

Croft End Mill, Stubbins, Edenfield, Lancashire

Heritage Assessment



Croft End Mill facing onto Bolton Road North.

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Archaeological Research
Services Ltd

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Archaeological Research Services Ltd

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EXECUTIVE SUMMARY

In July 2016 Archaeological Research Services Ltd was commissioned by John Matthews of Eccleston Homes to undertake a Heritage Assessment at Croft End Mill, Stubbins, Edenfield, Lancashire, which was required in support of a planning application for the re-development of the site which proposes the demolition of the buildings and the erection of new residential dwellings.

The Heritage Assessment has provided an account of the developmental history and purpose of the buildings that is deemed to be appropriate to the buildings' significance. The majority of the structures proposed to be developed date to the late mid to late 19th century with later extensions and considerable repair/rebuilt of the historic fabric. The assessment concluded this is a relatively modest group of buildings whose views from the street front or from Stubbins are not exceptional. They are less ambitious and sophisticated than other examples in the neighbourhood. These are buildings of much local interest, but do not meet the criteria for national significance. The existing buildings are part of the former Bleach Works which were built through time expanding from the first quarter of the 19th century through to the mid-20th century. There has been substantial remodelling including demolition. They are only of moderate interest as distinct building types, and better examples survive elsewhere for this period around this area.

1 INTRODUCTION

1.1 Archaeological Research Services Ltd (ARS Ltd) was commissioned John Matthews of Eccleston Homes to undertake a Heritage Assessment at Croft End Mill, Bolton Road North, Stubbins, Edenfield, Lancashire, BL0 0NA (centred NGR SD 79389 18129, Fig. 1). The Heritage Assessment was required in support of a planning application for the re-development of the site which proposes the demolition of the buildings and the erection of new residential dwellings.

1.2 Rossendale Borough Council has advised that a Heritage Assessment should be undertaken to supply information on the special architectural and historic significance of the buildings and their setting. The Heritage Assessment has been carried out in accordance with government policy requirements specified in the National Planning Policy Framework (DCLG 2012).

1.3 The assessment comprised a site visit in order to compile analytical descriptions, documentary research to provide back up evidence of date and function, and an evaluation of architectural and historic significance based on the existence or non-existence of statutory and non-statutory designations and also on the author's professional judgement formulated by a substantial experience of historic building analysis.

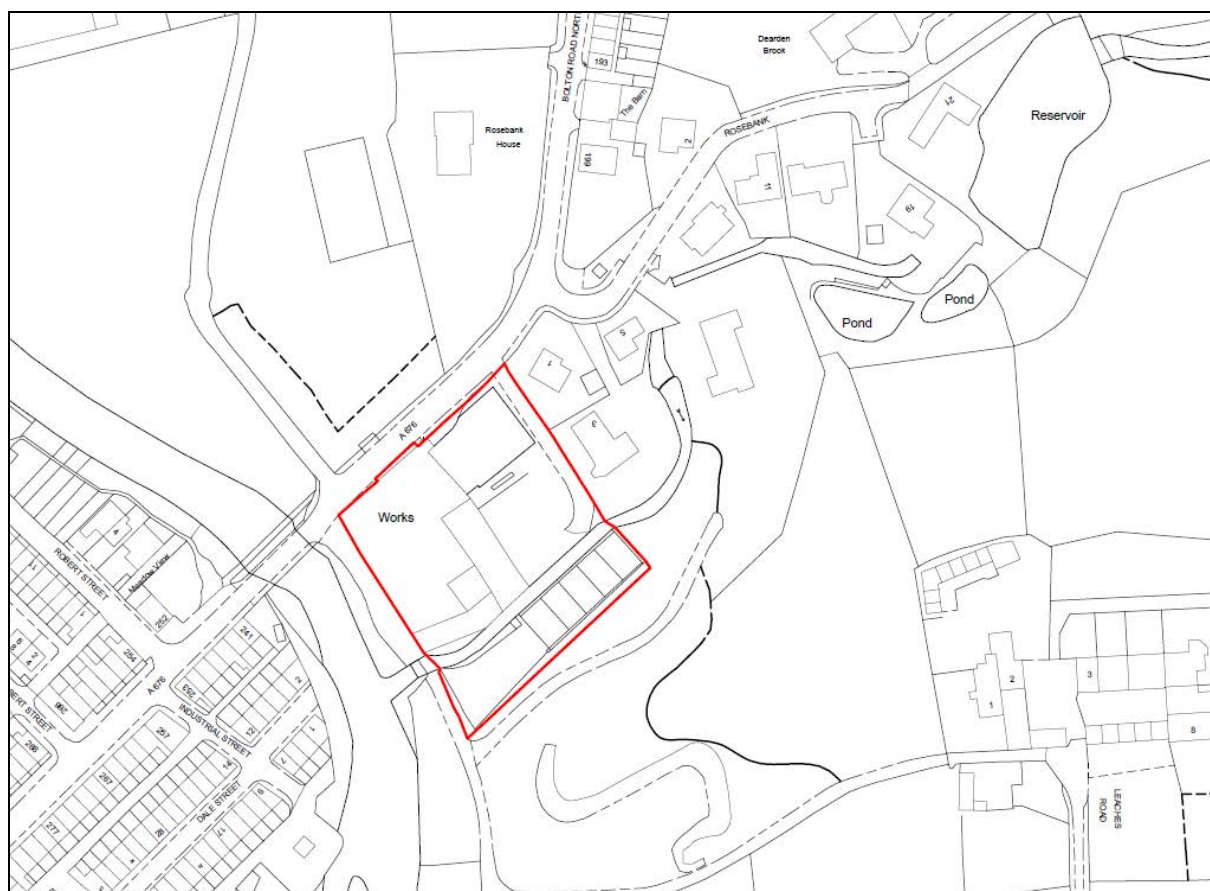


Figure 1: General site location (red line).

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2 PLANNING POLICY CONTEXT

2.1 National Planning Policy Framework

2.1.1 At a national level, the National Planning Policy Framework (NPPF) (DCLG 2012) is the policy statement which contains the framework for conservation of the historic environment within the planning system and enshrines the historic environment as a material consideration within the planning process. The NPPF sets out the Government's planning policies for England and how these are expected to be applied. It sets out the Government's requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. The purpose of the NPPF is to contribute to the achievement of *sustainable development*, which includes *"...contributing to, protecting and enhancing our natural, built and historic environment..."* (DCLG 2012, 30).

2.1.2 Section 12 of the NPPF deals with government policy in relation to conserving and enhancing the historic environment and its role in sustainable development.

2.1.3 Paragraph 126 states that Local Authorities must undertake to *"recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance"*. In developing their strategy, local planning authorities should take into account:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- the desirability of new development making a positive contribution to local character and distinctiveness; and
- opportunities to draw on the contribution made by the historic environment to the character of a place.

2.1.4 Paragraph 128 states that, *"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation"* (DCLG 2012, 30).

2.1.5 Paragraph 129 states that, *“Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal”* (DCLG 2012, 30).

2.1.6 In determining planning applications, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

2.1.7 Paragraphs 132 – 141 provide guidance on the approach to be adopted by local authorities in weighing the impact of development against the conservation of heritage assets and their setting and significance (DCLG 2012, 31-32). Paragraph 132 states that *“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional”* (DCLG 2012, 31).

2.1.8 Paragraph 135 states that *“The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset”* (DCLG 2012, 31).

2.1.9 Paragraph 141 states the Government requirement for the planning process to contribute to public understanding of the historic environment.

2.2 Local Plan

2.2.1 The Rossendale Borough Council’s *Core Strategy Development Plan Document: The Way Forward (2011 – 2026)* adopted 8th November 2011 has the following policy relevant to the current assessment.

“Policy 16: Preserving and Enhancing Rossendale’s Built Environment

The Council will protect, conserve, preserve and enhance Rossendale’s historic built environment including Listed Buildings, Conservation Areas, Registered Parks and Gardens, Scheduled Ancient Monuments, archaeological sites, historic landscapes and locally identified buildings, sites and structures. These heritage assets all contribute to the local distinctiveness and character of the area. Their futures, including their settings will be safeguarded and secured by:

- 1. Promoting the positive management of the Borough’s heritage assets, avoiding unnecessary loss and requiring appropriate mitigation of any negative impacts.*
- 2. Extending the heritage protection for areas and/or buildings worthy of retention, conservation and enhancement through the designation of appropriate additional Conservation Areas and Listing.*
- 3. Enhancing the value of Rossendale’s historic built environment by carrying out Conservation Area Appraisals, implementing Conservation Area Management Plans and public access measures.*
- 4. Protecting significant urban public realm (space) from development.*
- 5. Ensuring that all development is:*
 - a. Located in a way that respects the distinctive quality of the historic landscape and setting and retains or enhances the character and context.*
 - b. Of a high standard of design, reinforcing the local distinctiveness of Rossendale*
- 6. Encouraging innovative new design(s), where it responds to the character, scale and setting of historic buildings and areas.*
- 7. Maximising the potential for the re-use of buildings of historic or local interest for appropriate uses to ensure their future longevity. However where this is not possible/appropriate, considerate and sensitive redevelopment will be supported, subject to advice from the Council’s Conservation Team and English Heritage.*
- 8. The Council will support those schemes and proposals which contribute to conservation-led regeneration, particularly where they exploit the regeneration potential of the textile mill-towns and traditional architecture of rural villages within Rossendale.*

Policy 23: Promoting High Quality Design and Spaces

The Council will ensure that Rossendale’s places and buildings are attractive, safe and easy to use, by ensuring that all new developments:

- Promote the image of the Borough, through the enhancement of gateway locations and key approach corridors*
- Are of the highest standard of design that respects and responds to local context, distinctiveness and character*
- Contribute positively to local identity and heritage in terms of scale, density, layout, materials and access*
- Maintain the relationship between the urban areas and countryside, particularly at the rural-urban interface where the contrast between the natural and built environments is most prominent*
- Have public and private spaces that are safe, attractive, easily distinguished, accessible and complement the existing built form*
- Protect important local and longer-distance views*
- Use locally sourced sustainable, high quality and innovative materials appropriate for the development and its surroundings including recycled materials wherever feasible*

- *Engage with their surroundings and provide adequate natural surveillance (overlooking) for neighbouring streets and spaces*
- *Promoting high quality landscaping and construction for streets and public spaces*
- *Incorporate well defined and recognisable routes, spaces, interchanges, landmarks and entrances reflecting guidance in “Manual for Streets” that provides for convenient movement that are well connected to public transport, community facilities and services of individual communities and neighbourhoods, without compromising security*
- *Incorporate car parking design that is integrated with the existing public realm and other pedestrian and cycle routes*
- *Create a sense of ownership by providing a clear definition between public and private spaces*
- *Are designed to make crime difficult to commit by increasing the risk of detection and provide (where necessary) for well designed security features*
- *Provide places that are designed with management and maintenance in mind, avoiding the creation of gated communities*
- *Be flexible to respond to future social, technological and economic needs*
- *Provide active ground floor frontages where located in town and district centres*
- *Contribute to a reduction in energy consumption and CO2 emissions and facilitate adaptation to climate change through efficient layouts and designs which accord with or exceed current national standards (such as Code for Sustainable Homes, BREEAM and Building Regulations)*
- *Are subject to a Building for Life assessment where the development in question is a major residential scheme.*

Policy 24: Planning Application Requirements

In addition to adhering to the policies of this Plan as a whole, applications will be given positive consideration subject to all the relevant requirements below being properly addressed in the supporting documentation. These requirements will include whether the development:

- 1. Has adequately considered the on and off-site impacts of the proposal in terms of climate change, flood risk, wildlife, natural resource use, pollution and air quality and identified any measures necessary for mitigation and/or enhancement*
- 2. Maximises environmental performance including meeting and where possible exceeding latest good practice guidance such as “Code for Sustainable Homes” and “Building for Life”, management of construction waste, passive heating/cooling and provision of on and off-site renewable energy and/or heat*
- 3. Makes efficient use of land, including where appropriate providing for dual use and co-location of facilities*
- 4. Positively contributes to the townscape, historic environment, local distinctiveness, landscape, biodiversity and provision of “Green Infrastructure”*
- 5. Is compatible with its surroundings in terms of style, siting, layout, orientation, visual impact, local context and views, scale, massing, height, density, materials and detailing*
- 6. Incorporates public spaces, landscaping, usable open space and public art*
- 7. Protects the amenity of the area, including residential amenity in terms of satisfactory daylight, sunlight, outlook, privacy, soft landscaping and by mitigating noise and light pollution*
- 8. Contribute to public safety including through ‘secured by design’ initiatives*

9. *Provides direct walking, cycling and public transport access and addresses parking (all modes) and servicing issues as part of overall design quality including through Travel Planning*
10. *Demonstrates that existing drainage, waste water and sewerage infrastructure capacity is maintained and where necessary enhanced, to enable development to proceed including, where appropriate, the use of sustainable drainage systems (SuDS)*
11. *Ensures that sustainable storage and disposal of solid waste is positively addressed within the design*
12. *Ensures where appropriate, equality of access and use for all sections of the community including, for residential proposals, delivery of “Lifetime Homes” requirements*
13. *Conforms to policies within Minerals and Waste LDF documents including safeguarding of resources. In addition extraction of shallow coal should be considered before construction commences on developments affecting known deposits*
14. *Identifies and adequately addresses any issues of contamination or land instability, and incorporates a land remediation scheme (where appropriate) to the satisfaction of the relevant agency” (available online at http://www.rossendale.gov.uk/downloads/download/331/core_strategy_local_plan_part_1_adopted [accessed 5th August 2016].*

3 HISTORICAL BACKGROUND

– Antony Brown (MCIfA)

3.1 The following sources of information were consulted to inform this assessment, although it should be noted that time constraints prevented exhaustive searches of all their holdings:

- ◆ The Lancashire Record Office
- ◆ Bury Archives and Museum
- ◆ Rawtenstall Local Studies Library
- ◆ Ramsbottom Library
- ◆ Archaeological Research Service’s library for books and journals relevant to the study area.
- ◆ Other relevant books, journals and reports identified during the course of the data collection, as detailed in the References section.

3.2 None of the early large scale county maps (Yates 1786, Greenwood 1818 and Hennem 1830) depict any buildings on the site, although it is likely that this is because they are not of a sufficiently large scale. The earliest map identified to depict the site in any detail is the ‘*Survey of Stubbins Bridge and the Ashtons’ Weir*’ of 1817, which illustrates a small elongated building with a possible yard to the rear, set back from Bolton Road North (Figure 2).



Figure 2: An extract from 'Survey of Stubbins Bridge and the Ashtons' Weir', 1817 (Bolton Archives ZAL188).

3.3 A lease from Richard Rothwell to Thomas Sandiford dated 6th September 1813 (Lancashire Archives DDX 1777 Bundle 1/4) refers to 'All that water brook or rivulet called Mill Roads Water or Brook running and flowing by the side of or in or near to a certain Close the freehold of the said Richard Rothwell called the Mill Roads which brook or water the said Thomas Sandiford and his late partners did some years ago divert out of its ancient course by erecting a weir at the bottom of John Rostron and James Rostron's Tail Goit and upper end of the said close called the Mill Roads and conveying the same through a Trench Sluice or Goit and Dam made in the same close for the purpose of working the waters wheels and machinery and supplying the Dyehouse of the said Thomas Sandiford and his partners'. This indicates that the original dyehouse was constructed 'some years' prior to 1813, by Thomas Sandiford and partners, but it is not clear whether the building depicted on the 1817 map was related to the 'Dyehouse' referred to.

3.4 A lease for one year from James Rothwell to John Rostron dated to 24th March 1824 (Lancashire Archives DDX 1777 Bundle 2/1) refers to 'All that part of the said close called Little Mill Roads situate at Chadderton otherwise Chadderton in Tottington Higher End aforesaid which is now in the possession of Mr. Thomas Sandiford the elder whereupon are erected and made a Dyehouse Washhouse and other Dyeing and Printing works with dash wheels a reservoir and other conveniences thereto belonging then in the occupation of the said Thomas Sandiford the elder and contained in the whole by estimation one acre of the measure aforesaid...'. This description indicates that the complex had expanded in size since the previous description, and the reference to Little

Mill Roads confirms that this is the same complex of buildings which is later recorded in the tithe map and apportionment.

3.5 In 1828, a release from Samuel and Richard Rothwell to John Rostron (Lancashire Archives DDX 1777 Bundle 2/11) repeats the above description, but states ‘... *was then or then late in the possession of Mr. Thomas Sandiford...*’, which suggests that that Sandiford no longer occupied the site at this time.

3.6 A Deed of Covenants from John Rostron to Messrs Jackson and others dated to 29th July 1834 (Lancashire Archives DDX 1777 Bundle 2/15) refers to ‘*All that Bleach Croft of him the said John Rostron at the Bridge in Tottington Higher End aforesaid with the land ground and appurtenances thereunto belonging or therewith usually occupied or enjoyed now in the occupation of the said Joseph Jackson David Watson and Thomas Grieg*’. Thomas Greig was formerly a manager at the Grant’s works known as ‘The Square’ at Ramsbottom but reportedly moved to Rosebank in 1831 (Hume Elliot 1893, 130).

3.7 The Tottington Higher End tithe award of 1838 (Lancashire Archives DRM 1/197) provides the following details regarding the site, which contains four parcels of land which were part of the larger landholding described as ‘Rose Bank Print Works’ (Table 1 and Figure 3).

Table 1: Details from the Tottington Higher End tithe apportionments.

No.	Landowner	Occupier	Description
586	John Rostron	Jackson, Watson & Grieg	Little mill roads
587			Little mill roads
588			Reservoirs
590			Buildings near the bridge

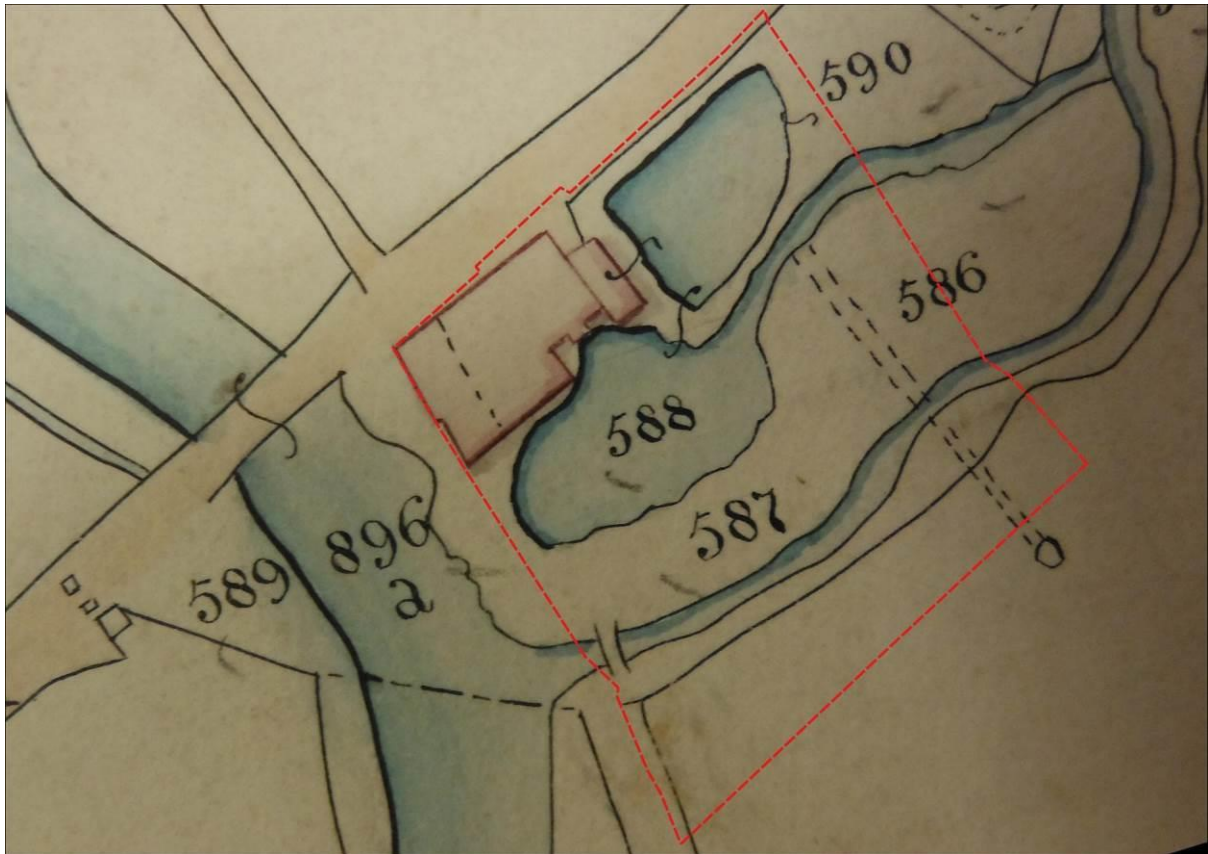


Figure 3: An extract from the Tottington Higher End tithe map, 1838 (Lancashire Archives DRM 1/197).

3.8 Historical Trade directories held at Lancashire Archives provide details of the occupants of the print works during the second half of the 19th century, as detailed in Table 2 below. This illustrates that by 1851, the Jackson, Watson & Grieg partnership had been superseded by Grieg, Watson & Grieg, and this company continued to occupy the site until at least 1858. By 1861, the occupiers were Watson & Stark who were listed as ‘Bleachers’, and the same company was listed as ‘Calico printers’ at Rose Bank up to 1869, and were also carrying out ‘quilting’ in 1879. Between 1882 and 1890 the company occupying the site as ‘Calico printers (& quilting)’ was Thomas Grieg Stark, who was a nephew of the Greig brothers, and following his death in 1891, his son John Stark took over the business (Hume Elliot 1893, 146).

3.9 Papers relating to the Rosebank Print and bleachworks dating to 1882 are held at Lancashire Archives which document the lease of the printworks from the Feilden Brothers to Thomas Grieg Stark. These papers provide a schedule of the premises associated with the printworks and, under the heading ‘Bleaching Croft’, the following rooms are listed, providing a snapshot of the layout of this part of this part of the complex at this time:

- ◆ **Drug room**
- ◆ **Grey Room** etc. with room under
- ◆ **Singe Place**
- ◆ **Lime Place** and **Grey Room** over
- ◆ **Boiler House** and **Engine House**
- ◆ **Croft**
- ◆ **White Room Staircase**

Table 2: Details from trade directories held at Lancashire Archives.

Year	Directory	Details
1821-2	Piggott's Directory of Lancashire	Calico printers – Sandiford, Ts. Stubbins
1823	Piggott's Directory of Lancashire	Calico printers – Sandiford, T., Stubbins,
1824	Baines' History, Directory and Gazetteer of the County Palatine of Lancaster	Calico printers – Sandiford, Thomas, Stubbins
1828	Piggott's Directory of Lancashire	Calico printers – Sandiford, Ts. Stubbins, Tottington
1851	Slater's Directory of Lancashire	Calico printers - Grieg, Watson & Grieg, Rose Bank
1854	Mannex & Co.'s Directory of Lancashire	Bleachers - Grieg, Watson & Grieg, Rose bank Calico printers - Grieg, Watson & Grieg, Rose bank
1858	Slater's Directory of Lancashire	Bleachers - Grieg, Watson & Grieg, Rose bank
1861	Slater's Directory of Lancashire	Bleachers - Watson & Stark, Rose bank, & George St. Manchester
1865	Slater's Directory of Lancashire	Calico printers - Watson & Stark, Rose bank, & George St. Manchester
1869	Slater's Directory of Lancashire	Calico printers - Watson & Stark, Rose bank, & George St. Manchester
1879	Slater's Directory of Lancashire	Calico printers - Watson & Stark (& quilting), Rose bank, & 83 Mosely St. Manchester
1882	Slater's Directory of Lancashire	Calico printers – Stark, Thomas Grieg (& quilting), Rose bank
1885	Slater's Directory of Lancashire	Calico printers – Stark, Thomas Grieg (& quilting), Rose bank
1890	Slater's Directory of Lancashire	Calico printers – Stark, Thomas Grieg (& quilting), Rose bank
1891	The Cotton Spinners and Manufacturers Directory	Stark, Thomas Grieg (Calico Printer), Rose Bank Print Works
1895	Slater's Directory of Lancashire	Calico printers – Stark, Thomas Grieg (exors of) (& quilting), Rose bank, & 83 Mosely St. Manchester; W. Gray, manager
1901	Kelly's Directory of Lancashire	Turnbull & Stockdale Limited, Calico Printers, dyers and bleachers

3.10 In 1900 the whole of the estate at Edenfield in the ownership of the Fielden Brothers was sold to Turnbull & Stockton Limited, and a plan held at Lancashire Archives depicts an estate near Edenfield '*Of Messrs. Samuel, John and Joshua Fielden as conveyed to Turnbull and Stockdale Ltd*' (Figure 4).



Figure 4: An extract from 'Survey of an Estate near Edenfield', c.1900 (Lancashire Archives DDX924/4/2).

3.11 In 1908 a complete inventory of Turnbull and Stockdale's Rosebank Printworks and Edenwood Dyeworks was produced which provides a snapshot of the different elements of the Bleachworks as they functioned at that time. Abridged details from this inventory are provided in Table 3 below, and a schematic plan produced from a plan of the Bleachworks included in the inventory is illustrated in Figure 5. Buildings 12 and 13 were not yet built at the time of the inventory, but these have been added on to the plan to aid the discussion below regarding later developments on the site (section 4). Moreover, the aforementioned plan does not include any structural elements with the number 6.

Table 3: Details from the 'Inventory of Rosebank Print and Bleach Works', September 1908 (Bury Archives RHS/2/1/12/31).

No.	Details
1	Stone built staircase for 2
2	Stone and brick building two storeys high 1st storey - Drying Room and Engine House (open to Bleach Croft) 2nd storey - White Room
2A	Brick building two storeys high 1st storey - Open Store (open to yard) 2nd storey - White Room
Part 3	Stone built Chemicing Place
3	Stone built Bleach Croft and Kier House one storey high
4	Brick built Soaping and Boiling Place
4A	Lofty brick building forming Washing and Souring House
Part 5	One storey stone building forming Chemicing, Souring and Cloth Store Room
Part 5	Portion of last forming part Kier House
7	New two storey stone and brick building 1st storey - Passage and store 2nd storey - Grey Room
8	Two storey stone and brick built building
9	Stone building 1st storey forming Singeing Room
10	Stone building one storey and cellar 1st storey - Stove and Economiser House Cellar - Lime Store Room
11	Stone built boiler house One lofty storey. Stone built Old Engine House now used as part Boiler House
N/A	Circular brick built chimney
N/A	Stone built Singe Chimney (rising out of Singe House)
N/A	Range of three brick built W.C.s with internal fittings
N/A	Water reservoir with stone sides and puddled bottom

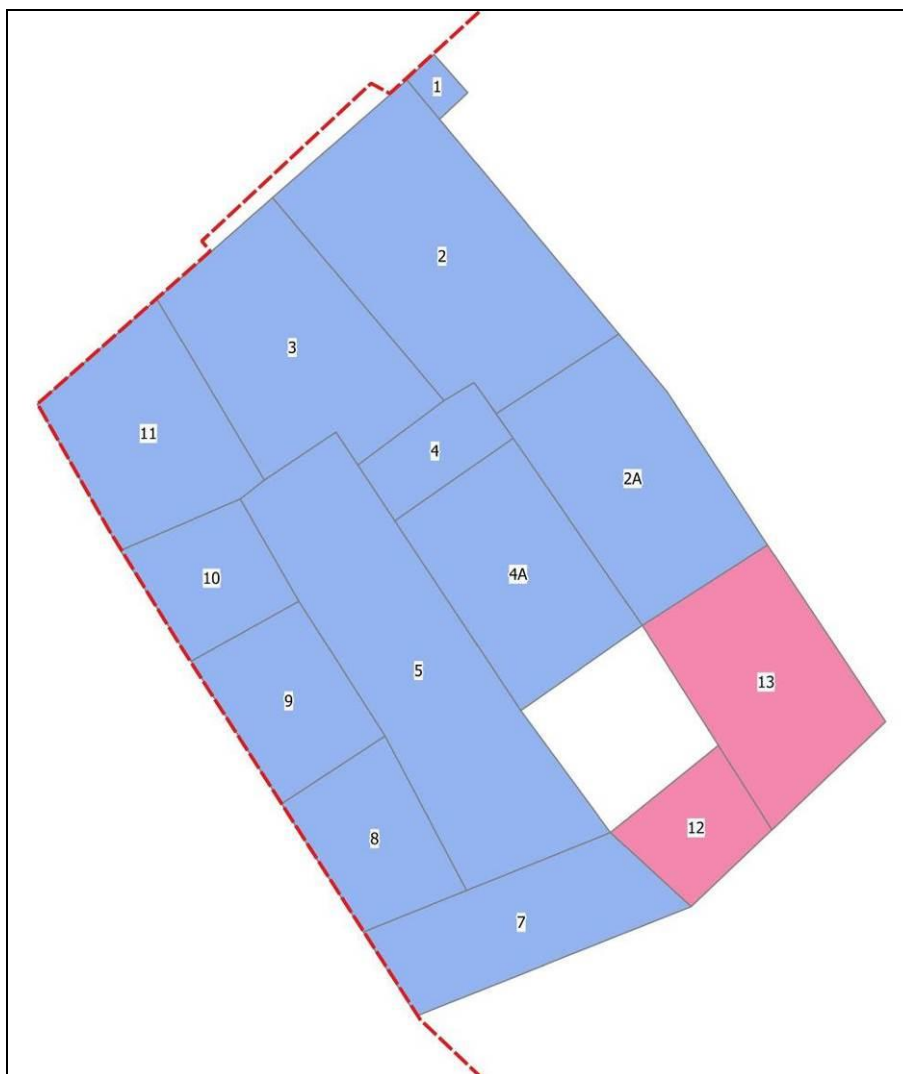


Figure 5: A schematic reproduction of the plan included in the ‘Inventory of Rosebank Print and Bleach Works’, September 1908 (Bury Archives RHS/2/1/12/31).

3.12 Turnbull and Stockbridge occupied the site throughout much of the 20th century, and a description of the company in a Board of Trade pamphlet dating to 1962 describes the company thus: *‘Turnbull and Stockdale was established some years before the turn of the century. Activities extend over most textile ‘finishing’ processes, namely dyeing, printing, bleaching and finishing. They also manufacture and sell their own furnishing fabrics under the brand name ‘Rose Bank Fabrics’ These are woven by a subsidiary company, the Chadderton Weaving Company Limited housed also in the Stubbins premises’.*

3.13 It is understood that Turnbull and Stockdale was taken over by Sanderson’s in 1964 and Rosebank continued in production until 1967, and subsequently the Bleachworks were occupied by block printers Edward Turnbull & Co. and latterly Turnbull Prints Ltd (RHS 2016, 7).

3.14 Analysis of the historic maps and documents discussed above along with the historic Ordnance Survey maps reproduced in Appendix I reveal the development of the Bleach Works over time. The following discussion utilises the building numbering system

based upon the original dyehouse that was constructed by Thomas Sandiford ‘some years’ prior to 1813, apparently comprising a relatively small rectangular building of one range set back from Bolton Road, as depicted on the 1817 map reproduced in Figure 2.

3.15 By the time of the tithe map of 1838 (Figure 3), the complex had greatly expanded in size, extending northwards as far as Bolton Road with the addition of Building 11, and also eastwards with the addition of Buildings 3 and 2, although it is possible that these areas (particularly Building 2) were later remodelled and/or rebuilt as the footprint does not quite match what is depicted on later maps.

3.16 By the time of the OS 1st edition 6 inches to the mile map of 1847, the Bleach Works complex had extended southwards with the addition of Buildings 9 and 8 and, by 1891, the 25 inches to the mile map (Appendix I) depicts a further extension (Building 5) to the east of these two buildings. A small ‘lean-to’ structure had been added to the southern side of Buildings 8 and 5.

3.17 The ‘Survey of an Estate near Edenfield’ (Figure 4) which depicts lands transferred to Turnbull & Stockton in 1900 must be based upon an earlier survey, as this depicts the reservoir to the south of the mill complex which was depicted on the tithe map and 1847 OS map but had been filled in by the time of the 1891 OS map, as well as depicting the site prior to the construction of Building 5 which was extant by 1891.

3.18 The 1908 inventory describes Building 7 as ‘new’ indicating that this had only recently been added at this time, and buildings 2A and 4A had also been added since the 1891 OS map. By the time of the 1929 OS map, buildings 12 and 13 had also been added to the Bleach Works, and the complex was fully developed into its current plan outline.

3.19 An air photograph available to view online on Historic England’s ‘Britain from Above’ website provides an oblique view of the complex in 1933, and this provides evidence for further changes to the complex that are not readily apparent from the map regression. This air photograph illustrates that the range formed by Buildings 8 and 9 was all one storey in height at this time, whilst the descriptions of these buildings in the 1908 inventory state that Building 8 was two storeys in height, and Building 9 was only one storey. Building 9 was the ‘Singe House’, and this had a short stone-built chimney in 1908, which is visible in a photograph of the Bleach Works which must predate 1908, as it was taken prior to the construction of Building 7 when the ‘lean-to’ structure depicted on the 1891 OS map was still extant (RHS 1995, 102). The range formed by Buildings 8 and 9 is currently two storeys in height, and the possibility that this has been totally re-built since the 1933 photograph was taken cannot be discounted.

3.20 It should also be noted that Building 10 was described in the 1908 inventory as being one storey in height with a cellar, and this is how it appears in the aforementioned pre-1908 photograph including a tall chimney (RHS 1995, 102). By the time of the air photograph dating from 1933, this building was two storeys in height, as it remains today, and therefore the upper storey of this building must be of early 20th century date, if not the whole structure. Nevertheless, as this is the only building mentioned in the 1908 inventory as possessing a cellar, the possibility remains that some elements of the building relate to the building depicted on the 1817 map (RHS 2016, 3).

4 BUILDING DESCRIPTION AND SETTING

An appraisal of the standing buildings on site, including their interior whenever possible, was undertaken on 29th August 2016 by Alvaro Mora-Ottomano (BA Hons, MSc) of ARS Ltd who is a corporate member of the Chartered Institute for Archaeologists (ACIfA 5297) and the Institute of Historic Building Conservation (2583AFF). A brief text description of each building is provided, with an assessment of its chronology, original and subsequent purpose and significance based on the existence or non-existence of statutory and non-statutory designations and also on the author's professional judgement formulated by a substantial experience of historic building analysis including industrial sites.

All aspects of the building recording were conducted according to the guidelines in *Understanding Historic Buildings – A Guide to Good Recording Practice* by Historic England (2016). The assessment was conducted in line with the relevant guidance stipulated by the Chartered Institute for Archaeologist (2014a and 2014b). The records produced were used in order to create an interpretative discussion of the form, function and phasing of the structures concerned. This consisted of the following.

- ◆ A written record of the buildings was carried out by annotating plans and elevations and by completing Archaeological Research Services Ltd pro-forma building recording sheets. Descriptions and terms used follow Brunskill (2000), Curl (1997) and Lynch (1994) wherever possible.
- ◆ A photographic survey composed of high-resolution digital photographs (16 megapixels) was taken using a Nikon L810. A selection of photographic plates is included below.

Croft End Mill consists of an amalgamation of several ranges creating a large rectangular workshop bounded by Bolton Road North to the north-west, a trackway parallel to the River Irwell to the south-west, Dearden Brook to the south-east, and a car park and a disused reservoir to the north-east (Plates 1 – 3). For the purpose of this Heritage Assessment the definition 'building' is used to describe a built structure within the confines of the site boundary, which is identifiable as a single construction, and may have more than one phase of use or alteration. The buildings and their internal spaces had been previously coded in a former plan of the mill issued in 1908 (Figure 5); these are used here for consistency. However, additional codes have allocated to two buildings (i.e. Buildings 12 and 13) which were constructed subsequent to the production of the aforementioned plan. All buildings were analysed individually and the results are included below.



Plate 1: Croft End Mill along Bolton Road North with building codes, looking south-west.



Plate 2: Croft End Mill facing onto a trackway along the River Irwell with building codes, looking south-east.



Plate 3: Croft End Mill facing onto the reservoir with building codes, looking south-west.

4.1 Building 1

4.1.1 Building 1 is a small single-storey stone-built structure projecting from the north-east corner of the adjacent Building 2. It is built with coursed sandstone squared blocks and contains a later shed-like extension used as a loading bay with a concrete ramp. It has a shallow pitched slated roof concealed by a flat copped parapet. The front façade facing onto Bolton Road North includes a doorway with dressed lintel and monolith jambs. The masonry is keyed-in into Building 2 (although the bedding alignment is slightly disparate) and design mimics the adjoined stonework (Plate 4). Internally it consists of a loading entrance into the works through a ledged timber door which enables access to the adjacent Building 2. It has rendered walls, with a window opening within the south-eastern wall, concrete floor and the roof consists of exposed scantling timber rafters (Plate 5).

4.1.2 This range was built in the late 19th century as indicated by cartographic records. The 1908 Inventory of Rosebank Print and Bleach Works refers to it as a staircase for the adjacent Building 2. It is possible that Building 2 might have originally consisted of a single storey range which would have been heightened in the late 19th century and thus an external stairwell was created. No evidence of the staircase was ascertained. This building forms part of the amalgamated front façade along Bolton Road North built with vernacular fabrics. However, it has been altered through time and has lost part of its integrity. Nevertheless, the building has some local historical significance although little architectural value. The shed extension is a 20th century addition with no significance.



Plate 4: Building 1 facing onto Bolton Road North, looking south-east.



Plate 5: Internal view of Building 1, looking north-east.

4.2 Building 2

4.2.1 Building 2 is a large two-storey stone-built range with a pitched slated roof whose north-west elevation forms part of the works front façade along Bolton Road North. The front gable façade is built with coursed sandstone squared blocks and is of four bays demarcated by window openings on each level with stone lintels and projecting sills. The gable has close verge and is topped with coping stones. The window openings on the ground floor are virtually position at road level and contain wrought-iron railings, occupying the lower section of the openings, although the north-easternmost window railing has been removed. The first floor has a comparable window arrangement except for the north-easternmost opening which corresponds to a loading bay type positioned slightly lower and immediately above the window opening on the ground floor. This opening has dressed sandstone lintel and monolith jambs and is currently blocked with squared stone (Plate 6).

4.2.2 The north-east elevation is built with uncoursed random rubble sandstone and is of six bays defined by window openings on each level containing dressed sandstone lintels and projecting sills. Areas of later repaired/rebuilt masonry are evident throughout the wall, including a large section towards the south-eastern end and several window openings, as well as repointed work. This elevation is built over the wall of the adjacent reservoir which has six exposed courses built with large sandstone blocks dressed with rough rock-facing rustication (Plates 7 and 8).

4.2.3 The opposing south-west elevation is built with hand-made reddish brown bricks and contains six window openings on the first floor level. Neither the masonry nor the design of the window openings possesses any similarity with its counterpart side wall. The rear gable wall is mostly abutted by Building 2A but a short section is still visible externally towards the south-western corner of the wall. The construction is slightly irregular with uncoursed random rubble sandstone and squared quoins and additional blocks forming the jamb of a tall window opening which is now blocked with bricks (Plate 9).

4.2.4 Internally the ground floor has been substantially opened up to the adjoining buildings with the insertions of RSJ girders. The general construction consists of stone walls, a concrete floor and exposed timber beams supported mainly by slender cast-iron columns. The north-east wall has a continuous projecting plinth-like structural assembly which in fact correspond to the retaining wall of the adjacent reservoir as identified externally. There is a later longitudinal partition wall built with concrete blockwork which includes false pilasters encasing additional cast-iron columns. The first floor is contiguous with the adjacent Building 2A with a large inserted opening beneath the gable and the overall fabrics consist of timber floorboard, rendered stone and brick walls, and an exposed timber roof structure composed of six sawn and bolted king-post trusses with staggered butt purlins (Plates 10 – 12).

4.2.5 This range appears to have been built between the production of the 1847 and 1891 OS maps, directly over the south-western wall of the existing reservoir. It is possible that its construction might have incorporated structural elements of a former building that was erected in the first quarter of the 19th century. Indeed, the cast-iron columns and their

associated timber beams extend into the adjacent Building 3 forming an internal unit between them rather than being separate ranges. According to the 1908 inventory the ground floor would have been a 'Drying Room and Engine Room (open to Bleach Croft)' and the first floor a 'White Room'. Unfortunately, no evidence of former industrial activities was ascertained due to the limited associated fixtures and fittings. This building forms part of the amalgamated front façade along Bolton Road North built with vernacular fabrics. However, it has been altered through time and has lost part of its integrity. Nevertheless, the building has some local historical significance and architectural value.



Plate 6: Gable front façade of Building 2 along Bolton Road North, looking south-west.



Plate 7: North-east elevation of Building 2 and adjacent reservoir, looking south-west.



Plate 8: Repaired/rebuilt area (arrow) within the north-east elevation, looking north-east.



Plate 9: Brick-built south-west elevation and stone south-east gable wall, looking north-west.



Plate 10: Internal view of the ground floor of Building 2, looking south-east.



Plate 11: Concrete block pilasters encasing cast-iron columns, looking south-west.



Plate 12: First floor of Building 2 with king-post trusses, looking north-west.

4.3 Building 2A

4.3.1 Building 2A is a large two-storey brick-built range with a pitched slated roof which appears to be contiguous with the adjacent Building 13 to the south-east. The north-east elevation, facing onto a car park, is built with machine-made orangey bricks laid in English Garden Wall bond (five stretchers to one header) and is of five bays demarcated by window openings on each level with machine-cut stone lintels and projecting sills. Despite the integral appearance with the adjacent Building 13, close inspection revealed a slight jagged construction break/joint between them. Moreover, the brickwork of these buildings is also slightly different and the window lintels of the first floor of Building 2A are shorter than the ones within Building 13 (Plate 13). The south-west elevation also displays a construction break/joint within the first floor wall, as well as different window lintels and brickwork (Plate 14).

4.3.2 Internally the ground floor has been substantially opened up to the adjoining buildings with the insertions of RSJ girders. The general construction consists of brick walls, a concrete floor and RSJ girders and stanchions against the side walls. Towards the north-eastern corner and adjacent to Building 2 there is a sluice gate which would have regulated the water stored in the reservoir and distributed inside workshops through pipes underneath the floor (Plates 15 – 17). The first floor is also opened up to the adjoining buildings. The upper area of the external gable of Building 2 was identified above an inserted girder containing several window lintels equivalent to the bricked-up remains observed externally (Plate 18). The overall fabrics consist of concrete floor, brick walls and an exposed timber roof structure composed of bolted king-post trusses with continuous butt purlins (Plate 19).

4.3.3 This range appears to have been built in the early 20th century. The 1908 Inventory of Rosebank Print and Bleach Works states that the ground floor was an 'Open Store (open to yard)' and the first floor a 'White Room' as was the adjacent room within Building 2. Unfortunately, no evidence of former industrial activities was ascertained due to the limited associated fixtures and fittings. This building forms part of the former Bleach Works and thus bears some local historical significance although it has very limited architectural merit.



Plate 13: North-east elevation of Buildings 2A and 13 with construction joint (arrow), looking south-east.



Plate 14: South-west elevation of Buildings 2A and 13 with construction joint (arrow), looking north-west.



Plate 15: Internal view of Building 2A, looking north-west.



Plate 16: North-western end opened up to the adjacent Building 2 with an RSJ girder, looking north.



Plate 17: Sluice gate adjacent to Building 2, looking north-east.

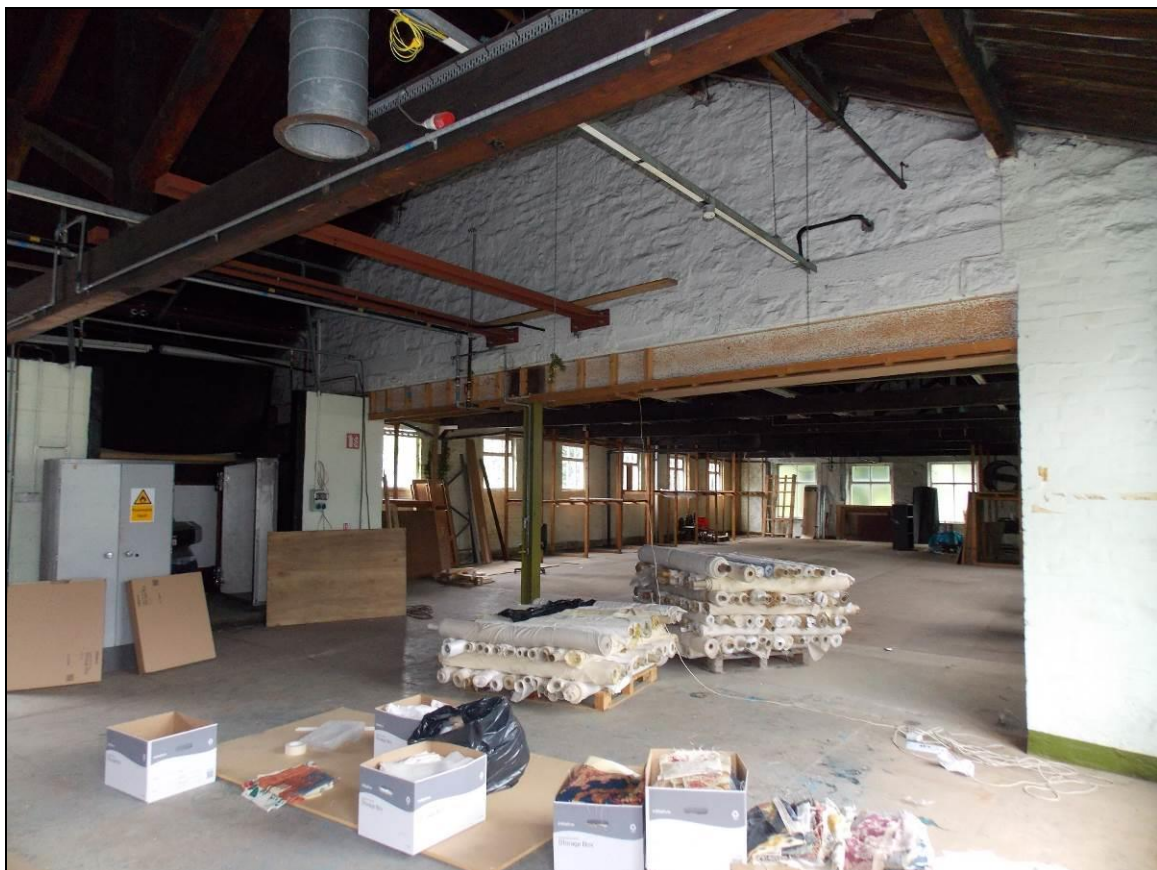


Plate 18: First floor of Building 2A, looking north-west.



Plate 19: Roof structure of Building 2A, looking north-west.

4.4 Building 3

4.4.1 Building 3 is a large single-storey range built with coursed sandstone squared blocks facing onto Bolton Road North. It is composed of three long bays demarcated by the window openings along the front façade and three parallel pitched slated roof structures concealed with a plain copped parapet. The window openings containing dressed sandstone lintels and projecting sills and are position at road level containing wrought-iron railings comparable to the ones within the adjacent Building 2, although the south-westernmost railing is missing (Plate 20).

4.4.2 Internally it has a series of cast-iron columns supporting the exposed roof structure within the north-eastern area which are equivalent to and contiguous with the ones within Building 2. Despite the current blockwork partition wall between Buildings 2 and 3, the cast-iron columns appear to be the remnants of an earlier building whose footprint laid between these two buildings. The south-western area contains RSJ stanchions and girders supporting the remaining pitched roof structure (Plates 21 and 22). It is not known whether the RSJ features replaced former structural elements or correspond to a later extension of the range.

4.4.3 The general footprint of this building is depicted on the 1838 tithe map. However, the cast-iron columns are integral elements of a former structure which occupies most of the footprint of Building 2 and the north-eastern area of Building 3. Thus, it may be

contemporary with the present fabrics of Building 2 dating to the mid to late 19th century. The 1908 Inventory of Rosebank Print and Bleach Works states that Building 3 is a single-storey range built with stones and used as 'Bleach Croft and Kier House' and also part of it as 'Chemicing Place'. The association with the adjacent Building 2 is also defined in the inventory which states that the ground floor of Building 2 was open to Bleach Croft. No evidence of former industrial activities was ascertained due to the limited associated fixtures and fittings. This building forms part of the former Bleach Works and thus bears some local historical and architectural significance.



Plate 20: Building 3 facing onto Bolton Road North, looking south-east.



Plate 21: Internal view of Building 3, looking south-east.



Plate 22: Window openings along Bolton Road North, looking north-west.

4.5 Building 4

4.5.1 Building 4 is a small single-storey stone-built range forming the south-western division between Buildings 2 and 3. It consists of a restructured office room. The wall facing onto Building 2 contains a modern door set in a former doorway with remnants of dressed jambs and quoins although the lintel appears to be a later insertion (Plate 23). The north-west wall facing onto Building 3 contained a large bricked-up opening topped with a cast-iron drive shaft plate (Plate 24). It is possible that the opening might have facilitated movement for a drive belt to power a horizontal drive shaft mounted on the plate which would have extended towards Building 3. Indeed, associated drive belt marks are discernible on the timber roof beams of Building 3 at the same height as the bearing plate over the bricked-up opening.

4.5.2 The general footprint of this building appears to be depicted on the 1838 tithe map. The 1908 Inventory of Rosebank Print and Bleach Works states that Building 4 was a brick-built structure and thus it may refer to a subdivision within the north-westernmost area of the present Building 4A which had been altered in the past. According to the inventory such room was used 'Soaping and Boiling Place' although no evidence of such industrial activities was ascertained. This building forms part of the former Bleach Works and thus bears some local historical and architectural significance.

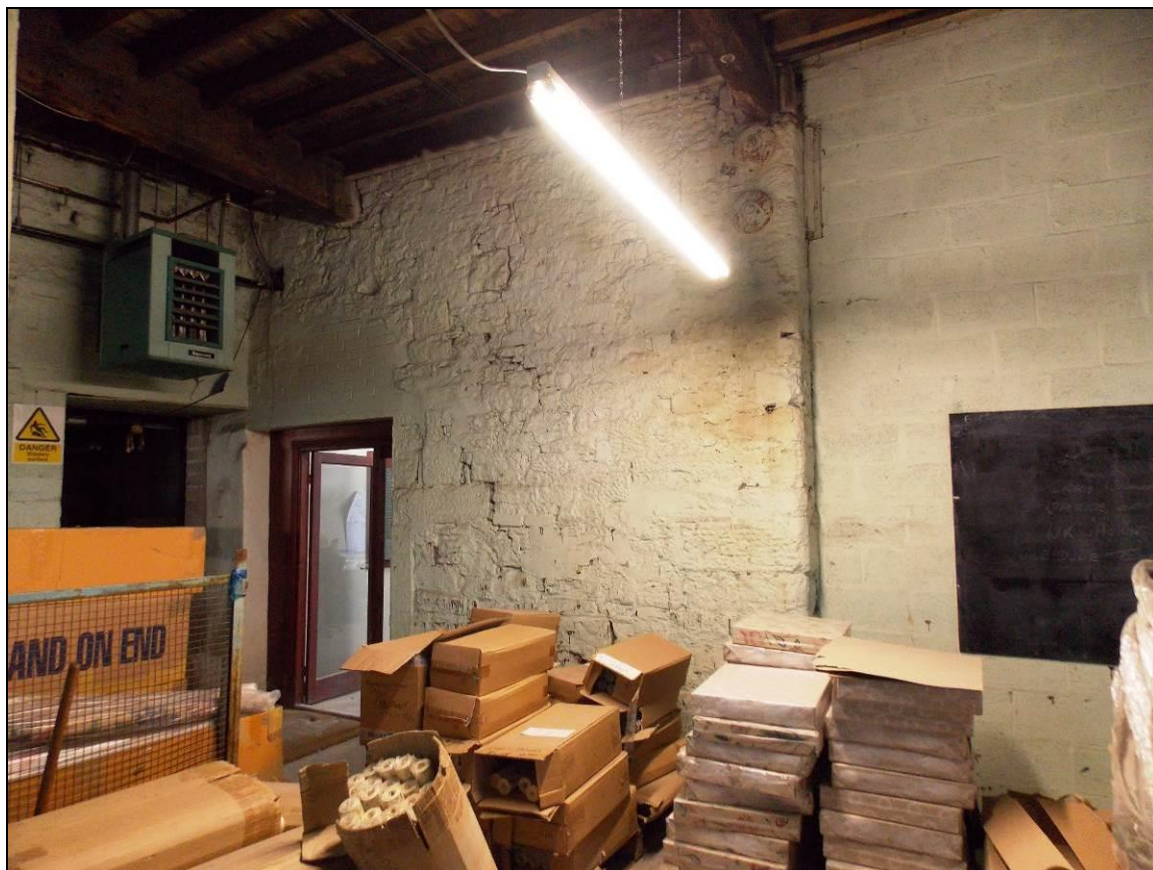


Plate 23: Stone wall and doorway to Building 4, looking south-west.



Plate 24: North-west wall with a bricked-up opening topped with a drive shaft plate, looking south-east.

4.6 Building 4A

4.6.1 Building 4A is a single-storey brick-built range positioned between Building 2A to the north-east and Building 5 to the south-west. It has a pitched slated roof with a plain gable facing onto a central courtyard. The brickwork consists of machine-made orangey type laid in English Garden Wall bond (Plate 25). Internally it has brick and blockwork walls, a concrete floor and an exposed sawn timber roof structure composed of bolted king-post trusses with continuous butt purlins. This range was built against the north-eastern wall of Building 5. The wall dividing them contains several window openings which are now blocked with bricks (Plates 26 and 27).

4.6.2 The first cartographic record for this building is the 1908 plan of the Inventory of Rosebank Print and Bleach Works describing it as a 'Washing and Souring House' although no evidence of such industrial activities was ascertained. The roof appears to have been substantially remodelled as a photograph of the works taken sometime between 1891 and 1908 shows this building with a shorter gable and a clerestory or louvre vents with an upper gablet (RHS 1995, 102). This building forms part of the former Bleach Works which bears some local historical significance although limited architectural merit.



Plate 25: South-eastern gable wall of Building 4A, looking north-west.



Plate 26: Internal view of Building 4A with blocked-up windows of adjacent Building 5, looking north-west.



Plate 27: Roof structure of Building 4A, looking north-west.

4.7 Building 5

4.7.1 Building 5 is a long single-storey brick-built range positioned between Buildings 4 and 4A to the north-east and Buildings 8 – 10 to the south-west. It has a shallow single pitched roof clad with metal sheeting. The north-east elevation is a tall plain wall built with modern bricks (Plate 28). Internally this range is a large open workshop built with modern fabrics such as RSJ girders and a concrete floor (Plate 29). This building appears to have been substantially altered as it was originally built with stone and a shorter pitched roof, evidence of which can be seen within the south-eastern wall of the building which contains a shorter gable stone wall. The original gable can also be seen on the historical photograph taken sometime between 1891 and 1908 (RHS 1995, 102). There is a brick lift shaft against this wall which would have led to the upper storey of the adjacent Building 7 although this is obsolete (Plate 30). Further evidence of the former lower roof can be discerned within the partition wall of the adjacent Building 4 which contains a stone pilaster with a corbel that would have supported the tie-beam of a roof truss (Plate 31).

4.7.2 This building appears to have been originally built in the late 19th century although it was substantially modified in the 20th century when it was heightened to its current form. The 1908 Inventory of Rosebank Print and Bleach Works describes it as a single-storey stone-built range used as 'Chemicing, Souring and Cloth Store Room' as well as a 'Kier House'. This building forms part of the former Bleach Works and thus bears some local historical significance although limited architectural value.



Plate 28: North-east elevation of Building 5, viewed from the courtyard.



Plate 29: Internal view of Building 5, looking south-east.



Plate 30: South-eastern end of Building 5 with a lower gable wall and an adjacent lift shaft.



Plate 31: Stone pilaster with corbel (arrow) within the partition wall to the adjacent Building 4.

4.8 Building 7

4.8.1 Building 7 is a two-storey stone-built range positioned to the south-west corner of the amalgamated Works along Dearden Brook. It has a pitched slated roof with close verge and plain eaves. The south-east elevation faces onto a trackway of the Works which runs parallel to the River Irwell. It consists of a gable wall built with coursed sandstone squared blocks and is of two bays demarcated by window openings on each level with dressed stone lintels and projecting sills. The window openings within the ground floor may be later insertions or alterations as indicated by the modern jamb blocks (Plate 32).

4.8.2 The south-west elevation along Dearden Brook is built with coursed roughly hewn elongated rubble sandstone. It is of three bays with window openings on each level containing dressed sandstone lintels, jambs and projecting sills (Plates 33 and 34).

4.8.3 Internally the ground floor has been substantially opened up to the adjoining buildings with the insertions of RSJ girders. The general construction consists of stone and brick walls, a concrete floor and exposed cast-iron girders supported mainly by cast-iron columns. The first floor is contiguous with the adjacent Building 12 and the overall fabrics consist of modern insertion creating office space (Plate 37).

4.8.4 The 1908 Inventory of Rosebank Print and Bleach Works describes Building 7 as 'new' indicating that this had been recently constructed. It also refers to the building as two-storey stone and brick built. The ground floor was used as 'Passage and store' and the first floor as 'Grey Room'. This building forms part of the former Bleach Works and thus bears some local historical and architectural significance.



Plate 32: Gable façade of Building 7 along the riverside trackway, looking north-east.



Plate 33: south-west corner of Building 7, looking north-east.



Plate 34: Rear elevation of Building 7 along Dearden Brook, looking north-west.



Plate 35: Ground floor of Building 7, looking south-west.



Plate 36: Cast-iron columns within the ground floor of Building 7, looking north-west.



Plate 37: First floor of Building 7, looking north-east.

4.9 Buildings 8 and 9

4.9.1 The plan included in the 1908 Inventory of Rosebank Print and Bleach Works shows two distinct areas allocated to Buildings 8 and 9; however it is currently a single range hence the two buildings being described together. The south-east elevation facing onto the riverside trackway is built with coursed sandstone dressed blocks and is of seven bays (Plates 38 and 39).

4.9.2 Internally it is built with modern bricks, a concrete floor and steel W-shaped rafter roof. The area formerly labelled as 9 is opened up to the roof whereas area 8 contains an upper storey forming part of the office space linked to Building 7 and includes also a small loft room (Plates 40 – 43).

4.9.3 Although cartographic records shows a building occupying the footprint of the combined Buildings 8 and 9, the 1908 Inventory of Rosebank Print and Bleach Works indicates that Building 8 was two storeys in height whereas Building 9 was originally one storey only. Moreover, the Historic England 1933 air photograph shows these merged structures as a single storey range. It is suggested that the present construction of Buildings 8 and 9 was built sometime after the 1930s although it may have incorporated earlier fabrics. The inventory does not ascribe any function to Building 8. Building 9 is described as 'Singeing Room'. This building forms part of the former Bleach Works and thus bears some local historical and architectural significance.



Plate 38: Buildings 8 and 9 along the riverside trackway, looking north-east.



Plate 39: Detail of the front south-west elevation, looking north-east.



Plate 40: Internal view of Building 8, looking northwest.



Plate 41: Internal view of Building 9, looking south-west.



Plate 42: First floor of Building 8, looking south-east.

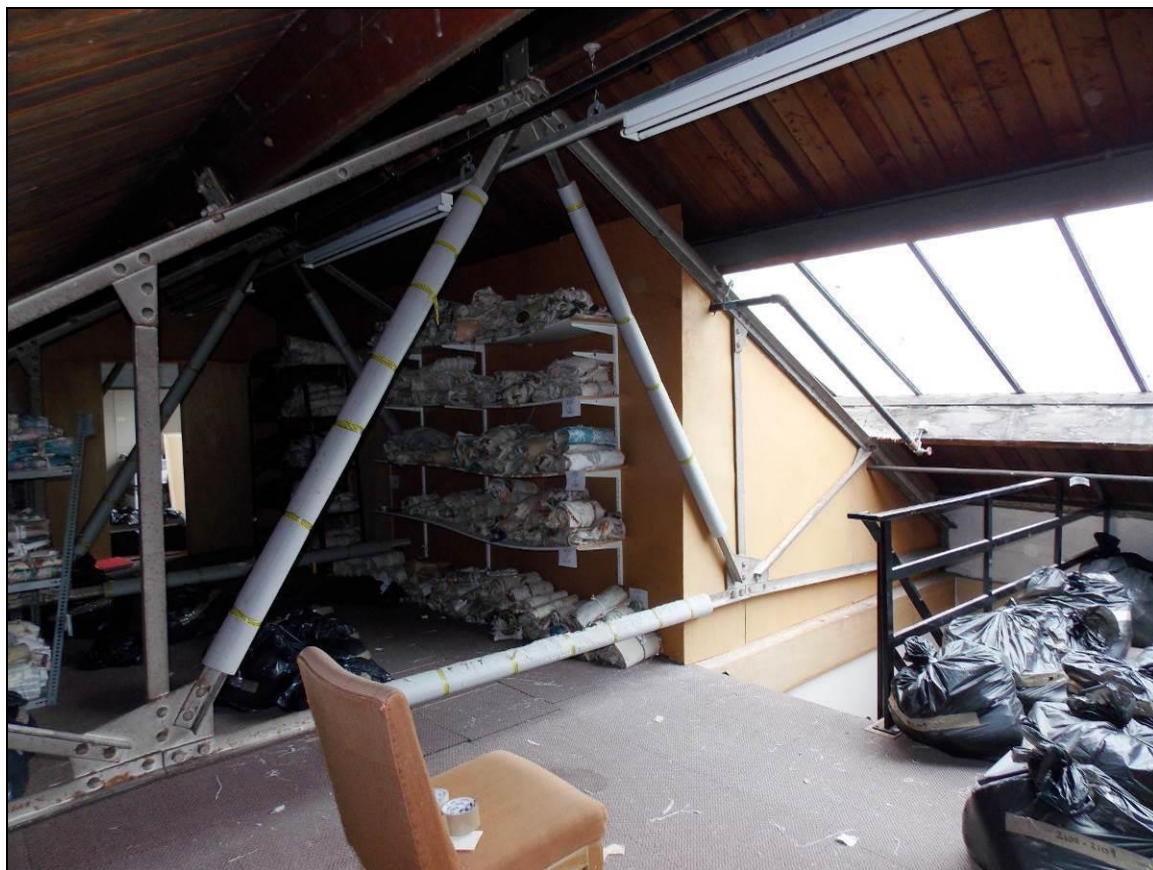


Plate 43: Loft room within Building 8, looking north-west.

4.10 Building 10

4.10.1 Building 10 is a small two-storey stone built range facing onto the riverside trackway with a pitched slated roof which has a brick gable wall with close verge separating this building with the adjacent Building 11. The opposed gable to Building 9 is also built with bricks but has a raised coped parapet. It is composed of two bays as delineated by window openings within the south-east elevation. The openings are fairly irregular and asymmetrical and may be later insertions. The construction is also slightly unbalanced with different sections of masonry. The lower courses are composed of coursed sandstone squared blocks. There is a thin section at approximate one metre above the ground which contains some watershot stonework visible. This consists of stone blocks laid tilted (watershot) towards the external face of the wall to prevent water-penetration. The section immediately above is comparable to the lower courses and the first floor area contains larger and darker colour squared blocks (Plates 44 and 45).

4.10.2 The northeast wall contains a pair of cast-iron bearing housings now blocked up. The south-east wall appears to have been substantially altered although a section of earlier stonework was identified which is slightly obliterated by paint although it may consist of further examples of watershot masonry (Plates 46 and 47).

4.10.3 It is noteworthy that the walls where watershot stonework was identified may be remnants of the earliest structure depicted on the 1817 Survey of Stubbins Bridge and the

Ashtons Weir plan. However, significant alterations had taken place through time including the insertion of the first floor sometime between 1908 and 1933 as indicated by pictorial records. The 1908 Inventory of Rosebank Print and Bleach Works indicates that Building 10 was a single storey building described a 'Stove and Economiser House' with a cellar used as 'Lime Store Room'. The cellar might have formerly been a small basement where machinery were located as suggested by the bearing housings extending lower than the present ground. This building forms part of the former Bleach Works and thus bears some local historical and architectural significance.



Plate 44: Front elevation of Building 10 along the riverside trackway, looking north-east.



Plate 45: Detail of watershot stonework, looking south-east.



Plate 46: North-east wall with bearing housing (arrows), looking north-west.



Plate 47: South-east wall with remnants of earlier stonework (arrow), looking west.

4.11 Building 11

4.11.1 Building 11 is the south-westernmost range of the front façade along Bolton Road North and consists of a single storey range with a plain coped gable and a pitched slated roof. The masonry appears to be contiguous with the adjacent Building 3 built with coursed sandstone squared blocks laid slightly in diminishing courses. There are clear signs of later repaired/rebuilt including part of the gable. The front façade contains a large inserted doorway and a window opening comparable to the adjacent ones although the sill is flush with the wall (Plate 48). The side wall along the riverside trackway rises up towards the main road. The wall contains a small window opening and a large inserted doorway with a RSJ lintel containing a roller shutter. Evidence of repaired/rebuilt is also apparent. The actual trackway is covered with later tarmac and concrete creating a gently ramp to the present level of Bolton Road North (Plate 49). The general internal fabrics consists of stone walls, a concrete floor and an exposed sawn timber roof structure composed of bolted king-post trusses with continuous butt purlins (Plate 50).

4.11.2 The general footprint of this building appears to be depicted on the 1838 tithe map. The 1908 Inventory of Rosebank Print and Bleach Works states that Building 11 was a stone-built boiler house. There was formerly a tall chimney stack attached to it which was demolished in the early 1990s as indicated by cartographic records. Unfortunately, no signs of engine or boiler fixtures and fittings were identified. This building forms part of the former Bleach Works and thus bears some local historical and architectural significance.



Plate 48: Front elevation of Building 11 facing onto Bolton Road North, looking south-east.



Plate 49: Side wall of Building 11 along the riverside trackway, looking north-east.



Plate 50: Internal view of Building 11, looking north-west.

4.12 Building 12

4.12.1 Building 12 is a two-storey stone-built range forming a continuation of Building 7 along Dearden Brook. It has a pitched slated roof with close verge and plain eaves. It is built with coursed roughly hewn elongated rubble sandstone and has window openings on each level containing dressed sandstone lintels, jambs and projecting sills (Plate 51). The south-west elevation faces onto a central courtyard and is built with bricks (Plate 52). Internally the ground floor has been substantially opened up to the adjoining buildings with the insertions of RSJ girders. The general construction consists of stone and brick walls, a concrete floor and exposed cast-iron girders (Plate 53). The first floor is contiguous with the adjacent Buildings 7 to the south-west and 13 to the north-east. The overall fabrics consist of modern insertions creating an office space (Plate 54).

4.12.2 This building was constructed between the production of the 1910 and 1928 OS maps. This building forms part of the former Bleach Works and thus bears some local historical significance although it is of little architectural value.



Plate 51: Building 12 facing onto Dearden Brook, looking south-west.



Plate 52: South-west elevation of Building 13, viewed from the courtyard.



Plate 53: Ground floor of Building 12, looking south-east.



Plate 54: First floor of Building 12, looking north-east.

4.13 Building 13

4.13.1 Building 13 is a two-storey stone-built range forming a continuation of Building 12 along Dearden Brook. The construction of the brook façade is comparable to Building 12 although with a gable including a central window opening for a loft area. It is of three bays with window openings on each level. There is a vertical line of dressed stone quoins between the central and north-eastern bay which is very irregular as there is no evidence of the building having been extended. The correct corner also has equivalent dressed quoins (Plate 55). The north-east elevation facing onto the car park is of four bays with window openings on each level although the exact position between the ground and first floor windows is slightly asymmetrical. It bears a high resemblance with the adjacent Building 2A as it was built imitating the existing brickwork of Building 2A.

4.13.2 Internally the ground floor has been substantially opened up to the adjoining buildings with the insertions of RSJ girders. The general construction consists of stone and brick walls, a concrete floor and exposed steel girders (Plate 56). The first floor is contiguous with the adjacent Buildings 2A to the north-west and 12 to the south-west. The overall fabrics consist of modern insertion creating office space (Plate 57).

4.13.3 This building was constructed between the production of the 1910 and 1928 OS maps. This building forms part of the former Bleach Works and thus bears some local historical significance although is of little architectural value.



Plate 55: Gable elevation of Building 13 facing onto Dearden Brook, looking north-west.

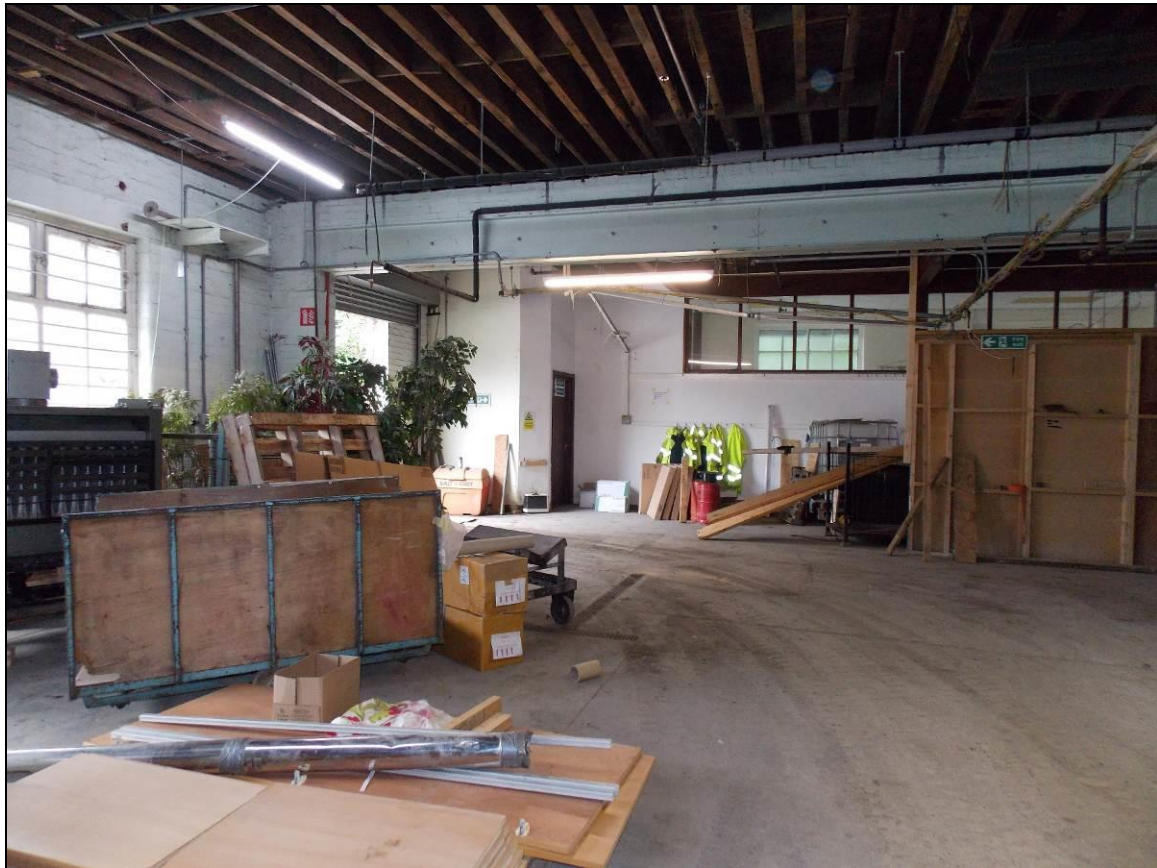


Plate 56: Ground floor of Building 13, looking south-east.



Plate 57: First floor of Building 13, looking north.

4.14 Miscellaneous

4.14.1 There is a narrow trackway along the south-western elevations of Buildings 7 – 11 which runs parallel to River Irwell. This is made of sandstone paving setts laid in regular courses. The trackway leads to a small bridge across Dearden Brook which contains flagstones along the sides (Plate 61).

4.14.2 The trackway leads to an overgrown path which in turn provides access to a series of concrete-built settling tanks. There are remnants of iron railings which might have formed part of the original entrance to the tanks although this area is severely damaged and covered with debris as a result of fly tipping. The tanks are partially filled with water and contain iron raking filters. There is a small shed to the south-west of the tanks (Plates 62 – 65).

4.14.3 The earliest record of the reservoir is the 1938 tithe map. It is not known when the current trackway was constructed although the 1817 plan depicts a short lane that facilitated access to the primary Building 10. The present trackway, however, may date to the late 19th century as indicated by cartographic records. The tanks and shed were constructed between the production of the 1910 and 1928 OS maps. These structural elements form part of the former Bleach Works and thus bear some local historical significance although they are of little architectural value.



Plate 58: General view of the reservoir, looking south-west.



Plate 59: The reservoir adjacent to the north-east wall of Building 2 with iron pipes (arrow).



Plate 60: Detail of iron pipes with filters, looking north-east.



Plate 61: Trackway along the River Irwell, looking south-east.



Plate 62: Settling tanks and iron railings, looking north-east.



Plate 63: General view of the tanks, looking north-east.



Plate 64: The tanks and shed along Dearden Brook, looking south-west.



Plate 65: Detail of the shed, looking north-west.

4.15 Setting issues in relation to Stubbins and the Chatterton/Strongstry Conservation Area

4.15.1 In terms of its setting, Croft End Mill faces directly onto Bolton Road North and is in close proximity to the village of Stubbins. A series of new houses are positioned immediately to the north-east of the site and slightly recessed from the road (Plates 66 – 68). The site is closely viewed from a bridge across the River Irwell which leads to Stubbins (Plates 69 – 71). The site can be viewed from Stubbins through an alleyway off Industrial Street although this is partially screened by trees (Plate 72). Apart from the amalgamated buildings, the site itself contains a large car park within the north-eastern area adjacent to the obsolete reservoir (Plate 73). The south-eastern area is dominated by the concrete tanks and overgrown vegetation. The site is in close proximity to the Chatterton/Strongstry Conservation Area. The significance of the mill and its contribution to the setting of the conservation area is considered below with regards to a Character Appraisal produced in 2011.

4.15.2 The Chatterton/Strongstry Conservation Area (CSCA 2011) encompasses Chatterton, a small historic farming hamlet on the east side of the River Irwell. From the late 18th century (when it was known as Lower Chatterton) it was also the site of a woollen, later cotton, mill and Strongstry, notable for the groups of houses which were built in association with the development of Stubbins Vale Mill on the west side of the river from the 1850s onwards (*ibid.* 11). Chatterton/Strongstry is almost entirely in

residential usage today apart from the mill buildings off Chatterton Road (used as furniture store), a children's nursery in the Church Hall, and St Philip's Church, which is still used as a place of worship. Chatterton Farm may still have some agricultural focus to its activities but this is not clear from the street (*ibid.* 16). The close proximity of the River Irwell, a long section of which is included in the Conservation Area boundary, adds to the rural character of the area (*ibid.* 18).

4.15.3 The Townscape Appraisal Map of the Chatterton/Strongstry Conservation Area shows the location and direction of important views. However, none of these views appear to include the buildings on the proposed development area. The only view affecting the proposed development area is the bridge over the River Irwell, which has views up and down the watercourse. The proposed development area runs parallel to the riverbank which is retained by steel sheeting. The buildings facing onto the riverside are partially screened by trees.

4.15.4 The parapet of the bridge itself also screen partial views to the Conservation Area as concluded in the Character Appraisal which refers to the junction between Chatterton Road and Bolton Road North adjacent to the bridge over the River Irwell as "*a dangerous junction due to the parapet from the adjoining Stubbins Bridge which blocks views of oncoming traffic from the right*" (*ibid.* 41).

4.15.5 The actual view from Bolton Road North into the Conservation Area is rather limited and slightly obscured by trees. Indeed, the view consists predominantly of pasture fields with trees along field boundaries, a later horse *ménage* and, in the background, can be discerned a row of terrace houses (Plate 74). Other elements of the Conservation Area in close proximity to the proposed development area is the recommended inclusion of the former Stubbins United Reformed Church graveyard off Bolton Road North together with the adjoining Chapel-keeper's house, facing the modern roundabout at the top of Bolton Road North (*ibid.* 7).

4.15.6 Despite the industrial association with a former 19th century cotton mill, the current Conservation Area is characterised by residential houses within a rural setting of fields and woodland. No contemporary industrial buildings of the 19th century period are part of the Conservation Area character. The proposed development area thus plays a limited role in the Conservation Area. Although there are views from Bolton Road North over the Conservation Area, there are no direct views from the proposed development area.

4.15.7 Although the proposed development area falls outside the Chatterton/Strongstry Conservation Area, the extant buildings bear some local historical significance and some possess architectural merit, being built in the local vernacular style. They are, therefore, of some importance both as a contribution to the landscape and setting as a whole. Their demolition will inevitably represent a loss of a local historical asset (see section 5.12 below).



Plate 66: View of the site from the north-east along Bolton Road North.



Plate 67: General view of the adjacent buildings along Bolton Road North, looking north-east.



Plate 68: Adjacent houses viewed from the reservoir area of the site, looking north-east.



Plate 69: Croft End Mill facing onto Bolton Road North viewed from Stubbins Bridge, looking north-east.



Plate 70: Croft End Mill along the River Irwell viewed from Stubbins Bridge, looking north-east.



Plate 71: Neighbouring village of Stubbins viewed from the bridge, looking south-west.



Plate 72: View of the site (arrow) from Industrial Street, Stubbins, looking north-east.



Plate 73: View of the car park, looking north-east.



Plate 74: View from Bolton Road North into the Conservation Area, looking north-west.

5 ASSESSMENT OF HERITAGE ASSET

5.1 The results of the historical research, together with the building appraisal, successfully identified clear evidence of different phases of construction. This is represented mainly by changes in the buildings' plans, with additional extensions and the insertion of building materials.

5.2 The extant buildings are part of the former 19th century Bleach Works. The architectural design, as well as some of the internal fixtures and fittings (e.g. roof truss), is typical of the mid to late 19th century period. Later alterations and extensions occurred through time as well as substantial repairs and rebuilding work. The primary use of the Works has changed through time.

5.3 In term of its setting, Croft End Mill is viewed mainly from Bolton Road North, although only from its close vicinity as the road is fairly narrow and bends slightly towards the north. Historic buildings, including industrial buildings, are part of the nation's historic environment; as such, they provide continuity with those who have gone before us and help future generations to learn about life in the past. While a few historic industrial buildings will be of such importance that they should be maintained as they are without change, most will be able to accommodate new uses.

5.4 To assess the site's wider significance several criteria must be considered.

Condition

5.5 The present buildings, although mainly disused, have been historically well maintained, and the original elements are in generally good to moderate condition. However, there has been considerable repair/rebuild, including large sections of masonry being refaced. There are also areas where the masonry has been destroyed and even fully removed. There have been considerable alterations with the removal of primary openings and the insertion of later windows, doorways, etc. The original functionality of the merged buildings was not ascertained due to the lack of associated primary fixtures and fittings and substantial alteration.

Rarity

5.6 The construction of the extant structures is relatively widespread in the district area and similar examples exist in some numbers in the neighbouring areas of Lancashire.

Group value

5.7 The present merged buildings form part of a mid to late 19th century Bleach Works. This complex includes a number of fairly contemporary buildings in various states of completeness, which in some cases include substantial later repairs and alterations. The principal element that contributes to the value of the current Works is the front façade along Bolton Road North, although this had been altered through time. The extant buildings cannot be considered a ‘planned’ or ‘model’ mill complex, but represents an interesting group of traditional industrial buildings with subsequent additions.

Associations

5.8 Croft End Mill has no known historic associations with significant persons or events.

Significance

5.9 Croft End Mill is a non-designated heritage asset which has a particular charm, being built in the traditional vernacular style and local materials. It is not in a conservation area. The significance of Croft End Mill resides to a large degree in the historical value and design value of its vernacular architecture. The wider setting also contributes towards its significance. The non-designated asset is considered of local importance.

Impact Assessment

5.10 Whilst Croft End Mill is considered of local importance both as a contribution to the landscape and setting as a whole, the merged buildings have been substantially altered and some suffering from neglect. A table has been arranged which summarises their chronology and highlights their architectural elements of significance (Table 4).

5.11 In terms of the setting, the development proposals have the potential to have an adverse impact upon the setting of this non-designated heritage asset due to urbanising effect of the limited views mainly from Bolton Road North. However, there is the potential

for the level of harm to be minimised through sympathetic design, and enhancement could also be achieved through the improvement of public access to the site.

CODE	DATE	ARCHITECTURAL FEATURES
1	L19 C 20 C alterations	Stone wall
2	M/L 19 C	Stone and brick wall, cast-iron columns, roof structure with king-post trusses
2A	E20 C	Brick walls
3	M/L 19 C	Stone wall, cast-iron columns
4	E19 C	Stone wall
4A	E20 C	Brick wall, roof structure with king-post trusses
5	L19 C 20 C alterations	Some stone wall
7	E20 C	Stone wall, cast-iron columns
8	E/M 20 C	Stone wall
9	E/M 20 C	Stone wall
10	E19/E20 C	Stone wall, bearing housing
11	E/M 19 C	Stone wall, roof structure with king-post trusses
12	E20 C	Stone wall
13	E20 C	Stone wall

Table 4: Summary of buildings' chronology and architectural features.

5.12 Whilst the buildings are of some local importance both as a contribution to the landscape and setting as a whole, they have lost part of their integrity due to substantial structural alterations and some of them are suffering from neglect. Their demolition will inevitably represent a loss of a local historical asset. The UK has legally binding targets to reduce its carbon emissions by 80 per cent by 2050, from 1990 baseline. Rebuilding the UK housing stock therefore does not meet these targets. While there are cases where rebuilding is the best option there are many more where refurbishment is the better choice. Unfortunately the present structures are large workshops which are unsuitable spaces to be occupied as houses. Further information regarding the embodied carbon footprint for construction materials can be consulted in an *Inventory of Carbon & Energy Database, an embodied carbon database for materials* (www.circularecology.com/embodied-energy-and-carbonprint-database.html).

5.13 A final assessment has been produced, as follows.

- Architectural Interest: a relatively modest group of buildings whose views from the street front or from Stubbins are not exceptional. They are less ambitious and sophisticated than other examples such as Helmshore Mills in Rossendale Valley and Ilex Mill in Rawtensall. The extant buildings at Croft End Mill are of much local interest, but do not meet the criteria for national significance.
- Historic Interest: the existing buildings are part of the former Bleach Works which were built through time expanding from the first quarter of the 19th century through to the mid-20th century. There has been substantial remodelling including demolition. They are only of moderate interest as distinct building types, and better examples survive elsewhere for this period around this area.

5.14 On consideration of the above it is apparent that the application proposals would have a negative impact on the historical and architectural significance of the buildings which form part of the former 19th century Bleach Works. A sympathetic development should consider the sensitivity of the character and appearance of the setting as a whole. Appropriate mitigation measures may be requested by the Local Planning Authority to record architectural features prior to their removal and to establish the presence/absence and record any archaeological deposits encountered during any ground-works, e.g. by archaeological excavation and/or watching brief during groundworks associated with the proposed development. Mitigation proposals have yet to be formulated for the proposed development, although it has been already suggested that the stone masonry of the present buildings will be reuse in the new construction scheme.

6 PUBLICITY, CONFIDENTIALITY AND COPYRIGHT

6.1 Any publicity will be handled by the client.

6.2 Archaeological Research Services Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

7 STATEMENT OF INDEMNITY

7.1 All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

8 ARCHIVE

8.1 A paper and a digital archive, consisting of the final project report in PDF/A format, will be deposited at the Lancashire Historic Environment Record. A digital copy of the report will also be submitted to the Archaeological Data Service (within the OASIS records).

9 ACKNOWLEDGEMENTS

9.1 ARS Ltd would like to thank all those involved with the archaeological project, especially John Matthews of Eccleston Homes for commissioning the work and arranging access to undertake the assessment.

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APPENDIX I: OASIS FORM

OASIS DATA COLLECTION FORM: England

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OASIS ID: archaeo15-259890

Project details

Project name	Croft end Mill, Stubbins, Edenfield, Lancashire. Heritage Assessment
Short description of the project	Heritage assessment of a former 19th century bleach and printing works
Project dates	Start: 26-07-2016 End: 27-07-2016
Previous/future work	No / No
Type of project	Desk based assessment
Monument type	MILL Post Medieval
Significant Finds	NONE None
Methods & techniques	"Documentary Search","Visual Inspection"
Development type	Housing estate
Prompt	Planning condition

Project location

Country	England
Site location	LANCASHIRE ROSSENDALE HASLINGDEN Croft End Mill, Stubbins
Study area	1000 Square metres
Site coordinates	SD 7938 1812 53.658932285033 -2.312056802309 53 39 32 N 002 18 43 W Point

Project creators

Name of Organisation	Archaeological Research Services Ltd
Project brief originator	Local Planning Authority (with/without advice from County/District Archaeologist)
Project design originator	Archaeological Research Services Ltd
Project director/manager	Robin Holgate
Project supervisor	Alvaro Mora-Ottomano

Project archives

Physical Archive Exists?	No
Digital Archive Exists?	No
Paper Archive Exists?	No

Project bibliography 1

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