

**Manor Farm, Marr, Doncaster, South
Yorkshire**

Heritage Statement



View of the buildings bordering the site to the north of the complex.

ARS Ltd Report 2017/122

October 2017

OASIS ID: archaeol5 – 297161

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Archaeological Research
Services Ltd

Manor Farm, Marr, Doncaster, South Yorkshire

Heritage Statement

ARS Ltd Report 2017/122

Archaeological Research Services Ltd

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Executive Summary

In August 2017 Archaeological Research Services Ltd was commissioned by Mr Will Atkinson to produce a heritage statement of Manor Farm, Marr Doncaster which revises and updates the cultural heritage desk based assessment and historic building appraisal which was first produced by Archaeological Research Services Ltd in 2012. The heritage statement was required to determine the impact of the new proposed development to convert the farmstead into residential dwellings.

The Manor Farm complex has been assessed as being a national heritage asset originally developed in the late 18th or early 19th century, with the construction of the farmhouse and several outbuildings including a threshing barn. Further development involved the construction of additional farming ranges during the first quarter of the 19th century, which constituted the present courtyard. Some of the mid-19th century buildings in Marr and the Brodsworth estate were built or redesigned in an Italianate architectural style as seen amongst some of standing structures within Manor Farm complex. Subsequent sequential development involved the construction of further ranges towards the west in the late 19th century. Modern construction entailed the erection of large grain stores around the third quarter of the 20th century which would have involved the demolition of former structures as indicated by earlier cartographic records.

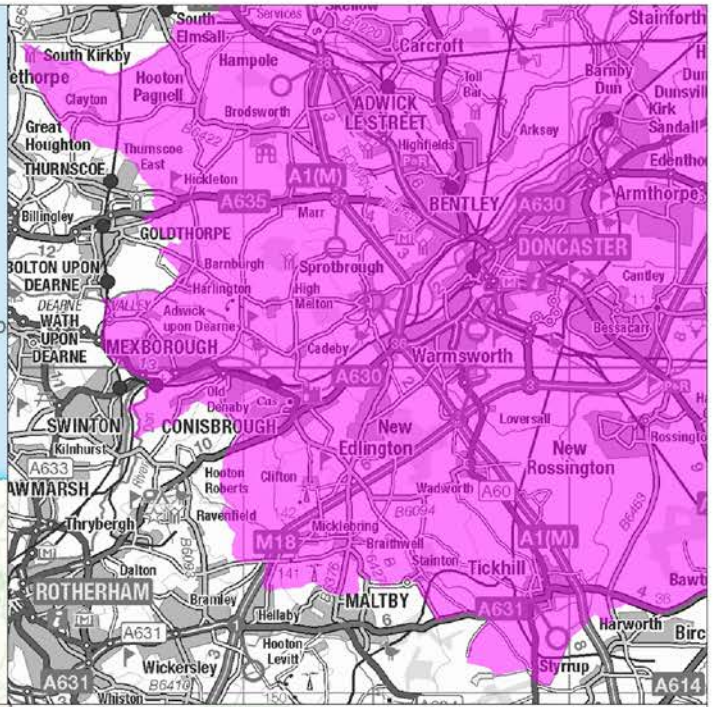
The majority of the standing structures have undergone substantial alterations resulting in partial loss of their significance. Furthermore, since the previous site visit in 2012 some of the buildings have deteriorated to the point where they are only represented by segments of masonry or single elevations.

The impact assessment takes into consideration the state of disrepair of some of the buildings, the unsightly 20th century structures which are proposed to be demolished and the impact of the development on the farm house and concludes that the impact would be medium to low.



1 Introduction

1.1 In 2012 Archaeological Research Services Ltd (ARS Ltd) produced a Cultural Heritage Desk-Based Assessment and Historic Building Appraisal (Mora-Ottomano 2012: See Appendix IV) to accompany a planning application for a proposed redevelopment of Manor Farm, Marr near Doncaster. In August 2017 DLP Planning Ltd commissioned ARS Ltd on behalf of Will Atkins to produce a heritage statement which revises and updates the Cultural Heritage Desk-Based Assessment and Historic Building Appraisal produced in 2012 to support a planning application for a revised scheme (centred NGR: SE 51349 05183, Fig. 1).

1.2 The heritage statement has been carried out in accordance with Historic England and Government guidance on archaeology and planning (English Heritage 2008; Historic England 2015; DCLG 2014). The work also followed the guidelines in *Understanding Historic Buildings – A Guide to Good Recording Practice* by English Heritage (2016), and the *Code of Conduct, Standards and Guidance for Historic Environment Desk Based Assessment* and *Standard and Guidance for archaeological investigation and recording of standing buildings or structures* of the Chartered Institute for Archaeologists (CIfA 2014a, 2014b and 2014c).



Site name: MFD'17
 Date: October 2017
 Drawn by: EG
 Scale: Varies

-  Site Location
-  Doncaster Borough District



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Figure 1:
Site location

Figure 1: General site location

2 Planning Policy Context

2.1 The National Planning Policy Framework (NPPF)

2.1.1 This heritage statement is carried out under the National Planning Policy Framework (NPPF) (DCLG 2012). The NPPF sets out the Government’s planning policies for England and how these are expected to be applied. It sets out the Government’s requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. The purpose of the NPPF is to contribute to the achievement of *sustainable development*, which includes “...contributing to, protecting and enhancing our natural, built and historic environment...” (DCLG 2012, 2).

2.1.2 Section 12 of the NPPF deals with government policy in relation to conserving and enhancing the historic environment and its role in sustainable development.

2.1.3 Paragraph 126 states that Local Authorities must undertake to “*recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance*”. In developing their strategy, local planning authorities should take into account:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- the desirability of new development making a positive contribution to local character and distinctiveness; and
- opportunities to draw on the contribution made by the historic environment to the character of a place.

2.1.4 Paragraph 128 states that “*In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation*” (DCLG 2012, 30).

2.1.5 Paragraph 129 states that “*Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when*

considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal” (DCLG 2012, 30).

2.1.6 In determining planning applications, local planning authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

2.1.7 Paragraphs 132 – 141 provide guidance on the approach to be adopted by local authorities in weighing the impact of development against the conservation of heritage assets and their setting and significance (DCLG 2012, 31-32). Paragraph 132 states that *“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional” (DCLG 2012, 31).*

2.1.8 Paragraph 135 states that *“The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset” (DCLG 2012, 31).*

2.1.9 Paragraph 141 states the Government requirement for the planning process to contribute to public understanding of the historic environment.

2.2 The Listed Building and Conservation Areas Act (1990)

2.2.1 This Act indicates that:

Works for the alteration or extension of a listed building are authorised if—

- (a) written consent for their execution has been granted by the local planning authority or the Secretary of State; and*
- (b) they are executed in accordance with the terms of the consent and of any conditions attached to it.*

Works for the demolition of a listed building are authorised if—

- (a) such consent has been granted for their execution;*
- (b) notice of the proposal to execute the works has been given to the Royal Commission;*
- (c) after such notice has been given either—*
 - (i) for a period of at least one month following the grant of such consent, and before the commencement of the works, reasonable access to the building has been made available to members or officers of the Royal Commission for the purpose of recording it; or*
 - (ii) the Secretary of the Royal Commission, or another officer of theirs with authority to act on their behalf for the purposes of this section, has stated in writing that they have completed their recording of the building or that they do not wish to record it; and*
- (d) the works are executed in accordance with the terms of the consent and of any conditions attached to it.*

2.3 Local Planning Policy

2.3.1 The ‘Doncaster Core Strategy 2011-2028’ is a strategic planning framework that will guide development in Doncaster. It specifically refers to heritage and planning in the following sections.

2.3.2 Policy CS15 Heritage states:

Valuing Our Historic Environment Doncaster’s historic environment will be preserved, protected or enhanced in accordance with the principles set out below.

A) Proposals and initiatives will be supported which preserve and, where appropriate, enhance the heritage significance and setting of the borough’s heritage assets, especially those elements which contribute to the distinct identity of the borough. These include:

1. the nationally-important waterlogged archaeological remains at Sutton Common, Thorne Moor, and Hatfield Moor;
2. the Roman camps and settlements, motte and bailey castles, historic houses, historic parks and gardens and villages, with special regard to those along the Southern Magnesian Limestone Ridge;
3. the Georgian townscape and the railway and racing heritage of Doncaster, its historic grain, including its street layouts and plot sizes;
4. the borough’s historic market towns such as Thorne, Hatfield, Bawtry, and Tickhill; and;
5. early twentieth century suburban developments, including planned colliery villages.

B) Proposals will be supported which protect or enhance the heritage significance and setting of locally identified heritage assets such as buildings of local architectural or historic interest, locally important archaeological sites and parks and gardens of local interest.

C) Proposals will be supported which respect and enhance key views and vistas, especially of the spires and towers of Doncaster's historic churches, particularly St George's Minster and Christ Church in Doncaster town centre.

2.3.3 The historic environment is important for its own sake. It is also central to the character and identity of the borough. It is a source of immense local pride, as well as being a valuable educational and economic resource. The historic environment should also act as a stimulus and inspiration to place making in all parts of the borough so that it can reinforce local identity and play a part in increasing the appeal of the area as a place to live, work, visit and invest in.

2.3.4 National planning policy on the historic environment provides guidance on the identification, significance, and protection of heritage assets. These assets include listed buildings, conservation areas, historic parks and gardens and archaeological remains. National policy expects that the contribution of such heritage assets to local character and sense of place is recognised and valued and the policy will reinforce this.

2.3.5 Doncaster's distinctive heritage assets are richly diverse, including evidence of early settlements, castles, country houses and estates, nationally significant parks and gardens, historic market towns and villages, ecclesiastical, agricultural, civic and industrial buildings, railway and canal structures, twentieth century suburbs and planned colliery settlements. The geology of the district gives rise to an interesting variety of vernacular building materials including sandstone to the west, through limestone, to brick and timber-framing to the east. Stone slate, Welsh slate, clay pantile and clay plain tile roofs are distinctive characteristics of parts of the borough. National policy requires local authorities to ensure that they have evidence about the historic environment and heritage assets in their area and that this is publicly documented.

2.3.6 The borough has around 800 listed buildings, designated nationally. In addition, we have 4 nationally registered parks and gardens of special historic interest and 51 nationally designated scheduled ancient monuments. These are detailed in national lists and registers, copies of which are made publicly available by the council. Listed buildings and scheduled monuments are afforded protection through national planning legislation and policy. The heritage significance of registered parks and gardens of special historic interest is a material consideration in the determination of planning applications.

2.3.7 Historic England in consultation with the council produces an annual 'Heritage at Risk Register' which provides details of all the designated assets at risk within the borough (with the exception of Grade II Listed Buildings). The council has also prepared a list of Grade II Listed Buildings At Risk. Strategies and initiatives to reduce the number of buildings and areas at risk are being supported and developed. As part of this, should a historic building (designated or undesignated) become vacant, under-used, or derelict, the council will, where appropriate, encourage its owner to promote its re-use, or its more efficient existing use where this preserves or enhances its heritage significance. The borough's 46 conservation areas also have some protection through national planning legislation and policy but are designated locally. The key characteristics of each of the borough's conservation areas are described in

conservation area character summaries on the council’s website. Conservation area appraisals and management proposals will be used to identify and assess local character and promote enhancement.

2.3.8 There are also 13 locally designated parks and gardens of local interest as well as significant numbers of undesignated historic buildings which we may in the future consider for designation as buildings of local architectural and historic interest. These heritage assets contribute to the distinctive local character of the borough but are not afforded the same legislative protection. National policy on the historic environment recognises that some of these local heritage assets have lesser significance but expects that decisions are based on the nature, extent, and level of that significance, which is a material consideration in the determination of planning applications. We will review the existing parks and gardens of local historic interest and consider the designation of buildings of local architectural and historic interest. The policy will ensure that what contributes to making them special can be assessed and is given due consideration in planning decisions. Archaeological sites of national and local importance are identified in South Yorkshire’s Sites and Monuments Record.

2.3.9 This policy seeks to ensure that heritage assets are safeguarded or enhanced for the future, both for their own heritage merits and for the wider benefits they bring. The benefits should include improvement in the quality of the historic built and landscaped environment, stimulation of high architectural quality in new buildings, creation of a stronger local identity and sense of place, increased sustainability, encouragement of local building craft skills, greater opportunities for use of the historic environment in education and increased levels of investment and tourism.

3 Updated Baseline Conditions

Background

3.1 The Cultural Heritage Desk-Based Assessment and Historic Building Appraisal that was produced for the original scheme in 2012 (Mora-Ottomano 2012) is now five years out of date, and therefore it is necessary to update this by undertaking fresh searches of the South Yorkshire Sites and Monuments Record (SMR), Historic England’s National Record of the Historic Environment (NRHE) and National Heritage List for England (NHLE) to identify whether any new information regarding the archaeological potential or heritage importance of the site had become available. The Environment Agency Lidar dataset that has become freely available since the previous assessment was also consulted, but there is little coverage within the 1km study area and none for the site itself, and therefore this provided no new useful information. The results of these updated searches are recorded below and illustrated on Figures 62-65.

Designated Assets

On-Site

3.2 There are two designated heritage assets within the proposed development area (PDA), as described in Table 1 below, and illustrated by yellow triangles on Figure 62. The farm complex is also recorded on the South Yorkshire SMR, the entry for which is also

reproduced in Table 1. Manor Farmhouse is referred to as Building A/B elsewhere in this report, and the shelter shed is referred to as Building F.

Table 1: Listed Buildings within the PDA

NRHE ID	SMR ID	Description	Grade
1192634	MSY13196	Manor Farmhouse Farmhouse. Early C19. Cement-rendered, C20 cement-tile roof. 2 storeys, 3 bays; double-depth. Plinth, chamfered quoins. Open-sided Tuscan porch with shallow pediment; 6-panel door has overlight with radial glazing bars and plain architrave. Flanking bays have renewed tripartite windows with glazing bars in shallow curved-bay projections. 1 st floor band beneath sashes with glazing bars in projecting, square-faced surrounds. Hipped roof with rebuilt brick end stacks.	II
1151641	MSY13196	Shelter shed approximately 40 metres to north of Manor Farmhouse Shelter shed. Probably early C19. Limestone ashlar arcade, rubble walling, stone slate eaves courses to pantile roof (partly removed). Single-storey, 10-bay arcade with short wing under same roof to front right. Cylindrical piers and square capitals to segmental arches with projecting ktiystones. Wall partition divides 3 bays to right which have no roof covering. Wing on right has door with small window opening on its left, hipped roof. Right return: contemporary end block of range has large quoins, 2 segmental arches at basement level with bull-nosed pier, square-faced surround to boarded opening above. Extension to left, under same roof has another segmental archway with boarded doors.	II
1192634 1151641	MSY13196	Manor Farm, Marr Late Georgian farmhouse with Italianate elements, and associated farm structures. The farmhouse retains a good degree of its original character, both inside and out. Several ranges of stone-built agricultural buildings complete the complex, some of which have been modified or have been incorporated into later structures.	N/A

NHLE entries © Historic England

3.3 The PDA is also located wholly within the Marr Conservation Area (depicted as a green polygon on Figure 62), which is also included on Historic England’s Heritage At Risk Register, where it is assessed as being in fair condition, with medium vulnerability and with a deteriorating trend.

Off-Site

3.4 There are four other designated heritage assets within the wider 1km study area, as described in Table 2 below, and illustrated by blue triangles (Grade I Listed Buildings) and yellow triangles (Grade II Listed Buildings) on Figure 62.

Table 2: Listed Buildings within the wider study area

NRHE ID	SMR ID	Description	Grade
1314778	MSY13171	Range of farm buildings at hall farm approximately 25 metres to west of farmhouse.	II
1192626	MSY13171	Pair of outbuildings approximately 20 metres to north east of Marr Hall.	II
1192644	MSY4054	Church of St Helen.	I
1151640	MSY13171	Marr Hall.	II

NRHE entries © Historic England Archive

Non-Designated Assets

Archaeological Remains

3.5 There are no known archaeological remains within the PDA, although the polygon that encompasses a cluster of cropmarks recorded by the National Mapping Project (NMP) and described in an entry on the NRHE does extend into the Manor Farm site, although none of the features mapped by the NMP are within it. Details from the NRHE are provided in Table 3 below, and are illustrated on Figure 64.

On-Site

Table 3: Non-designated archaeological remains located within the PDA

SMR ID	NRHE ID	Description
N/A	1437073	Post medieval trackways are visible as cropmarks on air photographs. They are centred at SE 5148 0510. Some parts are recorded on the First Edition Ordnance Survey maps.

NRHE entry © Historic England Archive

Off-Site

3.6 There are nine further entries listed for non-designated archaeological remains on the SMR within the wider study area, as detailed in Table 4 below, and illustrated on Figure 63

Table 4: Non-designated SMR entries located within the wider study area

SMR ID	NRHE ID	Description
MSY10692	N/A	Pilgrim Badge Find, Marr Pilgrim badge find, returned to finder. Reference: Doncaster Museum Records.
MSY12053	N/A	Medieval Rabbit Warren, Marr Evidence for the existence of a medieval rabbit warren at this site can be conjectured from place-name evidence – a disused quarry called 'Warren' is found at this site on the 1854 O.S. map. The place-name 'Warren' is also mentioned on the 1845 tithe for this area.
MSY13296	1174934 1437038	Iron Age to Romano-British field system and trackway, Brodsworth A sinuous trackway running roughly north-south with an associated coaxial field system was identified via aerial photography. The identifiable features extend roughly 1.5km N-S and 1km E-W, though doubtless represent fragmentary survival of the wider cropmark landscape in this area.
MSY3631	620919	Large Iron Age or Romano-British Sub-Rectangular Enclosure, Marr Large sub-rectangular enclosure.
MSY3634	1025744 1436986	Iron Age or Romano-British Enclosures, Marr Rectangular enclosure, with subdivision. Possible larger enclosure to east with small subdivisions along N.side. Unplotted due to lack of fixed points on photos.
MSY5533	N/A	Iron age or Romano-British Cropmark, Marr Iron Age or Romano-British cropmark shown on aerial photographs.
MSY5727	N/A	Marr Shrunken Village Marr was formerly part of Hickleton Parish so is effectively a shrunken village, although there are no clues on the ground as to its former extent or location.
MSY5851	1436986	Iron Age or Romano-British Trackway, Marr c. 250m length of ditched trackway (discontinuous part of PIN 02992/01).
MSY4055	N/A	Medieval Churchyard Cross, Marr

SMR ID	NRHE ID	Description
		" Much decayed churchyard cross on south of churchyard" (Morris). Now no remains. References: W.R. Yorkshire 1932 p.352 (Morris).

SMR entries © South Yorkshire Archaeology Service

3.7 There are also 17 other entries listed on the NRHE within the wider study area, as detailed in Table 5 below and these are illustrated on Figure 64.

Table 5: Non-designated NRHE entries located within the wider study area

NRHE ID	HER ID	Description
1174935	N/A	An Iron Age/Roman rectilinear enclosure with associated trackway and field boundaries are visible as cropmarks on air photographs. There are also pits of uncertain date and some trackway of prehistoric/Roman date.
1025744	MSY3634	Rectilinear enclosure showing as cropmarks. Date uncertain. This feature is recorded as part of a wider archaeological landscape in record SE 50 NW 129.
1436895	N/A	Medieval/post medieval and post medieval ridge and furrow are visible as cropmarks and earthworks on air photographs in the parish of Brodsworth. Some areas are no longer extant on the most recent (1987-1992) Ordnance Survey vertical air photographs.
620919	MSY3631	Cropmark of a rectangular enclosure and associated trackway. Date uncertain.
1431750	N/A	The ring ditch of a possible prehistoric/Roman barrow is visible as a cropmark on air photographs.
1436883	N/A	Medieval/post medieval and post medieval ridge and furrow are visible as cropmarks and earthworks on air photographs in the parish of Marr. Some areas are no longer extant on the most recent (1987-1992) Ordnance Survey vertical air photographs.
1431746	N/A	A number of prehistoric/Roman ditches. Some may be the remains of an enclosure; around which there are numerous pits clustered along the ditches. These features are visible as cropmarks on air photographs.
1436986	MSY3634 MSY5851	A large, possibly Iron Age/Roman, rectilinear enclosure (recorded previously in SE 50 NW 105), another rectilinear enclosure (also recorded in SE 50 NW 104), an enclosure, field boundaries and trackways, are visible as cropmarks on air photographs. There is also a possible extractive pit and a small quarry showing as cropmarks of uncertain date. They are centred at SE 5052 0531.
1437038	MSY13296	Three Iron Age/Roman rectilinear enclosures, an enclosure, trackways, field boundaries and ditches, are visible as cropmarks on air photographs. There are also ditches and a pit of uncertain date visible as cropmarks. They are centred at SE 5187 0640.
1431705	N/A	Two macula or possible pond barrows of uncertain or prehistoric/Roman date are visible as cropmarks on air photographs.
1431754	N/A	Prehistoric/Roman ditches are visible as cropmarks on air photographs. They may be field boundaries.
620972	N/A	Cropmark of a rectangular enclosure.
1431661	N/A	Medieval/post Medieval and post Medieval ridge and furrow is visible as earthworks and cropmarks on air photographs in the parish of Marr. Some areas are no longer extant on the latest (1987) Ordnance Survey vertical air photographs, others have been built over.
1174934	MSY13296	The cropmarks of a trackway and field system are visible on air photographs (1998). Date uncertain.
1437073	N/A	Post medieval trackways are visible as cropmarks on air photographs. They are centred at SE 5148 0510. Some parts are recorded on the First Edition Ordnance Survey maps.
55834	MSY4054	CHURCH OF ST HELEN. 12th century origin, tower added and rest remodelled 13th-early 14th centuries, 15th century additions of south porch, tower parapet and spire. Rubble limestone, stone slate roofs. West tower, 2-bay

NRHE ID	HER ID	Description
		nave with south aisle and porch, 2-bay chancel. Recorded site of churchyard cross, now missing.
1431692	N/A	An Iron Age/Roman landscape with enclosures, associated field boundaries, trackway and ditch is visible as cropmarks on air photographs. There are 9 enclosures in all, ranging in plan from sub-square to polygonal, double ditched and rectilinear. There are also several pits, short lengths of possible trackway and a few possible field boundaries; these too are visible as cropmarks.

NRHE entries © Historic England

Historic Buildings

On-Site

3.8 There are no undesignated historic buildings within the PDA that are recorded on the SMR or NRHE, but there are a further 11 outbuildings associated with Manor Farm as described in section 5 below.

Off-Site

3.9 There are three non-designated historic buildings recorded on the SMR within the wider study area, as detailed in Table 6 below and illustrated in blue on Figure 63

Table 6: Non-designated Historic Buildings located within the wider study area

HER ID	NMR ID	Description
MSY13171	1314778 1192626 1151640	Post-medieval farm complex, Marr Hall Farm, Marr Farm complex historically associated with the adjacent Marr Hall, though now in separate ownership. The farm buildings date predominantly to the 18th and 19th centuries, and include stables, barns, shelters, stores and cart sheds.
MSY6843	N/A	18th Century Barn, Grove Farm, Marr Two storey barn incorporating open fronted cartshed at ground floor level. Asbestos roof. One storey building attached, five blocked openings in south elevation, pantile roof. Associated with PIN 4225/02 (an L-shaped range).
MSY6844	N/A	18th Century Barn, Grove Farm, Marr Two storey barn, western range of L-shaped complex. Features a cart entrance at southern end.

Historic Landscape

On-Site

3.10 The PDA is contained wholly within a single HEC unit mapped by the South Yorkshire Historic Environment Characterisation Project, as detailed in Table 7 below and illustrated on Figure 65.

Table 7: HLC units located within the PDA

HLC ID	HLC broad type	HLC primary type	Description
HSY5741	Residential	Farm Complex	Grove and Manor Farms, Marr, Doncaster Early 19th century (Listed building legal description) farm buildings typical of the 'model' or 'high farming' movement. No legibility of earlier landscape. Settlement already established in this area by the time of Jefferys' 1777 map.

Off-Site

There are 14 other HEC polygons mapped within the wider study area, as listed in table 8 below and illustrated on Figure 65.

Table 7: HLC types Located within the PDA

HLC ID	HLC broad type	HLC primary type	Description
HSY4159	Enclosed Land	Agglomerated fields	Mill Field, Brodsworth, Doncaster
HSY4202	Enclosed Land	Agglomerated fields	Marr Moor and Marr Thick, Marr, Doncaster
HSY4205	Enclosed Land	Agglomerated fields	Probable area of former open fields of Marr and Marr Grange, Doncaster
HSY5736	Extractive	Quarry	Hills and Holes and Bone Hole Quarries, Marr, Doncaster
HSY5737	Industrial	Other Industry	Industrial premises, Church Lane, Marr, Doncaster
HSY5738	Institutional	School	St Helen's Church, Marr, Doncaster
HSY5739	Residential	Vernacular Cottages	Marr Vicarage, Doncaster
HSY5740	Residential	Semi-Detached Housing	Church Lane, Marr, Doncaster
HSY5741	Residential	Farm Complex	Grove and Manor Farms, Marr, Doncaster
HSY5742	Residential	Private Housing Estate	Grove Court, Marr, Doncaster
HSY5743	Residential	Farm Complex	Marr Hall Farm, Marr, Doncaster
HSY5744	Residential	Elite Residence	Marr Hall, Marr, Doncaster
HSY5745	Residential	Estate Village	Estate cottages, Marr, Doncaster
HSY5746	Residential	Vernacular Cottages	School Cottage and former Smithy, Marr, Doncaster

Discussion

3.11 The results of the updated SMR, NRHE and NMP searches have illustrated that there is a moderate to high potential for buried archaeological remains to survive within the PDA. The site appeared to be undeveloped on the 1711 map discussed below, but as it is located close to the medieval core of the village, the possibility that earlier settlement features could be present should not be discounted. Moreover, there is evidence for Iron Age and Romano-British field systems and settlements within the surrounding landscape, and a trackway thought to date to these periods is heading directly towards the PDA a short distance to the south-east.

4 Historical Background

4.1 The historical background of the site was discussed in depth in the Cultural Heritage Desk-Based Assessment and Historic Building Appraisal produced in 2012 (Mora-Ottomano 2012, 20). The results from the cartographic records are as follows.

4.2 The earliest cartographic record is 'A Survey of Billam Part of Marr Scausby and Marr-Grange, Cusworth, Newton, Sprodbrough and Cadeby' by Samuel Grover issued in 1711. The map shows St Helen's church and another large building towards the east which may represent the Elizabethan Manor Hall. There are a series of roads and field systems whose course and/or boundaries (despite heavy agricultural damage over recent decades)

have remained partially fossilised until the present time. This provides a means for approximately locating the site of Manor Farm which appears depicted undeveloped.

4.3 The 1818 map is part of a collection of plans of the Ilusson estates in Yorkshire although they do not include any title. The original plans are held by Suffolk Record Office in Ipswich. The digital copy in Doncaster Archive is unfortunately a little blurred; however the village of Marr can be discerned exhibiting a much developed village. The main road running east to west corresponds to the present Barnsley to Doncaster road which incorporated existing sections of roads. The site of Manor Farm includes a series of buildings of which the large east/west range may well be the current house. Indeed, the architectural style of the house falls in the late Georgian period which is contemporary with the map concerned. There is a succession of north/south ranges to the north of the house which may relate to some of the present farm buildings. There appear to be further outbuildings towards the west although their character is unknown as the preceding maps do not contain such information and thus some of the putative structures may be field markers instead.

4.4 The 1845 Tithe map entitled 'Plan of the Parish of Marr in the County of York', surveyed by William Roberts, shows the site in detail. Manor Farm consists of the present house flanked by two narrower annexes and a thin structure abutting the northern elevation which corresponds to the present raised platform. The western annexe is adjoined by a small structure which corresponds to the footprint of Building C. There is also a 'U'-shaped range (composed of three wings) to the north of the house forming an almost square complex with a central courtyard. To the west and south there are minor boundaries forming several parcels. The lay-out of the 'U'-shaped range correspond to the current Buildings D and E forming the eastern wing; Building F which is the northern wing along the Barnsley to Doncaster road and Building G which occupies the northernmost end of the western wing. The continuation of the western wing towards the south is currently replaced by Building H.

4.5 The Ordnance Survey map issued in 1849 – 50 exhibits a comparable appearance of the site except for a small extension along the Barnsley to Doncaster road projecting westwards from the north-west corner of the 'U'-shaped range. Further detail includes the presence of pumps, trees, paths and track-ways. The western wing of the 'U'-shaped range appears connected to the structure (Building C) adjoining the west annexe of the house (Building B). This attachment appears to indicate that the western wing was connected to the structure presently occupied by Building C, but was not illustrated linked up in the preceding map because there was an archway as later cartographic record indicates. The archway can also be seen on a historic photograph included in the following section.

4.6 The Ordnance Survey map issued in 1880s shows additional buildings within the site consisting of two more north/south ranges to the west of the existing courtyard complex which are linked up with a continuous structure along the main road. The range furthest west lies within the footprint of the present Building L and its immediate eastern link along the main road correspond to Building K. The larger north/south range appears positioned within the present footprint of Building I. There is another small outbuilding further west adjacent to Blacksmith's Lane.

4.7 The Doncaster and Tickhill Joint Water Board map issued in 1929 depicts a comparable plan of the farmstead from earlier editions. There is, however, a small extension adjoining the southern elevation of the central north/south range between the present Building L and the courtyard. The map includes names of landowners and tenants and the site concerned contains the names of 'Owner: Mr Thelluson Estate Office Brodsworth – Occupied: G. Atkinson Marr House Marr'.

4.8 The Ordnance Survey map issued in 1932 shows further developments within the farmstead consisting of a detached north/south range positioned between the courtyard and the successive range to the west; and a long east/west range further to the west in close proximity to the main road. The eastern wing of the courtyard complex appears to have been extended slightly into the courtyard itself.

4.9 The Ordnance Survey map issued in the 1960s shows minor alterations of the farmstead consisting of a small extension to the west of the present Building L. The map contains detail of internal sub-divisions and exhibits very clearly the archway connecting the southern end of the western wing of the courtyards and Building C. It also shows the extension of the eastern wing into the courtyard. Further details include the name of the site referred to as 'Manor Farm' and access to the farmstead from the main road via a 'Car Track'.

4.10 The Ordnance Survey map issued in 1982 shows lesser degree of detailing amongst the buildings; however it is apparent that the detached building between the courtyard and the successive range to the west was extended towards the north and linked to the main range along the main road. The small shed-like structure along Blacksmith's Lane is no longer depicted.

4.11 The modern Ordnance Survey map shows significant developments including the construction of the open-fronted shed (Building N) and further larger structures (Buildings H, I and J) incorporating and/or replacing former buildings. The east/west range to the west of the site is no longer shown. It is also apparent that the archway linking Building C with the west wing of the courtyard had been demolished. The track-way from the main road appears slightly diverted from its original course.

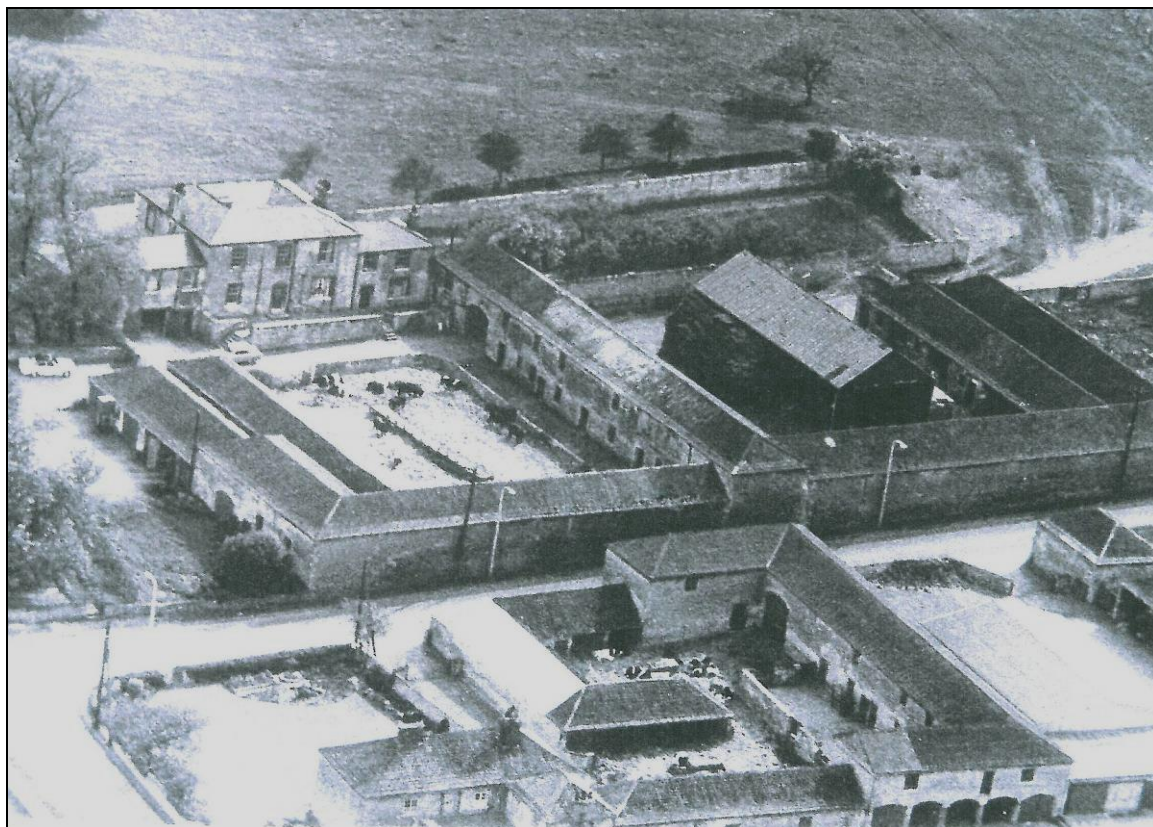


Figure 2: Aerial photograph of the site taken around the 1950s (courtesy of DLP Consultants)

5 Buildings Appraisal

5.1 The appraisal comprised a site visit in order to compile analytical descriptions, and an evaluation of architectural and historic significance based on the existence or non-existence of statutory and non-statutory designations and also on the author's professional judgement formulated by a substantial experience of historic building analysis. Documentary research was undertaken to provide supporting evidence of date and function.

5.2 The same assigned building codes have been used in this report as were given in the previous Cultural Heritage Desk-Based Assessment and Historic Building Appraisal (Mora-Ottomano 2012, 38), for ease of understanding. Some of the buildings have deteriorated since the previous site visit, particularly those bounding the site to the north which have all partially collapsed.

5.3 This section has updated the 2012 report where necessary, which primarily highlights the deterioration which has occurred at the site. Photographs from the previous 2012 report and photographs taken on the 2017 site visit have both been used in this report in order to illustrate the deterioration which has occurred and to provide pictorial evidence.

5.1 Building A

5.1.1 Building A is the farmhouse, a Grade II Listed Building, situated to the south-east area of the site facing the central courtyard to the north and a cultivated field to the south. This range is two storeys high and three bays wide, demarcated by window openings with surrounds. It has a hipped roof with secondary cement tiles and rebuilt brick end chimney stacks. The building is made of local magnesian limestone which is currently rendered with cement (Mora-Ottomano 2012, 39).

5.1.2 The front elevation contains a porch composed of two free-standing Tuscan columns supporting a canopy with a shallow pediment. The front doorway contains a six-panelled door and a fanlight with radial glazing bars and plain architrave; it is flanked by renewed tripartite windows with glazing bars in shallow curved-bay projections with the corners emphasised with rusticated quoins painted white. The first floor contains window openings with projecting surrounds and recessed six-over-six sash windows and a continuous band or string-course beneath the sashes (Mora-Ottomano 2012, 39).

5.1.3 The rear elevation, facing the courtyard, is plainer than its counterpart without bay windows, band or quoins and contains several PVC rain water pipes. The central doorway is accessed from a large raised platform which extends along the entire elevation. On the ground floor, the westernmost window is slightly larger than the remaining ones and appears to have been a later alteration. There is a large single-storey garage to the east of this elevation and a western annexe (Building B) with equivalent footprint to the garage. The original limestone masonry was observed beneath the present rendering along the north-east corner and adjacent to the garage (Mora-Ottomano 2012, 39).

5.1.4 The southern section of the east elevation contains blocked-up window openings on each storey separated by a projecting band equivalent to the main south elevation. The northern section is much plainer containing later inserted small windows (Mora-Ottomano 2012, 39).

5.1.5 The southern section of the west elevation is comparable to its counterpart and the northern section is obscured by the adjoining Building B.

5.1.6 Internally the house has suffered little modification from its original construction and most of its fixtures and fittings are in pristine condition, although the fire places have all been altered or blocked up. The hallway runs along the central north/south axis connecting both external doorways and enabling access to the rooms beside it. It contains wallpaper, skirting boards, carpet, dado rail and moulded cornicing. There is a central partition wall with a large elliptical arched doorway leading into the northern section which has a dog-leg staircase. The staircase has open strings with plain brackets, slender balustrade and a curtail step with a scroll motif matching the end of the round-topped handrail (Mora-Ottomano 2012, 39).

5.1.7 The hallway divides the ground floor into four quadrants composed of a living room, a lounge, a sitting room and a kitchen, as well as a small bathroom. The living room and lounge are practically identical as the arrangement of the entire house is very symmetrical. Each of these rooms contains a large recessed niche with elliptical arched

head and moulded architrave within the partition wall. They also have picture rails and moulded cornicing as well as skirting boards over the carpeted floors. The doors are of six panels and have moulding architraves. These rooms are lit naturally by large bay windows which appear to be later replacements. The fire places are also later insertions within the original chimney breasts (Mora-Ottomano 2012, 39).

5.1.8 The kitchen has been largely refurbished and the wide window appears to be a later insertion. It has a substantial chimney breast accommodating the present cooker.

5.1.9 The first floor is accessed from the dog-leg staircase which leads to a lobby from which several doorways enable access into the bedrooms. Here too there are many original fixtures and fittings including doors, moulded cornicing, sash windows, dado and picture rails, as well as later replacements comprising fire places and an inserted double door in the north-west bedroom (Mora-Ottomano 2012, 40).

5.1.10 The architectural style of the house is typical of the late Georgian period (including the Regency period) between the late 18th to the early 19th century. The footprint of this range is exhibited on the 1818 map which encompasses two annexes of which the western side corresponds to the current Building B and the eastern to the garage. This garage is a later alteration which replaced an equivalent annexe to Building B as indicated by a historic photograph taken around the 1950s. Despite modern refurbishments the house holds its original integrity and character, containing much of its internal primary fixtures and fittings. Building A is national heritage asset as its Grade II Listed Building designation indicates (Mora-Ottomano 2012, 40).

5.2 Building B

5.2.1 Building B is the western annexe of the farmhouse (Building A) and part of the Grade II Listed Building. It consists of a two-storey range of two bays in width, a tiled hipped roof with a brick stack to the west end. This range is also made of magnesian limestone although it is incompletely rendered with cement over an original rendering which partially survives. The north elevation contains a doorway and window openings with projecting surrounds comparable to the ones within Building A. The south and west elevations are devoid of cement render exhibiting the limestone masonry, which includes reinforced quoins, as well as part of the original render. The north elevation has inserted window openings with brick projecting sills (Mora-Ottomano 2012, 49).

5.2.2 The ground floor is used for storage and it has a large chimney breast with a cast-iron grate which might have replaced a kitchen range as suggested by an adjoining stone salting through, supported by brick pillars, and ceiling mounted meat hooks (Mora-Ottomano 2012, 49).

5.2.3 The first floor is accessed from a dog-leg timber staircase with winders. The shorter lower section, projecting into the ground floor, is narrower than the upper one within the stairwell. This inconsistency may be the result of a later modification as the original staircase would have projected straight into the present kitchen as indicated by an inserted opening which is now blocked up but still contains a splayed doorway head. The present banisters are also later replacements (Mora-Ottomano 2012, 49).

5.2.4 The first floor is practically empty and it contains a cast-iron fire place within the western wall. The walls are rendered with plaster, the ceiling is composed of lath-and-plaster and the floor boards are covered with screed (Mora-Ottomano 2012, 50).

5.2.5 This range appears to date from the late 18th to the early 19th century as an integral annex or wing of the farmhouse and therefore is a national historic asset.



Figure 3: General view of Building B adjoining the main farmhouse (Building A), looking south-west.



Figure 4: North elevation of Building B, looking south-west, 2m scale.



Figure 5: South elevation of Building B abutting the main farmhouse (Building A), looking north-east.



Figure 6: Ground floor of building B, looking west 2m scale.



Figure 7: Ceiling beam with iron hooks.



Figure 8: Staircase to the first floor with former opening blocked up, looking east, 2m scale.



Figure 9: First floor of Building B, looking west, 1m scale.

5.3 Building C

5.3.1 Building C is a lean-to structure composed of two separate constructions. The northern section, built with coursed roughly hewn magnesian limestone, is very irregular as it appears to have been crudely reduced from a two-storey structure as indicated by a historic photograph taken around the 1950s. This structure extended originally northwards, forming the western wing of the central courtyard to the north of the farmhouse. It is slightly dilapidated and contains currently an almost flat roof structure with asbestos corrugated sheeting. On the west elevation, there is a former doorway with a brick arched head which is currently blocked up and includes a modern window instead. There is another doorway on the east elevation with a brick semi-circular arched head which leads inside the stony structure. The interior includes original timber bridging beam and joists (Mora-Ottomano 2012, 54).

5.3.2 The southern section is built with bricks and concrete breeze blocks. It has a lean-to roof covered with pantiles. The interior is accessed from an external doorway on the west elevation and from an inserted doorway which links both sub-divisions. This southern section is also in bad state of disrepair (Mora-Ottomano 2012, 54).

5.3.3 There is a small toilet block made of concrete breeze blocks to the south of the main joint Building C.

5.3.4 The northern section of this merged building appears to have formed part of a long western wing of the courtyard which may date to late 18th or early 19th century, whereas the southern lean-to area appears to date from the mid-19th century. The former has lost most of its character and integrity as a result of substantial alteration. The latter is of little historic significance and lacks of architectural merit.



Figure 10: View of the brick section of building C, 2m scale.



Figure 11: View of the western elevation of the stone section of building C, 2m scale.



Figure 12: View of the interior of the stone section of building C.



Figure 13: View of the interior of the brick section of building C.

5.4 Building D

5.4.1 Building D is a stone built range with a hipped roof covered mainly with pantiles and forms the southern half of the central courtyard's eastern wing. It has a small south-western extension which is built inconsistently although with stone and pantiles. The main north/south range is also somewhat irregular with walls composed of stone blocks, bricks, weather boards and two monolith columns. The roof is somewhat bellcast (a slight flattening of the roof near the eaves) created with sandstone slated easing courses. Stone slated easing courses at the bottom of a pantiled roof provides better protection from the rain at the shallow pitch over the wall head and helps to prevent the lower tiled courses from being uplifted by the wind (Jenkins 2007). This roof design is also present amongst other building of the farmstead and further local farm buildings such as Marr Hall Farm (Scurfield 2011). The main east elevation contains three double doors and a 'Crittall' type fixed window (Mora-Ottomano 2012, 59).

5.4.2 Internally the south-western extension is built with stone walls, a concrete floor and a timber roof structure composed of two king-post trusses. The main range contains a basement towards the southern end which is composed of a brick floor, and a lath-and-plaster ceiling. The walls are refaced with later brickwork and it also includes a partition wall. The roof structure consists of two king-post timber trusses carrying four tiers (two on each side) of staggered side purlins supporting the common rafters. Iron bolts secure the king-posts to the tie-beams (Mora-Ottomano 2012, 59).

5.4.3 This range is slightly dilapidated in places and practically vacant apart from a few obsolete machines. The main structure appears to have originated from the early 19th century whereas the extension was added on in the 1960s as indicated by cartographic records. This range forms the southern side of the eastern wing of the courtyard of the original farmstead. However, no specific associated functionality was ascertained due to the lack of surviving fixtures and fittings although there is indication of subsequent use as a stable. Its present fabrics are in a moderate state of disrepair and the overall range has lost part of its integrity as a result of later alterations and neglect; however it is a local historic asset (Mora-Ottomano 2012, 59).

5.4.4 Figure 14 shows the building as it stood in the 2012 and Figures 15- depict how the building currently appears. The building is still in a dilapidated condition.



Figure 14: South elevation of Building D in 2012, 2m scale.



Figure 15: View of the exterior of building D, 2m scale.



Figure 16: View of the exterior of building D, 2m scale.



Figure 17: view of the interior of building D, 2m scale.



Figure 18: View of the eastern wall of building D, 2m scale.



Figure 19: View of the interior of building D, 2m scale.



Figure 20: View of the interior of building D, facing south west, 2m scale.

5.5 Building E

5.5.1 Building E is the eastern return of the amalgamated Grade II Listed Building forming the north-eastern corner of the courtyard. It is a single-storey range of three bays and a hipped roof. The walls consist of magnesian limestone built to courses with quoins and the roof is currently devoid of tiles with exposed later battens and felt, while the east elevation contains several inserted openings including two window openings with dressed stone surrounds and a large doorway with segmental arched head. This inserted doorway is built with dressed sandstone jambs and *voussoirs* containing a double timber ledged door. The central bay appears to have originally contained a large doorway with jambs equivalent to the corner quoins. The former doorway is now blocked with stones and its original head has been removed. To the far north end of this elevation, there are two original opened vaulted basement chambers with ashlar magnesian limestone *voussoirs*. The vaulted openings have a central monolith column with a plain impost supporting the springing *voussoir* of the arched heads. The chambers are stone built with segmental barrel or tunnel vaulted ceilings (Mora-Ottomano 2012, 60).

5.5.2 The west elevation, facing to the courtyard, is somewhat plainer than its counterpart. It has a later doorway inserted within a blocked-up central doorway equivalent to the opposed elevation (Mora-Ottomano 2012, 60).

5.5.3 Since the previous site visit in 2012 the northern portion of building E has collapsed to floor level.

5.5.4 At the previous site visit in 2012 the building contained a secondary stone-built room constructed on a raised platform, with paving setts, over the vaulted basement chambers. The roof structure consisted of five king-post timber trusses carrying four tiers (two on each side) of staggered side purlins supporting the common rafters. Iron bolts secure the king-posts to the tie-beams. However, this portion of Building E has collapsed to ground floor level. The vaulted chamber still remains but is not easily accessible (Mora-Ottomano 2012, 60).

5.5.5 This range appears to have originated from the late 18th / early 19th century and is a national heritage asset as its Grade II Listed Building designation indicates. The primary composition of this building suggests that it might have originally been designed as a barn with a central bay with opposed doorways where grain would have been beaten from the crop by flails and then separated from the husks by winnowing on a threshing floor. Despite obvious neglect, the main structure holds its original integrity and character (Mora-Ottomano 2012, 60).

5.5.6 Figures 21-24 depict building E as it stood when the site was visited in 2012 and Figures 25-28 illustrate the level of deterioration which has occurred, in particular the collapse of the northern-most section of the building.

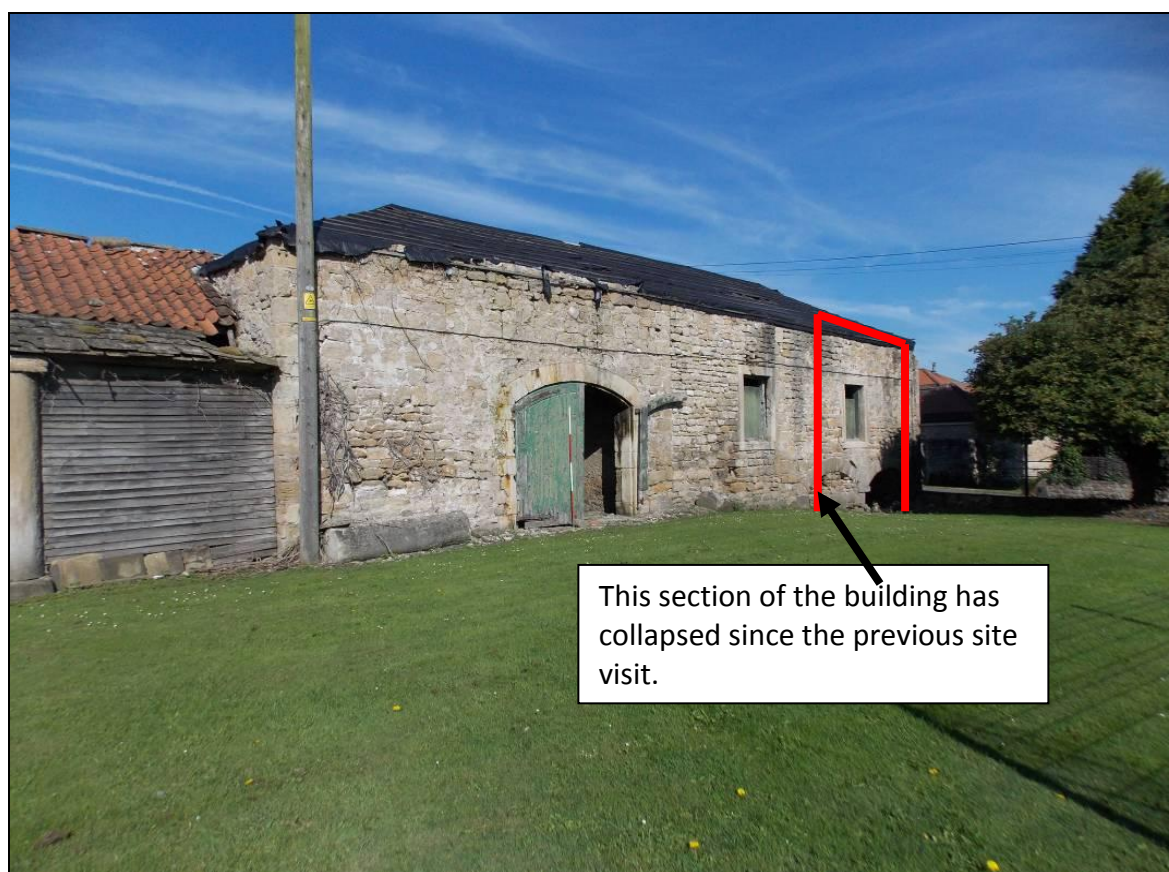


Figure 21: East elevation of Building E, looking north-west in 2012, 2m scale.



Figure 22: East elevation showing central opening blocked up and open-fronted basement in 2012, 2m scale.



Figure 23: Vaulted basement, looking west in 2012.



Figure 24: West elevation of Building E in 2012, 2m scale.



Figure 25: View of the partially collapsed building E, facing south west.



Figure 26: View of the collapsed northern section of building E.



Figure 27: View of the interior of part of building E, 2m scale.



Figure 28: View of the interior of building E, facing northwards, 2m scale.

5.6 Building F

5.6.1 One of the buildings which has deteriorated the most at the complex was Building F. At the previous site visit all walls and the roof were intact and a detailed description of the interior could be written. However, the northern portion and roof have collapsed and the area has succumbed to vegetation. The only element of the building to remain is the long single storey open-fronted arcaded shelter shed of ten bays. It is built with coursed magnesian limestone blocks and the arcades consist of ashlar segmental arched heads with projecting key-stones. The arches are supported by monolith columns with plain bases and impostes bearing the springing *voussoirs* of the arched heads. The columns contain iron pintles of former door hinges. This construction, built in an Italianate architectural design, is comparable to some of the farm buildings within the Brodsworth estate, such as Elm Farm, Pickburn and Marr Hall Farm, Marr (Mora-Ottomano 2012, 63).

5.6.2 This building is a national heritage asset as its Grade II Listed Building designation indicates. The remaining wall still provides character.

5.6.3 Figures 29-31 depict building F as it stood during the 2012 visit and Figures 32-34 show the level of deterioration that has occurred over the last few years.



Figure 29: General view of the arcade of Building F, looking north-west in 2012, 2m scale.



Figure 30: North elevation of Building F along Barnsley Road, looking south-east in 2012.



Figure 31: Internal view of Building F, looking west in 2012, 2m scale.



Figure 32: View of the colonnade of building F.



Figure 33: View of the dilapidated building F, represented by a single elevation.



Figure 34: View of the colonnade, 2m scale.

5.7 Building G

5.7.1 Building G is the western wing of the amalgamated Grade II Listed Building forming the northwest corner of the courtyard. This range appears to have been built in the early 19th century as the west wing of the farmstead courtyard. It might have been used as a granary although no specific associated functionality was ascertained due to the lack of surviving fixtures and fittings. It is a national heritage asset as indicated by its Grade II Listed Building designation. It has deteriorated since the 2012 site visit to a state where it is only represented by segments of walls and the floor, which is concealed beneath vegetation (Mora-Ottomano 2012).

5.7.2 Figures 35-36 show how the building appeared when it was standing with the interior intact and Figures 37-38 illustrate how little remains at present of building G.



Figure 35: North elevation of Building G and collapsed wall of Building H in 2012, looking south-east.



Figure 36: Ground floor with arched doorway and ceiling hatch, looking west in 2012.



Figure 37: View of the dilapidated building G, which has nearly disappeared.



Figure 38: View of the interior of building G was has succumbed to vegetation.

5.8 Building H

5.8.1 Building H presently occupies the footprint of the former western wing of the courtyard. It is a large grain store made of steel, concrete and corrugated sheeting. This range was built in the third quarter of the 20th century and has no architectural merit or historic significance. The north elevation, facing Barnsley Road, incorporated an existing boundary stone wall; however the wall was not keyed in to the adjoining Building G and has collapsed (Mora-Ottomano 2012, 70).



Figure 39: Front elevation of Building H, looking north, 2m scale.

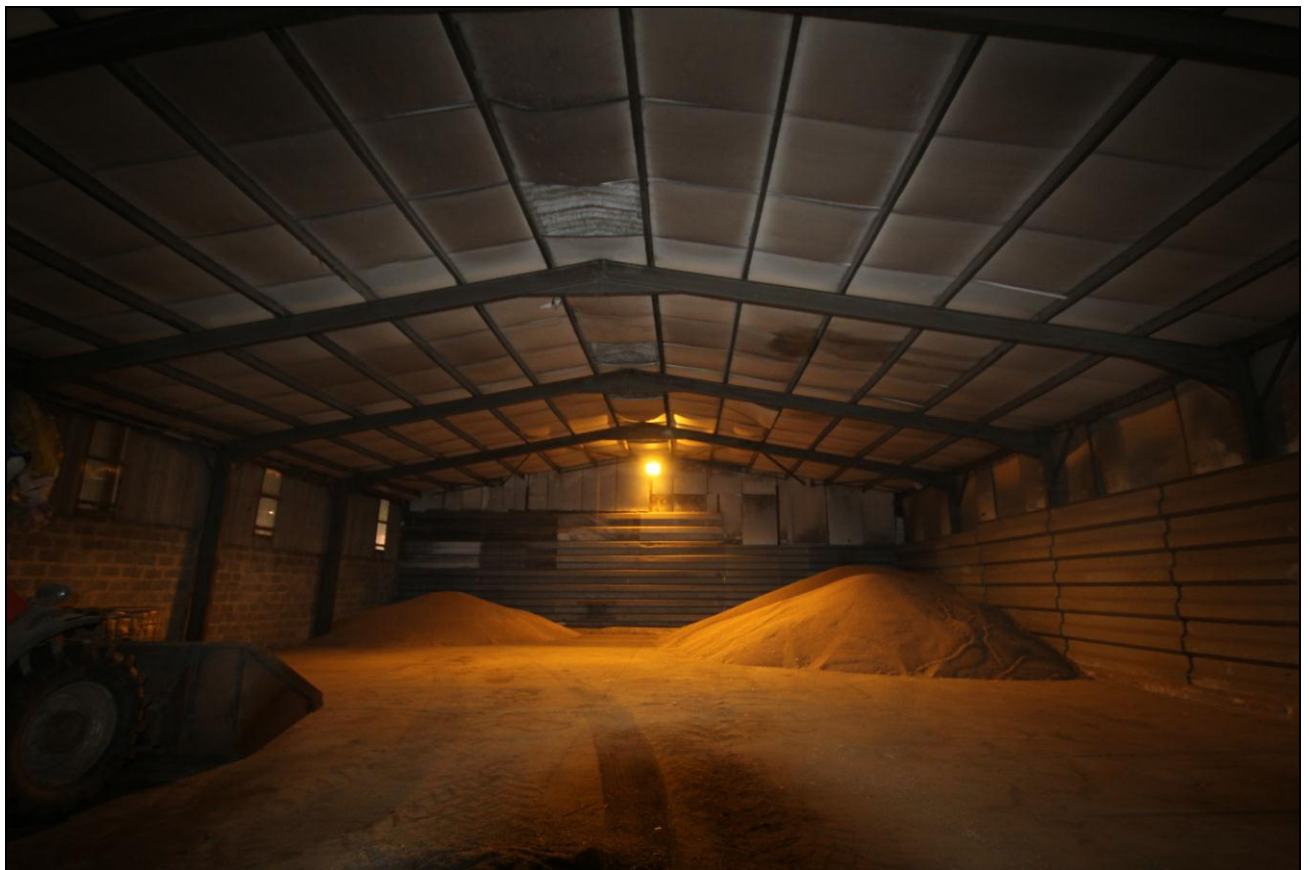


Figure 40: Internal view of Building H, looking north.

5.9 Building I

5.9.1 Building I is also a large range made of steel, concrete and corrugated sheeting which is positioned immediately to the west of Building H. The western area incorporates some fabric of a former building dating to the late 19th century consisting primarily of a coursed stone wall forming the west elevation. This wall contains former openings which are now blocked with stones. Internally the building is used as a workshop and farm equipment storage. The vast majority of this range was built in the third quarter of the 20th century and has no architectural merit or historic significance, although it contains modified fabrics of a former late 19th century building (Mora-Ottomano 2012, 71).



Figure 41: Front elevation of Building I, looking north in 2012, 2m scale 2m.



Figure 42: West elevation of Building I, looking north in 2012, 2m scale.



Figure 43: View of the interior of building I, facing east.

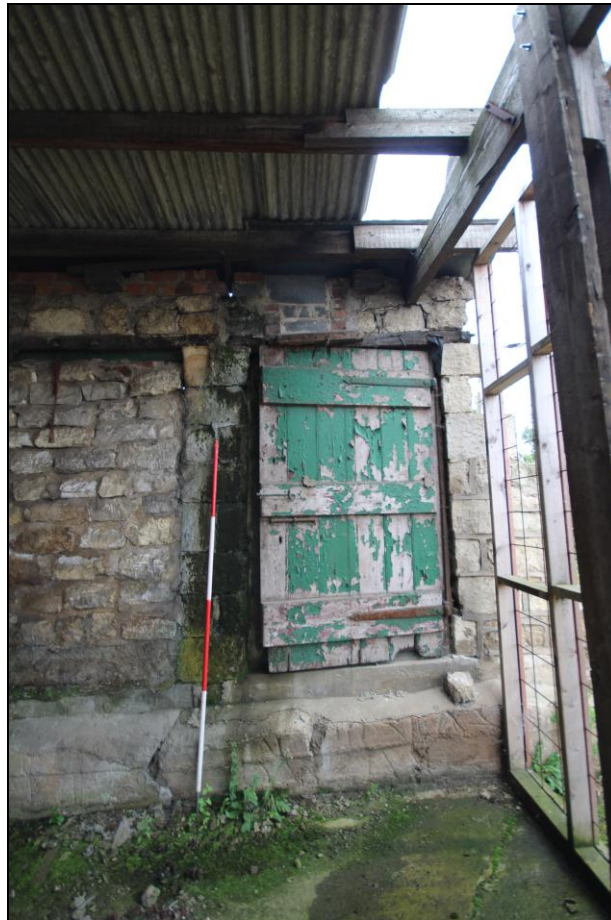


Figure 44: View of doorway along the west wall of building I, facing west, 2m scale.



Figure 45: General view of the interior of building I, facing south east.

5.10 Building J

5.10.1 Building J is another large grain store made of steel, concrete and corrugated sheeting which is located towards the western area of the farmstead. This range was built in the third quarter of the 20th century and has no architectural merit or historic significance (Mora-Ottomano 2012, 73).



Figure 46: Front elevation of Building J, looking north-east, 2m scale.



Figure 47: Internal view of Building J, looking north, scale 2m.

5.11 Building K

5.11.1 Building K is situated opposite to Building J and along Barnsley Road. This is another building which has virtually disappeared with only the outline of the former western gable remaining (Mora-Ottomano 2012, 75).

5.11.2 Figures 48-50 depict the building as it stood during the previous site visit in 2012 and Figure 51 shows the current condition of the building.



Figure 48: South elevation of Building K, looking north-west in 2012, 2m scale 2m.



Figure 49: North elevation of Building K, looking south-east in 2012.



Figure 50: Inside the easternmost cross-wing, looking south in 2012, 2m scale 2m.



Figure 51: Currently all that remains is the outline of the former western gable.

5.11 Building L

5.11.1 Building L is a long two storey stone-built range with a hipped roof covered with secondary asbestos corrugated sheeting. It is located towards the westernmost area of the farm buildings abutting the west elevations of Buildings J and K. The masonry is composed of coursed roughly hewn rubble (mostly rendered) and dressed quoins. The building contains many original openings although some has been modified. The west elevation has two large ashlar doorways with segmental arched heads. The majority of the east wall has been removed and replaced by RSJ stanchions in order to link it with the adjacent Building J (Mora-Ottomano 2012, 77).

5.11.2 Internally there is no floor sub-division as it has been opened up in order to accommodate high grain bins. It has a concrete floor with an underground conveyor belt. The roof structure, composed of nine king-post trusses, is similar to the majority of the traditional farm buildings within this complex (Mora-Ottomano 2012, 77).

5.11.3 This range forms part of the current working farm with high grain bins. It forms an integral element of the farmstead which appears to have been built around the 1860s to 1880s as indicated by cartographic records. The current use followed the removal of the intermediate floor which accommodates the present bins. No specific original functionality was ascertained due to the lack of primary surviving fixtures and fittings. The overall range has lost part of its integrity as a result of later alterations (especially the partial removal of the east wall); however it is a local architectural and historic asset which still retains some original integrity and character (Mora-Ottomano 2012, 77).



Figure 52: View of the west elevation of building L, 2m scale.



Figure 53: View of the one of the entrances to building L along the south elevation, 2m scale.



Figure 54: North and west elevations of Building L, looking south-east in 2012, scale 2m.

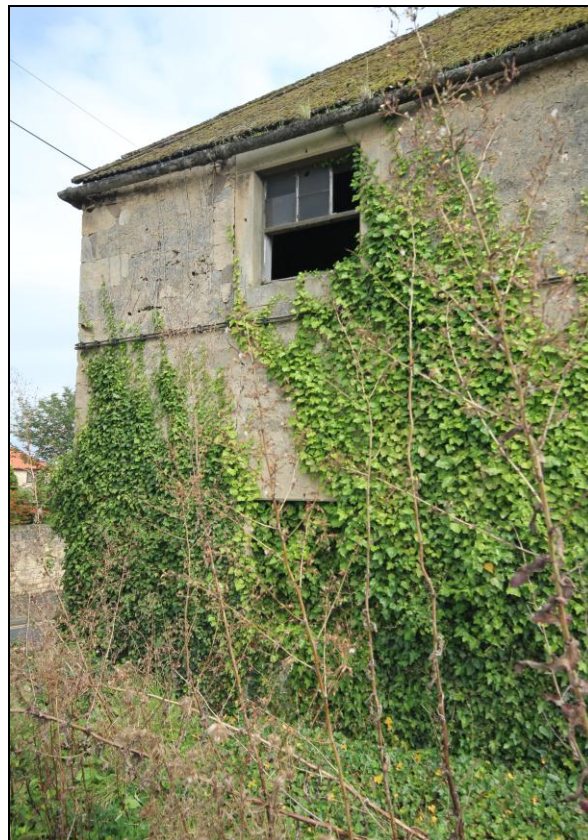


Figure 55: View of the northern portion of the west elevation of building L with apertures hidden beneath vegetation.



Figure 56: View of the interior of building L, facing north.

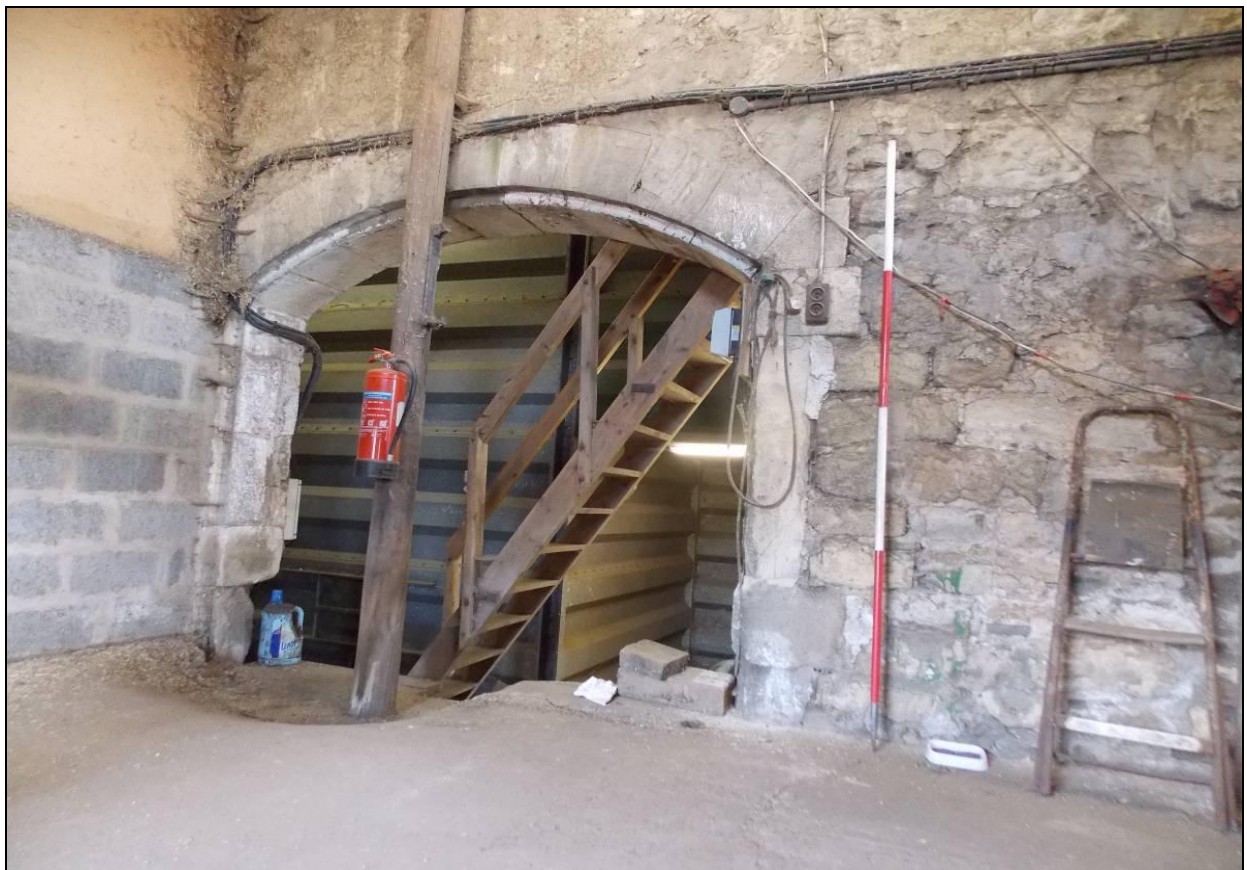


Figure 57: Detail of arched doorway along the western wall, looking south-west in 2012, 2m scale 2m.



Figure 58: Roof structure of Building L, looking north in 2012.

5.12 Building M

5.12.1 Building M is a small lean-to extension built against the west elevation of the adjacent Building L. Its construction is somewhat haphazard consisting of brick, concrete, steel and asbestos corrugated sheeting. It can be described as a shack containing an internal grain pit. This range was built in the 1960s and has no architectural merit or historic significance (Mora-Ottomano 2012, 81).



Figure 59: West elevation of Building M, looking north-east in 2012, 2m scale.



Figure 60: in pit inside Building M, looking north in 2012.

5.13 Building N

5.13.1 Building N is a modern open-fronted range, used to store farming machinery, located towards the south-western area of the farmstead. It is built with stone, concrete, steel and corrugated sheeting, and has no architectural merit or historic significance (Mora-Ottomano 2012, 82).

5.13.2 However, the south wall of Building N is in effect a garden wall which extends towards the farmhouse. The north face of this wall is built with coursed limestone rubble, whereas the reverse side consists of brickwork. The footprint of this garden wall appears depicted on earlier maps dating from the early 19th century onwards.



Figure 61: Building N, looking south-west, 2m scale.

5.14 Discussion

5.14.1 The historic research and building appraisal have established that the farmstead might have originated in the late 18th or early 19th century, with the construction of the farmhouse (Buildings A and B) and several farm buildings including Building E.

5.14.2 Further development involved the construction of several farming ranges during the first quarter of the 19th century, including Buildings C, D, F and G. Some of the mid-19th century buildings in Marr and the Brodsworth estate were built or redesigned in an

Italianate architectural style (Smith 1997, 78). Testimony of this style prevails within the present Manor Farm buildings, including Buildings E, F and L.

5.14.3 Subsequent sequential development involved the construction of Buildings L and K in the late 19th century. Modern construction entailed the erection of Buildings H, I, J and N around the third quarter of the 20th century which would have involved the demolition of former structures as indicated by earlier cartographic records (Mora-Ottomano 2012, 84).

6 Statement of Significance

Methodology

6.1 Historic England's system of values is set out in the publication *Conservation Principles policies and guidance for the sustainable management of the historic environment* (Historic England 2008) which identifies four categories of heritage value – evidential, historical, aesthetic and communal – that together amount to the significance of a place. This approach draws heavily on *The Burra Charter* and the work of the late James Semple Kerr (Brown 2016, 24). Historic England commends this system of values to anyone proposing change to heritage assets because it allows the effects of change on what matters about a place to be set out clearly and any harm to be assessed. A statement of significance is one of a number of formats in which the values attached to a heritage asset might be set out.

6.2 Conservation Principles explains that “A ‘statement of significance’ of a place should be a summary of the cultural and natural heritage values currently attached to it and how they interrelate, which distils the particular character of the place. It should explain the relative importance of the heritage values of the place (where appropriate, by reference to criteria for statutory designation), how they relate to its physical fabric, the extent of any uncertainty about its values (particularly in relation to potential for hidden or buried elements), and identify any tensions between potentially conflicting values. So far as possible, it should be agreed by all who have an interest in the place. The result should guide all decisions about material change to a significant place” (Historic England 2008, Paragraph 82).

6.3 The significance of the built heritage assets was assessed using a professional judgement, with reference to Government and HE guidance (DCLG 2012 and 2014; HE 2008, 2015a and 2015b).

Assessment of Significance

6.4 The following assessment of significance draws on the baseline data and historical background in order to inform on four key aspects of significance as defined in Historic England's guidance document, *Conservation principles, policies and guidance for the sustainable management of the historic environment* (Historic England 2008).

Evidential Value

6.5 This definition of value relates to “the potential of the buildings and site to yield primary evidence about past activity” (Historic England 2008, 25).

6.6 A degree of evidential value rests in the setting of the building complex as the Farm House and fields are located to the immediate north indicating a former farming function. Furthermore, the storage of tractors in some of the later buildings indicates its use as a farming complex. In addition, some of the design characteristics of certain buildings indicate the former use. For example, building E may have originally been designed as a barn with a central bay with opposing doorways where grain would have been beaten from the crop flails and then separated from the husks by winnowing on a threshing floor.

6.7 However, overall the original function of many of the buildings and evidence about primary activity is not detectable. In many of the buildings, including buildings D, F and G, the interior fixtures and fittings are no longer present and thus it is not possible to ascertain the previous functionality. Furthermore, other buildings have deteriorated to a condition where their primary function can only be understood through reading previous reports of the complex and through cartographic records. In addition, later unsympathetic alterations, carried out in the mid to late 20th century, of a large part of the site, have adversely impacted upon the site.

Historical Value

6.8 This definition of value relates to “the ways in which the present can be connected through a place to past people, events and aspects of life. It tends to be illustrative or associative” (*ibid.*).

6.9 The site is of historical importance as the Manor Farm site includes two Grade II Listed Buildings which are formed by several amalgamated structures dating from the late 18th to the mid-19th century; and the site lies within the Conservation Area of Marr. Some of the buildings date to the late 18th/ 19th century and some of the structures provide an illustration of the traditional vernacular farmstead buildings.

Aesthetic Value

6.10 This category suggests that “Aesthetic value is concerned with the value deriving from the ways in which people draw sensory and intellectual stimulation from a place” (*ibid.*).

6.11 Some of the buildings date to the 18th century/ 19th century and are built in a traditional vernacular style. These could be considered to possess a degree of aesthetic value. However, the farmstead has lost some aesthetic integrity as the 20th century alterations mean the complex can no longer be considered a ‘planned’ farmstead. Furthermore, many of the late 18th century/ 19th century buildings are in a state of disrepair. The buildings which bound the complex to the north and line Barnsley Road have partially collapsed with only segments of masonry providing representations of their

former existence. The condition of these buildings, arguably, decrease the aesthetic appeal of the complex as a metal fence has been put in place to prevent masonry from falling into the road and vegetation has consumed some of the northern interiors of collapsed structures.

Communal Value

6.12 This definition states that “Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory” (*ibid.*). This is commonly confused with the utility value of a heritage asset, such as the use of a historic park for dog-walking which may be unrelated to the asset’s heritage qualities.

6.13 Although the building complex may have originally been of communal significance, figuring in people’s collective memory, it is unlikely that this is currently the case for most of the structures. Despite being visible from Barnsley Road, a route which people may take regularly, the building description section has highlighted the deterioration of the buildings on site; it currently appears dilapidated and in need of a new development. Thus it may not currently be considered of substantial communal value.

Statement of Significance

6.14 Manor Farm site includes two Grade II Listed Buildings which are formed by several amalgamated structures dating from the late 18th to the mid-19th century, and the site lies within the Conservation Area of Marr. Thus it is considered of importance. It does possess historical value and buildings built in the traditional vernacular style. However, later unsympathetic alterations, carried around the mid to late 20th century, covering a large part of the site, have adversely impacted upon most of these heritage assets.

7 Impact Assessment

Methodology

7.1 The methodology for assessing the impact on historic buildings for the proposed development has also been adopted from the guidance referred to in to Government and Historic England guidance (DCLG 2012 and 2014, HE 2008, 2015a and 2015b).

7.2 The scale of magnitude of change to cultural heritage assets can be assessed using the table below.

Table 1: Factors in the assessment of the magnitude of change for historic buildings.

Magnitude	Description
Major	<ul style="list-style-type: none"> ◆ Changes to key historic building elements such that the resource is totally altered ◆ Comprehensive changes to setting (where this affects the significance of the asset).

Magnitude	Description
Moderate	<ul style="list-style-type: none"> ◆ Changes to many key historic building elements, such that the resource is significantly modified ◆ Changes to the setting of an historic building, such that it is significantly modified (where this affects the significance of the asset).
Minor	<ul style="list-style-type: none"> ◆ Changes to key historic building elements, such that the asset is slightly different ◆ Changes to the setting of an historic building, such that it is noticeably changed (where this affects the significance of the asset)
Negligible	<ul style="list-style-type: none"> ◆ Slight changes to historic building elements or setting that hardly affect it.
No Change	<ul style="list-style-type: none"> ◆ No change to fabric or setting.

Impact Assessment of the Proposed Development

7.3 This Heritage Impact Assessment is based on the proposed planning drawings (Appendix II).

7.4 The proposed development aims to convert the complex into 12 residential dwellings which will involve the repair and conversion of buildings, the demolition of later structures and the construction of new structures. These plans ensure that the structures which form part of the Grade II listing are retained in addition to the colonnade which is a key element of building F. Furthermore, many of the apertures shown on the proposed development are utilising those which currently exist.

7.5 The site includes designated heritage assets, which includes late 18th to early 19th century farm buildings. The structures that contribute to the group value include buildings D-G and K-L. The proposed development will evidently alter the farmstead to residential dwellings and as a result there will be new internal divisions within buildings. Furthermore, the sites overall layout is to be altered with the demolition of structures and insertion of projecting wings to create further dwellings two storey in height. Although the plans primarily appear to use existing apertures, there are occasions where it is proposed to insert or elongate apertures too.

7.6 However, the buildings which are listed are currently vacant and in a state of disrepair. This deterioration has worsened since the 2012 visit. Furthermore, modifications and alterations that were made to the site during the 20th century have resulted in the farmstead no longer being considered a ‘planned’ farmstead, but rather a site which retains traditional buildings with later additions. There are not many interior features and fixtures remaining in many of the structures and thus the development would not impact upon these. Furthermore, the development proposes to demolish some of the later additions which could be considered unsightly.

Deteriorating condition of the complex

7.7 The majority of the standing structures have undergone substantial alterations resulting in a previous negative impact on their significance. The later 20th century buildings are in a good condition; however, the buildings bounding the site to the north have fallen into disrepair and reached a condition whereby they are only represented by sections of masonry. The current poor repair of much of the site is likely to be rectified by re-development. Providing that the re-development is sympathetic to the historic character of the farm buildings there will be a positive overall impact where historic fabric is retained and incorporated into the overall design.

Impact upon the Farm House

7.8 The Farm House, which is of Grade II status, is located to the immediate south of the complex and has northern views over the complex. The current state of disrepair of the buildings arguably detracts from the Farm House building and its setting. It is arguable that a development would improve the setting and demolish the larger later added structures which could be considered to be unsightly. The sympathetic design might also provide security as its current derelict state may be subjected to vandalism and theft. The aesthetic value of the proposed re-development is a subjective and personal judgement.

Impact upon the setting

7.9 In the Cultural Heritage Desk-Based Assessment and Historic Building Appraisal 2012 the issue of setting was discussed and the following was stated.

In relation to setting, a number of houses and few work units have views to and from the proposed development area and there will, therefore, be an effect upon the setting of these buildings. The aesthetic value of the proposed re-development is a subjective and personal judgement and cannot be deemed to have an overall negative or positive impact on setting. Although it is considered that the overall impact upon the setting of heritage assets by the proposed development is medium to low, the proposed development may be regarded as an improvement of the site which contain many semi-derelict structures, and contains many unsympathetic large work units (Mora-Ottomano 2012).

7.10 As aforementioned, many of the northern buildings have fallen into disrepair and the development would ensure their future in addition to demolishing the unsightly later buildings. The proposed development could be considered to be an improvement.

Impact upon potential below-ground archaeological remains

7.11 The site is located close to the medieval core of the village and there is evidence for Iron Age and Romano-British field systems and settlements in the immediate vicinity, along with a trackway thought to date to these periods heading directly towards the PDA.

There is therefore the potential for below-ground archaeological remains to survive at the site which could be impacted by the proposed development.

Conclusion

7.12 Overall, the site is of substantial importance and the proposed development will require internal divisions to change the site from a farming use to residential dwellings. However, the current state of disrepair means a proposed development is required in order to secure the future of the buildings which are a heritage asset, providing that the appropriate building materials are used. As aforementioned, buildings F, G and K have deteriorated substantially and have been partially consumed by vegetation. The proposed development will enhance the appearance of the site and offer an opportunity to demolish later unsightly additions thus it could be considered to have a medium to low impact.

Recommendations

7.13 Should permission be granted, it is recommended that the buildings D-G and K-L should be recorded to Level 2 (Historic England 2016) in order to document and record the structures and their architectural features prior to their conversion.

7.14 It is also recommended that a scheme a targeted trial trenching should be carried out within the PDA to determine whether any buried archaeological remains of Iron Age, Romano-British and/or medieval settlement still survives. Depending on the results of the trial trenching, the archaeological investigations may be extended to include an archaeological strip and record or a watching brief.

8 Publicity, Confidentiality and Copyright

8.1 Any publicity will be handled by the client.

8.2 Archaeological Research Services Ltd will retain the copyright of all documentary and photographic material under the Copyright, Designs and Patent Act (1988).

9 Statement of Indemnity

9.1 All statements and opinions contained within this report arising from the works undertaken are offered in good faith and compiled according to professional standards. No responsibility can be accepted by the author/s of the report for any errors of fact or opinion resulting from data supplied by any third party, or for loss or other consequence arising from decisions or actions made upon the basis of facts or opinions expressed in any such report(s), howsoever such facts and opinions may have been derived.

10 Archive

10.1 One bound copy of the report with a digital copy on disk in PDF/A format will be deposited with South Yorkshire HER. A copy of the report will also be uploaded as part of the OASIS record for online access via the Archaeological Data Service.

11 Acknowledgements

11.1 ARS Ltd would like to thank all those involved with producing this Heritage Statement, especially DLP Planning Ltd for both commissioning the work on behalf of Will Atkinson and for providing information on and access to the site.

12 References

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APPENDIX I: OASIS FORM

OASIS DATA COLLECTION FORM: England

[List of Projects](#) | [Manage Projects](#) | [Search Projects](#) | [New project](#) | [Change your details](#) | [HER coverage](#) | [Change country](#) | [Log out](#)

Printable version

OASIS ID: archaeol5-297161

Project details

Project name	Manor Farm, Marr, Doncaster
Short description of the project	Heritage Statement of Manor Farm, Doncaster.
Project dates	Start: 10-08-2017 End: 20-10-2017
Previous/future work	Not known / Not known
Type of project	Building Recording
Monument type	FARMSTEAD Post Medieval
Significant Finds	NONE Post Medieval
Methods & techniques	"Photographic Survey"

Project location

Country	England
Site location	SOUTH YORKSHIRE DONCASTER MARR Manor Farm
Site coordinates	SE 451275 405230 53.858759052032 -1.313800543226 53 51 31 N 001 18 49 W Point

Project creators

Name of Organisation	Archaeological Research Services Ltd
Project brief originator	Client
Project design originator	Archaeological Research Services Ltd
Project director/manager	Dr. Robin Holgate
Project supervisor	Emma Grange

Project archives

Digital Archive recipient	South Yorkshire SMR
Digital Contents	"other"
Digital Media available	"Images raster / digital photography"

Entered by

Emma Grange (emma@archaeologicalresearchservices.com)

Entered on

29 September 2017

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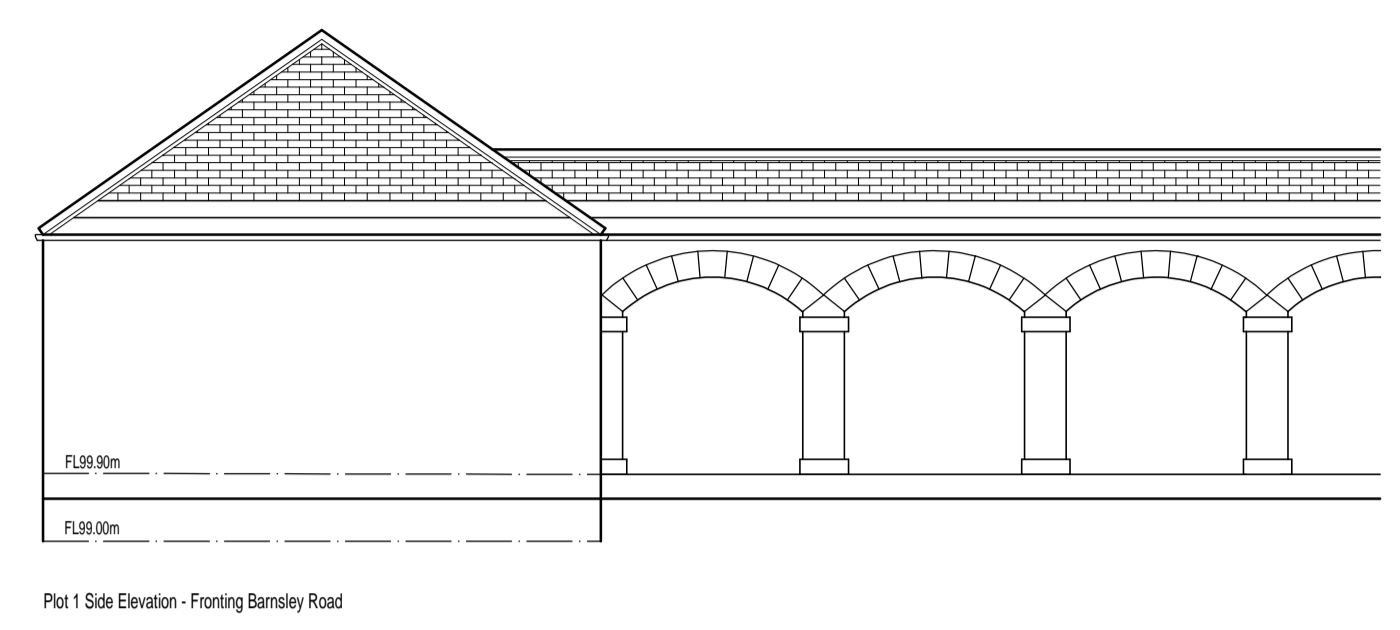
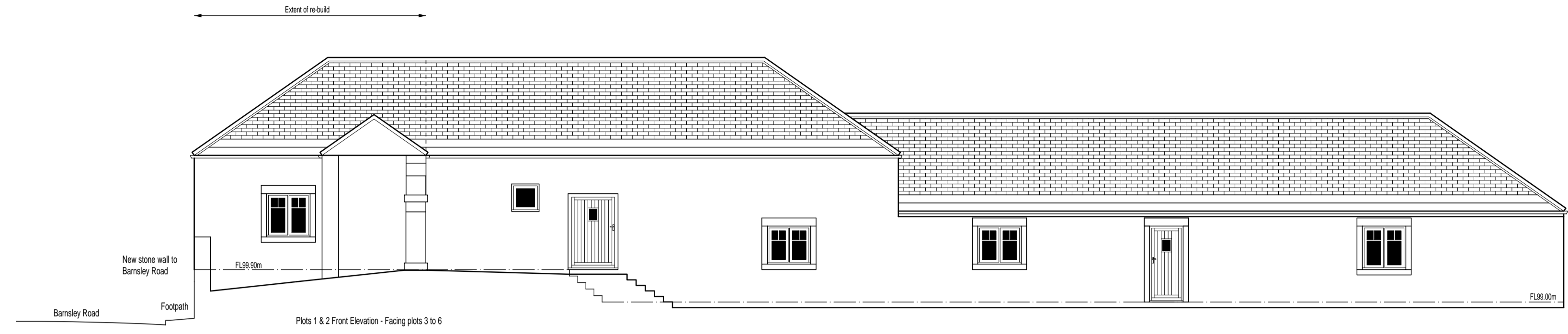
Please e-mail [Historic England](#) for OASIS help and advice

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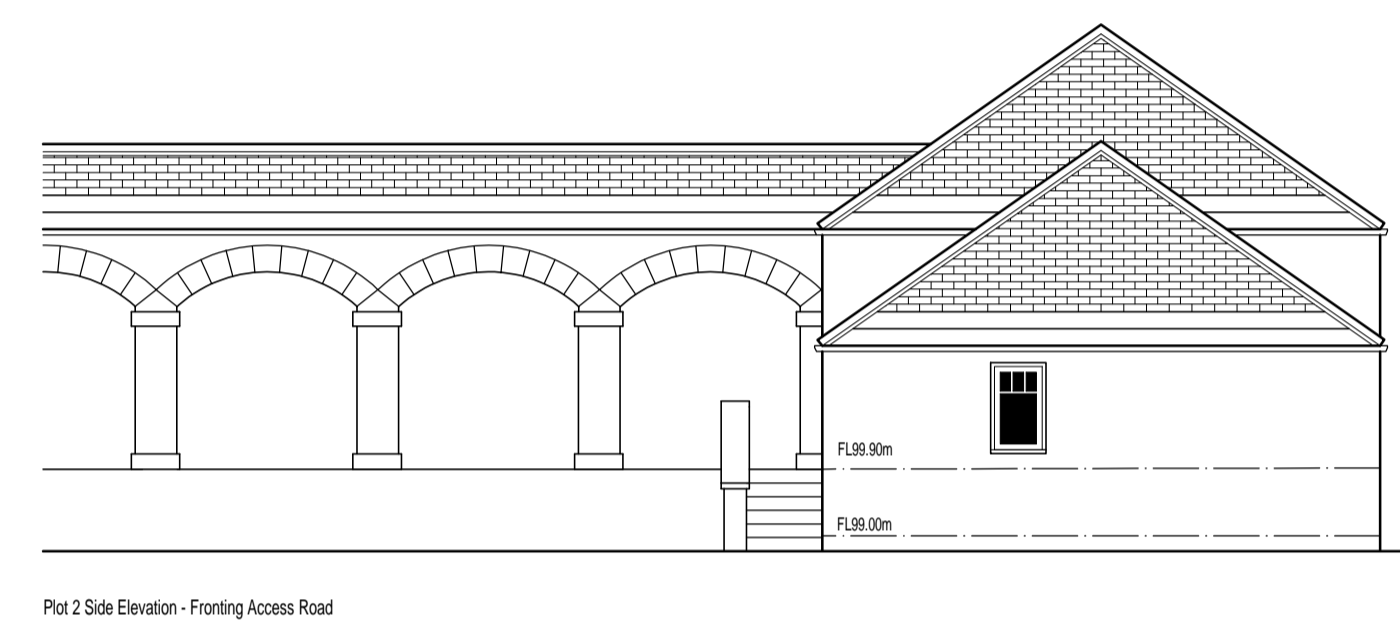
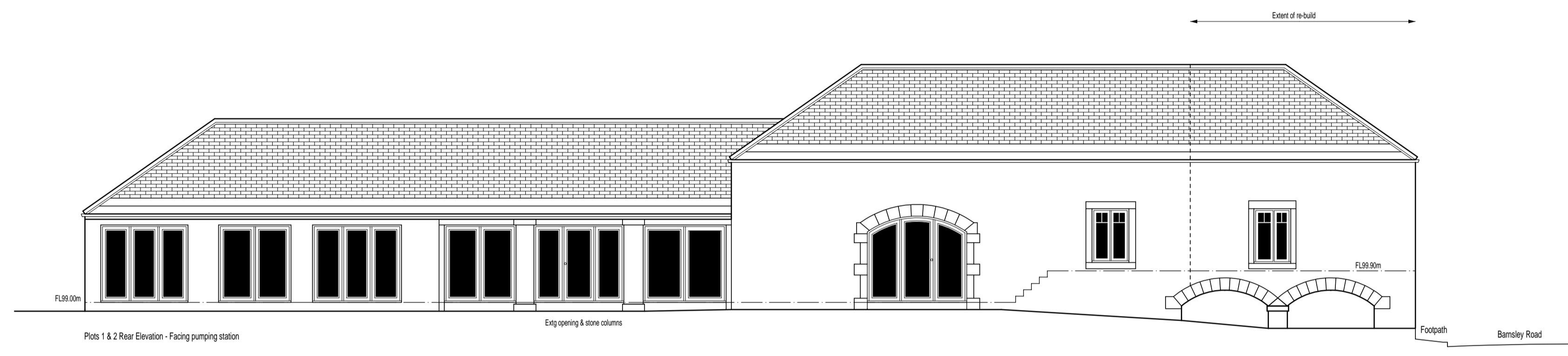
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APPENDIX II: PROPOSED PLAN DRAWINGS

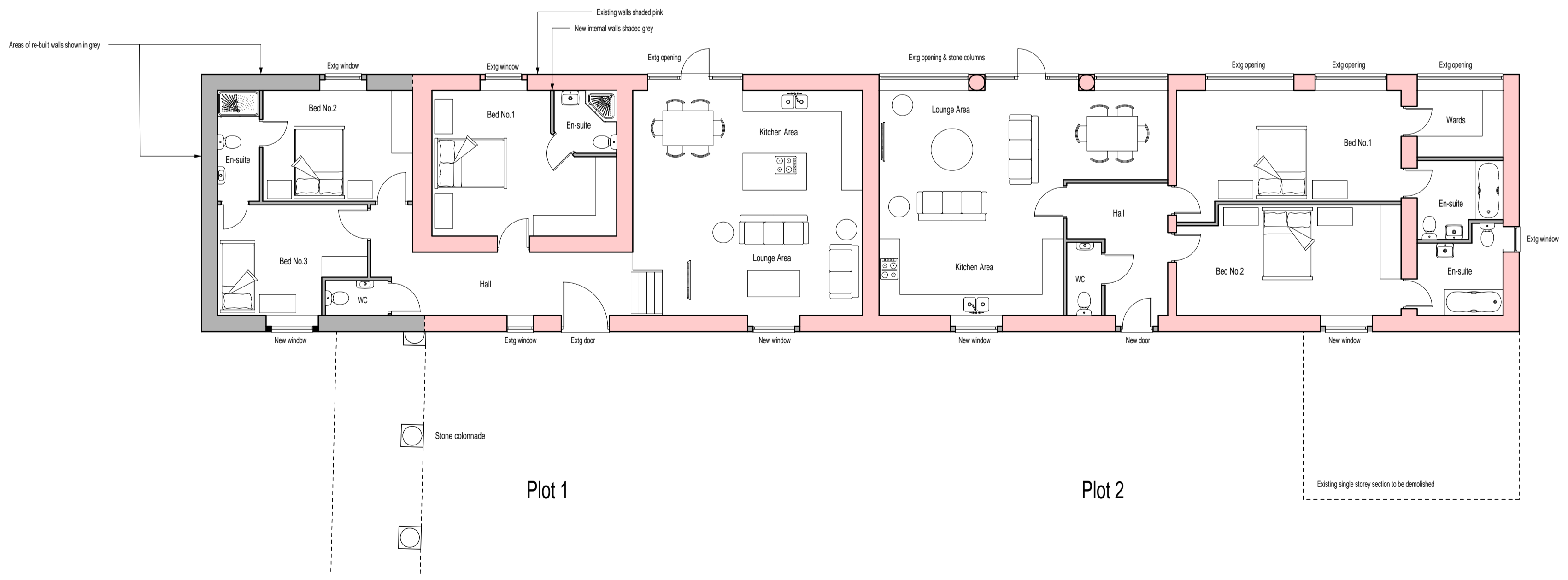
Notes.



Plot 1 Side Elevation - Fronting Barnsley Road



Plot 2 Side Elevation - Fronting Access Road

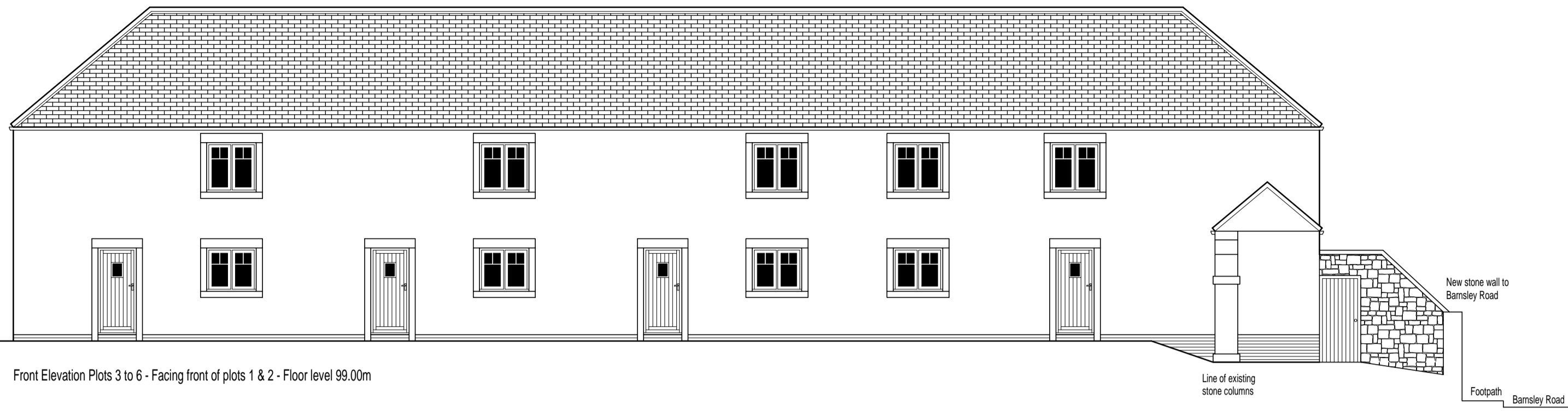


Amendments
 A: December 2016:
 Re-urbishment now to comprise the whole of the buildings original footprint apart from the demolition of the single storey element shown.
 Existing & proposed wall elements colour coded.
 B: February 2017:
 Areas of new build de-noted on plan.
 Window fenestration revised.
 Large opening to rear of plot 1 omitted & replaced with small window.
 Covered tiled roof structure added to stone colonnade.

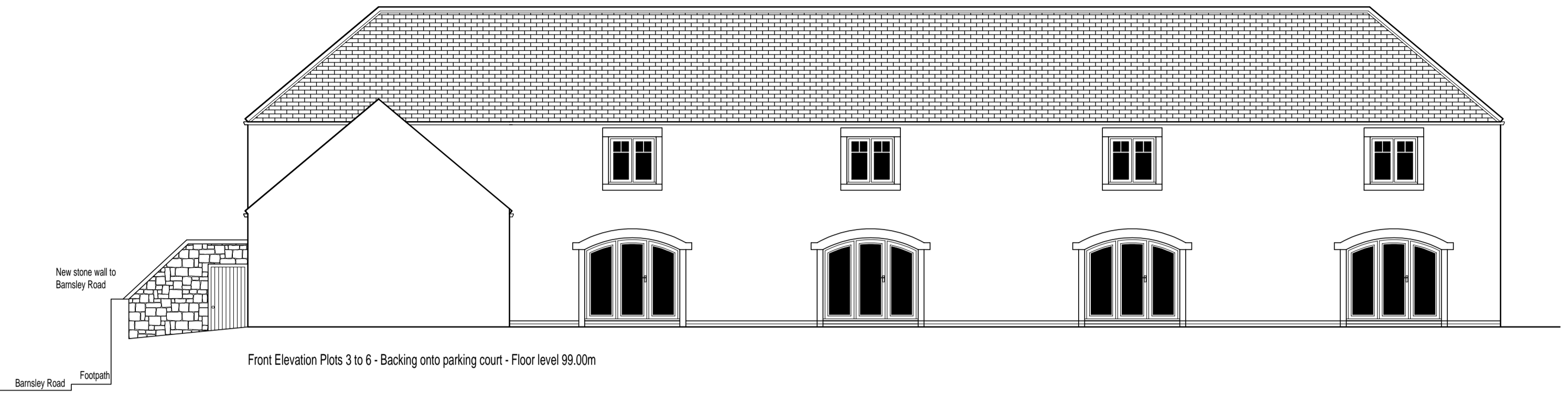
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Drawing No. 16.019.3 Rev B	Scale: 1/100 @ A1 size

Project Title:
 Proposed Development at Manor Farm, Barnsley Road, Marr,
 Doncaster for Mr. W. Atkinson.

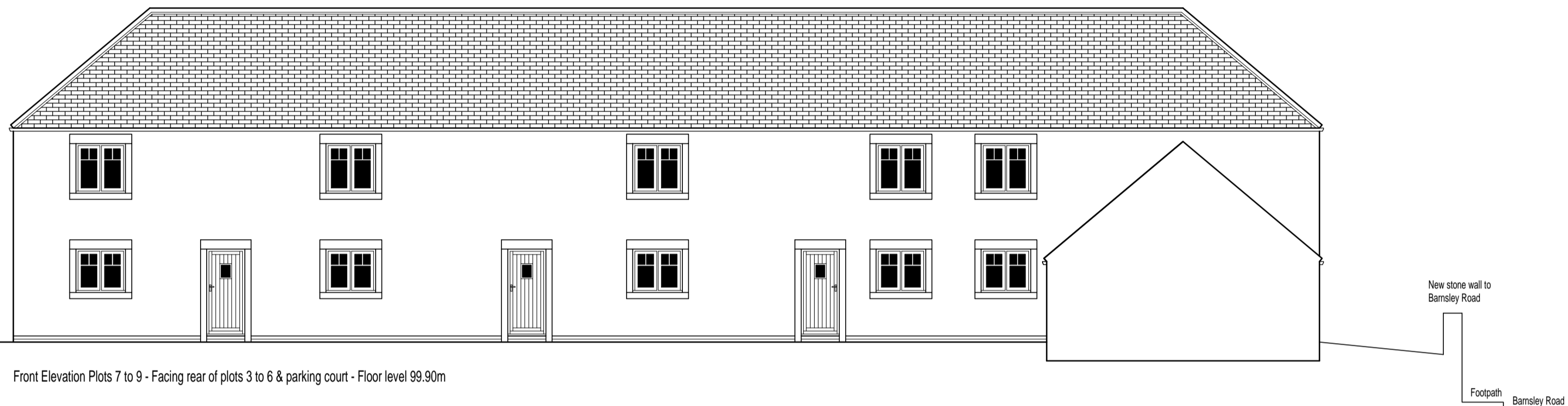
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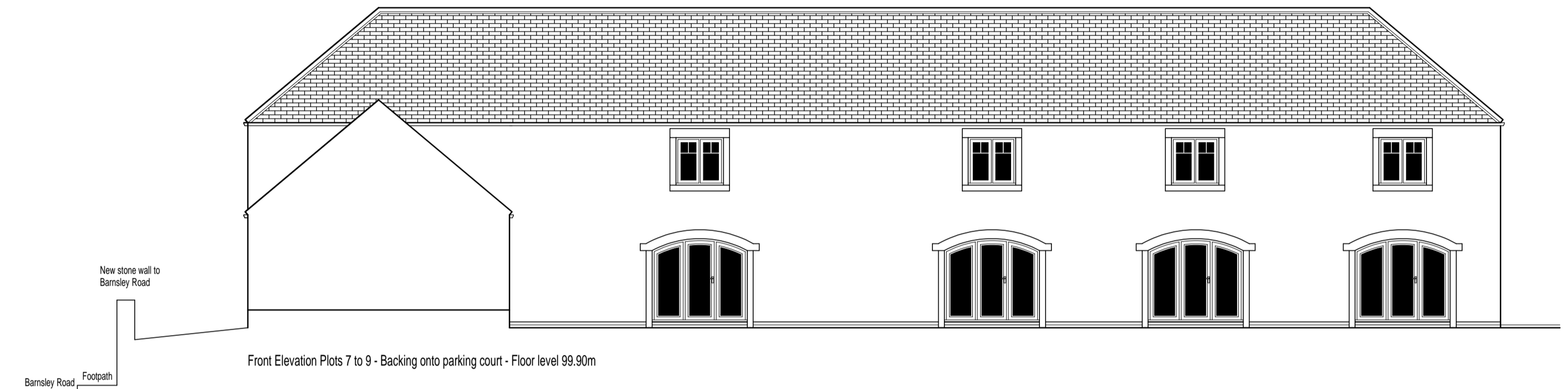
Front Elevation Plots 3 to 6 - Facing front of plots 1 & 2 - Floor level 99.00m



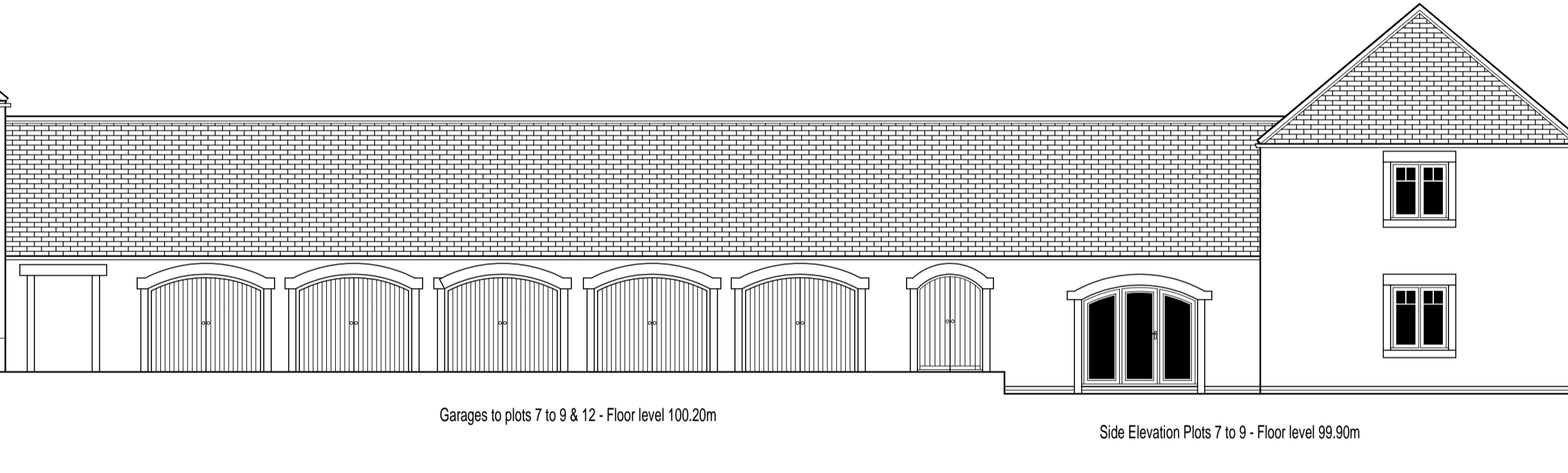
Front Elevation Plots 3 to 6 - Backing onto parking court - Floor level 99.00m



Front Elevation Plots 7 to 9 - Facing rear of plots 3 to 6 & parking court - Floor level 99.90m

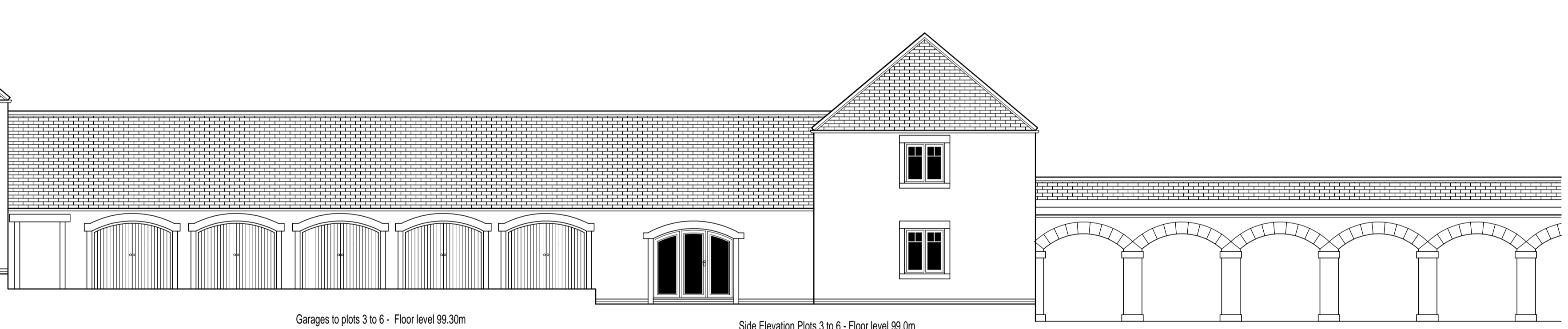


Front Elevation Plots 7 to 9 - Backing onto parking court - Floor level 99.90m



Garages to plots 7 to 9 & 12 - Floor level 100.20m

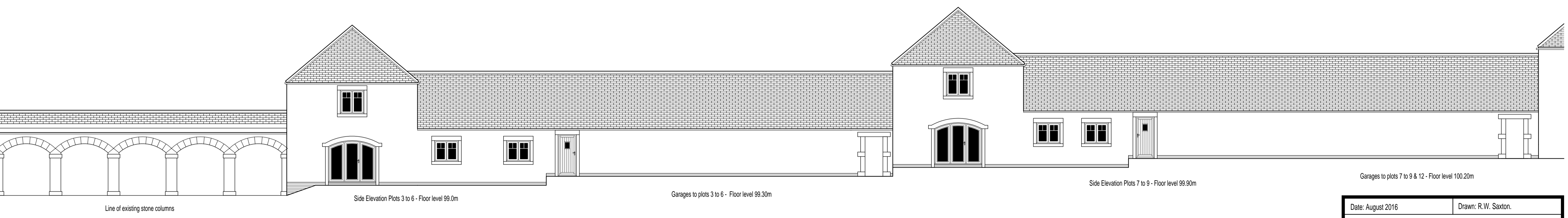
Side Elevation Plots 7 to 9 - Floor level 99.90m



Garages to plots 3 to 6 - Floor level 99.30m

Side Elevation Plots 3 to 6 - Floor level 99.0m

Line of existing stone columns



Line of existing stone columns

Side Elevation Plots 3 to 6 - Floor level 99.0m

Garages to plots 3 to 6 - Floor level 99.30m

Side Elevation Plots 7 to 9 - Floor level 99.90m

Garages to plots 7 to 9 & 12 - Floor level 100.20m

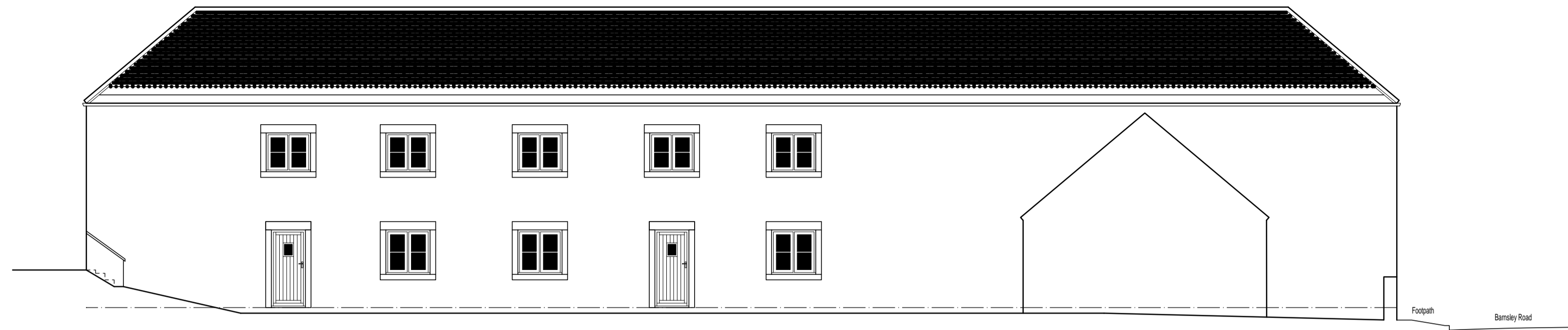
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Project Title:
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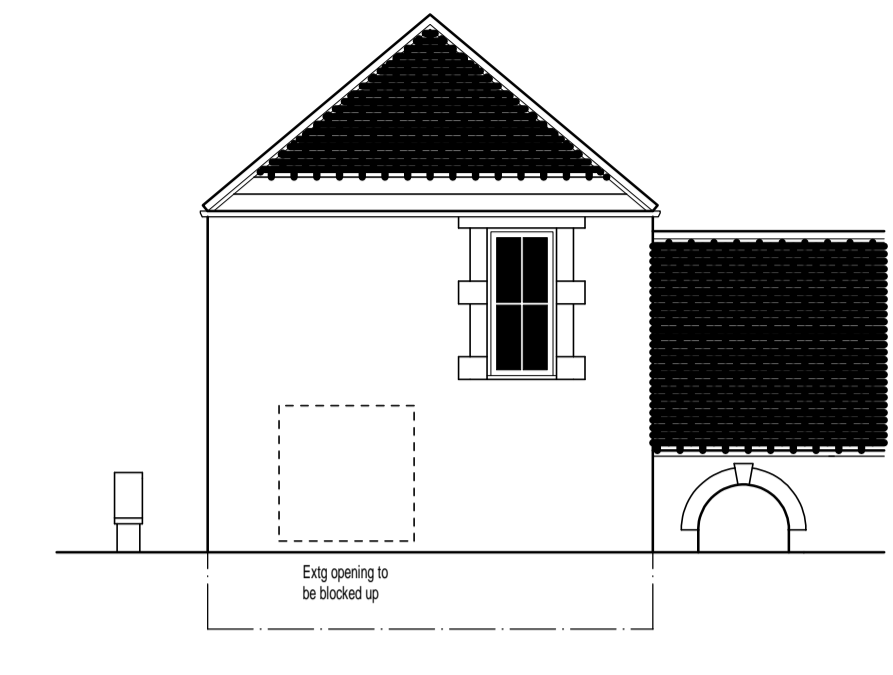
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Amendments
A: December 2016:
Internal plans & elevations revised to reflect requirements of DMBC.
2 storey side elements of plots 8 & 9 fronting onto Barnsley Road reduced to single storey.
Single storey garages serving plots 7, 8, 9 & 12 extended over to connect to plot 12.
B: February 2017:
Front doors to units 3, 4, 5 & 8 re-sited.
Tiled roof structural added to stone colonnade.
Window fenestration revised & window depths equalised when sited on same elevation.
Full stone surrounds added to all openings.
Curved stone heads above small openings to covered accesses replaced with flat stone lintels.

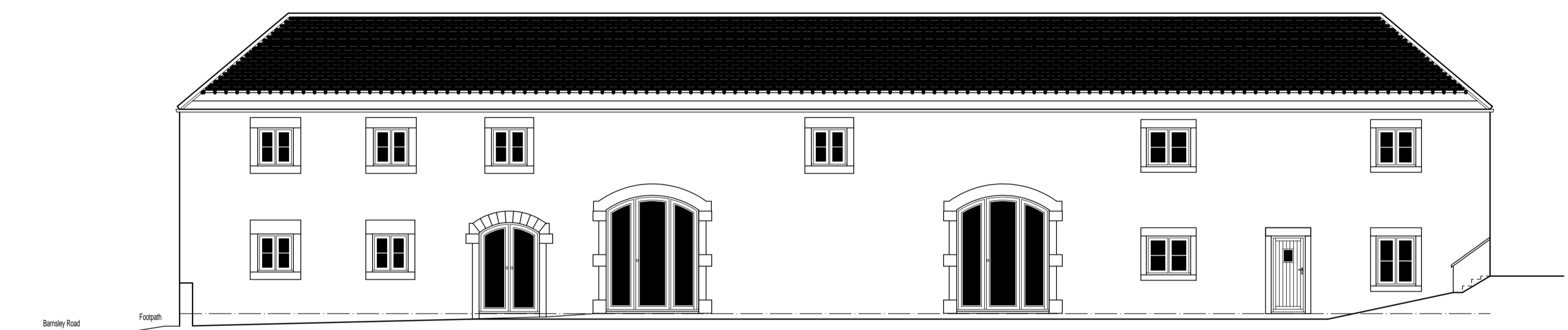
Notes.



Front Elevation Plots 10 to 12 - Facing rear of plots 7 to 9 - Floor level 100.90m



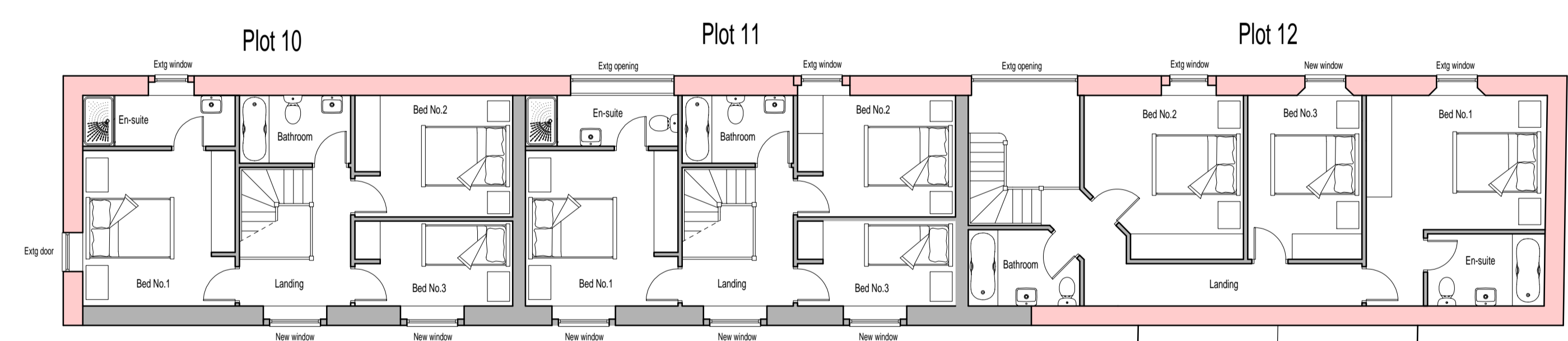
Side Elevation Plot 10 - Floor level 100.90m



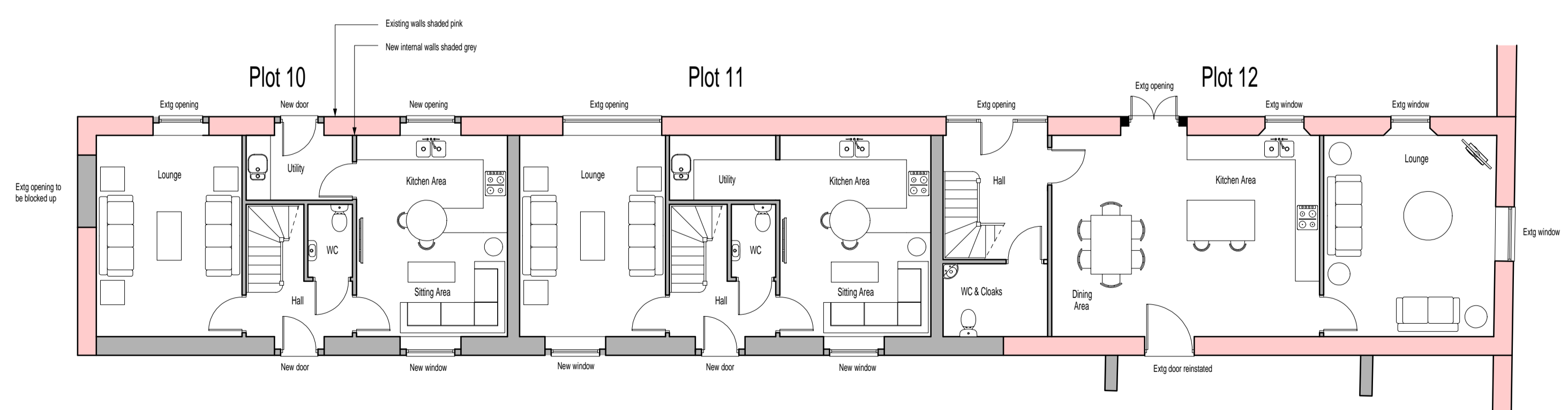
Rear Elevation Plots 10 to 12 - Facing rear of plots 7 to 9 - Floor level 100.90m



Side Elevation Plot 12 - Bamsley Road frontage - Floor level 100.90m



First Floor Plans - Plots 10, 11 & 12



Ground Floor Plans - Plots 10, 11 & 12

Amendments
A: December 2016:
Existing & proposed wall elements colour coded.
B: February 2017:
Ground floor opening to unit 10 sited on southern elevation to be blocked up.
Existing doorway of unit 12 into link re-ated.

Date: August 2016	Drawn: R.W. Saxton.
Drawing Title: Plots 10 to 12 Planning Drawing	
Drawing No. 16.019.7 Rev B	Scale: 1/100 @ A1 size

Project Title:
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Telephone : 01302 - 771660 email: rob@unicombox.co.uk

APPENDIX III: FIGURES

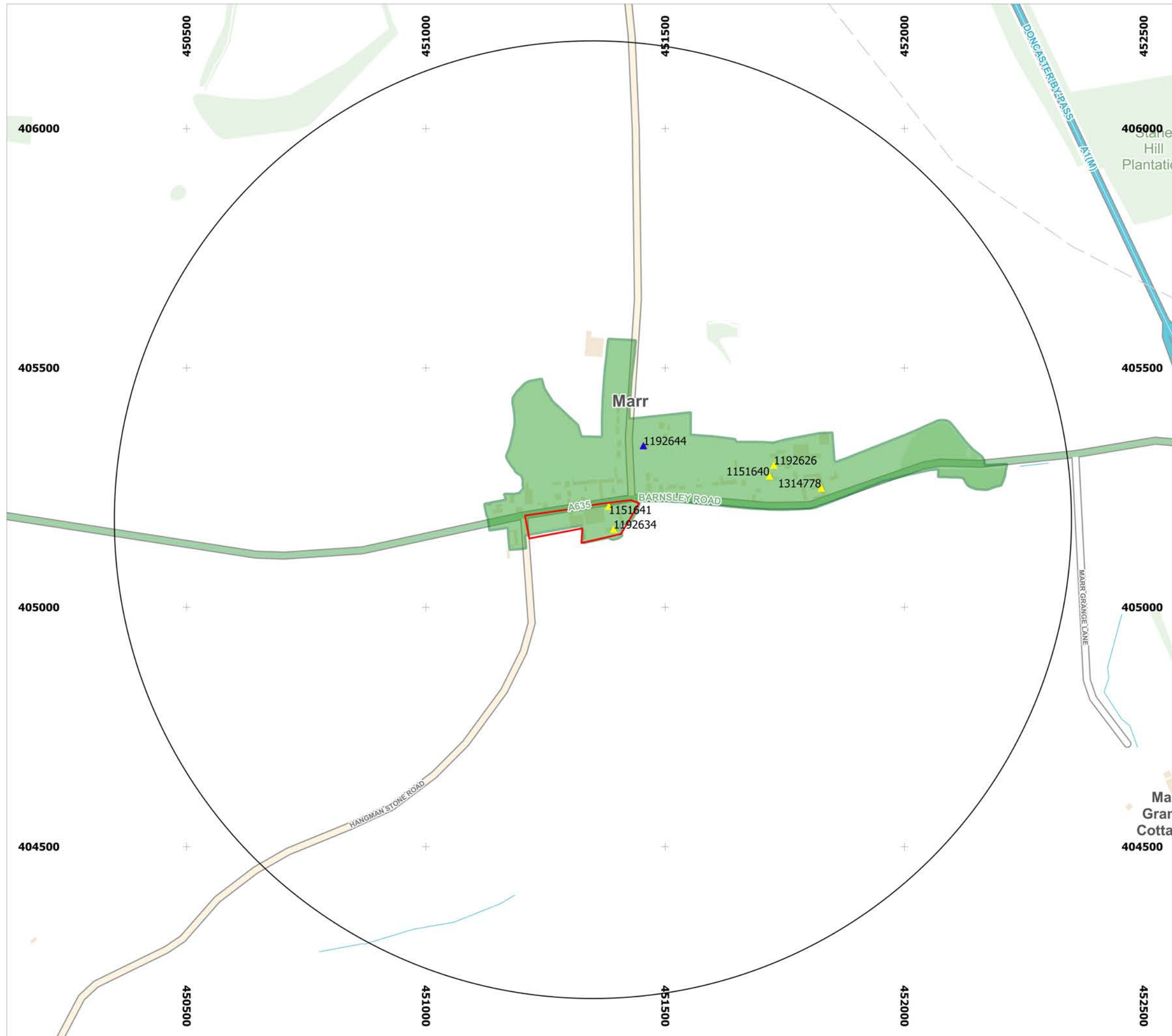
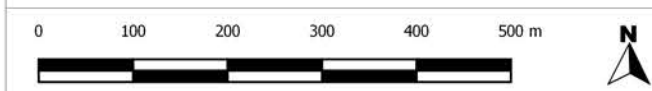


Figure 62:
Designated heritage assets

- Manor Farm
- 1km study area
- ▲ Grade I Listed Building
- ▲ Grade II Listed Building
- Marr Conservation Area (Heritage At Risk)

Information based upon NHLE and Heritage at Risk data © Historic England 2017. Contains Ordnance Survey data © Crown copyright and database right 2017. The Historic England GIS data contained in this material was obtained on 30.08.17.

The most publicly available up to date Historic England GIS data can be obtained from <http://www.HistoricEngland.org.uk>.



Site name: Manor Farm, Marr
Date: September 2017
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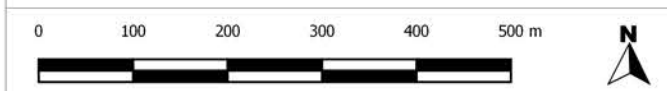
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Figure 63:
South Yorkshire SMR data

- Manor Farm
- 1km study area
- SMR entries - archaeological remains (points)
- SMR entries - archaeological remains (area)
- SMR entries - the built environment

Information based upon HLC and SMR data © South Yorkshire Archaeology Service



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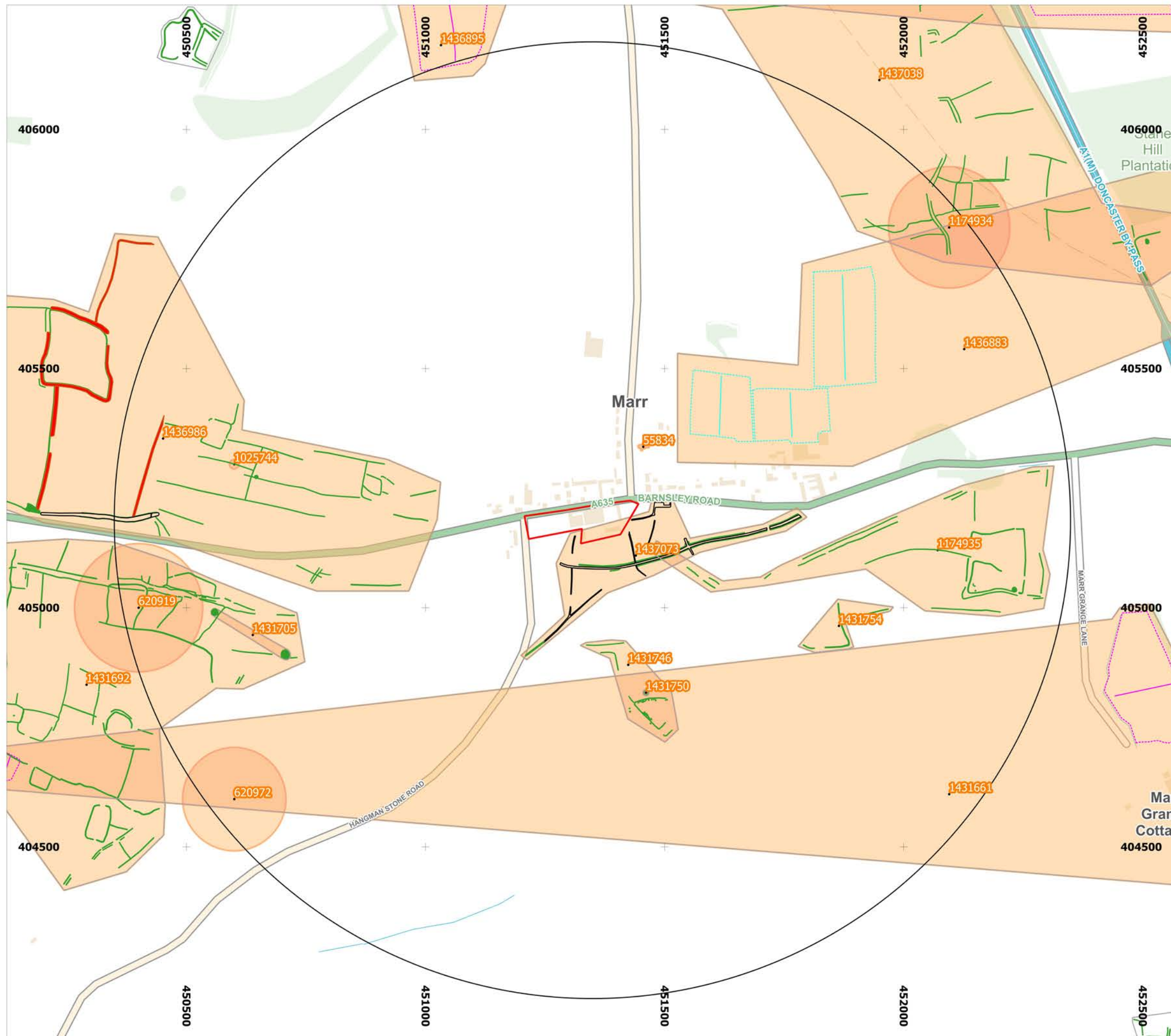
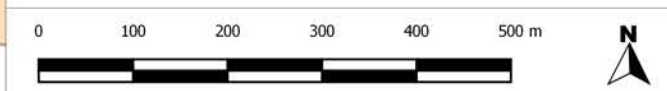


Figure 64:
NRHE entries and NMP data

- Manor Farm
- 1km study area
- NRHE monument polygon
- Bank
- Ditch
- Levelled ridge and furrow (orientation)
- Levelled ridge and furrow (area)
- Ridge and furrow earthworks (orientation)
- Levelled ridge and furrow (area)
- Structure

Information based upon NMP and NRHE data © Historic England Archive



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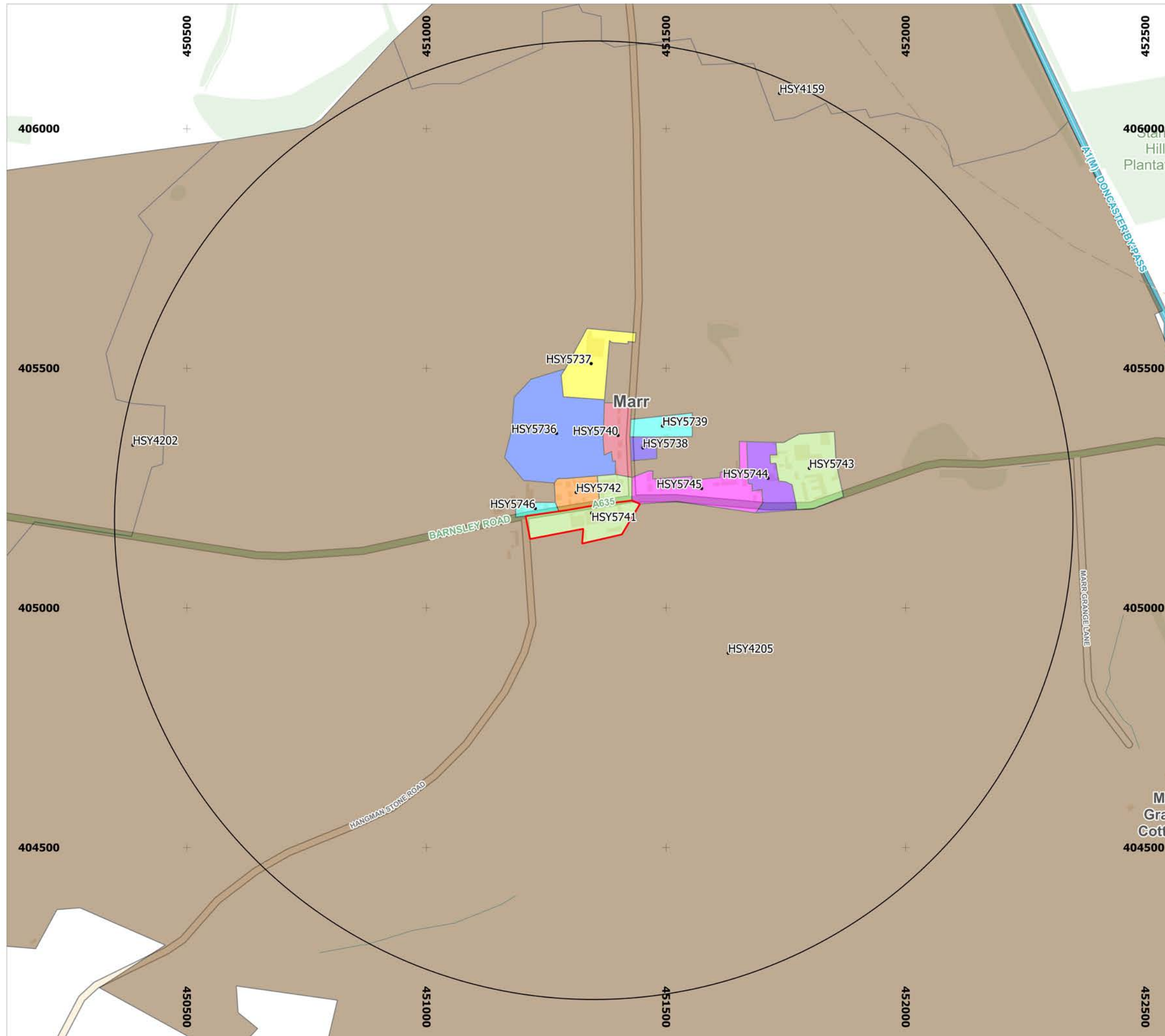
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**Figure 65:
Historic Environment Characterisation**



- Manor Farm
- 1km study area
- Agglomerated fields
- Elite Residence
- Estate Village
- Farm Complex
- Other Industry
- Private Housing Estate
- Quarry
- School
- Semi-Detached Housing
- Vernacular Cottages

Information based upon Historic Environment Characterisation data © South Yorkshire Archaeology Service



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**APPENDIX IV: CULTURAL HERITAGE DESK-BASED ASSESSMENT AND BUILDING
APPRAISAL 2012**