cross Street, Sale, Manchester

Written Scheme of Investigation for an Historic Building Assessment and Recording and Archaeological Evaluation Trenching



Archaeological Research
Services Ltd

1. Introduction

1. Introduction

- 1.1. This scheme of works relates to the proposed demolition of existing buildings and erection of a building to provide retail/commercial floor space and residential apartments with associated car parking, cycle storage and landscaping, along with the erection of five detached dwelling houses with associated car parking and landscaping and access off Gordon Avenue on land at 137-149 Cross Street, Sale (NGR SJ7875 9265: see Figure 1 below).
- 1.2. Planning permission (76054/O/2010 has been granted for the works on condition (number 15 of the planning permission) that:
“No demolition shall take place until the applicant has secured the implementation of a programme of archaeological work and building recording in accordance with a written scheme of investigation which has been submitted to and agreed in writing by the Local Planning Authority.”
- 1.3. The multi-phased programme of archaeological work will involve the production of an assessment of the available documentary evidence and of the historic building fabric of the Waggon and Horses and 145 Cross Street. This would be followed by a historic building survey and recording exercise informed by the assessment. Once the buildings have been demolished, archaeological evaluation trenching would then take place, possibly leading to open area excavation should Romano-British remains associated with Watling Street and/or remains of the 19th century housing of Garden View be revealed. The programme of work on-site should be followed by post-excavation analysis, report production, deposition of the site archive and potentially an appropriate level of publication.
- 1.4. The bedrock geology of the area comprises Tarporley Siltstone Formation – Sandstone, Mudstone and Sandstone with overlying glaciofluvial sheet deposits, Devensian – Sand and Gravel (British Geological Survey 2014).
- 1.5. This Written Scheme of Investigation details the programme of work to be undertaken by Archaeological Research Services Ltd (ARS Ltd) during the historic building assessment, historic building recording and evaluation trenching at the site.

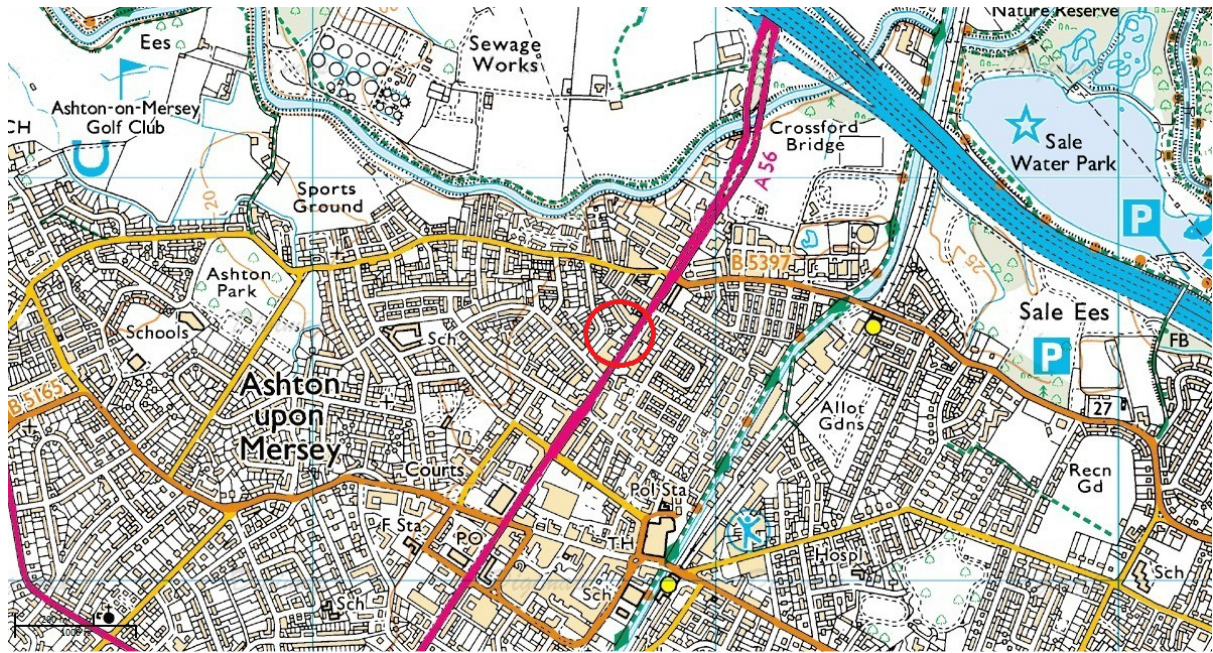


Figure 1: General site location (circled in red)

(Ordnance Survey data Copyright OS, reproduced by permission, Licence No. 100045420)

2. Archaeological Background

2.1. The application concerns a site on the northern side of Cross Street. The latter has long been thought to follow the line of Watling Street Roman road (HER 16048.1.0) running from Broadheath through Sale towards a crossing point on the River Mersey. Watling Street Roman road was a major military highway established in the 1st century AD that linked the legionary forts at Chester and York. Auxiliary forts were established along its length, as at Northwich and Manchester. Separate archaeological excavations in 1965, 1995 and 1996 have established the presence of the road in and around Broadheath, some 4km south-west of the current application site. In addition to being routes for military traffic major roads also provided important transport corridors for civilian activity. As a result they often attracted the development of settlements, industrial and craft activities, mausolea and places of worship activities along their margins. With the end of the Roman occupation such routes often persisted afterwards as key communication routes. In this respect it is important to note that just south of Siddal's Bridge, 3.5km south-west of the application site, 'sherds of Roman Samian and of Saxon grey coarseware pottery were discovered at the site of the Pelican Inn (HER3667.1.0).

2.2. A rapid review of the available historic maps indicates that the site has, in the last 200 years, seen a variety of development. There were already domestic buildings on the site by 1841. It is possible that 145 Cross Street dates to the late Georgian/ very early Victorian period. The Waggon and Horses Inn appears on the mapping in 1875, replacing one of the previous domestic buildings. Judging by modern images of the pub the existing building, which is proposed for demolition, retains much of the Victorian building with later single storey additions to the front. The 1909 mapping shows a series of c.13 houses of varied plan forming a broken terrace called Garden View which stretched back into the development site. Some of these may have featured on the earlier mapping. At the very northern end of the plot a large greenhouse is shown. The mid-20th century mapping shows few changes. At some stage thereafter however, the domestic buildings along Garden View were replaced by workshop buildings.

- 2.3. There is a potential architectural and historic interest in some of the earlier buildings standing on the site and in the former presence of a small group of domestic properties along Garden View. There is also a potential archaeological interest in the proximity of the site to Watling Street Roman road. Throughout all of the documented developments on the site there has remained a relatively undeveloped area on the south-west side of 145 Cross Street which facilitated access into Garden View. This area retains a distinct archaeological potential for earlier remains, although by virtue of their location within Sale means that there is a high probability that any surviving archaeological remains associated with the Roman road would have suffered truncation. Consequently, their condition would render it unlikely for them to be assessed as being of national significance.

3. Aims and Objectives

- 3.1. Research initiatives identified in the *Research and Archaeology in North West England. An Archaeological Research Framework for North West England* (Brennand 2007, 66) for Romano-British settlement applicable to this site include the urgent need for work to locate sites and to investigate potential Iron Age/Romano-British site across the whole region, to determine their chronology, economy, character, and to examine the origins of rural settlement patterns. For the industrial and modern period urban landscape (Brennand 2007, 147), where threatened with possible redevelopment, excavations are required of now undeveloped and cleared former working class areas. The regional research frameworks help inform the aims and objectives of the programme of archaeological work at the site at 139-149 Cross Street, Sale, which are as follows.

3.2. Aims

- Identify, excavate and record archaeological deposits and features within the development area.
- Produce relative and absolute dating and phasing for deposits and features recorded on the site.
- Establish the character and delimit the extent of deposits in order to define functional areas on the site, e.g. industrial and domestic.
- Produce information on the economy and local environment.

3.3. Objectives

- Identify and determine the nature and date of the various archaeological features (e.g. domestic and industrial structures) and understand their spatial organisation.
- Recover any information relating to prehistoric, Romano-British medieval activity in the area.
- Recover any information relating to the domestic housing which is known to have existed in the area in the post-medieval period.

4. Project Management and Standards

- 4.1. The project will be carried out in compliance with the Institute of Archaeologists (IfA) *Codes of Conduct* (2014) and will follow the IfA's *Standard and Guidance for Standard and Guidance for Archaeological Evaluation* (2009).

- 4.2. All staff employed on the project will be suitably qualified and experienced for their respective project roles and have practical experience of archaeological excavation and recording. All staff will be made aware of the archaeological importance of the area surrounding the site and will be fully briefed on the work required by this specification. Each member of staff will be fully conversant with the aims and methodologies of the evaluation and will be given a copy of this WSI to read. All members of staff employed by ARS Ltd are fully qualified and experienced archaeologists, which will ensure that appropriate decisions will be made in the field.

5. Historic Building Assessment

- 5.1. The former Waggon and Horses public house and 145 Cross Street will be studied in order to assess if any features of historic architectural significance survive at these properties which require recording prior to their demolition. This will take the form of researching available documentary evidence and studying the historic building fabric of the two properties in order to produce an assessment which will determine if any of the buildings should be recorded in further detail.
- 5.2. Archive research will be undertaken in order to examine the documentary evidence available for the historical background of the development site. This will include cartographic regression analysis and a discussion of the results of documentary studies of the historical evolution of the site based on documents and maps located at Manchester Local Studies Library and the Greater Manchester Record Office.
- 5.3. The study of the historic building fabric will involve examining the two properties and making a photographic and descriptive recording of any features of historic architectural significance. A report will be produced and submitted to the Greater Manchester Archaeological Advisory Service (GMAAS) Senior Planning Archaeologist. Depending on the results of the historic building assessment and in consultation with GMAAS's Senior Planning Archaeologist an archaeological building recording may be required in advance of the commencement of development works (see section 6 below).

6. Building Recording

Methodology

- 6.1. An archaeological building recording following English Heritage standards (2006) will be undertaken. The completed building recording will result in a detailed understanding of the form, function and phasing of the standing buildings. This work will provide an understanding of all features, fixtures and fittings relevant to the original and subsequent historical uses of the site. The historic building recording will be undertaken in advance of the proposed demolition of the buildings and will include the following drawn, photographic and descriptive recording as a minimum.
- 6.2. The drawn record will include:
- Site location plans at suitable scales (preferably indicating the position of the site within the country, within the county and a clear plan of the precise location/outline of the building i.e. 1:1250).
 - A plan indicating the position and orientation of photographs/images included in the report.

- A set of detailed measured survey drawings including floor plans, external, and where appropriate internal, elevations of the building (at 1:100 or 1:50 scale) with annotations and conventions following English Heritage standards (2006).
- 6.3. A detailed photographic survey of all exterior and interior elevations and key fixtures and fittings will be conducted using a Minolta DIMAGE A1 with a 7.2-50.8mm lens providing high resolution digital photography (7.1 megapixels). Where possible, photographs will include a graduated scale and cameras will be mounted on tripods for extra stability. Details of the photographs will be recorded on pro-forma index sheets, which include location, subject and orientation. The location and direction of the photographs will be plotted on scaled plans forming part of the general archive.
- 6.4. The photographic record will cover:
- Photographs of the interior, exterior and setting of the building. A two metre ranging rod will be included in a selection of general shots in order that the scale of all elements of the building can be sufficiently established.
 - The building's external appearance is to be recorded. Typically a series of oblique views will show all external elevations of the structure and give an overall impression of size and shape. Where an individual elevation embodies complex historical information or have been conceived as formal compositions, views at right angles to the plane of the elevation may also be appropriate.
 - Any external detail, structural or decorative, which is relevant to the design development and does not show adequately on general photographs, will be the subject of detailed photography.
 - The overall appearance of principal rooms and circulation areas.
 - Any external or internal detail, structural or decorative, which is relevant to the building's design, development and use and which does not show adequately on general photographs.
 - Any machinery or other plant, or evidence for its former existence.
 - Any dates or other inscriptions, signage, makers' plates or graffiti which contribute to an understanding of the building or its fixtures or contents.
 - Any building contents or ephemera which have a significant bearing on the building's history.
 - Copies of maps, drawings, views and photographs present in the building and illustrating its development/use, or that of its site.
- 6.5. The written account will include:
- The precise location of the building, by name or street number, civil parish, town and National Grid Reference.
 - A note of any statutory (listing, scheduling or conservation area) and non-statutory (historic park and garden registration, etc.) designations.
 - An introduction setting out the circumstances in which the records were made, its objectives, methods, scope and limitations. This will also detail any constraints which limited the achievement of the objectives.
 - The date when the record was made, the names of the recorders and the archive content/character and location.
 - A summary of the building's form, function date and sequence of development. Together with a summary of the names of architects, builders, patrons and owners if known. This will be carried out by completing ARS Ltd pro-forma building recording

sheets. Descriptions and terms used will follow Brunskill (1994; 2000), Curl (1997) and Lynch (1994) wherever possible.

- A discussion of published sources relating to the building and its setting. This will refer to the existing DBA and heritage statement as well as detail the results of archival research including a map regression analysis.
 - A gazetteer of photographs taken.
- 6.6. All aspects of the Building Recording will be conducted according to the guidelines in *Recording Historic Buildings* published by the Royal Commission on the Historical Monuments of England (1996), *Understanding Historic Buildings – A guide to good recording practice* by English Heritage (2006) and *The Standards and Guidance for Archaeological Building Recording* by the Institute for Archaeologists (2013a).
- 6.7. The archaeological building recording and investigation will be carried out in accordance with the *National Planning Policy Framework (NPPF)* (DCLG 2012). The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. The purpose of the NPPF is to contribute to the achievement of sustainable development, which includes "...contributing to, protecting and enhancing our natural, built and historic environment..." (DCLG 2012, 30).

Report

- 6.8. Within two months of the completion of the building recording, ARS Ltd will produce a report which will include the following as a minimum.
- A summary statement of the background to the project and the findings of work undertaken.
 - The background to the survey including locational details (to include grid reference, reason for survey). The site will be located on a 1:50, 000 OS map and a more detailed OS map.
 - An outline of the methodology employed.
 - An account and description of the site's setting and the significance of the heritage assets.
 - An illustrated developmental account of the documented history of the building including, as appropriate, historic mapping/ plans/ photographs (historic mapping extracts/ plans included will be enlarged sufficiently for the building's outline to be easily discernible).
 - The results covering all of the objectives set-out in Section 2.
 - Photographic images at laser printer quality, no smaller than 5" x 4" and suitably captioned.
 - A copy of the WSI.
 - A CD (with the project title, date and author noted on the CD) containing i) digital copy of the report (PDF) and ii) separate digital (TIF/JPG/BMP) copies of all photographic images.
- 6.9. Copies of the final report will be submitted to GMAAS's Senior Planning Archaeologist and deposited with the Greater Manchester Historic Environment Record (HER).

7. Evaluation Trenching

Coverage

- 7.1. Following the demolition of the buildings on-site, there will be a phase of evaluation trenching, possibly leading to open area excavation, targeting the potential for Romano-British remains associated with Watling Street and the 19th century housing of Garden View. The size and location of the trenches will be agreed with GMAAS's Senior Planning Archaeologist when the historic building assessment has been completed.
- 7.2. Once the trench locations have been agreed, any proposed changes will be discussed, and agreed, with GMAAS's Senior Planning Archaeologist before implementation.
- 7.3. All elements of the archaeological evaluation will be carried out in accordance with the Institute for Archaeologists (IfA) *Standards and Guidance for Field Evaluation* (2013b) and with the IfA *Code of Conduct* (2014).

Evaluation Trenching Methodology

- 7.4. Hard standing, unstratified modern material and topsoil will be removed mechanically by a machine using a wide toothless ditching bucket, under continuous archaeological supervision. The topsoil or recent overburden will be removed down to the first significant archaeological horizon in successive level spits. No machinery will track over areas that have previously been stripped until the area has been signed off by ARS Ltd.
- 7.5. The areas will be appropriately cleaned using hand tools in order to expose the full nature and extent of archaeological features and deposits.
- 7.6. All spoil removed during groundworks will be scanned visually to recover small finds. Any finds so recovered will be recorded and their location noted on a site plan at a relevant scale. The finds will be retained and recorded.
- 7.7. All archaeological features will be planned and sectioned as a minimum objective.
- 7.8. Isolated, discrete features such as pits and postholes not belonging to structures or industrial activities will be 50% sampled, although if they produce artefacts then provision is made for full excavation.
- 7.9. Sampling of linear features such as ditches and gullies relating to agricultural activity will be sufficient to determine their character, stratigraphy and relationship to other features and attempts made to obtain dating evidence.
- 7.10. Any deposits relating to funerary/ritual activities, such as burials and cremation deposits, will be 100% excavated. Domestic/industrial activity (such as walls, postholes, floors, hearths) will be sufficiently excavated to understand their form and function and to recover potential dating evidence and artefact and ecofact assemblages.
- 7.11. Area deposits such as buried soils, or middens, will be hand excavated at a minimum 10%. Subsequent excavation by machine will be considered. Large intrusions, such as reservoirs, will be sufficiently excavated by machine, within safe limits, to provide information on their character.

- 7.12. Limited representative samples of bricks from brick-built structures, and selective products of the brick working process will be retained for specialist analysis where appropriate.
- 7.13. Discovery of any human remains will be reported to the coroner and excavated following receipt of the appropriate Ministry of Justice Guidelines.
- 7.14. For deposits that have potential for providing environmental or dating evidence, a minimum of 10 litres of sample will be taken, or 100% of the sample if smaller. This material will be floated and passed through graduated sieves, the smallest being a 500µ mesh. Should other types of environmental deposits be encountered appropriate specialist advice will be sought and an appropriate sampling strategy devised. Samples will be assessed by a suitable specialist with provision for further analysis as required. Advice from the English Heritage Scientific Adviser will be taken as appropriate.
- 7.15. All site operations will be carried out in a safe manner in accordance with ARS Ltd's health and safety policy. Deep sections such as those across ditches or pits will be shored as necessary. A risk assessment will be prepared before commencement on site.

Recording

- 7.16. The site will be accurately tied into the National Grid and located on a 1:2500 or 1:1250 map of the area. The site will be recorded using a single context planning system in accordance with the ARS Ltd field recording manual.
- 7.17. A full and proper record (written, graphic and photographic as appropriate) will be made for all work, using pro-forma record sheets and text descriptions appropriate to the work. Accurate scale plans and section drawings will be drawn where required at 1:50, 1:20 and 1:10 scales, as appropriate. In addition to relevant illustrations, provision for rectified photographic recording shall be made, if deemed necessary.
- 7.18. The stratigraphy of the site will be recorded even where no archaeological deposits have been identified.
- 7.19. All archaeological deposits and features will be recorded with above ordnance datum (AOD) levels.
- 7.20. A photographic record of all contexts will be taken using a digital camera, and will include a clearly visible, graduated metric scale. A register of all photographs will be kept. A selection of working shots will be taken to demonstrate how the site was investigated and what the prevailing conditions were like during excavation.
- 7.21. Where stratified deposits are encountered, a 'Harris' matrix will be compiled.

Access and Monitoring

- 7.22. Access to the site will be arranged through the commissioning body.
- 7.23. ARS Ltd will afford reasonable access to the GMAAS Senior Planning Archaeologist, or his representative, for the purposes of monitoring the archaeological mitigation.
- 7.24. ARS Ltd will maintain regular communication with the commissioning body to ensure that the project aims and objectives are met.

- 7.25. Once all the trenches have been opened, the GMAAS Senior Planning Archaeologist will be consulted to determine if open area excavation is required to investigate further any archaeological deposits that have been exposed.

Finds Processing and Storage

- 7.26. All finds processing, conservation work and storage of finds will be carried out in compliance with the IFA *Standard and Guidance for the collection, documentation, conservation and research of archaeological materials*. (2013c) and those set out by UKIC (1990).
- 7.27. Artefact collection and discard policies will be appropriate for the defined purpose.
- 7.28. Bulk finds which are not discarded will be washed and, with the exception of animal bone, marked. Marking and labelling will be indelible and irremovable by abrasion. Bulk finds will be appropriately bagged, boxed and recorded. This process will be carried out no later than two months after the end of the excavation.
- 7.29. All small finds will be recorded as individual items and appropriately packaged (e.g. lithics in self-sealing plastic bags and ceramic in acid-free tissue paper). Vulnerable objects will be specially packaged and textile, painted glass and coins stored in appropriate specialist systems. This process will be carried out within two days of the small find being excavated. .
- 7.30. During and after the excavation all objects will be stored in appropriate materials and storage conditions to ensure minimal deterioration and loss of information (including controlled storage, correct packaging, and regular monitoring, immediate selection for conservation of vulnerable material). All storage will have appropriate security provision.
- 7.31. The deposition and disposal of artefacts will be agreed with the legal owner and the repository for the archive prior to the work taking place. All finds except treasure trove are the property of the landowner.
- 7.32. All retained artefacts and ecofacts will be cleaned and packaged in accordance with the requirements of the recipient museum.

Post-excavation Assessment and Report

- 7.33. The aims of the post-fieldwork phase of the project are to:
- produce a concise post-excavation assessment strategy
 - prepare an orderly archive of the records of the fieldwork.;
 - clean, conserve and prepare artefacts/ecofacts for long term museum storage.;
 - prepare specialist reports as appropriate
 - prepare a report describing the basic nature of the archaeological deposits discovered.
- 7.34. One copy of the report will be submitted to the client, and one bound hard copy and a digital copy in word or .pdf format will be submitted to the GMAAS HER. Each report will be bound with each page and paragraph numbered and will include as a minimum the following.
- A non-technical summary.
 - Introduction and objectives of the evaluation.
 - Methodology of the evaluation.

- An objective summary statement of results.
- A phased stratigraphic discussion of the archaeological features.
- An interpretive discussion of the results, placing them in a local and regional framework and an assessment of the significance of any remains.
- Appropriate supporting illustrations, including a site plan, trench and section plans, feature sections and plans and a phased site plan as appropriate.
- A site location plan at 1:2500 or 1:10000 as appropriate and a phased interpretation of the site as appropriate.
- The results of an assessment of artefacts, ecofacts and industrial residues carried out by suitable specialists, who will be furnished with relevant contextual and stratigraphic information.
- If sufficiently significant remains are recovered then an analysis of the above based upon the specialist assessment recommendations.
- In the event that significant remains are encountered, then a timetable for wider dissemination will be included in the report.
- A detailed context index and supporting data in tabulated form or in appendices.
- An index to and the proposed location of the archive.
- The proposed date of deposition of the archive.
- References.
- Photographs of work in progress on the site.

Within the report:

- all plans will be clearly related to the national grid
- all levels will be quoted relative to ordnance datum.

7.35. An OASIS online record <http://ads.ahds.ac.uk/project/oasis/> will be undertaken for the project, after client confidentiality has been waived.

8. Monitoring

8.1. Reasonable access to the site will be allowed to the commissioning body and GMAAS, or their nominees, for the purpose of monitoring the archaeological evaluation. Prior notification of a site visit is required from the above mentioned, and ARS Ltd should be notified accordingly.

9. Archive Deposition

9.1. A digital, paper and artefactual archive will be prepared by ARS Ltd, consisting of all primary written documents, plans, sections, photographs and electronic data. The archive will be stored by Archaeological Research Services Ltd until such a time when a suitable repository becomes available.

9.2. All artefacts and associated material will be cleaned, recorded, properly stored and deposited in the archive (see above).

9.3. A full set of annotated, illustrative pictures of the site, excavation, features, layers and selected artefacts will be supplied to the Greater Manchester HER and deposited with the archive as digital images on a CD ROM along that will be attached with the report.

- 9.4. At the start of work (immediately before fieldwork commences) an OASIS online record <http://ads.ahds.ac.uk/project/oasis/> will be initiated and key fields completed on Details, Location and Creators forms. All parts of the OASIS online form will be completed for submission to the Greater Manchester HER. This will include an uploaded .pdf version of the entire report (a paper copy will also be included within the archive).

10. Changes to Methodology or Work Programme

- 10.1. Changes to the approved methodology or programme of works will only be made with prior written approval of the GMAAS Senior Planning Archaeologist.

11. References

- British Geological Survey 2014. *Geology of Britain Viewer* [online]. Available at: <http://www.bgs.ac.uk/discoveringGeology/geologyOfBritain/viewer.html?src=topNav> [Accessed 3rd November 2014].
- Brunskill, R. W. 1994. *Timber Building in Britain*. London, Victor Gollancz.
- Brunskill, R. W. 2000. *Vernacular Architecture. An Illustrated Handbook*. London, Faber and Faber.
- Curl, J. S. 1997. *Encyclopaedia of Architectural Terms*. London, Donhead.
- English Heritage 2006. *Understanding Historic Buildings. A guide to good recording practice*. London, English Heritage.
- Institute for Archaeologists 2013a. *The Standards and Guidance for Archaeological Building Recording*. Reading, Institute for Archaeologists.
- Institute of Field Archaeologists. 2013b. *Standard and Guidance for Field Evaluation*. Reading, Institute for Archaeologists.
- Institute of Field Archaeologists. 2013c. *Standard and Guidance for the collection, documentation, conservation and research of archaeological materials*. Reading, Institute for Archaeologists.
- Institute of Field Archaeologists. 2014. *Code of Conduct*. Reading, Institute for Archaeologists.
- Lynch, G. 1994. *Brickwork: History, Technology and Practice*, Volume 2. London, Donhead.
- Royal Commission on the Historical Monuments of England 1996. *Recording Historic Buildings: A Descriptive Specification*. 3rd Edition.
- UKIC (United Kingdom Institute for Conservation). 1990. *Guidelines for the Preparation of Archives for Long-Term Storage*.

OASIS DATA COLLECTION FORM: England

[List of Projects](#) | [Manage Projects](#) | [Search Projects](#) | [New project](#) | [Change your details](#) | [HER coverage](#) | [Change country](#) | [Log out](#)

Printable version

OASIS ID: archaeol5-206111

Project details

Project name	137-149 Cross Street, Sale, Greater Manchester
Short description of the project	Historic building assessment of the former Waggon and Horses public house and house number 145 Cross Street. Both buildings contain structures dating to late 18th century with later extension dating from the mid to late 19th century through to the mid 20th century
Project dates	Start: 01-03-2015 End: 05-03-2015
Previous/future work	No / Not known
Type of project	Building Recording
Monument type	PUBLIC HOUSE AND HOUSE Post Medieval
Significant Finds	NONE None
Methods & techniques	"Photographic Survey", "Survey/Recording Of Fabric/Structure"
Prompt	Planning condition

Project location

Country	England
Site location	GREATER MANCHESTER TRAFFORD SALE 137-149 Cross Street, Sale
Study area	100.00 Square metres
Site coordinates	SJ 7878 9259 53.4294126094 -2.31940450966 53 25 45 N 002 19 09 W Point

Project creators

Name of Organisation	Archaeological Research Services Ltd
Project brief originator	GMAAS
Project design originator	Archaeological Research Services Ltd
Project director/manager	Robin Holgate
Project supervisor	Alvaro Mora-Ottomano

Project archives

Physical Archive
Exists? No

Digital Archive
Exists? No

Paper Archive
Exists? No

Project bibliography 1

Publication type Grey literature (unpublished document/manuscript)

Title 137-149 Cross Street, Sale, Greater Manchester

Author(s)/Editor(s) Mora-Ottomano, A.

Date 2015

Issuer or publisher Archaeological Research Services Ltd.

Place of issue or
publication Bakewell

Entered by Alvaro Mora-Ottomano (alvaro@archaeologicalresearchservices.com)

Entered on 13 March 2015

OASIS:

Please e-mail [English Heritage](#) for OASIS help and advice

© ADS 1996-2012 Created by [Jo Gilham and Jen Mitcham](#), email Last modified Wednesday 9 May 2012

Cite only: <http://www.oasis.ac.uk/form/print.cfm> for this page