

**An Archaeological Desk Based
Assessment and Walkover Survey of
Lumford Mill, Riverside Business Park,
Bakewell, Derbyshire**



ARS Ltd Report 2015/108

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EXECUTIVE SUMMARY

Archaeological Research Services Ltd (ARS Ltd) was commissioned to produce an Archaeological Desk-Based Assessment and Walkover Survey in relation to the impact of proposed developments at Lumford Mill, Riverside Business Park, Bakewell. Two planning applications have been submitted to the Peak District National Park Authority for the proposed development of two adjacent sites within the Riverside Business Park Complex, which include the demolition of former mill buildings, associated structures and other buildings and the construction of a hotel and various commercial developments and associated works.

The Riverside Business Park complex has undergone considerable change over the past two centuries. Prior to 1777, the site was an area of open land within both Bakewell and Longstone, alongside the River Wye. The construction of Lumford Cotton Mill by Sir Richard Arkwright in this area brought about changes to the setting of the area. Alterations were made to the course of the river in three different places, weirs constructed to divert the flow of water and three mill ponds were built, all to aid in the running of the Mill. The Lumford Mill water management system is now a Scheduled Monument (NHLE 1012436). The Mill itself was gutted by fire in 1868, with only the waterwheels, workshop and the chimney left intact. The majority of the current buildings within the Riverside Business Complex were built in the late 19th - late 20th centuries and are of no architectural or historic interest.

The assessment has identified two areas of archaeological potential within the site. Beneath the Mule Spinning Shed, there is potential for archaeological remains relating to the original 1777 Lumford Mill complex, especially within the area of the former water wheel pit. Beneath the Mill race car park, there is potential for remains of The Riverside Cottage complex to survive beneath the car park.

Depending on the final design for the proposed development, archaeological fieldwork in the form of an archaeological excavation targeting the areas with the highest level of potential for archaeological remains associated with the original Lumford Mill complex to survive may be required prior to commencement of the proposed development.



TABLE OF CONTENTS

1	INTRODUCTION	1
1.1	Project and Planning Background	1
1.2	Site description	1
1.3	Geology	1
2	AIMS AND OBJECTIVES.....	2
3	METHOD STATEMENT	2
3.1	Study Area	3
3.2	Information Sources	3
4	PLANNING POLICY BACKGROUND	3
4.1	National Planning Policy Framework (NPPF).....	3
4.2	Local Planning Policies	5
4.3	Bakewell Conservation Area Appraisal	9
5	BASELINE DATA.....	10
5.1	Archaeological and Historical Background.....	10
5.1.1	The Prehistoric – Romano-British Period.....	10
5.1.2	The Medieval Period.....	10
5.1.3	The Post-Medieval Period.....	11
5.2	Designated Assets	12
5.3	Non-Designated Assets	13
5.3.1	Archaeological Remains.....	13
5.3.2	Archaeological Events.....	13
5.3.3	Historic Buildings	14
6	WALKOVER SURVEY	15
6.1	Building Assessment	15
7	ASSESSMENT OF THE SIGNIFICANCE OF AFFECTED HERITAGE ASSETS.....	72
8	ASSESSMENT OF POTENTIAL IMPACTS	72
9	RECOMMENDATIONS	73
10	STATEMENTS AND ACKNOWLEDGEMENTS.....	73
10.1	Publicity, Confidentiality and Copyright.....	73
10.2	Statement of Indemnity	73
10.3	Acknowledgements.....	73
11	REFERENCES.....	74
11.1	Primary Sources	74
11.2	Secondary Sources	74



LIST OF PLATES

Plate 1: Holme Lane car park showing the location of a large stone along the hedge (arrow).....	16
Plate 2: Detail of ex situ sandstone masonry along the base of the hedge, looking north.	17
Plate 3: Chamfered plinths dispersed along Holme Lane, looking east.	17
Plate 4: Historical photograph (post 1950) of the works showing the former Mule Spinning Shed.	21
Plate 5: East elevation viewed from the mill stream.	21
Plate 6: Southern side of the east elevation, looking north-west.	22
Plate 7: Doorway of Fearnough House, looking west.	22
Plate 8: Northern side of the east elevation with surviving masonry of the primary mill (arrow).....	23
Plate 9: Detail of the extant original wall with soot stain, looking west.	23
Plate 10: Projecting water wheel housing, looking north-west.	24
Plate 11: Penstock with sluice gate’s mechanism and trash rack or grill, looking north.	24
Plate 12: Detail of gate’s ratchet wheels, looking north-west.	25
Plate 13: Original archway beneath the former water wheel housing, looking east.	25
Plate 14: Primary staircase to the former water wheel housing, looking north-east.	26
Plate 15: Historical photograph showing the former wheels with a metal launder for the small wheel.	26
Plate 16: Historical photograph showing the small wheel without the launder.	27
Plate 17: Historical photograph showing the former wheels in operation.	27
Plate 18: South elevation and weighing bridge, looking north-east.	28
Plate 19: Northern side built over an earlier lower wall (arrows), looking north-east.	28
Plate 20: Northern end of the west elevation with sloping parapet, looking east.....	29
Plate 21: Internal view of the former Mule Spinning Shed, looking south-west.....	29
Plate 22: Detail of cast-iron column’s capital.	30
Plate 23: Reclaimed masonry stored within the main workshop, looking east.	30
Plate 24: Detail of the weighing scale, looking south-east.....	31
Plate 25: Timber floor with cavity within the office block, looking north.	31
Plate 26: Plant room with circular hole of former turbine, looking east.....	32
Plate 27: Office block (right) and inserted doorway to Fearnough House (centre), looking east.	32
Plate 28: Central corridor within Fearnough House, looking east.	33
Plate 29: Mill race car park, looking north.	34
Plate 30: Retaining wall of the mill race with an area devoid of vegetation (yellow lines), looking south-west.	34
Plate 31: Historical photograph showing former lean-to outbuildings against the retaining wall.....	35
Plate 32: General view of the Retort House, looking south-west.	36
Plate 33: Retort House, looking south-west.....	37
Plate 34: Chimney stack, looking north.....	38
Plate 35: Detail of flue opening and tumbled iron door, looking south.	38



**An Archaeological Desk-Based Assessment and Walkover Survey of
Lumford Mill, Riverside Business Park, Bakewell, Derbyshire**

Plate 36: West elevation of Units 16b – d, looking east.....	39
Plate 37: Unit 16d with engineering brick chimney stack, looking west.....	40
Plate 38: Detail of flue opening, looking east.....	40
Plate 39: Unit 14, looking north-east.....	41
Plate 40: Remnants of boundary wall along the base of the mill race embankment, looking north-east.....	42
Plate 41: Detail of standing boundary wall, looking north-east.....	42
Plate 42: South elevation of Unit 13, looking north.....	43
Plate 43: Eastern gable wall showing scars of already demolished extension, looking west.....	44
Plate 44: General view of Units 6a and 6b, looking south-west.....	45
Plate 45: Internal view of Unit 6a, looking north.....	45
Plate 46: North elevation of Units 7a – c, looking west.....	47
Plate 47: South elevation of Units 7a – c, looking north-west.....	47
Plate 48: East elevation of Unit 7a, looking north-west.....	48
Plate 49: Internal view of Unit 7a, looking north.....	48
Plate 50: Internal view of Unit 7b, looking north.....	49
Plate 51: Internal view of Unit 7c, looking north.....	49
Plate 52: General view of Unit 8, looking north.....	50
Plate 53: West elevation of the main range of Unit 8, looking south-east.....	51
Plate 54: Internal view of Unit 8, looking north-east.....	51
Plate 55: Settling tanks outside the south elevation of the main range of Unit 8, looking north.....	52
Plate 56: General view of the Nissen huts (Units 10 – 12), looking north.....	53
Plate 57: Front elevation of Unit 10, looking west.....	54
Plate 58: Detail of roof structure, looking south-west.....	54
Plate 59: Internal view of Unit 10, looking west.....	55
Plate 60: North elevation of Unit 21, looking south-west.....	56
Plate 61: South elevation of Unit 21, looking north-east.....	56
Plate 62: North elevation of Unit 22 along the access road of the works, looking west.....	57
Plate 63: Rear elevation along the river side, looking south-east.....	58
Plate 64: Plant room within the western end of Unit 22, looking south-east.....	58
Plate 65: Gas boiler, looking south-east.....	59
Plate 66: General view of Units 11 and 12, looking west.....	60
Plate 67: Structural remains adjacent to the west elevation of Units 11 and 12, looking south-west.....	60
Plate 68: General view of Unit 5b, looking north-east.....	61
Plate 69: Gable wall of Units 5a (arrow) along the main access road of the works, looking east.....	62
Plate 70: Internal view of Units 5a (right) and 5b (left), looking north.....	62
Plate 71: Gable wall of Units 14 (arrow) along the main access road of the works, looking east.....	63
Plate 72: Internal view of Unit 14, looking south.....	64
Plate 73: Gable wall of Units 18 (arrow) along the main access road of the works, looking east.....	65
Plate 74: Internal view of motorbike garage, looking north.....	65



*An Archaeological Desk-Based Assessment and Walkover Survey of
Lumford Mill, Riverside Business Park, Bakewell, Derbyshire*

Plate 75: North elevation of Unit 18 (arrow), looking south.....	66
Plate 76: Internal view of Unit 18, looking north.	66
Plate 77: South gable wall of Unit 17, looking north-east.....	67
Plate 78: North gable wall of Unit 17, looking south-west.....	68
Plate 79: Internal view of Unit 17, looking north.	68
Plate 80: South gable wall of Unit 2, looking north-west.....	69
Plate 81: North gable wall of Unit 2, looking south.	70
Plate 82: Internal view of Unit 2, looking north-east.	70
Plate 83: Circular steel kilns within the southern area of Unit 2, looking south.	71
Plate 84: Detail of kiln, looking north.....	71



LIST OF TABLES

Table 1: Designated heritage assets within the PDA’s 12
Table 2: Non-designated archaeological remains located within the PDA’s 13
Table 3: Archaeological events within the PDA’s 13
Table 4: Non-designated Historic Buildings located within the PDA’s 14

LIST OF APPENDICES

Appendix 1: Gazetteer of Archaeological Remains & Archaeological Events..... 76
Appendix 2: Gazetteer of Historic Buildings..... 83
Appendix 4: Figures..... 94
Appendix 5: OASIS..... 105



1 INTRODUCTION

1.1 Project and Planning Background

Archaeological Research Services Ltd was commissioned by Riverside Business Park Ltd to undertake an archaeological desk-based assessment and walkover survey at Lumford Mill, Riverside Business Park, Bakewell, Derbyshire. Two planning applications have been submitted to the Peak District National Park Authority for the proposed development of two adjacent sites within the Riverside Business Park complex.

Application A (Application Ref. No. NP/DDD/0415/0339) planning proposal consists of:

‘Demolition of former mill buildings, associated structures and other buildings and full planning permission for Class C1 (Hotel) development incorporating ground floor floorspace with flexibility to be used for Class A3 and Class D2 uses, improvements to existing site access, parking, landscaping and other associated works.’

Application B (Application Ref No. NP/DDD/0415/0340) planning proposal consists of:

‘Demolition of former mill buildings, associated structures and other buildings and outline planning permission for mixed use development comprising Class A1 foodstore and floorspace with flexibility to be used for Class A1 (non-food), Class A3, Class B1/B2/B8 and Class D2 uses, improvements to existing site access including connection to previously approved and implemented new bridge access from Buxton Road, parking, landscaping and other associated works.’

Archaeological works have previously been undertaken within the vicinity of Riverside Business Park (Strange 2001, 2004, 2006 and 2010; Mora-Ottomano 2011), covering areas to the south, north-west and within the proposed development area. These reports will all be drawn upon in this report

1.2 Site description

The boundaries of the proposed development areas (hereafter ‘PDA’) are depicted by a red polygon for Application Area A (c.0.89ha in area) and a pink polygon for Application Area B (c.1.7ha in area) on Figure 1. The development sites are located within the Riverside Business Park complex, c.700m to the north-west of Bakewell town centre. The application sites are bounded to the north by the remains of Mill Race (NHLE 1012436), beyond which lies the steep hillside to Worm Wood, to the south by the River Wye and the A6, to the west by fields and to the east by residential dwellings along Holme Lane leading to Holme Bridge. Part of Application Area A falls within the Bakewell Conservation Area Boundary, while the Mill Race runs through both application areas. Riverside Business Park is centred at NGR SK 2123 6905 (Figure 1).

1.3 Geology

The underlying solid geology of the PDA consists of basaltic lava of the Conksbury Bridge Lava Member Formation, formed during the Carboniferous period when the local environment was previously dominated by eruptions of silica-poor magma. This is overlain by a superficial river deposits of clay, silt, sand and gravel alluvium (BGS 2015).



The soils of the PDA are classified as belonging to the MALHAM-2 Soil Association (541p), which are typical brown earths (SSEW 1983a). These soils form over Aeolian silty drifts over Carboniferous limestone and Triassic limestone breccia, and are characterised as *well drained often stoneless silty soils over limestone, shallow in placed especially on crests and steep slopes. Bare rock locally* (SSEW 1983b).

2 AIMS AND OBJECTIVES

The principal aims of this assessment are to produce a report detailing the archaeological potential of the PDA, and to assess the potential impacts of the proposed development upon any buried and upstanding archaeological remains, historic buildings, the historic landscape and the settings of nationally designated assets.

The following objectives will contribute towards accomplishing this aim:

- ◆ To collate and assess existing information about the historic environment within the study area and to determine as fully as possible from the available evidence the nature, survival, quality, extent and importance of any archaeological remains and any upstanding buildings/structures within the PDA.
- ◆ To provide an assessment of areas of archaeological potential and survival based on the above research and assess the potential for the use of particular investigative techniques in order to aid the formulation of any necessary mitigation strategy, including further evaluation, excavation, and/or preservation of archaeological remains.
- ◆ To assess, where possible from the available sources, the extent of any ground disturbance associated with any previous intrusive development.
- ◆ To provide an initial assessment of potential impacts of the proposed development to the settings of cultural heritage assets, and make recommendations for further detailed assessment should this be considered necessary.

3 METHOD STATEMENT

The DBA and Walkover Survey were undertaken in accordance with the guidelines set out in The Chartered Institute for Archaeologists' (CIfA) *Standards and Guidance for Historic Environment Desk Based Assessment* (2014a), *Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures* (2014b), Historic England's *Understanding Historic Buildings* (2006) and a Written Scheme of Investigation (WSI) agreed with Sarah Whiteley, Senior Conservation Archaeologist for the Peak District National Park Authority Cultural Heritage Team.



3.1 Study Area

The study area adopted for this assessment comprises a 1km off-set from the 'redline boundary' of the proposed development areas. The extent of the 1km study area is depicted by a blue polygon on Figure 1.

3.2 Information Sources

The following sources of information were consulted to inform this assessment.

- ◆ The Derbyshire Historic Environment Record (HER) and Peak District HER for information regarding known archaeological remains, previous archaeological investigations, aerial photographs and an extract from the Peak District Historic Landscape Characterisation.
- ◆ The online National Heritage List for England (NHLE) maintained by Historic England for information regarding designated assets, as well as their downloadable GIS datasets of Scheduled Monuments, Listed Buildings, Registered Parks and Gardens of Historical Interest, Registered Battlefields and World Heritage Sites.
- ◆ The National Record of the Historic Environment (NRHE) maintained by Historic England Archives at Swindon for information regarding archaeological assets and investigations collaged at a national level.
- ◆ The Derbyshire Record Office (DRO) for available historic maps and any other relevant historic documents.
- ◆ The British Geological Survey onshore digital maps at 1:50 000 scale (DiGMapGB-50-WMS).
- ◆ Other relevant books and journals that are identified in the course of the data collection.
- ◆ A walkover survey to validate the results of the baseline data collection, to identify and record all built heritage and archaeological features and to determine whether any hitherto unrecorded sites may survive within the proposed development area.

4 PLANNING POLICY BACKGROUND

4.1 National Planning Policy Framework (NPPF)

This assessment was carried out under the National Planning Policy Framework (NPPF) (DCLG 2012). The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. The purpose of the NPPF is to contribute to the achievement of *sustainable development*, which includes "...contributing to, protecting and enhancing our natural, built and historic environment..." (DCLG 2012, 30).

Section 12 of the NPPF deals with government policy in relation to conserving and enhancing the historic environment and its role in sustainable development.



Paragraph 126 states that Local Authorities must undertake to ‘*recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance*’. In developing their strategy, local planning authorities should take into account:

- ◆ the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- ◆ the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- ◆ the desirability of new development making a positive contribution to local character and distinctiveness; and
- ◆ opportunities to draw on the contribution made by the historic environment to the character of a place.

Paragraph 128 states that, “*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation*” (DCLG 2012, 30).

Paragraph 129 states that, “*Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal*” (DCLG 2012, 30).

In determining planning applications, planning authorities should take account of:

- ◆ other relevant books and journals that are identified in the course of the data collection;
- ◆ the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- ◆ the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- ◆ the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraphs 132 – 141 provide guidance on the approach to be adopted by local authorities in weighing the impact of development against the conservation of heritage assets and their setting and significance (DCLG 2012, 31-32). Paragraph 132 states that “*When considering*



the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional" (DCLG 2012, 31).*

Setting Policy and Guidance

The NPPF Paragraph 128 states that *"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. In the document, Conservation Principles: Policy and Guidance (English Heritage 2008) it is noted that 'places where significance stems essentially from the coherent expression of their particular cultural heritage values can be harmed by interventions of a radically different nature' (English Heritage 2008, 58).*

4.2 Local Planning Policies

The Peak District National Park Local Plan (2001) is in the process of being replaced by the Core Strategy Development Plan (2011), which will set out the vision, objectives and spatial strategy for the Peak District National Park Authority to 2026. However, the Local Plan still contains a number of detailed operational policies that remain valid until the Local Plan has been fully replaced. The Local Plan includes the following in relation to the Historic Environment:

4.2.1 Redevelopment at Lumford Mill (Policy LB7)

- a) Comprehensive redevelopment, predominantly for industrial/business use (Use Classes B1 and B2) will be permitted on some 5ha at Lumford Mill, provided that:
- ◆ (i) the Listed Buildings and Scheduled Ancient Monument and their settings are adequately safeguarded in the long term; and
 - ◆ (ii) design, layout, landscaping and neighbourliness with adjacent uses are satisfactory; and
 - ◆ (iii) if development results in an increase in existing floorspace on the site, a new access bridge is built across the River Wye, and the old bridge is closed to vehicles.
- b) Acceptable uses on minor parts of the same site may include affordable housing to meet a local need (close to existing houses), and general market housing or tourist accommodation by conversion of the existing mill building.



Information should include appropriate floor plans, elevations, sections, notes of the specification of materials, and (where external work is involved) plans and elevations showing the listed building's relationship to its curtilage and to neighbouring structures.

c) Development will not be permitted if it would:

- ◆ (i) adversely affect the character, scale, proportion, design, detailing of, or materials used in the listed building; or
- ◆ (ii) result in the loss of or irreversible change to original features or other features of importance or interest.

d) In particular, development will not be permitted if it would directly, indirectly or cumulatively lead to:

- ◆ (i) changes to plan form which involve removal of original walls, stairs, or entrances, or sub-division of large interior spaces; or
- ◆ (ii) removal, alteration or unnecessary replacement of structural elements including roof structures, beams and floors; or
- ◆ (iii) the removal, alteration or unnecessary replacement of features such as windows, doors, shutters, fire surrounds and plasterwork; or
- ◆ (iv) the loss of curtilage features which complement the character and appearance of the listed building (eg. boundary walls, railings or gates); or
- ◆ (v) the replacement of original features other than with original materials and with appropriate techniques; or
- ◆ (vi) repairs or alterations involving materials, techniques and detailing inappropriate to the listed building; or
- ◆ (vii) extensions to the front of listed buildings; or
- ◆ (viii) extensions of more than one storey to the rear of listed small houses or terraced properties.

e) Conversion of a listed building to a use other than that for which it was designed will not be permitted unless it can accommodate the new use without enlargement and does not require major rebuilding. The new use must not involve or lead to changes to the listed building or its curtilage and/or setting that would adversely affect its architectural or historic interest and integrity.

f) Where change to a listed building is acceptable, and before the work is carried out, an adequate record of the changes made will be required.

4.2.4 Conversion of buildings of historic or vernacular merit (Policy LB8)

a) Conversion of a building of historic or vernacular merit to a use other than that for which it was designed will be permitted provided that:

- ◆ (i) it can accommodate the new use without changes that would adversely affect its character (such changes include significant enlargement or other alteration



to form and mass, inappropriate new window spacings or doorways, and major rebuilding); and

- ◆ (ii) the new use does not lead to changes to the building's curtilage or require new access or services that would adversely affect its character or have an adverse impact on its surroundings.

4.2.5 Historic and cultural heritage sites and features (Policy LC15)

a) When considering development proposals that could affect historic and cultural heritage sites and features, the following will be taken into account:

- ◆ (i) their national and local significance by reference to the Schedule of Ancient Monuments and to the County Sites and Monuments Records and other relevant information; and
- ◆ (ii) the protection, enhancement and preservation of the sites or features and their settings; and
- ◆ (iii) the need for the development to be on the site in question.

b) Where development affecting such a site or feature is acceptable, the preservation of any feature of special interest in its original position, and appropriate opportunities for public access and examination will be required wherever practicable, taking into account the importance of the site or feature.

4.2.6 Archaeological sites and features (Policy LC16)

a) When considering development proposals that could affect archaeological sites or features, the following will be taken into account:

- ◆ (i) their national and local significance by reference to the Schedule of Ancient Monuments and to the County Sites and Monuments Records and other relevant information; and
- ◆ (ii) the protection, enhancement and preservation of the sites or features and their settings; and
- ◆ (iii) the need for the development to be on the site in question; and
- ◆ (iv) the need for an appropriate archaeological assessment of the nature and importance of the remains;

b) Where development affecting such a site or feature is acceptable, the following will be required:

- ◆ (i) the implementation of an appropriate scheme for archaeological investigation prior to and during development; and
- ◆ (ii) wherever practicable, the preservation of any feature of special interest in its original position, and appropriate opportunities for future access and examination taking into account the importance of the site or feature.



The Peak District National Park Core Strategy Development Plan (2011) contains the following in relation to the Historic Environment:

4.2.7 Cultural heritage assets of archaeological, architectural, artistic or historic significance (Policy L3)

a) Development must conserve and where appropriate enhance or reveal the significance of archaeological, architectural, artistic or historic assets and their settings, including statutory designations and other heritage assets of international, national, regional or local importance or special interest;

b) Other than in exceptional circumstances development will not be permitted where it is likely to cause harm to the significance of any cultural heritage asset of archaeological, architectural, artistic or historic significance or its setting, including statutory designations or other heritage assets of international, national, regional or local importance or special interest;

c) Proposals for development will be expected to meet the objectives of any strategy, wholly or partly covering the National Park, that has, as an objective, the conservation and where possible the enhancement of cultural heritage assets. This includes, but is not exclusive to, the Cultural heritage Strategy for the Peak District national Park and any successor strategy.

4.3 Bakewell Conservation Area Appraisal

The Bakewell Conservation Area Appraisal (2013) identifies areas of special architectural and historic interest within the Conservation Area to be used to assess the impact of proposed development on the Conservation Area and its settings. The Appraisal contains the following in relation to the Historic Environment, and specifically the area of Lumford Mill:

4.3.1 7.0 Spatial & Character Analysis: Area 1 Northern Edge

7.1 Abutting the north-western edge of the Conservation Area is the Riverside Business Park. This comprises the remains of Lumford Mill, its ancillary buildings and large modern super-sheds. This complex provides an industrial setting to this part of the Conservation Area and the north-western approach to the town. Endcliff and Worm Wood rise up the valley sides to the south and north, containing the business park and forming the wider setting.

7.2 The narrow Lumford bridge, that historically formed the main entrance to the (mill) site, now provides access to the business park from the A6. The historic bridge and former workshop to the mill are within the north-western part of the Conservation Area. From its boundary, the River Wye and a millstream run an open course until their confluence at Holme Bridge. A private, partly un-metalled, road runs parallel to the river, with a broad grass embankment between the two.

7.3 This area is relatively open, lying within the valley bottom with land rising to the north and south, most with tree cover. The open green space between the Riverside Business Park and Holme Bridge provides an important buffer between the two.



4.3.2 10.0 Amendments to the Conservation Area Boundary

Amendment A: The original boundary included Lumford Bridge but excluded the whole of the Lumford Mill site. The Grade II listed building beside the river pre-dates the 1868 fire, which destroyed the cotton mill, and is thought to have been the workshop for the mill. Although protected in its own right, this building dates from around 1800 and is of historic importance as the only building surviving from the Lumford Cotton Mill, which played a significant part in Bakewell's history and development. The Conservation Area boundary has been extended to include the listed building at Lumford Mill.

5 BASELINE DATA

5.1 Archaeological and Historical Background

5.1.1 The Prehistoric – Romano-British Period

Evidence for prehistoric remains in the area of Bakewell is scarce. The majority of the evidence from this period comes from c.1.5-2.5km east of Bakewell town centre, where a series of Bronze Age barrows on Calton Pastures are located.

The Romans were attracted to the Peak District for its lead. Although there is no evidence for a major settlement here, there have been a number of finds from the Roman period within Bakewell, including Roman pottery (A6) found c.400m to the south of the PDAs. An inscribed Roman altar was found near the River Wye at Haddon and now stands in the entrance porch of the banqueting Hall at Haddon Hall (BCAA 2013).

5.1.2 The Medieval Period

A 2.4m high carved stone cross shaft (NHLE 1008617) in the churchyard of All Saints' Church (NHLE 1316489) is thought to date from the seventh or eighth century. There is also a large collection of early medieval carved stones within the church, including cross fragments and fragments of tombs, discovered during the rebuilding of the church in the 19th century. These elements suggest that there may have been a church or other religious focus here as early as AD800 (Stroud, 2003).

The earliest documentary reference to Bakewell is in The Anglo-Saxon Chronicle, which records that in AD920 Edward the Elder ordered a *burh*, or defensive military fortification, to be built near to 'Badecan Wiellon'. The name translates as 'Beadeca's spring', with Beadeca being an Old English personal name (Cameron, 1959). The current spelling of Bakewell does not appear until the 14th century (BCAA 2013). By AD1086, the Domesday Book lists Bakewell as a long-established royal manor with eight *berewicks*, or small dependent outlying settlements: Haddon, Holme, Rowsley, Burton, Conksbury, Oneash, Monyash and Over Haddon.

By the medieval period Bakewell was the administrative centre of a large estate. It is likely to have started to develop and grow in size in the 12th century, as the town was strategically positioned on a number of important communication routes and also controlled the crossing over the River Wye (BCAA 2013). The small motte and bailey on Castle Hill (NHLE



1013543), c.600 to the south-east of the PDAs, thought to date from the 12th century, would have guarded the river crossing point, although excavations have suggested that it may only have been occupied for a short period (EV1). The 'Portway', an alleged prehistoric trackway between Ashford and Wirksworth, passes to the west of the PDAs.

In the medieval period, the PDAs were a part of Bakewell's common open arable fields (Brighton, 2005). The strip fields are clearly marked on the 1796 Map of the Manor of Bakewell. Medieval strip lynchets are still visible behind Ridgefield on Monyash Road, and strip lynchets and areas of ridge and furrow can be seen within fields to the south of the PDAs (AR4 and AR23). By the 16th century, the extent of Bakewell was probably similar to that shown on the 1799 Survey Plan, the earliest map of the town of Bakewell, though the area of the PDAs are not shown on this map as they are too far west of the town centre (Stroud, 2003).

5.1.3 The Post-Medieval Period

With the creation of the turnpike roads, a new phase in the town's development began, starting with the establishment of Sir Richard Arkwright's four-storey cotton-spinning mill at Lumford in 1777 (Brighton, 2005). Arkwright leased 53 acres of undeveloped land adjacent to the River Wye in both Bakewell and Longstone from Philip Gell (Strange 2010, 21). Alterations were made to the course of the river in three different places and weirs were constructed to divert the flow of water as required to aid in the powering of the mill (Figures 2 and 3). The four-storey mill was a long, narrow building, 30ft x 186ft, and was first supplied by first one reservoir, and later three, behind the mill, supplying water to a wheel within the building. In 1827, a Wren & Hughes water wheel was installed at the mill, measuring 25ft x 18ft, with seventy buckets to aid in the powering of the wheel (Thornhill 1959). The installation of this new wheel necessitated extensive changes to water storage to maintain the mill operation. By 1840, the reservoirs were filled in and the millrace was constructed to feed this new wheel (Figure 4). In 1852, a second water wheel was installed at the mill.

Bakewell had its own gas supply to light the streets by 1850, provided by the Bakewell Gas Company (Brighton, 2005). The Gas Works were located on Buxton Road, just to the southwest of Lumford Mill and shown on the 1875 and 1898 Ordnance Survey maps (Figures 5 and 6). Excavations in 2011 by ARS Ltd (EV6) revealed remains associated with the former Gas Works consisting of a series of building's walls and a former chimney stack. Lumford cotton mill also had its own gas plant installed in 1844 as part of improvements made to the premises, shown as a 'Gasometer' on the Ordnance Survey maps (Strange 2006). A 2006 survey of the former Gas Works building noted that the gas plant was set into the embankment carrying the head-race to the water-wheels, and there were no surviving above ground heritage assets extant on the site (Strange 2006).

In 1868 the Lumford Cotton Mill was gutted by fire, with only the two water-wheels, the workshop, some ancillary riverside buildings and one early nineteenth century chimney left intact. The Mule Spinning Shed was constructed on the site within part of the footprint of the original 1777 building. Although textile manufacturing was in operation in a reduced form on the site by 1875 under Thomas Somersett, this was unsuccessful and ceased in



1896. In 1898 the land and buildings was purchased by the DP Battery Company (Brighton, 2005). Extensive alterations were made by the DP Battery Company to the existing buildings, and new buildings were also constructed. Between 1922 and 1970, the site expanded over the areas of the former mill ponds, with DP Battery Company becoming one of the leading suppliers of submarine batteries during World War II. W Fernehough Ltd acquired the works in 1970, and the entire complex is now referred to as the Riverside Business Park.

5.2 Designated Assets

On-Site

There are two designated heritage assets within the PDAs consisting of one Scheduled Monument and the Bakewell Conservation Area. They are listed below in Table 1 and in further detail in the Gazetteers in Appendix 1 and 2, and depicted in orange and yellow respectively in Figures 7 and 9.

Table 1: Designated heritage assets within the PDA's

Project ID	NHLE ID	HER ID	Description
SM5	1012436	MDR8681	Lumford Mill Water Management System (Mill Race)
CA1	-	DDR7148	Bakewell Conservation Area

The Scheduled Lumford Mill Water Management System consist of embankments, which were modified and strengthened in 1880 on the line of the original embankments, an enlarged millpond, millrace, dam wall, tunnel, tailrace and river bridge, partially built in 1777 but the majority survives from post-1820, when the entire system was updated.

Off-Site

There are a further 174 designated heritage assets listed on the NHLE and Derbyshire HER that are located within the wider 1km study area, consisting of 5 Scheduled Monuments and 169 Listed Buildings. Of these buildings, six are Grade I listed and two are Grade II* listed. Holm Bridge, Bakewell Bridge, and two crosses in the churchyard of All Saints' Church are both Grade I Listed Buildings and Scheduled Monuments.

Immediately adjacent to the PDA's are three listed buildings: Lumford Mill (LB8), Bridge over the River Wye at Lumford Mill (LB9) and Facing to the Bridge over Mill Stream at Lumford Mill (LB10). Lumford Mill (LB8) was once part of the original Arkwright cotton mill, and is the only original building left of the Lumford Mill complex. The Bridge over the River Wye (LB9) is early-mid 19th century in date, while the Facing to the Bridge over Mill Stream (LB10) dates to the late 18th century. These are all listed in the Gazetteer in Appendix 1 and 2, and depicted on Figure 7.



5.3 Non-Designated Assets

5.3.1 Archaeological Remains

On-Site

There is one known archaeological remain recorded on the Derbyshire HER as being within the PDAs, details of which are listed in Table 2 below and in the gazetteer in Appendix 1, and is depicted in brown on Figure 9.

Table 2: Non-designated archaeological remains located within the PDA's

Project ID	HER ID	Description
AR41	MDR14227	Gas works (site of), Ashford Road

The former Bakewell Gas Company Works was established by 1850 and provided lighting for the town of Bakewell. Excavations in 2011 for the construction of a new bridge revealed remains of the former Gas Works consisting of a series of 19th century walls.

Off-Site

There are a further 42 non-designated archaeological remains listed on the Derbyshire HER located within the 1km wider study area. The majority of these remains consist of artefact findspots, strip lynchets and quarrying and mining remains. These are listed in the gazetteer in Appendix 1 and are depicted in brown on Figure 8.

5.3.2 Archaeological Events

On-Site

There have been three archaeological events carried out within the area of the PDAs that are listed with the Derbyshire HER. They are listed in Table 3 below and in the gazetteer in Appendix 1 and is depicted in green on Figure 8.

Table 3: Archaeological events within the PDA's

Project ID	HER ID	Year	Description
EV2	EDR2646	2004	Archaeological Evaluation, Lumford Mill, Bakewell
EV6	EDR3109	2011	Archaeological Evaluation, Riverside Business Park
EV10	EDR3694	2002	Research Report, Holme Bridge, Mill Bridge, Lumford Bridge and Matlock Bridge

Off-Site

There have been a further 12 archaeological events listed on the Derbyshire HER that have been carried out within the wider 1km study area. The majority of these consist of historic landscape and field surveys carried out in the fields around Bakewell. These are listed in the gazetteer in Appendix 1 and are depicted in green on Figure 8.



5.3.3 Historic Buildings

On-Site

There is one non-designated Historic Building listed on the Derbyshire HER located within the PDAs. This is listed in Table 3 below and in the gazetteer in Appendix 2 and is depicted in light blue on Figure 9.

Table 4: Non-designated Historic Buildings located within the PDA's

Project ID	HER ID	Description
HB13	MDR3523	Lumford Mill, west of Holme Hall, Bakewell

The HER designation covers the original Lumford Mill, a cotton mill built in 1777 and the rebuilt building from 1867 which incorporated elements of the original building into the design. The only parts of the original 18th century mill existing are part of a gritstone building and an old gritstone chimney. The designation area covers an area within both application areas.

Off-Site

There are a further 12 Historic Buildings listed on the Derbyshire HER located within the wider 1km study area. The majority of these buildings are located within the Bakewell Conservation Area, and are adjacent to designated Listed Buildings. These are listed in the gazetteer in Appendix 2 and are depicted in light blue on Figure 8.



6 WALKOVER SURVEY

A walkover survey was undertaken in August 2015 by Alvaro Mora-Ottomano (BA Hons, MSc) of ARS Ltd who is a corporate member of the Chartered Institute for Archaeologists (ACIfA 5297) and the Institute of Historic Building Conservation (2583AFF). The aim of the walkover survey was to determine as fully as possible from the available evidence the nature, survival, quality, extent and importance of any archaeological remains and any upstanding buildings/structures as specified within the brief provided by the Peak District National Park Authority's Senior Conservation Archaeologist.

6.1 Building Assessment

A series of standing buildings was assessed within the PDAs. For the purpose of this survey the definition 'building' is used to describe a built structure within the confines of the site boundary, which is identifiable as a single construction, and may have more than one phase of use or alteration. A plan of the site has been arranged with the buildings' names and/or codes (Figure 10). A selection of photographic plates is included in the report. Moreover, a series of historical photographs are also reproduced here which were supplied by Sarah Woodward of Litton Properties based on the originals held in the Old House Museum, Bakewell.

Previous archaeological and historical research has been undertaken as part of former planning applications (Strange 2001, 2004, 2006 and 2010) and thus should be used in conjunction with this document.

A brief text description of each building is provided, with an assessment of its chronology, original and subsequent purpose and significance based on the existence or non-existence of statutory and non-statutory designations and also on the author's professional judgement formulated by a substantial experience of historic building analysis, including industrial sites.

A plan of the site was supplied by the client showing the previously assigned names and codes of the standing buildings although with some amendments. The records produced were used in order to create an interpretative discussion of the form, function and phasing of the structures concerned. This consisted of the following.

- ◆ A written record of the buildings was carried out by annotating plans and elevations and by completing ARS Ltd pro-forma building recording sheets. Descriptions and terms used follow Brunskill (2000), Curl (1997) and Lynch (1994) wherever possible.
- ◆ A photographic survey composed of high-resolution digital photographs (16 megapixels) was taken using a Nikon L810. Where possible, photographs included a graduated scale. Details of the photographs were recorded on pro-forma index sheets, which included location, subject and orientation.



6.1.1 Holme Lane car park

The east entrance to the Riverside Business Park is approached from Holme Lane which leads to a large car park (centred coordinates: 421344/369054). The car park includes parking bays adjacent to the mill stream (designated as a Scheduled Monument) running parallel to the River Wye. The car park is devoid of any archaeological remains; however, along the base of a tall hedge row which demarcates the northern boundary, a large sandstone block, decorated with margins and chevron tooled marks, was identified (Plates 1 and 2). Although the large masonry is *ex situ*, it is probable that it might have derived from the rubble of the former 1777 Arkwright's mill building following its destruction by a fire in 1868. The type of stone is comparable to the only extant remains of the primary mill which are located within the east elevation of the former Mule Spinning Shed (see next section 6.1.2).

Further re-used masonry, composed of chamfered plinth blocks, can be seen along the lane which have been laid to prevent vehicles from parking within lawn areas (Plate 3). However, the type of stone utilised amongst the chamfered plinths is different to the piece identified beneath the hedge. Moreover, a large number of equivalent chamfered plinths are currently stacked up inside the former Mule Spinning Shed which appeared to have functioned as part of a reclamation yard store. Nevertheless, their association with the primary mill cannot be ruled out although, based on the type (and character) of the masonry, is it somewhat improbable that the plinth blocks originate from the 1777 Arkwright's mill building.



Plate 1: Holme Lane car park showing the location of a large stone along the hedge (arrow).





Plate 2: Detail of *ex situ* sandstone masonry along the base of the hedge, looking north.



Plate 3: Chamfered plinths dispersed along Holme Lane, looking east.



6.1.2 Mule Spinning Shed

The former Mule Spinning Shed, also known as Unit 1, is a large range which constitutes the eastern boundary of Lumford Mill complex, currently known as Riverside Business Park (centred coordinates: 421240/369048). The historical research established that it was built in c.1875 as a new single-storey mule-spinning mill probably by a new tenant, John Somerset, of Cotton Doublers (Strange 2010, 22). This new cotton spinning mill was built within part of the footprint of a 1777 Arkwright mill which was destroyed by fire in 1868 (*ibid.* 2, 22, 25 and 26), and possibly laid over the eastern foundation wall of the earlier mill (*ibid.* 25). The former Mule Spinning Shed was extended southwards in c.1881 forming the present Unit 1 which also appears to have been laid partially over the primary foundations of the earlier mill. In 1898 the building was sold to the DP Battery Company which ended over 120 fitful years of cotton spinning on the site. More land was acquired by the company in 1901 and was subsequently largely expanded during the Second World War.

The existing construction of the former Mule Spinning Shed consists of a large single-storey stone-built range with a saw-toothed (or north light) roof which is partially concealed by a flat parapet along the east and west elevations (Plate 4). The masonry is composed of coursed local sandstone squared blocks with chevrons tooling marks. The parapet emerges over a sandstone moulded cornice and includes squared blind recessed niches, blue engineering moulded dentilled brick verges holding coping stones which slopes down to the eaves. The front east elevation contains several window openings which are symmetrically arranged throughout the entire elevation. There is a later single-storey projecting extension, currently known as Fearnough House, which was erected in the 1950s (Plates 5 – 7). The construction of the later extension imitates the design of the main building, although with substantial dissimilarities.

Although the architectural design of the former Mule Spinning Shed is equivalent throughout the entire construction, the masonry of the southern side of the front elevation shows slight disparity with its corresponding northern side as the entire southern half of the building was built later. Indeed, the masonry is often composed of longer sandstone blocks, which appear to be of paler colour and less weathered than the northern side. Moreover, the tooling marks on the stone faces appear to be more pronounced than the ones within the northern original side.

Within the northern side of the east elevation there is a short section of earlier sandstone masonry which appears to be remnants of the original 1777 Arkwright's mill (Plate 8). Its precise location corresponds with a short projection of the mill which is depicted on contemporary cartographic records including a Boulton & Watt drawing of the mill produced in 1813 which refers to it as a 'chimney' (Strange 2010, frontispiece). Historical photographs following the 1868 fire that destroyed the mill show that the actual chimney survived the damage (*ibid.* 46). It is noteworthy that the surviving panel contains soot stain which would have been produced by the fumes inside the former chimney stack (Plate 9).

The northernmost end of the east elevation includes another stone-built projection (centred coordinates: 421273/369066) which appears to be a later rebuilt of the original water wheel housing that was incorporated within the mill in c.1827 replacing an internal central wheel



(Plate 10). This modified housing contains a concrete penstock, sluice gates with associated lifting mechanism and a trash rack or grill (Plates 11 and 12). The majority of these structural elements were introduced by DP Battery Company in 1898 which employed an engine house with a diesel generator to supplement the water driven generators as a large amount of electric current is required to form the plates of lead-acid batteries (Strange 2006, 5).

Despite substantial alterations of the water wheel housing, original construction survives to the rear west side including a stone-built revetment, comparable to the mill race's retaining wall along the adjacent car park to the north. This includes a staircase that leads to an obsolete stone ramp which, in turn, would have provided access to the top of the water wheel housing (although there is a later concrete upper section) and a segmental archway underneath the original housing (Plates 13 and 14).

The water wheel housing had been modified through time as it initially contained a single large wheel and subsequently a second wheel was added until later installations replaced the wheels which had been generating electricity until 1955 when a serious failure of the large wheel occurred (*ibid.*). A publicity advert for the former DP Battery Company contains details of the water wheels which were still in use between the late 19th century and the mid-20th century, describing that 'The large wheel, measuring 25 feet in diameter and 18 feet wide, was built by Hughes & Wren in 1827. The small wheel, measuring 21 feet in diameter and 7 feet wide, was made by Kirkland & son, Mansfield, in 1852'.

A series of historical photographs shows them *in situ* revealing that the small water wheel was fed through a metal launder situated above it (Plate 15). The orientation of the buckets or floats of both wheels indicates that they were pitch-back types which avoid the difficulties encountered with the tail-water on overshot wheels. Indeed, the name of this type of wheel derives from the motion of the wheel pitching back against the direction of the flow of water coming on to it. Another historical photograph shows the smaller wheel without the launder and possibly even lacking the large wheel (Plate 16). It is possible that the photograph might have been taken during a period when repairs were being undertaken. Indeed, repair and even replacement might have taken place throughout the time employed as an additional historical photograph illustrates a different small wheel as indicated by the type of spokes and particularly their connection with the wheel's metal rim (Plate 17).

The south elevation facing to the access road of Lumford Mill complex contains two inserted window openings associated with an adjacent steel weighing bridge which includes the makers name i.e. 'W Hodgson & Sons Ltd. Manchester' (Plate 18). The wall's eaves is decorated with dentilled brickwork equivalent to the one within the parapet.

The west elevation is comparable to its counterpart although without discernible window openings. Of note is a horizontal construction joint within the northern side which indicates that the primary construction of the former Mule Spinning Shed incorporated an earlier wall composed of fairly random rubble stonework (Plate 19). Cartographic evidence shows that the lower section of the wall may be the remains of an earlier boundary wall depicted on the 1875 Ordnance Survey map. The northernmost end of this elevation contains an inserted window opening and retains the original sloping parapet (Plate 20).



The majority of the internal workshop consists of cast-iron columns supporting the saw-toothed roof structure (Plates 21 and 22). It is worth noting that the western area of the concrete floor which covers the open plan area is partially covered with lichen and small vegetation, the source of which may relate to the former backfilled mill pond. The interior is practically vacant although reclaimed building materials are stored within the main workshop area (Plate 23).

The eastern area, formerly occupied by the original mill, is mainly occupied by offices created with glazed stud partitions. The office room opposite the weighing bridge retains an associated scale next to the south wall (Plate 24). The office block, as opposed to the main workshop area, contains a timber floor with a cavity underneath (Plate 25). This is significant as the primary water wheel pit, which was positioned within the centre of the mill, may still survive beneath the floor although possibly backfilled and/or capped. The north-easternmost area adjacent to the water wheel housing had been used as a plant room which contains evidence of a former turbine including a circular hole within the east wall and a concrete platform for the dismantled turbine (Plate 26).

The central area of the east wall contains an inserted doorway to the inserted Fearnough House which leads to a central corridor that enables access to side offices as well as the external doorway (Plates 27 and 28).

Despite its history, no specific associated functionality was ascertained due to the lack of surviving fixtures and fittings. Its present fabrics are in a moderate state of disrepair and the overall range has lost part of its integrity as a result of later alterations and neglect; however, it is a heritage asset with potential archaeological remains beneath the present fabric.





Plate 4: Historical photograph (post 1950) of the works showing the former Mule Spinning Shed.



Plate 5: East elevation viewed from the mill stream.





Plate 6: Southern side of the east elevation, looking north-west.



Plate 7: Doorway of Fearnough House, looking west.





Plate 8: Northern side of the east elevation with surviving masonry of the primary mill (arrow).



Plate 9: Detail of the extant original wall with soot stain, looking west.





Plate 10: Projecting water wheel housing, looking north-west.



Plate 11: Penstock with sluice gate's mechanism and trash rack or grill, looking north.





Plate 12: Detail of gate's ratchet wheels, looking north-west.



Plate 13: Original archway beneath the former water wheel housing, looking east.





Plate 14: Primary staircase to the former water wheel housing, looking north-east.



Plate 15: Historical photograph showing the former wheels with a metal launder for the small wheel.





Plate 16: Historical photograph showing the small wheel without the launder.



Plate 17: Historical photograph showing the former wheels in operation.





Plate 18: South elevation and weighing bridge, looking north-east.



Plate 19: Northern side built over an earlier lower wall (arrows), looking north-east.





Plate 20: Northern end of the west elevation with sloping parapet, looking east.



Plate 21: Internal view of the former Mule Spinning Shed, looking south-west.





Plate 22: Detail of cast-iron column's capital.



Plate 23: Reclaimed masonry stored within the main workshop, looking east.





Plate 24: Detail of the weighing scale, looking south-east.



Plate 25: Timber floor with cavity within the office block, looking north.





Plate 26: Plant room with circular hole of former turbine, looking east.



Plate 27: Office block (right) and inserted doorway to Fearnough House (centre), looking east.





Plate 28: Central corridor within Fearnough House, looking east.

6.1.3 Mill race car park

Immediately to the north-east of the former Mule Spinning Shed, there is a car park (centred coordinates: 421294/369088) bounded by the 'Riverside Cottages' to the east, the mill race to the west and a garage block to the north (Plate 29). The Riverside Cottage consisted originally of two additional rows of terraced houses creating an almost U-shaped complex as indicated by cartographic records. The earliest cartographic record of the U-shaped building complex is the 1786 Thornhill map (Strange 2010, 42). The complex appears depicted on preceding maps through to the late 19th century when the additional rows were demolished. Thus, structural remains of the former houses may lie beneath the car park.

The mill race's embankment consists of a battered retaining wall constructed with fairly random and roughly hewn Carboniferous limestone blocks. The retaining wall is part of a designated Scheduled Monument. It is worth noting that towards the southern end of the retaining wall there is an area practically devoid of lichen, moss and other vegetation present within the remaining part of the wall (Plate 30). This distinct cleaner area would have been produced by former abutments which appears on cartographic records dating from the 1875 Ordnance Survey map through to the first quarter of the 20th century. A historical photograph shows that the former abutments consisted of small single-storey stone-built lean-to structures (Plate 31).





Plate 29: Mill race car park, looking north.



Plate 30: Retaining wall of the mill race with an area devoid of vegetation (yellow lines), looking south-west.





Plate 31: Historical photograph showing former lean-to outbuildings against the retaining wall.

6.1.4 Retort House

The Retort House is located adjacent to the mill race's western embankment and in close proximity to the north-eastern corner of the former Mule Spinning Shed (centred coordinates: 4421257/369083). A detailed survey has already been produced as part of the planning application (Strange 2006). This building was associated with a late 19th century gas plant first depicted on the 1875 Ordnance Survey map. It has been suggested that the actual building could have also housed a steam engine to provide additional power to the Mule Spinning Shed (*ibid.* 3), although no apparent link appears depicted on the aforementioned map between the pertinent buildings.

The building is described in the previous survey referred to above (*ibid.* 4 and 5). Nevertheless, a short summary is included here with additional remarks. It is a single-storey stone-built range with a pitched slated roof which contains a glazed lantern. There is a modern metal lean-to shed-like structure (centred coordinates: 421258/369095), currently known as Unit 16a, abutting the north gable wall (Plates 32 and 33). There is a squared-plan and slightly tapered chimney stack adjacent to the external north-east corner. The stack is built with coursed sandstone blocks and the masonry is reinforced with nine bolted wrought-iron ties around the external sides. Half-way up the stack, there is a projecting band which bears high resemblance with a former crown copping. Moreover, the remaining upper section of the stack is less weathered indicating, thus, that the chimney stack might have been heightened some time ago (Plate 34). A circular flue opening was identified within the northern wall and an associated iron door which has tumbled down on the



ground that is part of the mill race's embankment (Plate 35). An additional blocked-up opening was observed lower down within the southern wall of the stack.

The interior has been substantially modified with later partitions and large openings, however it retains its original roof structure composed of a series of king-post trusses with struts and upper collars. There is no features, fixtures and fittings associated with the gas plant or any putative steam engine. The building has lost a significant amount of primary fabrics particularly within the western elevation. It is in fairly good condition and currently used for storage. It was added to the Lumford Mill complex in the late 19th century and thus is of local historic interest. The structure has a particular charm, being built in the traditional vernacular style and local materials, and bears some architectural merit particularly the chimney stack which constitutes a prominent landmark.



Plate 32: General view of the Retort House, looking south-west.





Plate 33: Retort House, looking south-west.



Plate 34: Chimney stack, looking north.



Plate 35: Detail of flue opening and tumbled iron door, looking south.

6.1.5 Units 16b, 16c and 16d

Units 16b, 16c and 16d consists of three amalgamated buildings abutting the western wall of the Retort House to the east and the northern wall of the Mule Spinning Shed (Plate 36). Unit 16b (centred coordinates: 421240/369102) is a rather modern metal lean-to shed of no significance. Unit 16c (centred coordinates: 421239/369095) is a single-story range built with mixed local limestone and sandstone blocks (including doorway jambs and corner quoins) laid fairly regular. It has a pitched roof cladded with metal sheeting. Unit 16d (centred coordinates: 421239/369066) is a single-storey steel pitched structure cladded with asbestos corrugated sheeting of little significance, although it contains a squared-plan and slightly tapered chimney stack built with blue engineering bricks (Plate 37). The interior of the buildings are composed of modern fabrics including partition walls made of concrete blockwork. Nevertheless, the base of the chimney stack was observed from a small aperture, with its obsolete flue opening, which is built with fire bricks (Plate 38).

Unit 16c appears to have been built in the mid-20th century as indicated by cartographic records. It is currently used as an interior design workshop. The former late 19th century gas plant included a gas holder within the site of the merged Units 16c and 16d, although no above-ground associated assets were identified. The structure is built in the traditional vernacular style and local materials.



Unit 16d appears to be a 1970s addition of no historic or architectural significant although it incorporates the chimney stack of a mid-20th century workshop which represents a landmark of the industrial site. It is possible that the chimney stack was originally associated with some industrial activities carried out within an adjacent structure to the east which no longer exists, although it is depicted on a 1960 plan of Lumford Mill complex included within a previous desk-based assessment (Strange 2010, Appendix 1: Fig. 1).



Plate 36: West elevation of Units 16b – d, looking east.





Plate 37: Unit 16d with engineering brick chimney stack, looking west.



Plate 38: Detail of flue opening, looking east.



6.1.6 Unit 14

Unit 14 is currently a bakery located towards the north-eastern corner of the industrial site of Lumford Mill complex (centred coordinates: 421252/369125). It is large brick-built warehouse with a pitched steel roof of no architecture merit. It was built in the mid-20th century and possess little local historic significance.

A short distance away from the north-western corner of the building and along the base of the mill race's embankment, a small wall was identified against the bank (centred coordinates: 421246/369149). The wall is approximately three metres long with an overall height of one and a half metres, and is built with courses squared sandstone blocks (Plates 40 and 41). Its function and origins are not known although it could have acted as a boundary wall adjacent to a mid-20th century building which has been demolished in recent times.



Plate 39: Unit 14, looking north-east.





Plate 40: Remnants of boundary wall along the base of the mill race embankment, looking north-east.



Plate 41: Detail of standing boundary wall, looking north-east.



6.1.7 Unit 13

Unit 13 is a long and narrow single-storey range located along the base of the mill race's embankment (centred coordinates: 421203/369161). It is built with bricks, concrete and asbestos corrugated sheeting. Internally it is sub-divided into several small units used mainly for storage. A long and continuous eastern wing has been demolished in recent times leaving some scars of the former construction within the ground which is now used a small car park area, and the eastern gable wall of the current Unit 13 (Plates 42 and 43).

This building was erected in the mid-20th century as indicated by cartographic records. It possess little local historic significance and no architectural value.



Plate 42: South elevation of Unit 13, looking north.





Plate 43: Eastern gable wall showing scars of already demolished extension, looking west.

6.1.8 Units 6a and 6b

Units 6a and 6b consist of a single range which has been sub-divided internally into two separate business units (Plate 44). It is a single-storey stone-built structure with a pitched roof abutting the southern side of the east elevation of Unit 7a (centred coordinates: 421221/369089).

It is currently a short structure which has been modernised (Plate 45) although it retains its original stone masonry providing a particular charm, being built in the traditional vernacular style and local materials.

Cartographic records show that this building was erected in the mid-20th century and originally continued southwards forming part of a large amalgamated range, which was divided into two sections of merged buildings with the creation of a narrow east to west alleyway in the 1960s that is still extant.

No specific associated functionality was ascertained due to the lack of surviving fixtures and fittings although there is indication of subsequent use as modern warehouse and/or office. Its present fabrics are in good condition. As part of the industrial development of the Lumford Mill complex, the range is of little architectural significance.





Plate 44: General view of Units 6a and 6b, looking south-west.



Plate 45: Internal view of Unit 6a, looking north.



6.1.9 Units 7a, 7b and 7c

Units 7a, 7b and 7c consist of three amalgamated and parallel long buildings positioned within the northern area of the proposed development area of Lumford Mill complex. Each building consists of a single-storey structure with a gable M-shape roof of which one of the gables is a smaller component for a narrower internal long bay (Plates 46 and 47). Unit 7a (centred coordinates: 421219/369117) is the easternmost structure built with timber posts, mounted on cast-iron bolted bases, and infilled with weather-board panels which contains long glazed windows (Plate 48). Internally it is an open-plan workshop with reclaimed building materials, and contains large openings linking it with the adjacent Unit 7b. The floor is made of concrete and the roof contains numerous fixed skylights and its structure is composed of a double king-post truss of which the western long bay is much shorter and narrower (Plate 49). Based on the almost continuous row of glazed windows along both side walls, it is suggested that this building might have been erected to the adjacent structure as the western windows are now internal elements acting as a partition wall.

Unit 7b (centred coordinates: 421204/369118) is very similar in character to its counterpart Unit 7a to the east although the gable walls are built mainly with local limestone rubble and squared sandstone jambs and quoins. This unit is also part of the reclamation yard and contains a gantry mounted on inserted RSJ assembly. The roof structure is comparable to its counterpart although it is supported by brick pillars along the western side (Plate 50).

Unit 7c (centred coordinates: 421197/369132) is also part of the reclamation yard and its construction is similar to the associated Units 7a and 7b, although the end walls are built with bricks and weather-board gables. The king-post trusses are supported by brick pillars and the narrow long bay to the west is somewhat different to its counterpart as it is shorter (southern end) and contains separate glazed lantern roofs rather than skylights (Plate 51).

Cartographic records show that these merged buildings (excluding the narrow westernmost long bay of Unit 7c) were erected in the mid-20th century and originally continued southwards forming part of a large amalgamated range, which was divided into two sections of merged buildings with the creation of a narrow east to west alleyway in the 1960s that is still extant. However, Unit 7a appears to have been built slightly earlier than the adjacent Units 7b and 7c. Furthermore, the westernmost long bay of Unit 7c appears to have been added slightly later as it shown on the 1960 plan of the Lumford Mill complex (Strange 2010, Appendix 1: Fig. 1).

No specific associated functionality to its primary purpose was ascertained due to the lack of surviving fixtures and fittings. The overall condition of present fabrics are moderate. As part of the industrial development of the Lumford Mill complex, the merged range is of little architectural significance.





Plate 46: North elevation of Units 7a – c, looking west.



Plate 47: South elevation of Units 7a – c, looking north-west.





Plate 48: East elevation of Unit 7a, looking north-west.



Plate 49: Internal view of Unit 7a, looking north.





Plate 50: Internal view of Unit 7b, looking north.



Plate 51: Internal view of Unit 7c, looking north.



6.1.10 Unit 8

Unit 8 is a large modern range positioned to the west of the proposed development area of Lumford Mill complex facing onto an access road of the site (centred coordinates: 421166/369113). It is built with artificial stone, which contains upper glazed panels, and a steel roof structure (Plates 52 – 54). Internally is sub-divided into several units (i.e. b, c, d and e). There is also a lavatory block within the southernmost end. A series of structures shown on the 1960 plan of Lumford Mill complex have been demolished in recent times; immediately to the south of which a settling tanks (centred coordinates: 421151/369065), built with concrete blockwork, survives amongst a car park area (Plate 55). The 1960 plan also shows a large building whose footprint would have been within the present large Unit 8 although no evidence of the former building was identified.

There is also a short range, known as 8a, adjacent to amalgamated Unit 7 to the east (centred coordinates: 421185/369132). This is another modern warehouse built with bricks and steel which is shown on the 1960 plan of Lumford Mill complex.

Although this merged range constitutes part of the industrial development of the Lumford Mill complex, it is of little historic significance and bears no architectural value.



Plate 52: General view of Unit 8, looking north.





Plate 53: West elevation of the main range of Unit 8, looking south-east.



Plate 54: Internal view of Unit 8, looking north-east.





Plate 55: Settling tanks outside the south elevation of the main range of Unit 8, looking north.

6.1.11 Unit 10

Unit 10 is located within the north-western corner of the proposed development area of Lumford Mill complex (centred coordinates: 421147/369148). It consists of a Nissen hut which forms part of a group of three contiguous and parallel Nissen huts fronting onto an access road of the site (Plate 56). Nissen huts Units 11 and 12 are outside the proposed development boundary.

The Nissen is probably the most well-known variety of military hutting invented in 1915 by a Canadian, Colonel P Nissen. The Nissen hut saw widespread use during both World Wars (Brown *et al.* 1999, 117). A Nissen hut is a prefabricated structure made from a sheet of metal bent into half a cylinder and planted in the ground with its axis horizontal. The cross-section is not precisely semi-circular, as the bottom of the hut curves in slightly. The exterior is formed from curved corrugated iron sheets. These are attached to a series of wooden purlins and wooden spiking plates at the ends of the floor joists. The purlins are attached to T-shaped ribs which consists of three sections bolted together using splice plates, and each end is bolted to the floor at the bearers. There is no standard model of Nissen huts, as the design was never static but changed according to demand. In the UK, after the Second World War many were converted to agricultural or other functions.

The Nissen huts of Lumford Mill have brick front walls with pilaster, two large doorways and three window openings. Each hut also has a small louvre vent to the apex of the ridge. Internally Unit 10 is used as a carpentry with a concrete floor (Plates 57 – 59).



Although often associated with military origin during the Second World War, these Nissen huts are not depicted on the 1955 Ordnance Survey map, and the first cartographic record is the 1960 plan of Lumford Mill complex.

No specific associated functionality to its primary purpose was ascertained due to the simplicity of these type of structures as well as the lack of surviving fixtures and fittings. The overall condition of present fabrics are fairly good despite some minor structural defect and damage. They possess little local historic significance.



Plate 56: General view of the Nissen huts (Units 10 – 12), looking north.





Plate 57: Front elevation of Unit 10, looking west.



Plate 58: Detail of roof structure, looking south-west.





Plate 59: Internal view of Unit 10, looking west.

6.1.12 Unit 21

Unit 21 is located along the southern boundary of the proposed development area (centred coordinates: 421117/369075). It consists of a pre-fabricated single-storey structure built with weatherboard panels and a pitched roof cladded with corrugated metal sheeting with overhanging verges. The east gable wall has a flag pole projecting up through the roof. The side walls contains several window openings as well as doorways (Plate 60). The rear wall, facing to the River Wye is in a poor state of disrepair (Plate 61).

This building was erected in the mid-20th century as indicated by cartographic records. No specific associated functionality to its primary purpose was ascertained due to the simplicity of these type of structures as well as the lack of surviving fixtures and fittings. The overall condition of present fabrics is moderate. It possess little local historic and architectural significance.





Plate 60: North elevation of Unit 21, looking south-west.



Plate 61: South elevation of Unit 21, looking north-east.



6.1.13 Unit 22

Unit 22 is also located along the southern boundary of the proposed development area (centred coordinates: 421135/369051). It consists of a pre-fabricated single-storey structure built with board panels and a pitched roof cladded with asbestos corrugated sheeting. There are several window openings and doorways within the side and gable walls (Plate 62). The rear wall, facing to the River Wye is slightly overgrown with vegetation (Plate 63). There is a small single-storey brick-built structure with a flat roof within the westernmost end of the building (Plate 64). This structure appears to have been a plant room as it contains internally the remnants of a gas boiler (Plate 65).

The plant room appears to date to the mid-20th century as indicated by cartographic records. The pre-fabricated structure was added later in the 1970s replacing existing small ranges which are depicted on the 1960 plan of Lumford Mill complex. The overall condition of the present fabric is moderate. It possesses little local historic and architectural significance.



Plate 62: North elevation of Unit 22 along the access road of the works, looking west.





Plate 63: Rear elevation along the river side, looking south-east.



Plate 64: Plant room within the western end of Unit 22, looking south-east.





Plate 65: Gas boiler, looking south-east.

6.1.14 Units 11 and 12

Units 11 and 12 is a single building which has been sub-divided into two different commercial units, and is also located along the southern boundary of the proposed development area immediately to the east of Unit 22 (centred coordinates: 421166/369030). It consists of a pre-fabricated single-storey structure built over a concrete plinth (Plate 66). This range bear no historic or architectural significance and was constructed in the 1970s replacing several small units depicted on the 1960 plan of Lumford Mill complex. Additional evidence of the replaced small units can be seen immediately to the west of this building consisting of an L-shaped sandstone wall of up to two courses in height (Plate 67). Further archaeological remains may survive beneath this units and the adjacent Unit 22.





Plate 66: General view of Units 11 and 12, looking west.



Plate 67: Structural remains adjacent to the west elevation of Units 11 and 12, looking south-west.



6.1.15 Units 5a and 5b

Units 5a and 5b are two different parallel long buildings forming the western end of a series of amalgamated ranges attached to the west side of the Mule Spinning Shed. Unit 5b is the westernmost structure (centred coordinates: 421175/369069) consisting of a single-storey warehouse with a pitched steel roof and artificial stone walls with upper continuous window openings (Plate 68). This building is rather modern and utilitarian; it was built in 1960 as indicated by cartographic records.

Unit 5a is the western wing (centred coordinates: 421185/369062) of three parallel and integral merged ranges facing to the main access road of Lumford Mill complex (Plate 69). It is a single-storey brick-built structure with a pitched roof cladded with metal sheeting supported internally by a series of timber king-post trusses. These two units are internally connected as the west wall of Unit 5b has been partially removed (Plate 70).

Unit 5b, and its integral parallel wings to the east (i.e. Units 14 and 18), were erected in the mid-20th century as indicated by cartographic records. It originally continued northwards forming part of a large amalgamated range, which was divided into two sections of merged buildings with the creation of a narrow east to west alleyway in the 1960s that is still extant.

No specific associated functionality relating to its primary purpose was ascertained due to the lack of surviving fixtures and fittings. The overall condition of present fabrics are moderate to poor. As part of the industrial development of the Lumford Mill complex, Unit 5a and its integral merged ranges are of little architectural significance.



Plate 68: General view of Unit 5b, looking north-east.





Plate 69: Gable wall of Units 5a (arrow) along the main access road of the works, looking east.



Plate 70: Internal view of Units 5a (right) and 5b (left), looking north.



6.1.16 Unit 14

Unit 14 is the central wing (centred coordinates: 421193/369062) of three parallel and integral merged range facing to the main access road of Lumford Mill complex (Plate 71). It is a single-storey brick-built structure with a pitched roof cladded with metal sheeting. The front gable wall contains a large roller shutter. Internally this unit is fully opened up to the adjacent Unit 5a and the brick wall dividing this central wing with the eastern wing known currently as Unit 18 is also connected through several inserted openings. The vast majority of the roof has collapsed and the building is now derelict (Plate 72).

These merged and parallel buildings were erected in the mid-20th century as indicated by cartographic records, and originally continued northwards forming part of a large amalgamated range, which was divided into two sections of merged buildings with the creation of a narrow east to west alleyway in the 1960s that is still extant.

No specific associated functionality to its primary purpose was ascertained due to the lack of surviving fixtures and fittings. As part of the industrial development of the Lumford Mill complex, Unit 14 and its integral flanking ranges are of little architectural significance.



Plate 71: Gable wall of Units 14 (arrow) along the main access road of the works, looking east.





Plate 72: Internal view of Unit 14, looking south.

6.1.17 Unit 18

Unit 18 is another long single-storey range running parallel with the adjacent Unit 17 to the east and Unit 14 to the west (centred coordinates: 421203/369059). It is built with modern fabrics including brickwork and has a pitched roof structure clad with metal sheeting (Plate 73). The southern area is currently a motorbike garage (Plate 74). The remaining structure is vacant and in a poor state of disrepair. The northern gable wall is built with concrete blockwork although it is currently devoid of gable (Plate 75). It is likely that an exposed timber truss, comparable to the adjacent Unit 17, would have formerly existed over the blockwork as a series of timber king-post trusses were observed internally supported by RSJ stanchions to the east and a brick wall to the west (Plate 76).

Cartographic records show that that this building was erected in the mid-20th century and originally continued northwards forming part of a large amalgamated range, which was divided into two sections of merged buildings with the creation of a narrow east to west alleyway in the 1960s that is still extant.

No specific associated functionality was ascertained due to the lack of surviving fixtures and fittings although there is indication of subsequent use as modern warehouse. Its present fabrics are in moderate to poor condition. As part of the industrial development of the Lumford Mill complex, the range is of little architectural significance.





Plate 73: Gable wall of Units 18 (arrow) along the main access road of the works, looking east.



Plate 74: Internal view of motorbike garage, looking north.





Plate 75: North elevation of Unit 18 (arrow), looking south.



Plate 76: Internal view of Unit 18, looking north.



6.1.18 Unit 17

Unit 17 is a long single-storey range running parallel with the adjacent Unit 2 to the east and Unit 18 to the west (centred coordinates: 421210/369058). It is built with modern fabrics including concrete blockwork and has a pitched roof structure (Plate 77). The northern gable wall contains an exposed timber king-post truss filled with boards (Plate 78). Cartographic records show that that this building was erected in the mid-20th century and originally continued northwards forming part of a large amalgamated range, which was divided into two sections of merged buildings with the creation of a narrow east to west alleyway in the 1960s which is still extant. Further king-post trusses were observed internally supported by RSJ stanchions (Plate 79).

No specific associated functionality was ascertained due to the lack of surviving fixtures and fittings although there is indication of subsequent use as modern warehouse and currently as storage for the adjacent motorbike garage. Its present fabrics are in moderate condition. As part of the industrial development of the Lumford Mill complex, the range is of little architectural significance.



Plate 77: South gable wall of Unit 17, looking north-east.





Plate 78: North gable wall of Unit 17, looking south-west.



Plate 79: Internal view of Unit 17, looking north.



6.1.19 Unit 2

Unit 2 is a long and tall single-storey range abutting the west wall of the former Mule Spinning Shed (centred coordinates: 421215/369053). It is composed of steel stanchions and girders creating a pitched structure clad with corrugated asbestos sheeting (Plate 80). The northern end consists of a small extension built with concrete blockwork, corrugated asbestos sheeting and timber posts (Plate 81). Internally the steel structure includes a central gantry attached to the underside of the trusses (Plate 82). Of note are three circular steel bins located within the southern area which appear to be the remains of former kilns or similar type of structure as indicated by the partially burnt fire bricks within the base of each bins (Plates 83 and 84). This building is currently vacant and no further information regarding former pyro-technological industrial activities was obtained during the research.

This range was added to the Lumford Mill complex during the late 20th century as indicated by cartographic records. Despite constituting part of the industrial development of the Works, this range possesses little historic interest and bears no architectural merit.



Plate 80: South gable wall of Unit 2, looking north-west.





Plate 81: North gable wall of Unit 2, looking south.



Plate 82: Internal view of Unit 2, looking north-east.





Plate 83: Circular steel kilns within the southern area of Unit 2, looking south.



Plate 84: Detail of kiln, looking north.



7 ASSESSMENT OF THE SIGNIFICANCE OF AFFECTED HERITAGE ASSETS

There are two designated heritage assets located within the boundaries of the PDAs: the Lumford Mill water management system and the Bakewell Conservation Area. The diversity of weirs, bridges, embankment and dam wall comprising Richard Arkwright's first mill designed to harness river power are important examples of 19th century industrial engineering. While the embankments were modified and strengthened in 1880 on the line of the original embankments, the hydraulic system of post-1820 including the enlarged millpond, millrace, dam wall, tunnel, tailrace and river-bridge survive intact. As such, this heritage asset has significance due to the *evidential* and *illustrative* historic value it possesses. A previous Heritage Impact Assessment submitted as part of the planning application concludes that the Application Area A will '*...preserves the character and appearance of the Bakewell Conservation Area*' (Nathaniel Lichfield & Partners 2015).

There are two non-designated heritage assets listed on the Derbyshire HER within the PDAs: the former site of the Bakewell Gas Company Works (AR41) and site of the original 1777 Lumford Mill and 1867 rebuild (HB13). While the Bakewell Gas Company Works is no longer extant, excavations have revealed that remains do survive below ground. This heritage asset has significance due to the *evidential* historic value it possesses.

The designation of the Lumford Mill 1867 rebuild includes the areas of both the Mule Spinning Shed and Retort House. The Mule Spinning Shed, built c.1875 within the former footprint of the original 1777 Arkwright Mill, though currently in a moderate state of disrepair, can be considered a heritage asset with potential for archaeological remains to survive beneath the present fabric. The Retort House, the location of the former 19th century Lumford Mill Gas Works, is in fairly good condition and is of local historic interest and bears some architectural merit particularly due to the chimney stack which constitutes a prominent landmark. These heritage assets have significance due to the *evidential* and *illustrative* historic value they possess.

8 ASSESSMENT OF POTENTIAL IMPACTS

While both Application boundaries overlap that of the Lumford Mill water management system Scheduled Monument, design plans for the proposed developments show that the post-1820 hydraulic system will not be impacted.

One non-designated heritage asset will be impacted upon by the proposed development: the Retort House and Mule Spinning Shed (see Figure 10), both of which are a part of the Lumford Mill Derbyshire HER entry. The proposed development plans indicate that the Retort House and chimney stack will be retained as a visitors' centre. The façade of the Mule Shed would be retained, but the remainder of the building would be redeveloped into a hotel and two commercial units. The Mule Spinning Shed is in poor condition and the overall range has lost part of its integrity as a result of later alterations and neglect.

The former site of the Bakewell Gas Company Works will not be impacted by the proposed development, as the bulk of the site falls outside the boundaries of the development.



The Walkover Survey identified several areas where there are a potential for archaeological remains relating to the original 1777 Lumford Mill complex to survive below ground. Beneath the Mule Spinning Shed, there is potential for archaeological remains relating to the original 1777 Lumford Mill complex, especially within the area of the former water wheel pit, which may still survive beneath the current floor, although possibly backfilled and/or capped. Beneath the Mill race car park, there is potential for remains of The Riverside Cottage complex to survive beneath the car park.

9 RECOMMENDATIONS

This desk-based assessment and walkover survey fulfils the Written Scheme of Investigation based on the brief produced by the Peak District National Park Authority Cultural Heritage Team and corroborates the findings of the Nathaniel Lichfield & Partners (2015) Heritage Impact Assessment. Two areas of the site have been identified that have the potential for archaeological remains relating to the original 1777 Lumford Mill complex to survive below ground. Depending on the final design for the proposed development, archaeological fieldwork in the form of an archaeological excavation targeting the areas with the highest level of potential for archaeological remains associated with the original Lumford Mill Complex to survive may be required prior to commencement of the proposed development.

10 STATEMENTS AND ACKNOWLEDGEMENTS

10.1 Publicity, Confidentiality and Copyright

Any publicity will be handled by the client. Archaeological Research Services Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

10.2 Statement of Indemnity

All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

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APPENDIX 1: GAZETTEER OF ARCHAEOLOGICAL REMAINS & ARCHAEOLOGICAL EVENTS

DESIGNATED ARCHAEOLOGICAL REMAINS

Project ID	NHLE ID	HER ID	NRHE ID	Description
SM1	1007054	MDR3499	311258	Holm Bridge Grade I Packhorse bridge dating from 1684 (or alternatively 1714) and built on the site of an earlier bridge of 1562.
SM2	1007078	MDR3498	311255	Bakewell Bridge Grade I Five, pointed arched bridge built in 14 th century and widened in the 19 th century. One of the oldest bridges in England.
SM3	1008617	MDR3476	311189	Anglian high cross in the churchyard of All Saints' Church Grade I Probably dates to the 8 th century and includes a sandstone collared shaft and a large boulder into which the shaft is set. Cross head is missing and it is unclear whether the boulder is the original base. Also a Grade I designated listed building (NHLE 1316492).
SM4	1008618	MDR3492	311239	Anglo-Scandinavian high cross from Two Dales, Darley, now in the churchyard of All Saints' Church Grade I Shouldered gritstone cross shaft mortared into a modern base. Unearthed from a field in Two Dales in the 19 th century, and was likely originally set into a socle or stone cross base. Also a Grade I designated listed building (NHLE 1316491).
SM5	1012436	MDR8681	-	Lumford Mill, Bakewell Includes the water management earthworks and structures associated with Sir Richard Arkwright's third mill. It was his first design to use river water and became his most ambitious water-harnessing scheme. Surviving features include a submerged weir, a millstream, millpond and millrace. The mill buildings were destroyed by fire and successive modern buildings now cover the original mill site. The tunnel is included as a subterranean feature and is overlaid by a modern car park.



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE ID	HER ID	NRHE ID	Description
SM6	1013543	MDR3475	311186	<p>Motte and bailey castle on Castle Hill</p> <p>Includes a conical motte or castle mound with an attached oval bailey or outer enclosure. The motte is flanked by a filled-in ditch and the level bailey is defined by a scarp which may have been surmounted by a timber palisade. Partial excavations in 1969 and 1971 found the motte was most likely constructed in the late 12th/early 13th centuries, and was constructed in a series of layers comprising sand, rubble, clay and loam. Possibly built by Ralf Gernon.</p>

NON-DESIGNATED ARCHAEOLOGICAL REMAINS

Project ID	HER ID	NHRE No	Description
AR1	MDR1350	-	<p>'The Portway' (conjectural route of), through Ashford-in-the-Water</p> <p>Medieval trackway. Possibly with Saxon or even prehistoric origins.</p>
AR2	MDR3473	311180	<p>Cremation and cinerary urn, North Church Street (formerly Church Row), Bakewell</p>
AR3	MDR3485	-	<p>Carved stones, All Saint's Church, Bakewell</p> <p>Collection of at least 36 pre-Conquest carved stones, as well as carved fragments from Norman and 13th century dates.</p>
AR4	MDR3487	-	<p>Strip lynchets, west of Stanedge Road, Bakewell</p>
AR5	MDR3493	-	<p>Strip lynchets, Vernon Green, Bakewell</p>
AR6	MDR3514	311183	<p>Roman Pottery, Congregational Church, Bakewell</p>
AR7	MDR3515	-	<p>Samian ware sherds, Milford House, Bakewell</p>
AR8	MDR3516	-	<p>Roman Coin, Bakewell</p>
AR9	MDR3517	-	<p>Tiles, All Saints Church, Bakewell</p> <p>Medieval pavement and wall tiles in the church porch. Not in-situ.</p>
AR10	MDR3521	-	<p>Pinfold (site of), Monyash Road, Bakewell</p>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	HER ID	NHRE No	Description
AR11	MDR3525	-	Chert quarry, Holme Bank, Hassop (site of) Quarry developed in 1947 as a chert opencast; only in use for a short time due to the poor quality of the chert.
AR12	MDR3526	-	Pretoria chert mine, Monyash Road, Bakewell (site of) Chert mine commenced in 1900 and closed in 1968.
AR13	MDR3528	-	Tannery, Matlock Street, Bakewell (site of) Post-medieval tannery, now demolished.
AR14	MDR3529	-	Rutland Works/Smith's Woodyard site, near Bakewell Bridge Former early 19 th century so-called 'black marble' works and later saw mill and timber yard.
AR15	MDR3544	-	Boundary Ditch, Church Lane, Bakewell Excavation revealed a ditch running parallel to the north wall of the Old House Museum. A sherd of Saxo-Norman date was found.
AR16	MDR3545	-	Holme Cottage, Holme Lane, Bakewell (site of) Late 17-18 th cottage, constructed of limestone. Precise location is unknown.
AR17	MDR3556	-	Enclosure, east of Endcliffe House, Bakewell Undated rectangular enclosure identified from an aerial photograph.
AR18	MDR3559	-	Enclosure, west of Stanedge Road, Bakewell Possible enclosure with a rectangular structure in the north-west enclosure identified from an aerial photograph.
AR19	MDR3607	-	Iron Javelin Head, Matlock Street, Bakewell
AR20	MDR3613	-	Chert mines, Endcliffe Wood, Bakewell Remains of possibly Post-Medieval chert mines.
AR21	MDR3614	-	Taddington Glebe Chert Quarry and chert workings (site of), Parker Croft and Mill Cliff Top, Bakewell Site of an old quarry and associated buildings. Possibly site of a ropewalk.



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	HER ID	NHRE No	Description
AR22	MDR3615	-	Lime Kiln and quarry pits, south of Stanedge Road, Bakewell
AR23	MDR8642	-	Strip lynchets, east of Stanedge Road, Bakewell
AR24	MDR11472	-	Midland Railway, Manchester branch, Ambergate to Rowsley section Opened in 1849, with the Buxton extension completed by 1867. By 1871 the Midland railway had taken over the whole of the line.
AR25	MDR11537	-	Barrow, west of Holme Bank Chert Quarry, Hassop Possible Bronze Age barrow or natural knoll
AR26	MDR11538	-	Barrow, north-west of Ewe Close Farm, Hassop Road Possible Bronze Age barrow or natural knoll
AR27	MDR11607	-	Grindleford Bridge to Newhaven Turnpike Road Turnpike road authorized in 1759
AR28	MDR11633	-	Wirksworth Moor to Longstone Turnpike Road (via Matlock and Bakewell) Road turnpike following an Act of 1759
AR29	MDR12477	-	Roman Catholic chapel (site of), Granby Street, Bakewell Site of a Roman Catholic chapel built between 1875-1900, since demolished.
AR30	MDR12988	-	Holme Bank chert quarry mine and Holme Hall chert mine, Castle Hill and Holme Bank Shared entrance to two separate underground chert mining areas in different ownerships. Now disused.
AR31	MDR12989	-	St Mary's Well (site of), King Street Approximate site of a holy well referred to in medieval documents
AR32	MDR12991	-	Gunflint, Endcliffe Wood, Bakewell
AR33	MDR12992	-	Churchyard, All Saints Church, Bakewell Churchyard surrounding All Saints church, probably with pre-Conquest origins.



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	HER ID	NHRE No	Description
AR34	MDR12995	-	House and two workshops (site of), South Church Street Approximate site of two, possibly three small buildings shown on a map of 1799
AR35	MDR13001	-	The Bath Well, Bath Gardens, Bakewell Approximate site of the Bath Well, known in the past as Warmwell and The Great Well
AR36	MDR13008	-	Stone hone, Mill Street, Bakewell
AR37	MDR13012	-	Open air bath or well, Millford House Hotel Garden 18 th or 19 th c. possible bath with curved steps: may have been adapted from an earlier well, known as Fenton's Well.
AR38	MDR13014	-	'Cross's Folly' Foundain, Station Road, Bakewell Drinking fountain erected in the 1870's at the junction of Bridge Street, Baslow Road and Station Road
AR39	MDR13016	-	Cheese Window, Church Alley, bakewell Rear window inscribed 'cheese window'
AR40	MDR13018	-	King Street Market (site of), Bakewell Former market area for lead and corn until the end of the 18 th century
AR41	MDR14227	-	Gas works (site of), Ashford Road, Bakewell The site of a gas works established by 1850.
AR42	-	924964	Bakewell Medieval borough
AR43	-	1075430	Bakewell founded as a burh in 920



ARCHAEOLOGICAL EVENTS

Project ID	HER ID	Year	Description
EV1	EDR373	1969 & 1971	Excavations at Castle Hill, Bakewell: M J Swanton, Exeter University Investigated both the site of the presumed bailey defence and motte ditch. Possibly functioned as a simple watch-tower.
EV2	EDR2646	2004	Archaeological evaluation, Lumford Mill, Bakewell: Patrick Strange A single evaluation trench was excavated to determine position of the wall footing of the 1776 mill. It was concluded that the later (1875) mule-shop had re-used the earlier footing.
EV3	EDR2724	2006-2009	Archaeological watching brief, Rutland Mill Health Club, Bakewell: ARS Ltd Large metal crane footing from a disturbed and redeposited context, and two pits that were probably modern.
EV4	EDR2732	2007	Photographic survey and watching brief, The Croft, Bakewell: ARS Ltd No significant archaeological features encountered.
EV5	EDR2904	1997	Buildings survey, Rutland Works, Bakewell: Trent & Peak Archaeological Trust
EV6	EDR3109	2011	Archaeological evaluation, at Riverside Business Park, Bakewell Identified remains of the 19 th century Bakewell Gas company works, established by 1850. A series of walls, and a chimney stack with associated flues was encountered, along with the arched opening of a former boiler.
EV7	EDR3579	2001	Watching brief and environmental sampling, Home Bridge: Landward Archaeology Ltd Watching brief carried out during desilting work. Environmental samples were taken from silt deposits. No archaeological features exposed, pollen sequence dated medieval to post-medieval.
EV8	EDR3608	1998	Watching brief, Bakewell Old Town Hall: ARCUS Three cells found dating to when the building was used as a court house. A human burial was found predating the cells.
EV9	EDR3693	2002	Watching brief, Lumford & Ashford Bridges and Matlock Bridge: ARCUS
EV10	EDR3694	2002	Research report, Holme Bridge, Mill Bridge, Lumford Bridge and Matlock Bridge: ARCUS



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	HER ID	Year	Description
			Structural form of historic bridge. Possibility of an earlier bridge at Holme bridge.
EV11	EDR3735	2003	Watching brief, Avenel Court, King Street: ARCUS Stone capped drain revealed and a number of artefacts dating from the 18 th to 19 th centuries.
EV12	EDR3791	1996-2000	Historic landscape survey, Chatsworth Estate: PDNPA
EV13	EDR3844	2002	Archaeological field survey, Bakewell: PDNPA
EV14	EDR3858	2006	Watching brief, Riverside Business Park: ARCUS Excavation of geotechnical trial trenches for ground condition data. Deposits relating to the silting up of the 19 th century millponds and the sandstone banks and walls were uncovered.
EV15	EDR3996	1990-1992	Excavation, Aldern House, Bakewell: TPAT Investigate earthworks in the path of a proposed driveway. A mound-like earthwork was determined to be an artificial 'dump' of clay, overlying two preserved plants and a mix of Victorian and Edwardian artefacts.



APPENDIX 2: GAZETTEER OF HISTORIC BUILDINGS

LISTED BUILDINGS

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB1	1132640	DDR3791	-	Side Garden Wall to Spring Cottage <i>Grade II</i>
LB2	1132641	DDR5391	-	The Vicarage Cottage and Yard Wall <i>Grade II</i>
LB3	1132642	DDR5392	-	Number 1 and Attached Flat <i>Grade II</i>
LB4	1132643	DDR4818	-	2 K6 Telephone Kiosks at Corner of Buxton Road and North Church Street <i>Grade II</i>
LB5	1132644	DDR3792	-	Bluebell Cottage <i>Grade II</i>
LB6	1132645	DDR3793	-	Catholic Church of the English Martyrs <i>Grade II</i>
LB7	1132646	DDR3794	-	Greenlands <i>Grade II</i>
LB8	1132647	DDR3795	-	Lumford Mill (original building only) <i>Grade II</i>
LB9	1132648	DDR3796	-	Lumford Bridge <i>Grade II</i>
LB10	1132649	DDR3797	-	Facing to Bridge over Mill Stream at Lumford Mill <i>Grade II</i>
LB11	1132650	DDR3798	-	Melbourne House <i>Grade II</i>
LB12	1132651	DDR3799	-	Milestone 20m south of Junction with footpath to Holm Bridge <i>Grade II</i>
LB13	1132652	DDR3800	-	Milford Court, Nos.1-7 (consecutive) <i>Grade II</i>
LB14	1132653	DDR3801	-	Mill Cottage and Ford Cottage <i>Grade II</i>
LB15	1132654	DDR5095	-	Rock House <i>Grade II</i>
LB16	1132655	DDR3802	-	Rutland Chambers <i>Grade II</i>
LB17	1132656	DDR3803	-	Rutland House <i>Grade II</i>
LB18	1132657	DDR3804	-	Iron Railings and Gate at Rutland House <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB19	1132658	DDR5393	-	Rutland Terrace Nos. 1 and 4 and Regency House Flats Nos. 1-6 (consecutive) <i>Grade II</i>
LB20	1132659	DDR3805	-	Railed wall and Gates to Rutland Terrace <i>Grade II</i>
LB21	1132660	DDR5394	-	Saxby <i>Grade II</i>
LB22	1132661	DDR3806	-	Iron Railings and Gate at Saxby <i>Grade II</i>
LB23	1132662	DDR5096	-	Sheepwash Enclosure to south-west of Holme Bridge <i>Grade II</i>
LB24	1147980	DDR3807	-	1,2 and 3 Bagshaw Hill <i>Grade II</i>
LB25	1147985	DDR3808	-	Bagshaw Hall <i>Grade II</i>*
LB26	1147989	DDR3809	-	Boundary Walls, Gates, Piers and Gate at Bagshaw Hall <i>Grade II</i>
LB27	1147990	DDR3810	-	Enclosure Wall to Gardens of Greenbanks Hallcroft and the Bungalow (not included) <i>Grade II</i>
LB28	1147993	DDR5395	-	The Hall Cottage <i>Grade II</i>
LB29	1147996	DDR3811	-	The Nook and Studio House <i>Grade II</i>
LB30	1148001	DDR5396	-	Yew Tree Cottage <i>Grade II</i>
LB31	1148003	DDR3812	-	Garden Wall at Yew Tree Cottage <i>Grade II</i>
LB32	1148005	DDR3813	-	Yew Tree House <i>Grade II</i>
LB33	1148007	DDR5397	-	Aldern House (eastern part only) <i>Grade II</i>
LB34	1148008	DDR4819	-	Bridge Cottage <i>Grade II</i>
LB35	1148009	DDR4208	-	Castle Hill Cottage and Castle Hill Farmhouse <i>Grade II</i>
LB36	1148010	DDR3815	-	Castle Hill House and Stable Block with Gates adjoining Castle Hill House <i>Grade II</i>
LB37	1148011	DDR5398	-	Gate Piers and Linking Walls at Main Entrance to Castle Hill House <i>Grade II</i>
LB38	1148012	DDR5399	-	Newholme Hospital (Main Building) <i>Grade II</i>
LB39	1148013	DDR3816	-	Community Transport Office at Newholme Hospital <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB40	1148014	DDR3817	-	Newholme Hospital Porters Lodge <i>Grade II</i>
LB41	1148015	DDR3818	-	Northern part of the Busy Bee Nursey at Newholme Hospital <i>Grade II</i>
LB42	1148016	DDR3819	-	Nurses Home at rear of Newholme Hospital <i>Grade II</i>
LB43	1148017	DDR3820	-	Coulsden Cottage <i>Grade II</i>
LB44	1148018	DDR3821	-	Haig House with Attached Steps and Railings <i>Grade II</i>
LB45	1148019	DDR3822	-	Bank House No.1 <i>Grade II</i>
LB46	1148020	DDR3823	-	Bank House Nos. 2 and 3 <i>Grade II</i>
LB47	1148021	DDR5400	-	The Cottage <i>Grade II</i>
LB48	1148022	DDR5401	-	Trustees Savings Bank <i>Grade II</i>
LB49	1148023	DDR3824	-	Gateway Gate Piers and Plinth Wall across Front of Trustees Savings Bank <i>Grade II</i>
LB50	1148024	DDR5402	-	Bridge House and Bridgeway <i>Grade II</i>
LB51	1148025	DDR5403	-	Denman House/ Premises of Byways Cafe <i>Grade II</i>
LB52	1148026	DDR5097	1243304	Market Hall <i>Grade II</i>
LB53	1148027	DDR4172	-	Premises occupied by Bagshaws Estate Agents at SK 2184 6857
LB54	1148028	DDR3825	-	Premises occupied by John Brocklehurst at SK 2189 6959
LB55	1148029	DDR5404	-	The Castle Inn <i>Grade II</i>
LB56	1148030	DDR3826	-	The Queens Arms Hotel <i>Grade II</i>
LB57	1148031	DDR3827	-	Small Stone Building in Garden of Coombs Hay (Coombs Hay not included) <i>Grade II</i>
LB58	1148036	DDR5098	-	Belvoir Cottage <i>Grade II</i>
LB59	1148037	DDR3832	-	Butts Cottage and Woodside Cottage <i>Grade II</i>
LB60	1148038	DDR5099	-	Garden wall and Gate Piers at Butts Cottage and Woodside Cottage <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB61	1148039	DDR5100	-	The Cottage <i>Grade II</i>
LB62	1148040	DDR3833	-	Butts House and attached Garden wall to south <i>Grade II</i>
LB63	1148041	DDR3834	-	L Shaped section of Garden wall to East of Butts House <i>Grade II</i>
LB64	1148042	DDR3835	-	Butts View <i>Grade II</i>
LB65	1148043	DDR5101	-	Spring Cottage <i>Grade II</i>
LB66	1148112	DDR5102	-	Bakewell Bridge <i>Grade I</i>
LB67	1245833	DDR5167	-	Stile between Bridge over Mill Tailrace and Milford House Hotel <i>Grade II</i>
LB68	1245835	DDR4172	-	Pinfold Cottage <i>Grade II</i>
LB69	1245836	DDR5168	-	Church Cottage <i>Grade II</i>
LB70	1245837	DDR4888	-	Nos. 25 and 26 including attached Front Garden Walls <i>Grade II</i>
LB71	1245838	DDR4889	-	Nos. 35,36 and 37, North Church Street <i>Grade II</i>
LB72	1245839	DDR4173	-	1820 Cottage Spire and Hillside Cottage and Railings to Hillside Cottage <i>Grade II</i>
LB73	1245840	DDR4174	-	Chantry House <i>Grade II</i>
LB74	1245841	DDR4175	-	Church House including Attached House to Rear and Railings <i>Grade II</i>
LB75	1245842	DDR4176	-	Church of All Saints Walls and Entrances including Attached Railings at West End <i>Grade II</i>
LB76	1245843	DDR4177	-	Imsworth Cottage, Griston Cottage and Wainstones <i>Grade II</i>
LB77	1245844	DDR4178	-	Jasmine Cottage, Green Lea, Bryn Cott, Claverley House and Front Garden Wall <i>Grade II</i>
LB78	1245845	DDR4179	-	The Limes <i>Grade II</i>
LB79	1245846	DDR4890	-	Garden Wall and Gate Posts at The Limes <i>Grade II</i>
LB80	1245877	DDR4181	-	The Old Kings <i>Grade II</i>
LB81	1245878	DDR5169	-	The Victoria Mill <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB82	1245879	DDR5467	-	The Victoria Mill Waterwheel and Sluice <i>Grade II</i>
LB83	1245880	DDR4182	-	Victoria Cottages Nos. 1-8 <i>Grade II</i>
LB84	1245881	DDR5468	-	Wye Bank No.6 <i>Grade II</i>
LB85	1245882	DDR4183	-	Perimeter Wall to Gardens at Ends and Rear of Nos. 1-6 (consecutive) <i>Grade II</i>
LB86	1245883	DDR4184	-	Beech Cottage <i>Grade II</i>
LB87	1245884	DDR5170	-	Milford Bridge <i>Grade II</i>
LB88	1245885	DDR4185	-	Riverdale <i>Grade II</i>
LB89	1245886	DDR5469	1498262	Friends Meeting House <i>Grade II</i>
LB90	1245887	DDR4186	-	Wall along South Side of Little Hill/Wall to rear of St Johns Hospital <i>Grade II</i>
LB91	1245889	DDR4187	-	Parsonage Cottage <i>Grade II</i>
LB92	1245890	DDR4188	-	Croft Cottages Nos. 1 and 2 including attached Outbuilding <i>Grade II</i>
LB93	1245892	DDR4891	-	Outrake Cottage <i>Grade II</i>
LB94	1246164	DDR4892	-	Perimeter Wall of Garden to East of Holme Grance <i>Grade II</i>
LB95	1246165	DDR4191	-	Stable Building at West End of Water Meadow to South of Holme Grance <i>Grade II</i>
LB96	1246166	DDR5471	311264	Holme Hall <i>Grade I</i>
LB97	1246167	DDR4192	-	Gate, Piers and attached Gate at West End of Main Avenue approach to Holme Hall <i>Grade II</i>
LB98	1246168	DDR5171	-	Gazebo at Holme Hall <i>Grade II</i>
LB99	1246169	DDR4193	-	Section of West Boundary Wall of Holme Hall Grounds with Attached Gate Piers <i>Grade II</i>
LB100	1246170	DDR4194	-	Summerhouse at Holme Hall with Attached Walled Enclosure <i>Grade II</i>
LB101	1246171	DDR4893	-	Terrace Walls with associated Steps and Gateways to east of Holme Hall <i>Grade II</i>
LB102	1246172	DDR5472	-	The Cottage/The East Lodge and Attached Rear Garden Wall Facing Drive to Holme Hall <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB103	1246173	DDR4195	-	The Lodge/The West Lodge <i>Grade II</i>
LB104	1246174	DDR4196	-	Entrance Gate, Piers and attached Walls at East and West Lodges to Holme Hall <i>Grade II</i>
LB105	1246175	DDR4197	-	Lumford House Nos. 1, 2 and 3 <i>Grade II</i>
LB106	1246176	DDR4198	-	Avenel Court <i>Grade II</i>
LB107	1246177	DDR4199	-	Catcliffe House including Railings <i>Grade II</i>
LB108	1246178	DDR5473	-	Old Town Hall/The Buttermarket <i>Grade II</i>
LB109	1246179	DDR4200	-	Premises occupied of Bakewell Antiques and Collectors Centre at SK 2173 6844 <i>Grade II</i>
LB110	1246180	DDR4201	-	Premises occupied by Chappells Antiques at SK 2172 6843 <i>Grade II</i>
LB111	1246181	DDR4202	-	Premises occupied by Jumper at SK 2171 6843 <i>Grade II</i>
LB112	1246182	DDR4203	-	Premises of the Derbyshire Shop and Michael Goldstone at SK 2169 6845 <i>Grade II</i>
LB113	1246183	DDR4204	-	Little Hill Cottage <i>Grade II</i>
LB114	1246184	DDR5172	-	The Nook and Rose Cottage <i>Grade II</i>
LB115	1247261	DDR4205	-	The Peacock <i>Grade II</i>
LB116	1247262	DDR5173	-	Premises occupied by Berkeley Wines and Flat above at SK 2180 6839 <i>Grade II</i>
LB117	1247263	DDR4206	-	Premises occupied by Derbyshire Building Society and Flat Above at SK 2175 6845 <i>Grade II</i>
LB118	1247264	DDR4207	-	Bakewell Beauty Salon and Sylvias Above Lady Fair <i>Grade II</i> Bakewell Fabric Shop, No.34, at SK 2181 6835 <i>Grade II</i> Bakewell Factory Shop at SK 2180 6838 <i>Grade II</i> Premises occupied by lady Fair at SK 2182 6827 and four other companies <i>Grade II</i>
LB119	1247265	DDR4208	-	C Farmer Ltd with the Shoelaces Flat at SK 2177 6843 <i>Grade II</i> Interior Design at SK 2177 6843 <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
				Premises Occupied by Temptations at SK 2178 6842 and four other companies <i>Grade II</i> Skidmores at SK 2176 6844 <i>Grade II</i> The Country Life Shop and Country Bookstore with Flat and Storeroom <i>Grade II</i>
LB129	1247266	DDR4209	-	Premises Occupied by Wards Shoe Shop at SK 2179 6840 and four other companies <i>Grade II</i> The Gingerbread Shop with Flat and Storerooms over at SK 2178 6841 <i>Grade II</i> The Suit Shop, No.22, at SK 2179 6841 <i>Grade II</i> Westcourt Insurance Services (Westcourt House) at SK 2178 6841 <i>Grade II</i>
LB121	1247267	DDR5174	-	Premises occupied by Elf Gems with Office premises above SK 2173 6845 <i>Grade II</i> Premises of Wildlife Books and Gifts with NFU offices over SK 2174 6845 <i>Grade II</i>
LB122	1247268	DDR5175	-	The Beeches <i>Grade II</i>
LB123	1247269	DDR4894	-	Front Gatepiers and Roadside Wall at the Beeches <i>Grade II</i>
LB124	1247270	DDR4210	-	Arkwright Square (Arkwright Cottage and Two Unnamed Cottages) <i>Grade II</i>
LB125	1247271	DDR4211	-	Bridge over Mill Tailrace with Attached Obelisk
LB126	1247272	DDR4212	-	Milford House Hotel including Ormonde
LB127	1247273	DDR4213	-	Garden wall and Gate Piers at Milford House Hotel <i>Grade II</i>
LB128	1247274	DDR5474	-	Rivermeade and Attached Front Garden Wall <i>Grade II</i>
LB129	1247509	DDR4895	-	The Cottage <i>Grade II</i>
LB130	1247512	DDR4217	-	Old House Museum including Mounting Block <i>Grade II*</i>
LB131	1247516	DDR4219	-	Burre House (excluding 20th century garages at rear of eastern wing) <i>Grade II</i>
LB132	1247517	DDR5476	-	Main Entrance Gateway to Burre House with Attached Wing Walls <i>Grade II</i>
LB133	1247518	DDR4220	-	Holme Bridge <i>Grade I</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB134	1247519	DDR5477	-	Holme Grange the Mews Cottage and Linking Wall with Attached Mounting Block <i>Grade II</i>
LB135	1247522	DDR4221	-	Entrance Walls and Gate Piers to Holme Grange <i>Grade II</i>
LB136	1316478	DDR4384	-	Bakewell Post Office <i>Grade II</i>
LB137	1316479	DDR5209	-	Wall on west side of Bath Gardens linking Rutland Buildings to Haig House <i>Grade II</i>
LB138	1316480	DDR4385	-	Rutland Arms Hotel <i>Grade II</i>
LB139	1316481	DDR4386	-	Rutland Buildings including Mounting Block <i>Grade II</i>
LB140	1316482	DDR4387	311266	The Old Original Bakewell Pudding Shop <i>Grade II</i>
LB141	1316483	DDR4926	-	The Royal Bank of Scotland <i>Grade II</i>
LB142	1316484	DDR5210	-	Steps, Railings, Walls and Gateways to Front of the Royal Bank of Scotland <i>Grade II</i>
LB143	1316485	DDR4388	-	War Memorial <i>Grade II</i>
LB144	1316486	DDR4389	-	Saxon Cottage and Dial Cottage <i>Grade II</i>
LB145	1316487	DDR5211	-	Church View, No.9 <i>Grade II</i>
LB146	1316488	DDR4390	-	Number 1 and Butts Cottage <i>Grade II</i>
LB147	1316489	DDR4391	311218	Church of All Saints <i>Grade I</i>
LB148	1316490	DDR4392	-	Church of All Saints Walls and Steps including Entrances and Wall facing Church Lane <i>Grade II</i>
LB149	1316491	DDR4393	311239	Cross situated 12m to the south of Porch of Church of All Saints <i>Grade I</i>
LB150	1316492	DDR4394	311189	The Great Cross and Railed Enclosure <i>Grade I</i>
LB151	1316493	DDR4395	-	Holly Cottage/Holly House <i>Grade II</i>
LB152	1316494	DDR5212	-	Ivy House <i>Grade II</i>
LB153	1316495	DDR4396	-	Front Railings and Garden Wall to East Side of Ivy House <i>Grade II</i>
LB154	1316500	DDR5505	-	St Johns Hospital and Attached Front Wall <i>Grade II</i>



An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell

Project ID	NHLE No.	HER ID	NRHE No.	Name
LB155	1316501	DDR5506	-	The Old Cottage <i>Grade II</i>
LB156	1316502	DDR4397	-	Roadside Wall with Gateways forming Northern Boundary to the Old Vicarage <i>Grade II</i>
LB157	1316503	DDR4398	-	1 and 2 Stanedge Road <i>Grade II</i>
LB158	1316504	DDR5213	-	Drinking Fountains at Junction with Baslow Road and Coombs Road and Junction with Coombs Road and Station Road <i>Grade II</i>
LB159	1316505	DDR4399	-	Former Bakewell Railway Station <i>Grade II</i>
LB160	1316506	DDR5213	-	East Platform Wall at Former Bakewell Railway Station <i>Grade II</i>
LB161	1316507	DDR4400	-	Former Coal Merchants Office at Former Bakewell Railway Station <i>Grade II</i>
LB162	1316508	DDR4401	-	National Westminster Bank <i>Grade II</i>
LB163	1316509	DDR5507	-	Granby House Nos. 1-5 (consecutive) <i>Grade II</i>
LB164	1316510	DDR4402	-	Wye Cottage and Granby Cottage <i>Grade II</i>
LB165	1316512	DDR4403	-	Garden Wall at Wye Cottage and Granby Cottage <i>Grade II</i>
LB166	1316513	DDR4404	-	Mayfield Cottage and Westfield Cottage <i>Grade II</i>
LB167	1316514	DDR4405	-	Steps, Railings and Retaining Walls to Mayfield Cottage and Westfield Cottage
LB168	1316515	DDR4928	-	The Old Vicarage <i>Grade II</i>
LB169	1316516	DDR4406	-	Two Trees <i>Grade II</i>



NON-DESIGNATED HISTORIC BUILDINGS

Project ID	HER No.	NRHE ID	Name
HB1	MDR3530		Progress Works, Buxton Road Inn constructed in c.1820, closed between 1854-75. Building became warehouse during WWI, then a knitwear factory and is now flats.
HB2	MDR3547	-	Court House, Holme Hall, Bakewell Stone building in the garden of Holme Hall, reputedly used as a court house which dates from the 17 th century
HB3	MDR8645	-	Former water supply pump or filter house, Castle Hill, Bakewell
HB4	MDR11916	-	Congregational Chapel and Sunday School, Buxton Road, Bakewell A 19 th century Congregational chapel and Sunday school that is still in use as a church.
HB5	MDR11922	-	Wesleyan Methodist Chapel, Matlock Street, Bakewell 19 th century Wesleyan Methodist Chapel
HB6	MDR11923	-	Wesleyan Reform Union Chapel and school, Bagshaw Hill Former 19 th century Wesleyan Reform Union Chapel and school
HB7	MDR11924	-	Primitive Methodist Chapel, Water Lane, Bakewell Former 19 th century Chapel.
HB8	MDR11927	-	Friends' Meeting House and burial ground, Chapel Lane
HB9	MDR12999	-	Pickford Villas, Monyash Road, Bakewell Late 19 th century terrace of four houses.
HB10	MDR13000	-	Ackford House, Monyash Road, Bakewell Remains of a once larger group of farm buildings present by 1847.



Project ID	HER No.	NRHE ID	Name
HB11	MDR13002	-	Garage, Haddon Road, Bakewell Garage built in 1913 on the site of a 19 th century farm
HB12	MDR15146	-	Ivy House, South Church Street, Bakewell Vernacular building dated to 1743, but with evidence of refronting.
HB13	MDR3523	-	Lumford Mill, west of Holme Road, Bakewell Current building which incorporated older elements of the original Lumford Cotton Mill into design.



APPENDIX 4: FIGURES









Site name: Lumford Mill, Riverside Business Park, Bakewell
 Date: July 2015
 Drawn by: MB
 Scale: Varies

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**Figure 1:
 Site location**

-  Site Boundary: Application A
-  Site Boundary: Application B
-  1km Study Area
-  Peak District National Park



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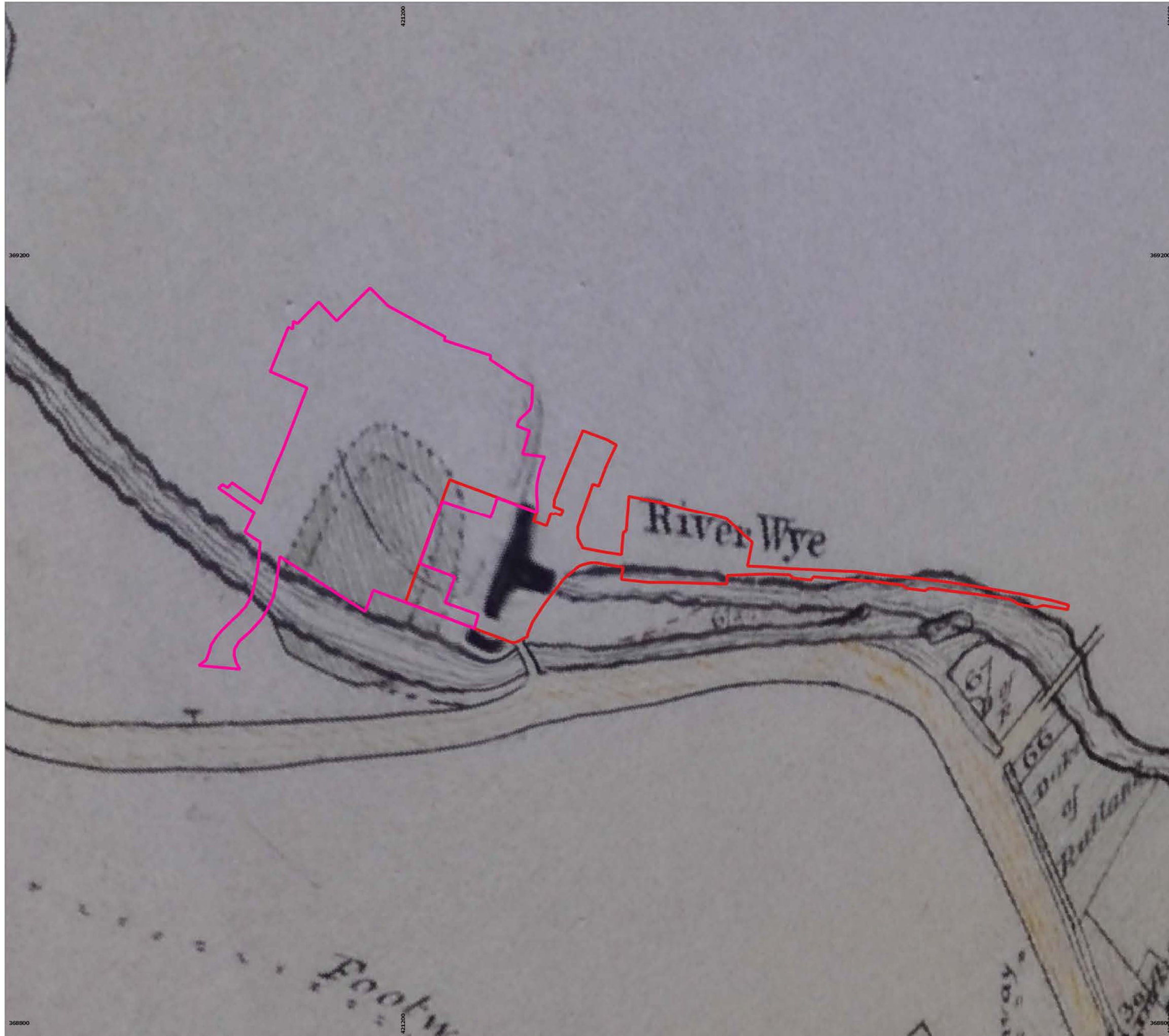
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Figure 2: 1810 Bakewell and Over Haddon Enclosure Award

-  Application Area A
-  Application Area B



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Figure 3: 1824 Longstone and Wardlow Enclosure Award

-  Application Area A
-  Application Area B



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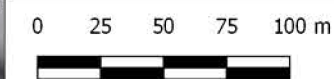




Figure 4: 1840 Old Series Ordnance Survey

- Application Area A
- Application Area B

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Figure 5: 1875 1st Edition Ordnance Survey Map

- Application Area A
- Application Area B

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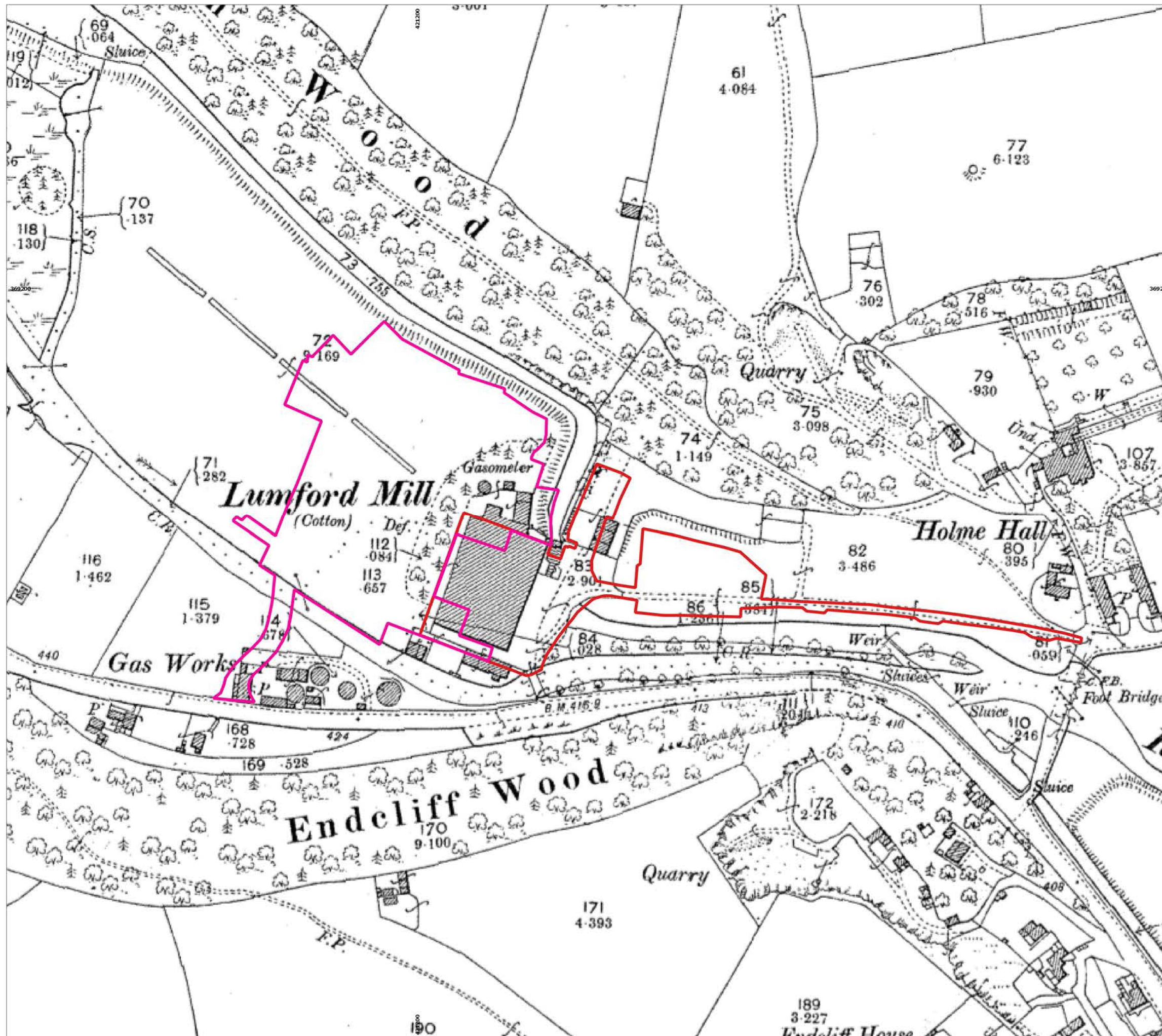
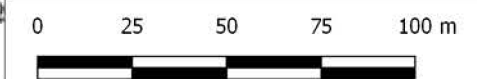


Figure 6: 1898 2nd Edition Ordnance Survey

- Application Area A
- Application Area B

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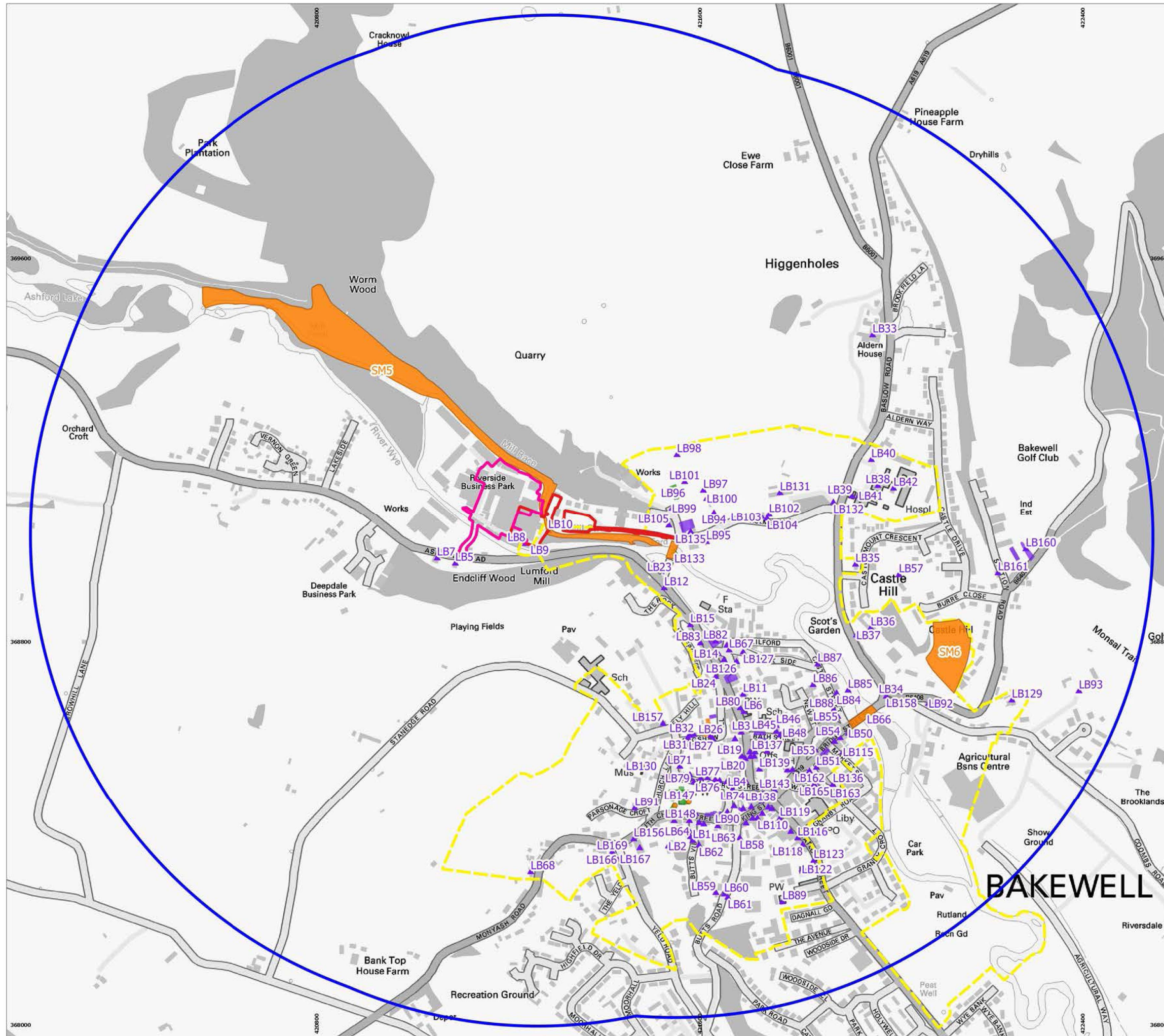
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Figure 7: Designated Heritage Assets



- Application Area A
- Application Area B
- 1km Study Area

Scheduled Monument

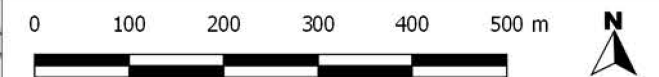
Listed Buildings (points)

- ▲ Grade I
- ▲ Grade II*
- ▲ Grade II

Listed Buildings (areas)

- Grade I
- Grade II*
- Grade II

Bakewell Conservation Area



Lumford Mill, Riverside Business Park, Bakewell
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 MB
 1:8000 @ A3

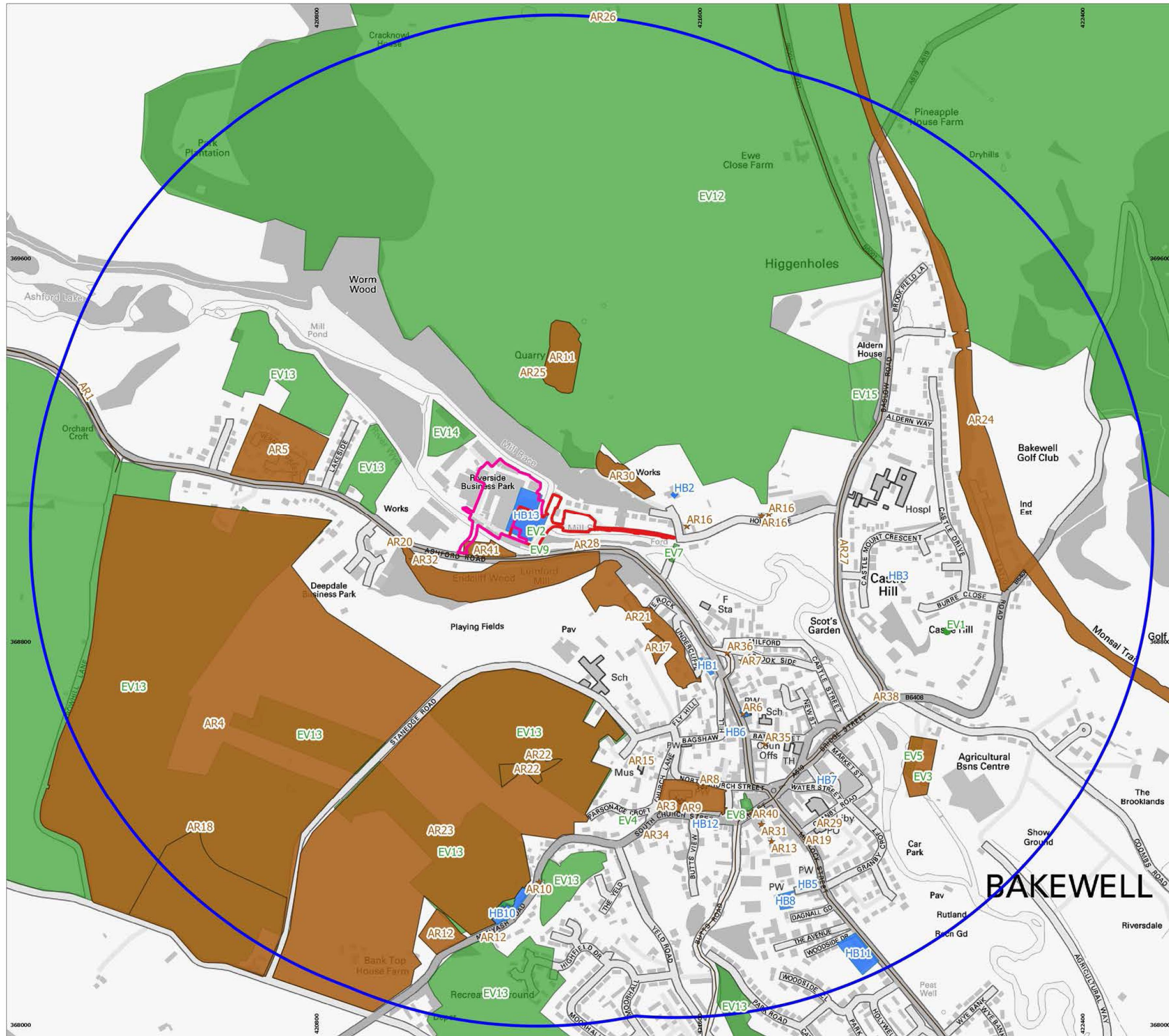
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Figure 8: Non-Designated Heritage Assets and Archaeological Events

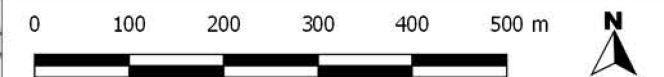


- Application Area A
- Application Area B
- 1km Study Area

- ◆ Historic Building (points)
- Historic Building (areas)

- ★ Archaeological Remains (points)
- Archaeological Remains (lines)
- Archaeological Remains (areas)

- Archaeological Events (points)
- Archaeological Events (areas)



Lumford Mill, Riverside Business Park, Bakewell
 August 2015
 HB
 1:8000 @ A3

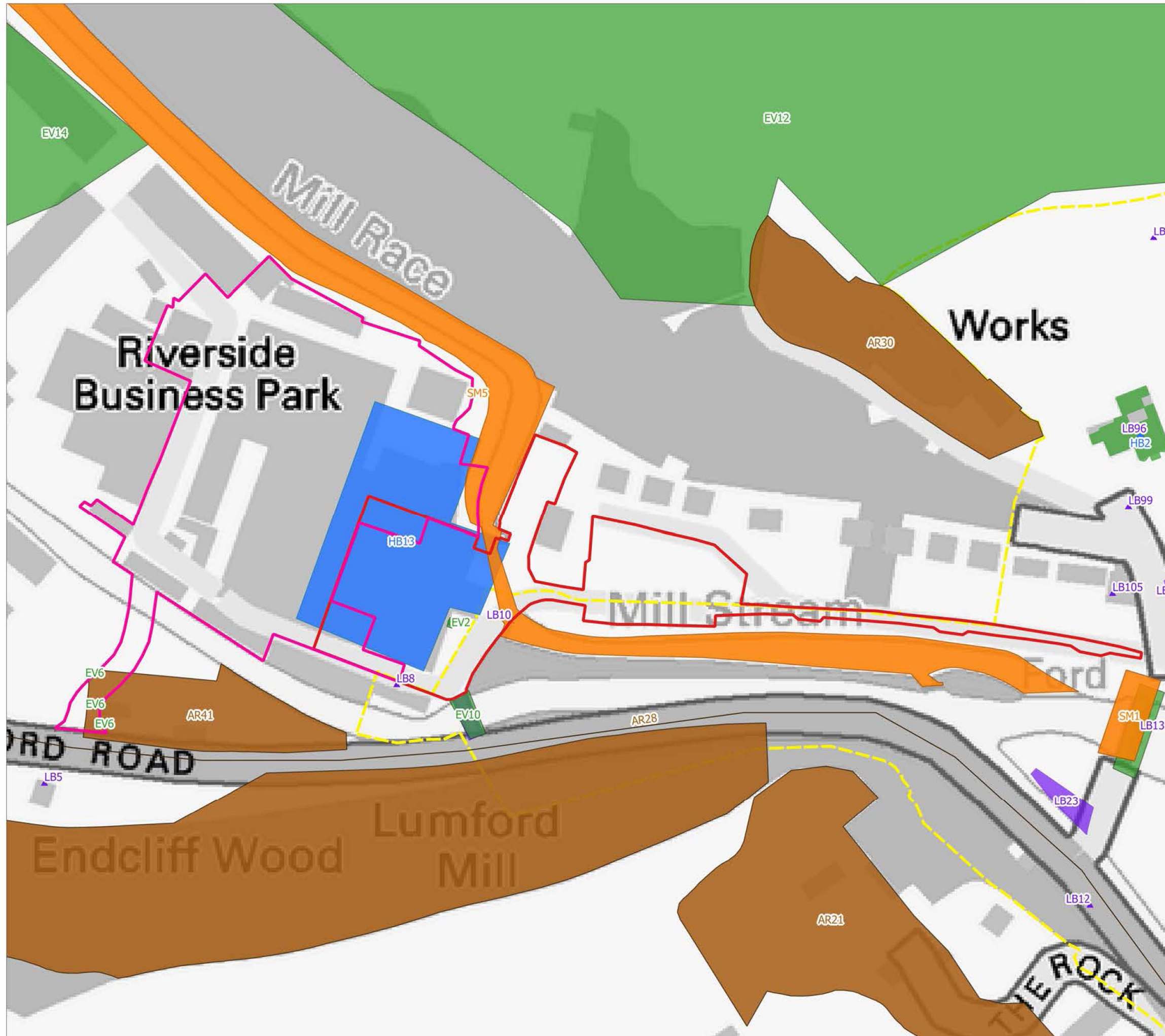
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Figure 9: Heritage Assets within the Proposed Development Areas



- Application Area A
- Application Area B
- 1km Study Area

- Archaeological Remain (areas)
- Archaeological Event (areas)
- Historic Building (areas)
- Listed Building (points)
 - ▲ Grade I
 - ▲ Grade II
 - ▲ Grade II*
- Bakewell Conservation Area

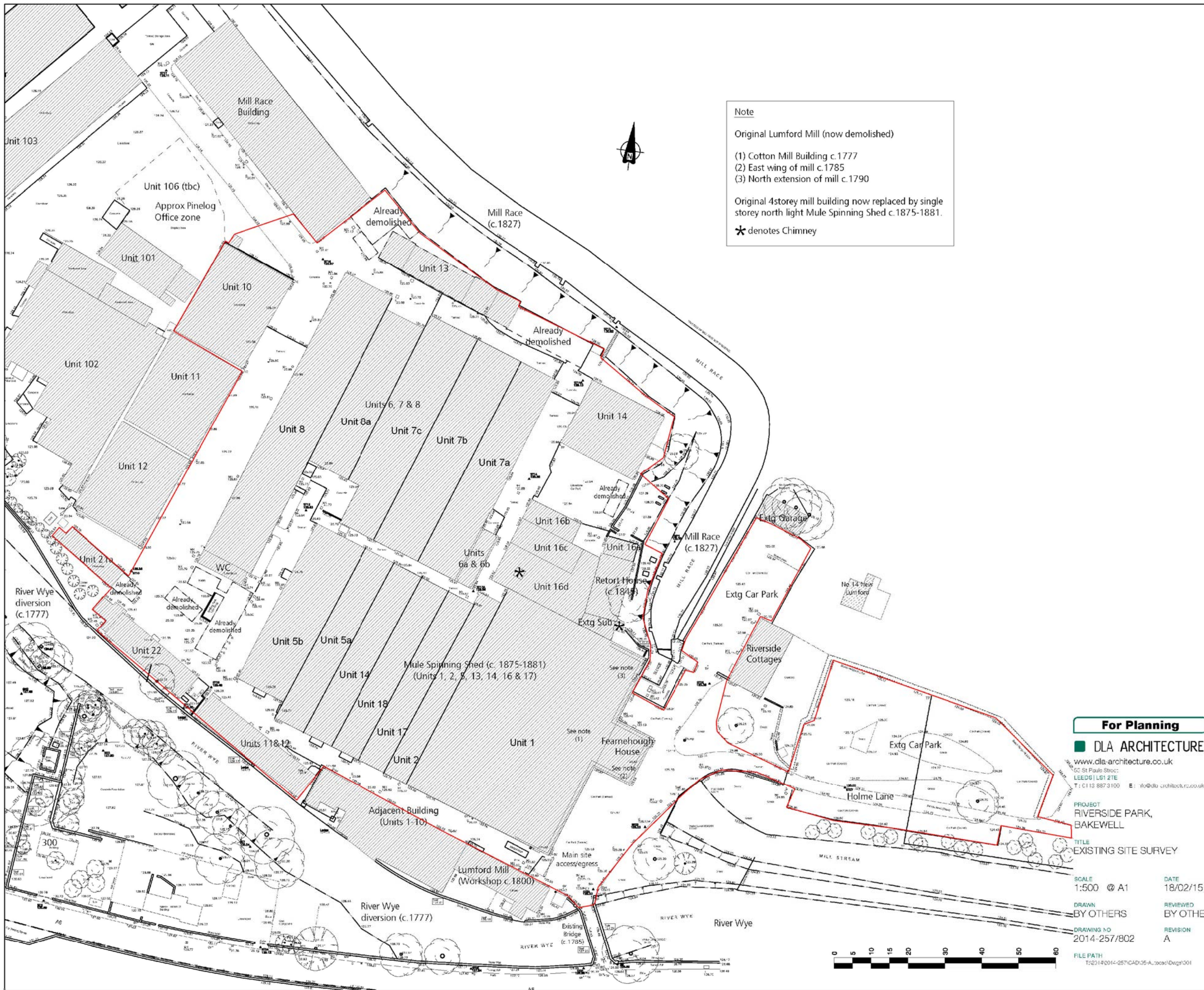


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Note

Original Lumford Mill (now demolished)

(1) Cotton Mill Building c.1777
 (2) East wing of mill c.1785
 (3) North extension of mill c.1790

Original 4storey mill building now replaced by single storey north light Mule Spinning Shed c.1875-1881.

★ denotes Chimney

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 Date: 14 August 2015
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Figure 10:
 Plan of the site showing
 the buildings code

Key:

Site boundary

Notes:

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APPENDIX 5: OASIS



OASIS DATA COLLECTION FORM: England

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Printable version

OASIS ID: archaeol5-220851

Project details

Project name	An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell, Derbyshi
Short description of the project	The existing Lumford Mill complex is built on the site of Sir Richard Arkwright's third mill. Arkwright built the first cotton spinning mill and mill pond here in the late 18th century, though parts of the complex were extended and strengthened during the 19th century. The surviving water management features associated with this scheme, particularly modifications which were made in 1820, now comprise a designated Scheduled Monument.
Project dates	Start: 21-07-2015 End: 07-08-2015
Previous/future work	Yes / Not known
Type of project	Desk based assessment
Monument type	INDUSTRIAL MILL Post Medieval
Significant Finds	NA None
Methods & techniques	"Documentary Search","Visual Inspection"
Development type	Not recorded
Development type	Redevelopment
Prompt	Planning condition

Project location

Country	England
Site location	DERBYSHIRE DERBYSHIRE DALES BAKEWELL Lumford Mill, Riverside Business Park
Study area	2.59 Hectares
Site coordinates	SK 21230 69050 53.2177972908 -1.68202207341 53 13 04 N 001 40 55 W Point

Project creators

Name of Organisation	Archaeological Research Services Ltd
Project brief	Archaeological Research Services Ltd

originator
 Project design originator Archaeological Research Services Ltd
 Project director/manager Andy McWilliams
 Project supervisor Alvaro Mora-Ottomano
 Project supervisor Michelle Burpoe

Project archives

Physical Archive Exists? No
 Digital Archive Exists? No
 Paper Archive recipient Peak District National Park Authority
 Paper Contents "none"
 Paper Media available "Map","Photograph","Plan","Report"

Project bibliography 1

Publication type Grey literature (unpublished document/manuscript)
 Title An Archaeological Desk-Based Assessment and Walkover Survey of Lumford Mill, Riverside Business Park, Bakewell, Derbyshire
 Author(s)/Editor(s) Burpoe, M
 Author(s)/Editor(s) Mora-Ottomano, Alvaro
 Date 2015
 Issuer or publisher Archaeological Research Services Ltd
 Place of issue or publication Bakewell

Entered by Michelle Burpoe (michelle@archaeologicalresearchservices.com)
 Entered on 14 August 2015

OASIS:

Please e-mail [Historic England](#) for OASIS help and advice

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